

C:\DWG5\8027\UNIT3\8027TITL.dwg Mon May 03 07:53:47 1999 plotted by Mike

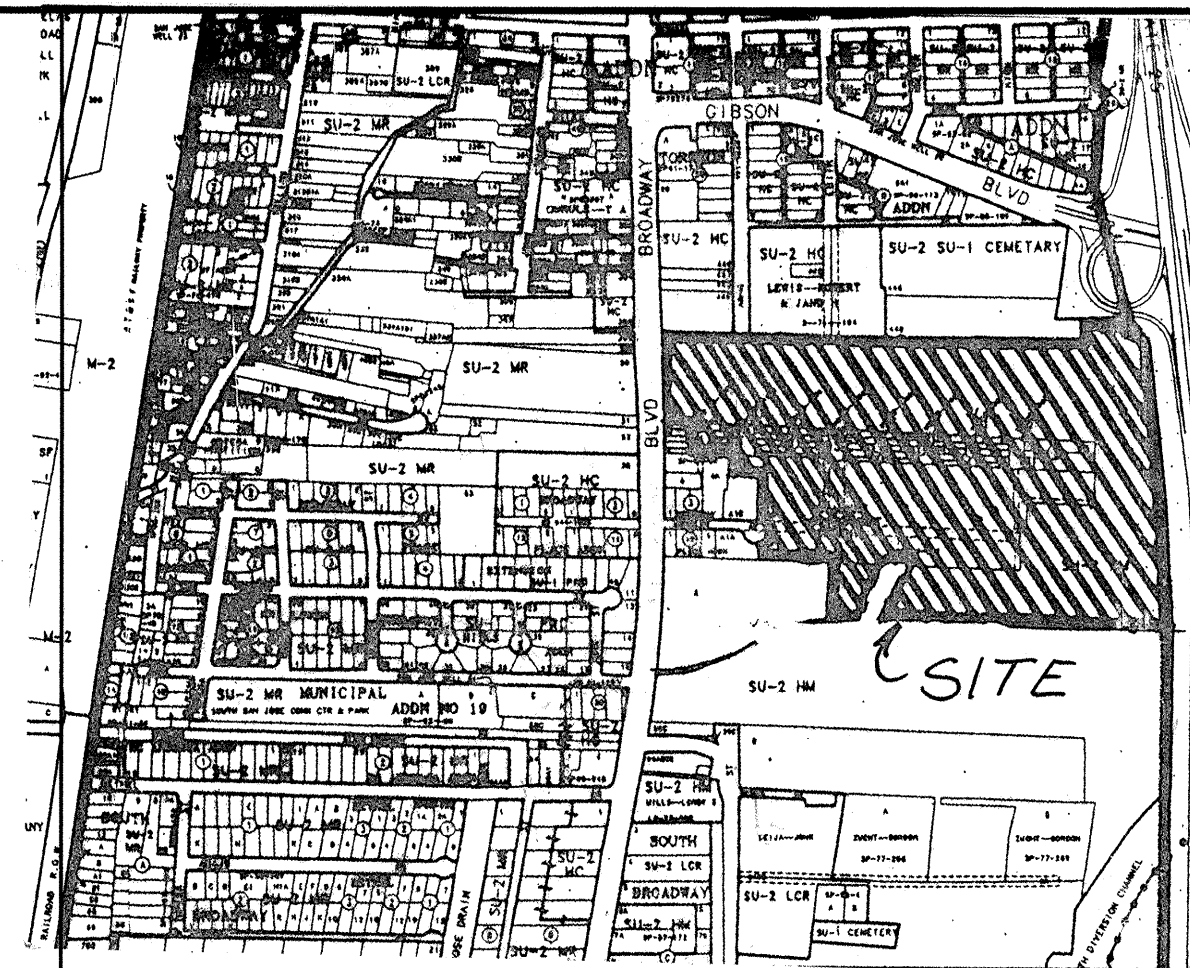
CONSTRUCTION PLANS

FOR

BROADWAY INDUSTRIAL CENTER

UNIT III

ALBUQUERQUE, NEW MEXICO



VICINITY MAP ZONE ATLAS# M-14
SCALE: NONE

GENERAL NOTES

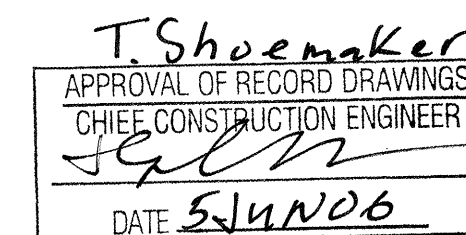
NOTICE TO CONTRACTORS

1. CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS AMENDED THROUGH UPDATE 6, WILL BE REFERRED TO HEREIN AS THE "STANDARD SPECIFICATIONS".
2. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) AND DETERMINE LOCATION OF EXISTING UTILITIES.
3. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR THE SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITHOUT DELAY.
4. ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR.
5. FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION CO-ORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION CO-ORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. SEE SECTION 19 OF THE SPECIFICATIONS.
6. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR IN EXISTING OR NEW LOCATION AS INDICATED BY THIS SET.
7. THE CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
8. ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES 24 HOURS CONSTRUCTION.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- ☒ SIDEWALK AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

FOR INFORMATION ONLY



CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P. O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 826-2200, FAX (505) 797-9539

5/14/00

5/14/00

5/14/00

5/14/00

5/14/00

5/14/00

5/14/00

5/14/00

5/14/00

5/14/00

5/14/00

5/14/00

5/14/00

5/14/00

5/14/00

5/14/00

5/14/00

5/14/00

5/14/00

5/14/00

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the 'as-built' information shown on these drawings was obtained from field construction and 'as-built' surveys performed by me or under my supervision, that the 'as-built' information shown on these drawings was added by me or under my supervision, and that this 'as-built' information is true and correct to the best of my knowledge and belief." Aldrich Land Surveying is not responsible for any of the design concepts, calculations, engineering, or intent of the record drawings.

10-12-00
Timothy Aldrich, P.S. No. 7719 Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the 'as-built' information shown on these drawings was obtained from field construction and 'as-built' surveys performed by me or under my supervision, that the 'as-built' information shown on these drawings was added by me or under my supervision, and that this 'as-built' information is true and correct to the best of my knowledge and belief." Aldrich Land Surveying is not responsible for any of the design concepts, calculations, engineering, or intent of the record drawings.

03-31-00
Timothy Aldrich, P.S. No. 7719 Date

NOTE: THIS CERTIFICATION PERTAINS TO
WATER AND SANITARY SEWER ONLY!
TA

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the 'as-built' information shown on these drawings was obtained from field construction and 'as-built' surveys performed by me or under my supervision, that the 'as-built' information shown on these drawings was added by me or under my supervision, and that this 'as-built' information is true and correct to the best of my knowledge and belief." Aldrich Land Surveying is not responsible for any of the design concepts, calculations, engineering, or intent of the record drawings.

02-24-00
Timothy Aldrich, P.S. No. 7719 Date

NOTE: THIS CERTIFICATION PERTAINS TO SHEET 5 OF
14, CHANGE ORDER #1 ONLY!
TA

INDEX TO DRAWINGS

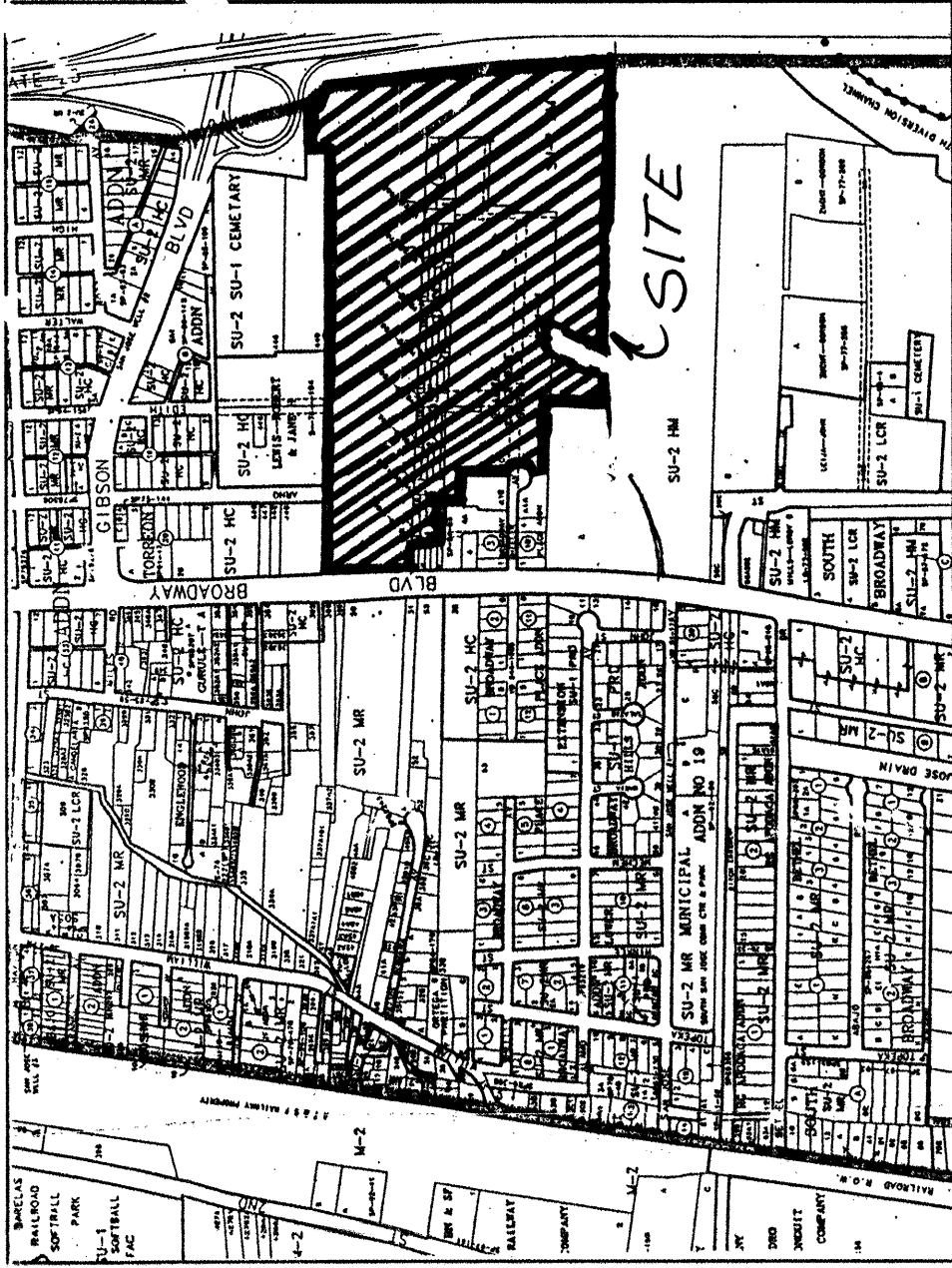
SHEET NO.	SHEET
1	TITLE SHEET
2 - 3	PLAT
4	GRADING AND DRAINAGE PLAN
5	MASTER PAVING & UTILITY PLAN
6	PAVING IMPROVEMENTS
7 - 9	UTILITY IMPROVEMENTS
10 - 12	STORM DRAIN IMPROVEMENTS
13 - 14	TRAFFIC CONTROL PLANS

8027BIP3\8027TITL\04-26-99\MJR

DRB #99-8

6102.81

1 14



LOCATION MAP
ZONE ATLAS
SCALE: NONE

SUBDIVISION DATA			
PLAT CASE NOS.	DRB. 99-08	S. 99-06	V. 99-06
GROSS ACREAGE	46.3566 AC		
ZONE ATLAS NO.	M-14-Z		
NO. OF EXISTING TRACTS/LOTS	4 TRACTS, 38 LOTS		
NO. OF TRACTS/LOTS CREATED	12 LOTS		
NO. OF TRACTS/LOTS ELIMINATED	4 TRACTS, 38 LOTS		
MILES OF FULL WIDTH STREETS CREATED	0.1925		
AREA DEDICATED TO CITY OF ALBUQUERQUE	0.6449 AC		
DATE OF SURVEY	JULY & AUGUST, 1997		
UTILITY CONTROL LOCATION SYSTEM LOG NUMBER:	98031909410189		
FREE CONSENT AND DEDICATION			

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground and overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

Paul J. Thacker
BROADWAY DEVELOPMENT LLC, a New Mexico Corporation
TED A. WATERMAN, Managing General Partner

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO }
This instrument was acknowledged before me on March 9, 1999
Sheri Thacker
NOTARY PUBLIC
OFFICIAL SEAL
SHERI THACKER
NOTARY PUBLIC, STATE OF NEW MEXICO
My commission expires: 7/2/02

MY COMMISSION EXPIRES

Quaranta
Bernalillo County a Political Subdivision of the State of New Mexico
Juan Vigil, County Manager

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO }
This instrument was acknowledged before me on March 11, 1999
Corinne Herrera
NOTARY PUBLIC
OFFICIAL SEAL
CORINNE HERRERA
NOTARY PUBLIC, STATE OF NEW MEXICO
My Commission Expires: 10-7-2002

MY COMMISSION EXPIRES

LEGAL DESCRIPTION
(SEE SHEET 1)
PURPOSE OF PLAT
(SEE SHEET 4)
NOTES
(SEE SHEET 4)

SURVEYOR'S CERTIFICATION

I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me under my supervision, know all easements as shown by this plat and description, and that the same are correct and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 23, 1991 and February 2, 1994), and is true and correct to the best of my knowledge and belief.

Timothy Aldrich
TIMOTHY ALDRICH, P.S. No. 7719
DATE 03-10-99

PLAT FOR
BROADWAY INDUSTRIAL CENTER
SUBDIVISION
UNIT 3
PROJECTED SECTION 28, 29, 32, & 33
TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY 1999

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque Subdivision Ordinance, Article X of Chapter 7 of the Revised Ordinances of Albuquerque, New Mexico.

Subdivision Case No.	
Planning Director, City of Albuquerque, N.M.	Date
City Engineer, City of Albuquerque, N.M.	Date
Albuquerque Metropolitan Arroyo Flood Control Authority	Date
Transportation Development, City of Albuquerque, N.M.	Date
Utility Development Division, City of Albuquerque, N.M.	Date
Parks Design and Development, C.I.P., City of Albuquerque, N.M.	Date
City Surveyor, City of Albuquerque, N.M.	Date <u>03-22-99</u>
Property Management, City of Albuquerque, N.M.	Date

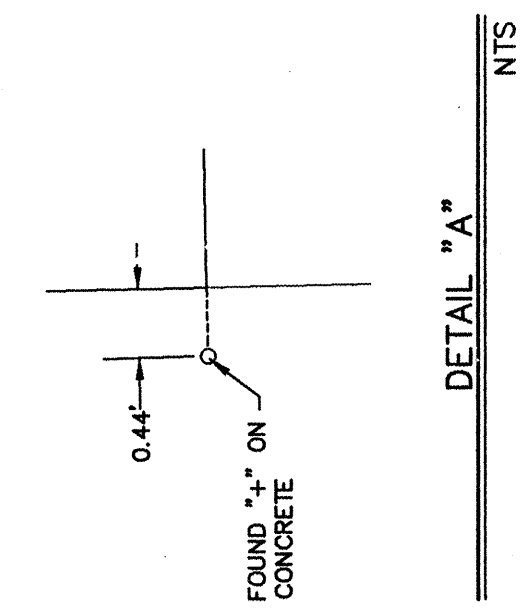
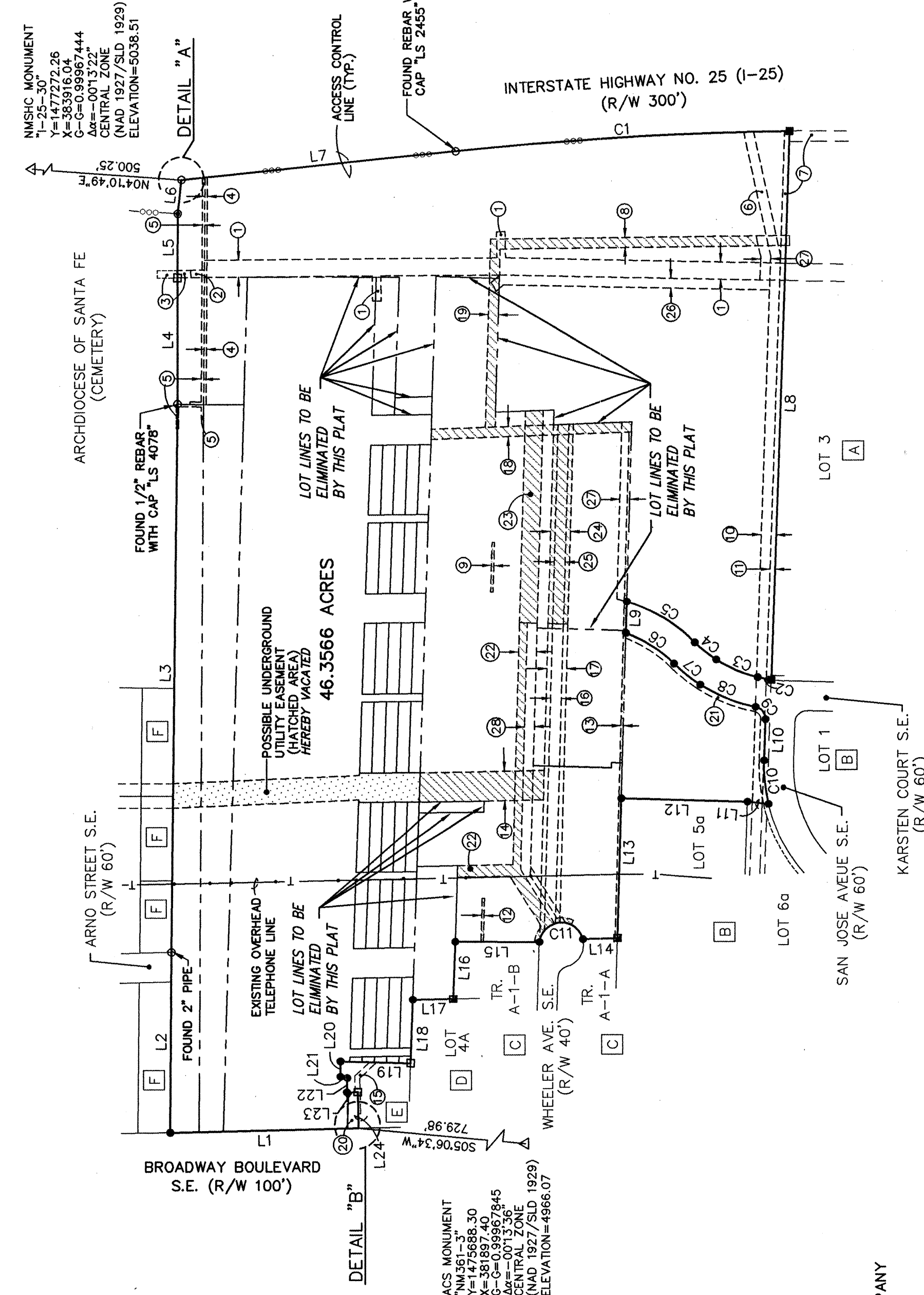
Paul J. Thacker
PJM GAS
Date 4-21-99
John Shaw
U.S. Electric
Date 3-17-99
Paul J. Thacker
PJM ELECTRIC
Date 4-21-99
John Shaw
Jones Interchange, Inc.
Date 3-15-99

PJM DISCLAIMER
By approving this plat, PJM does not waive or release any easement or easement rights (other than those released by this plat) which may have been created by prior plat, replat, or document.

dwg: 8027PL71 Drawn: DBC, B.G. Checked: ALS Sheet 1 of 5
Scale: 1" = 100' Date: 2/16/97 Job: 98027

PLAT FOR BROADWAY INDUSTRIAL CENTER SUBDIVISION UNIT 3 WITHIN PROJECTED SECTION 28, 29, 32, & 33 TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO FEBRUARY 1999

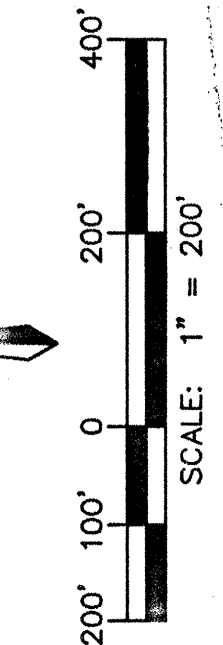
- PROPERTY CORNERS
- SET 5/8" REBAR WITH CAP "ALS LS 7719"
 - FOUND 5/8" REBAR WITH CAP "ALS LS 7719"
 - FOUND 5/8" REBAR WITH CAP "ALS LS 7719"
 - FOUND "T-RAIL"
 - FOUND 5/8" REBAR WITH CAP "ALS LS 11184"



- ADJOINERS
- A BROADWAY INDUSTRIAL CENTER SURVIVISION, UNIT 1 (12-05-97, 97C-345)
 - B BROADWAY INDUSTRIAL CENTER SUBDIVISION, UNIT 1 REPLAT (09-11-98, 98C-280)
 - C LANDS OF BROADWAY DEVELOPMENT COMPANY (10-20-88, C40-28)
 - D BROADWAY PLACE ADDITION, BLOCK 3 (05-12-94, 94C-157)
 - E C.O.A. PUBLIC WORKS DEPARTMENT SOILS TESTING LABORATORY (09-22-76, D15A, 264-265)
 - F PORTIONS OF TRACT 369 M.R.G.C.D. MAP NO. 41

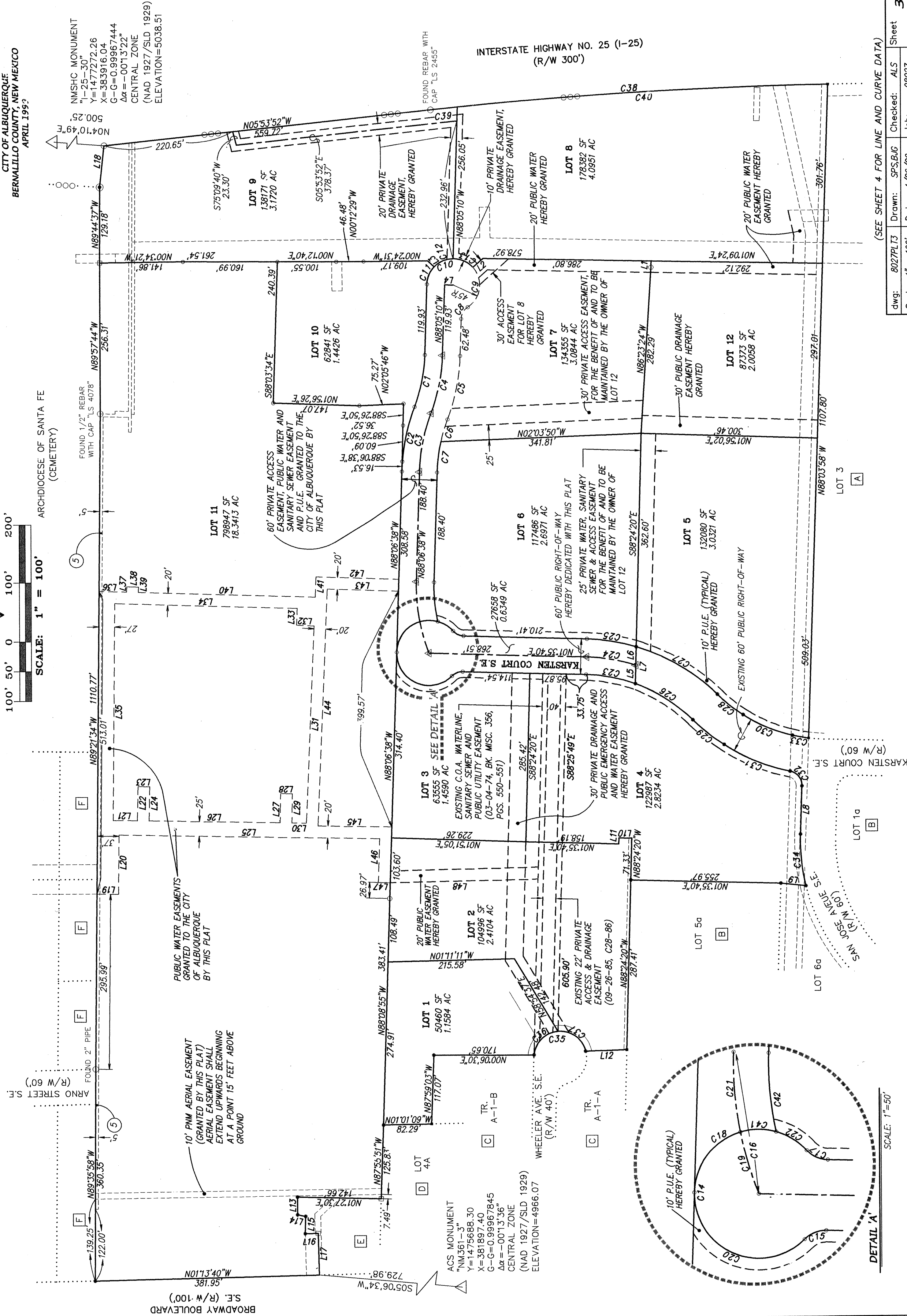
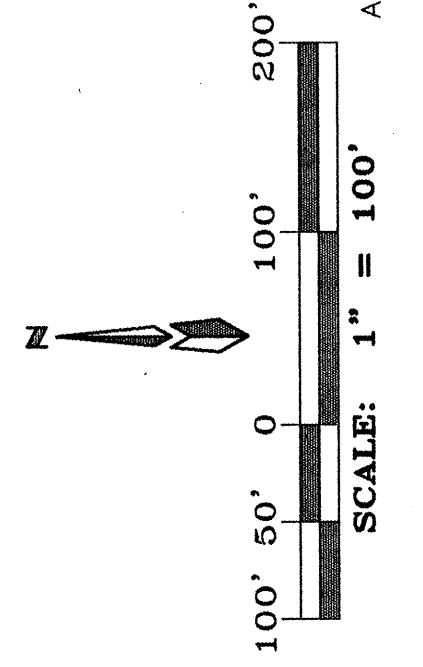
LEGEND
INDICATES A PORTION OF AN EXISTING EASEMENT HEREBY VACATED BY THIS PLAT

Timothy Aldrich
DATE 03-10-99



**BROADWAY INDUSTRIAL CENTER
SUBDIVISION
UNIT 3**

WITHIN
PROJECTED SECTION 28, 29, 32, & 33
TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM
CITY OF ALBUQUERQUE.
BERNALILLO COUNTY, NEW MEXICO
APRIL 1993



dwg:	8027PLT3	Drawn:	SPS,BJG	Checked:	ALS	Sh
						00007

**PLAT FOR
BROADWAY INDUSTRIAL CENTER
SUBDIVISION
UNIT 3**

WITHIN
 PROJECTED SECTION 28, 29, 32, & 33
 TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL 1999

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plats and documents of record entitled:
"SAN JOSE ADDITION", (05-16-24, 62-81)
"LAUNDS OF BROADWAY DEVELOPMENT COMPANY", (10-20-89, C40-28)
"BROADWAY INDUSTRIAL CENTER SUBDIVISION, UNIT 1", (12-05-97, 97C-345)
"BROADWAY INDUSTRIAL CENTER SUBDIVISION, UNIT 1 REPLAT", (00-00-98, 98C-)
"BROADWAY PLACE ADDITION", (05-12-94, 94C-157)
"PLAT OF SMALL HOLDING CLAIMS IN SECTIONS 29, 32 AND 33, T10N, R3E, NPMW", (12-05-1895)
"C.O.A. PUBLIC WORKS DEPARTMENT", (09-22-76, BK.D15A, PGS. 264-265)
"QUITOLAM DEED", (08-30-73, BK. D949, PGS. 237-239)
"B.D.C. CONDOMINIUMS" (11-06-96, DOC.NO. 96121592)
all being records of Bernalillo County, New Mexico.
5. Field Survey performed July 1998.
6. Utility Council Location System Log No.: 97081916120454
7. Title Report: None provided.

PURPOSE OF PLAT

1. TO SUBDIVIDE 4 TRACTS, 38 LOTS INTO 10 COMMERCIAL LOTS.
2. TO VACATE EXISTING EASEMENTS AS SHOWN.
3. TO ELIMINATE EXISTING LOT LINES AS SHOWN.

04-20-99

LINE DATA			
NUMBER	DIRECTION	DISTANCE	
L1	N87W03.17"E	10.89	
L2	N41S30.48"E	23.20	
L3	N43S35.32"E	13.26	
L4	N01S45.50"E	15.11	
L5	N68S24.20"E	31.41	
L6	N68S24.20"E	62.56	
L7	N68S24.20"E	62.56	
L8	N68S24.55"E	82.05	
L9	N06S25.52"E	42.99	
L10	N01S35.40"E	22.12	
L11	N68S24.50"E	10.23	
L12	N01W46.60"E	70.30	
L13	N68S50.52"E	30.42	
L14	N01W49.08"E	13.90	
L15	N68W16.52"E	28.92	
L16	N01W16.52"E	22.17	
L17	N68W41.12"E	71.49	
L18	N63S39.57"E	63.90	
L19	N03S39.26"E	37.00	
L20	N69S21.34"E	100.71	
L21	N01W71.12"E	41.24	
L22	N68S58.48"E	58.00	
L23	N01W71.12"E	20.00	
L24	N68S58.48"E	58.00	
L25	N01W71.12"E	444.37	
L26	N68S58.48"E	22.33	
L27	N01W71.12"E	49.15	
L28	N68S58.48"E	49.15	
L29	N68S58.48"E	20.00	
L30	N01W71.12"E	24.71	
L31	N68S25.57"E	35.33	
L32	N02S30.08"E	30.03	
L33	N67S29.54"E	29.01	
L34	N41W44.24"E	31.17	
L35	N67S29.54"E	36.72	
L36	N01W42.92"E	47.02	
L37	N68W16.56"E	9.00	
L38	N01W42.92"E	20.00	
L39	N68W16.56"E	9.00	
L40	N41W42.92"E	301.76	
L41	N67S29.54"E	34.15	
L42	N01S53.22"E	14.16	
L43	N01S53.22"E	12.38	
L44	N01W72.50"E	401.50	
L45	N68W16.52"E	125.68	
L46	N68W06.18"E	74.69	
L47	N01S53.22"E	250.32	
L48	S01W13.31"E	292.23	

CURVE DATA				
NUMBER	Radius	Delta	Length	Bearing
C1	270.00	19°12'02"	90.48	90.03
C2	300.00	19°15'26"	110.73	110.21
C3	300.00	19°15'26"	102.66	102.93
C4	300.00	19°15'26"	102.66	102.93
C5	350.00	19°12'02"	126.53	126.07
C6	270.00	08°27'54"	38.71	38.68
C7	270.00	17°00'35"	51.86	51.80
C8	250.00	15°08'60"	24.86	23.15
C9	45.00	98°54'28"	77.68	63.39
C10	45.00	136°14'23"	107.60	63.32
C11	45.00	44°14'02"	32.74	32.02
C12	45.00	45°35'32"	36.10	35.14
C13	45.00	23°08'06"	26.29	26.62
C14	55.00	46°14'03"	20.32	19.76
C15	25.00	25°36'56"	123.65	122.78
C16	300.00	46°14'03"	20.32	19.76
C17	25.00	46°14'03"	20.32	19.76
C18	35.00	71°59'53"	63.11	64.65
C19	300.00	10°37'08"	53.08	53.00
C20	55.00	13°36'15"	131.38	102.30
C21	300.00	13°05'47"	68.57	68.57
C22	55.00	32°15'01"	30.96	30.55
C23	270.00	18°12'23"	65.87	65.51
C24	300.00	16°20'47"	65.59	65.09
C25	300.00	14°49'28"	65.38	65.10
C26	370.00	24°40'51"	116.73	115.41
C27	330.00	28°04'45"	161.73	160.11
C28	270.00	11°49'55"	55.76	55.66
C29	330.00	11°49'55"	68.15	68.03
C30	370.00	19°26'59"	91.66	91.22
C31	335.00	21°09'58"	121.91	121.22
C32	25.00	80°26'00"	35.10	32.28
C33	270.00	05°24'21"	28.13	28.12
C34	300.00	15°24'21"	88.73	88.46
C35	45.00	15°58'59"	124.08	88.34
C36	45.00	7°56'04"	61.21	56.60
C37	45.00	80°02'36"	62.87	57.88
C38	7489.44	05°11'34"	67.87	67.84
C39	7489.44	00°21'08"	46.06	46.06
C40	7489.44	04°50'25"	63.71	63.52
C41	55.00	32°19'09"	31.02	30.61
C42	270.00	14°19'30"	67.51	67.33

PURPOSE

The purpose of this plan is to establish developed drainage patterns for the Master Plan Area. It includes conceptual designs of the on-site public drainage infrastructure, and establishes allowable discharges from private lots. Grading of the private lots is not included in this plan.

Separate Grading and Drainage plans are required for the individual lots prior to issuance of building permits. Each lot will be required to temporarily retain all on-site developed storm water runoff (100 yr., 10 day Volume) until the City completes the storm sewer diversion in Broadway Boulevard, from Alamo Avenue to the San Jose Drain in accordance with the South Broadway Sector Drainage Management Plan. After the Broadway storm drain is constructed, the retention ponds may be reduced in size to allow discharge at the rates established by this plan. All on-site public right-of-ways are allowed free discharge and the initial increase in downstream flows is offset by the ponding requirements on the individual lots such that there will be no significant adverse impact to the downstream property. A privately maintained retention pond will be provided for the Southern end of Karsten Court until the Broadway storm sewer is constructed.

The "Unit 3 Revision" maintains the same allowable flow of 123.57cfs in the existing 48" pipe just east of Broadway Blvd., while expanding the contributing area to include 5.5 acres in lot 11 at the same allowable discharge rate of 1.667cfs/acre as established in the report and while allowing free discharge from all of the Unit 3 lots below lot 7 by creating a large pond on lot 7. The pond on lot 7 overdetains incoming flows from lots 8, 9, 10 and off-site areas such that free discharge from the lower portion of the basin plus the increased area on lot 11 does not exceed the original 123.57cfs allowable discharge rate as established by the previously approved version of this plan and in accordance with the South Broadway Sector Drainage Management Plan. This plan also identifies rough grading of pad sites and temporary retention ponds on each of the Unit 3 lots except lot 11. The temporary retention ponds may be adjusted at the time of building permit for each lot but must remain until the 72" pipe is constructed. Broadway per project # 1-05-18. The detention pond on lot 7 will be temporarily oversized as a retention pond to serve development of lots 8, 9, & 10.

GENERAL NOTES

- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION, SHALL GOVERN ALL WORK.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS, AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, THIS SHEET, AND WETTING THE SOIL TO KEEP IT FROM BLOWING. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
- ALL STREET ELEVATIONS SHOWN ARE FINISHED FLOWLINE ELEVATIONS.
- CROSSLOT DRAINAGE IS TO BE PREVENTED BY THE CONTRACTORS CONSTRUCTION OF DITCHES CUT INTO THE ROUGH GRADES TOGETHER WITH BERMS CREATED FROM THE EXCESS MATERIAL FROM THE DITCHES, SUCH THAT THE ULTIMATE DRAINAGE PATTERNS SHOWN HEREON ARE TEMPORARILY ESTABLISHED TO THE SATISFACTION OF THE INSPECTING ENGINEER.
(18" AVERAGE DITCH DEPTH, 12" AVERAGE COMPACTED BERM HEIGHT, 30" TOTAL AVERAGE HEIGHT.)

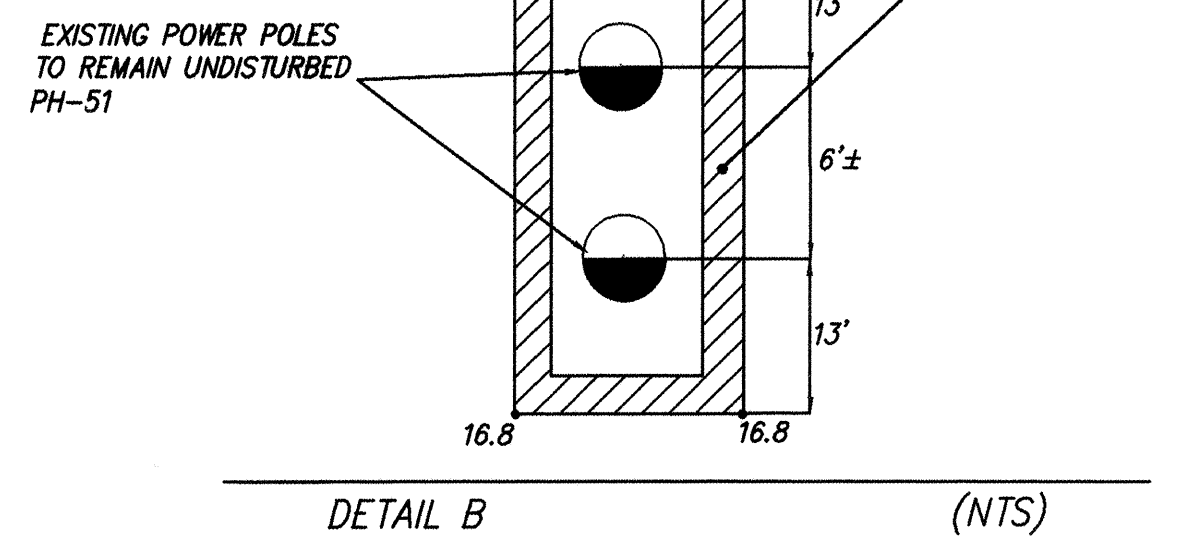
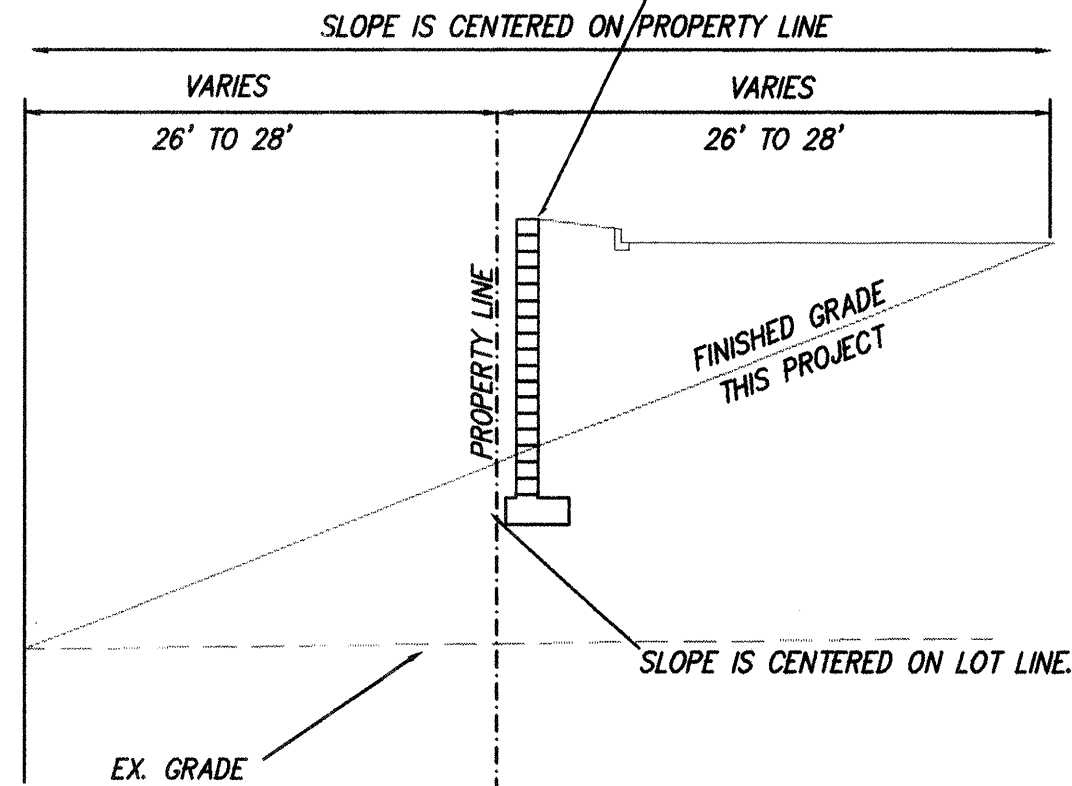
ZONING AND SETBACKS

This property is Zoned SU-2, HM By the South Broadway Sector Plan which is equivalent to M-1. The front and street side yard of corner lots is the greater of

A. 5'

B. 11' where a street or driveway intersects a driveway.

NOTE: TOP OF WALL ELEV. VARIES, 16.0 TO 17.2 MAX.
OPTIONAL RETAINING WALL AT OWNERS DISCRETION.



SECTION A-A (NTS)

LEGEND

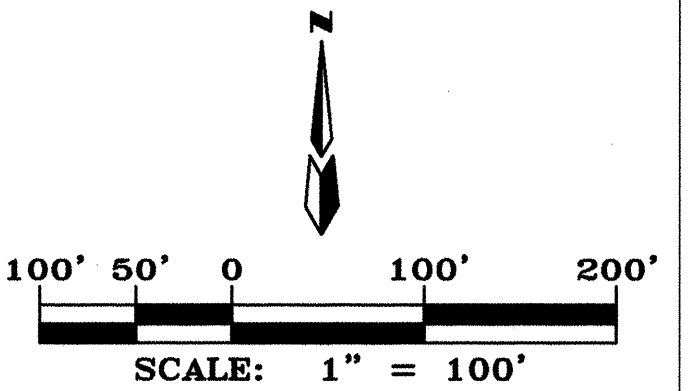
- 51.35 — EXISTING 5' CONTOUR
- TC — EXISTING TOP OF CURB
- FL — EXISTING FLOWLINE
- x 00.00 — EXISTING SPOT ELEVATION
- — EXISTING CURB AND GUTTER
- — EXISTING SANITARY SEWER MANHOLE
- — EXISTING CABLE T.V. PEDESTAL
- — EXISTING WATER VALVE
- — EXISTING OVERHEAD ELECTRIC LINE
- — EXISTING OVERHEAD TELEPHONE LINE
- — EXISTING POWER POLE
- — EXISTING TELEPHONE PEDESTAL
- — EXISTING FIRE HYDRANT
- — EXISTING STORM SEWER MANHOLE
- — EXISTING DROP INLET
- — EXISTING BILLBOARD
- — EXISTING LOT LINE
- — UNIT BOUNDARY
- — TRACT/LOT BOUNDARY
- — RIGHT OF WAY
- — PROPOSED FIRE HYDRANT
- — EASEMENTS
- — EXISTING WATERLINE
- — W — PROPOSED WATERLINE
- — SAS — EXISTING SANITARY SEWER
- — SD — EXISTING STORM DRAIN
- — G — EXISTING VHP GASLINE
- — DRAINAGE BASIN BOUNDARY
- — MOUNTABLE CURB & GUTTER
- — STANDARD 8" CURB & GUTTER
- — PROPOSED STORM DRAIN LINE
- — SAS — PROPOSED SANITARY SEWER
- — ARTERIAL PAVEMENT
- — DEFERRED SIDEWALKS
- — BONINITE MEDIAN PAVEMENT
- — POINT OF DISCHARGE FOR PRIVATE LOTS
- — CAPACITY CALCS.

40" STREET @ 1.0%
Q = 41.84cfs
V = 3.7fps

LOT 6
MASTER PLAN
AREA = 5.31 AC
Q Allowable = 8.85cfs

TEMP. RETENTION POND DIMENSION.
(Note 1" min. Freeboard Required but not included in dimensions)

THIS SHEET FOR INFORMATION ONLY.
SEE SEPARATE APPROVED GRADING PLAN FOR GRADING
WITH ENGINEER'S STAMP DATED 1-26-99 AND REVISED 2-6-99.



8027BIP\8027GDM3\06-10-99\MJR
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
TITLE: BROADWAY INDUSTRIAL CENTER - UNIT III
GRADING & DRAINAGE PLAN

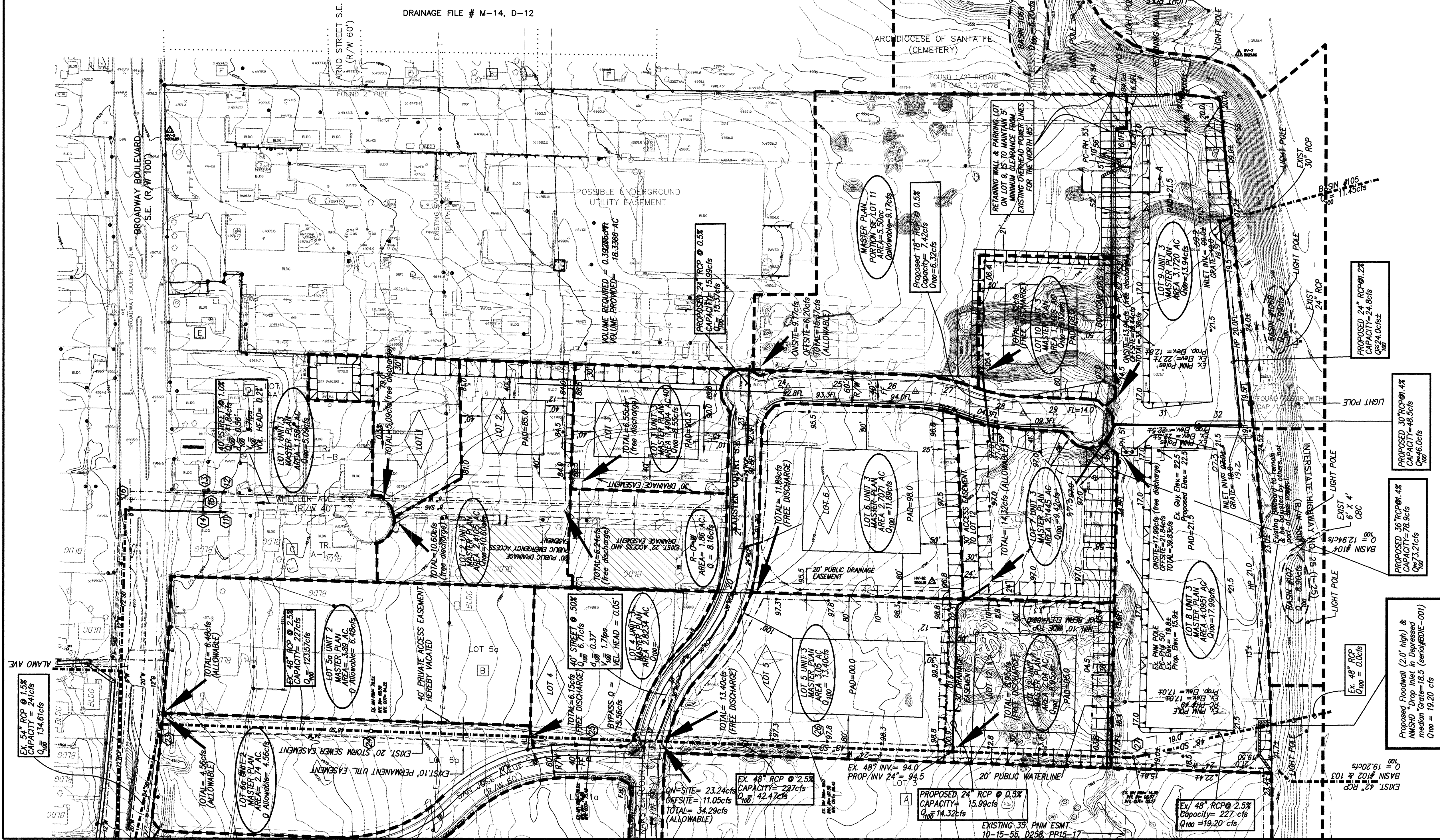
DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL
APPROVED @ DRB
OCT 28 1999
CITY ENGINEER

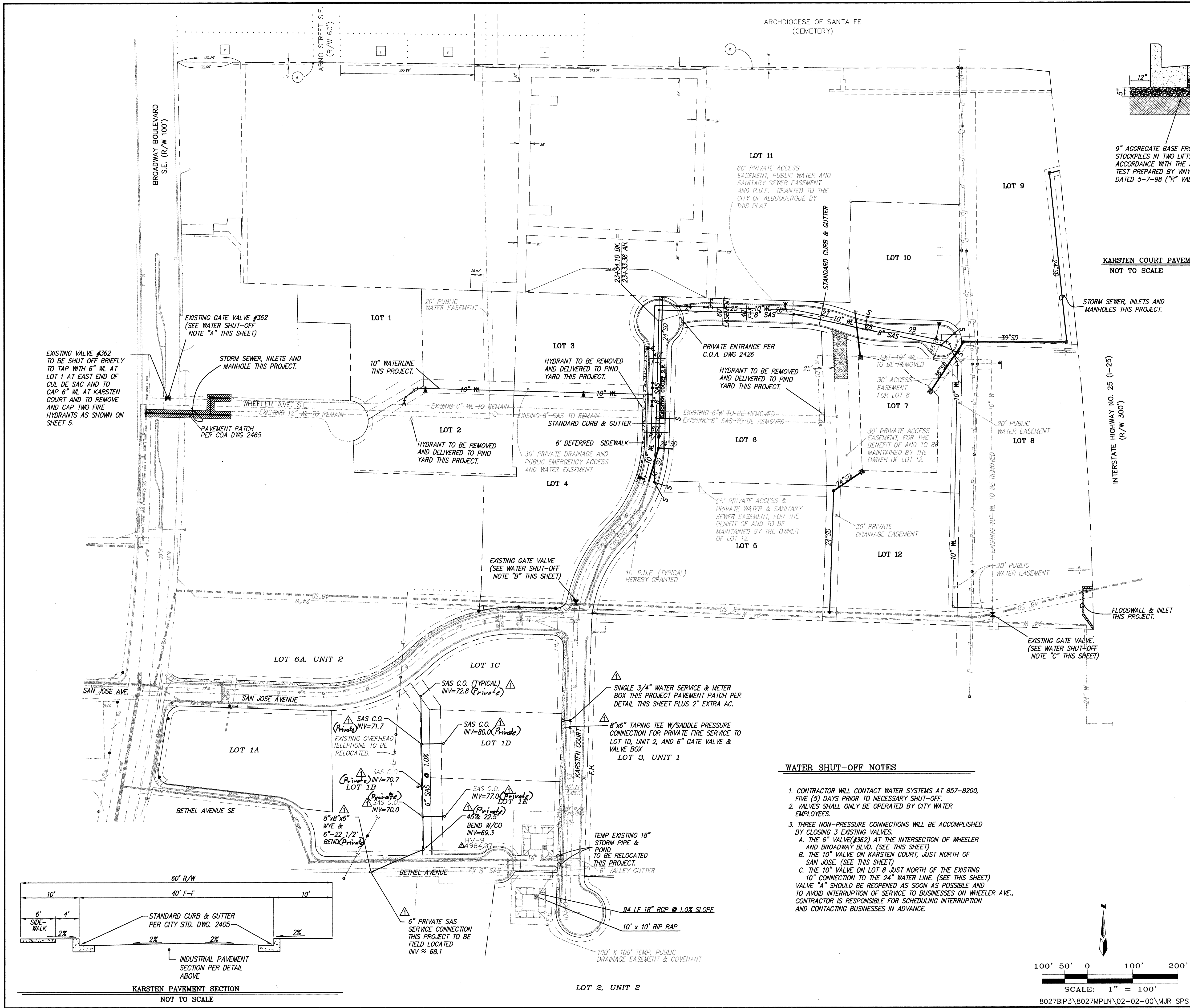
CITY PROJECT NO. 6102.81 ZONE MAP NO. M-14 SHEET 4 OF 14

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	INSPECTOR'S	DATE	FIELD NOTES	BY	NO.	DATE
FRANKLIN'S	9/9/99	AL-S, INC.	9/9/99				
Y = 147272.26	X = 363916.04	G-G = 0.09967444					
DELTA ALPHA = -0.07372	CENTRAL ZONE (NAD 1927/SD 1929)						
ELEVATION = 5038.51							
ACS MONUMENT "M4361-3"							
Y = 1475688.30	X = 361897.40	G-G = 0.09967845					
DELTA ALPHA = -0.07336	CENTRAL ZONE (NAD 1927/SD 1929)						
ELEVATION = 4066.07							

6-14-99
JAMES D. HILTON
REGISTERED PROFESSIONAL ENGINEER
NEW MEXICO
1974

REVISIONS	DATE	BY
DESIGN	4-99	JDH
CHECKED BY	4-99	NJR
DRAWN BY	4-99	DMG





12"

12" ASPHALT CONC. TYPICAL FINISH COURSE PLACED AFTER ALL MANHOLE, VALVES COVERS/RINGS ARE SET TO GRADE. 1800 LBS. STABILITY TYPE B GRADATION.

2" ASPHALT CONCRETE 1800 LBS. STABILITY, TYPE 'A' GRADATION.

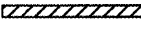
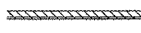
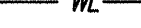
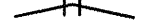
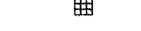
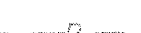
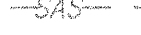
12" SUBGRADE SOIL. R-VALUE > 62. PLACED IN 2-6" COMPACTED LIFTS. 95% MIN. COMPACTION, AT OPT. MOISTURE $\pm 2.0\%$, ASTM D1557, OR OPT. MOISTURE $\pm 4.4\%$, ASTM D698 FOR SOIL W/35% OR MORE MATERIAL PASSING THE NO. 200 SIEVE. TO EXTEND FULL WIDTH OF ROADWAY TO 1.0' BACK OF NEW CURB PER SECTION 301.4.1.1

9" AGGREGATE BASE FROM ON SITE STOCKPILES IN TWO LIFTS IN ACCORDANCE WITH THE AGGREGATE TEST PREPARED BY VINYARD & ASSOC. DATED 5-7-98 ("R" VALUE = 73).

KARSTEN COURT PAVEMENT SECTION (DETAIL PER CITY PROJECT #5807.82 UNIT II)
NOT TO SCALE

- ## N O T E S
-
1. ALL STATIONING IS CENTERLINE STATIONING.
 2. ALL FIRE HYDRANTS TO BE 4' BURY UNLESS OTHERWISE INDICATED.
 3. EXISTING 6" WL. & EXISTING 8" SAS IN LOT 6 TO BE ABANDONED THIS PROJECT.
 4. EXISTING 10" WL IN LOT 6, LOT 7 & LOT 8 TO BE ABANDONED THIS PROJECT.

LEGEND

- | | |
|---|---------------------------------|
|  | NEW RETAINING WALL |
|  | 6" DEFERRED SIDEWALK |
|  | STANDARD 8" CURB & GUTTER |
|  | PROPOSED STORM DRAIN LINE |
|  | PROPOSED SANITARY SEWER |
|  | PROPOSED WATERLINE |
|  | NEW FIRE HYDRANT |
|  | GATE VALVE |
|  | TEE |
|  | BEND |
|  | SANITARY SEWER SERVICE |
|  | PROPOSED STORM DRAIN MH |
|  | PROPOSED SAS MH |
|  | PROPOSED STORM DRAIN GRATE |
|  | EXISTING GATE VALVE |
|  | EXISTING FIRE HYDRANT |
|  | EXISTING STORM DRAIN |
|  | EXISTING SANITARY SEWER MANHOLE |
|  | EXISTING WATER VALVE |
|  | EXISTING OVERHEAD ELECTRIC LINE |
|  | EXISTING SANITARY SEWER |
|  | STREET LIGHT |
|  | POWER POLE |
|  | 10' X 10' RIPRAP |
|  | HANDICAP RAMP |
|  | PAVEMENT PATCH |

WATER SHUT-OFF NOTES

1. CONTRACTOR WILL CONTACT WATER SYSTEMS AT 857-8200, FIVE (5) DAYS PRIOR TO NECESSARY SHUT-OFF.
 2. VALVES SHALL ONLY BE OPERATED BY CITY WATER EMPLOYEES.
 3. THREE NON-PRESSURE CONNECTIONS WILL BE ACCOMPLISHED BY CLOSING 3 EXISTING VALVES.
 - A. THE 6" VALVE AT THE INTERSECTION OF WHEELER AND BROADWAY BLVD. (SEE THIS SHEET)
 - B. THE 10" VALVE ON KARSTEN COURT, JUST NORTH OF SAN JOSE. (SEE THIS SHEET)
 - C. THE 10" VALVE ON LOT 8 JUST NORTH OF THE EXISTING 10" CONNECTION TO THE 24" WATER LINE. (SEE THIS SHEET)
- VALVE "A" SHOULD BE REOPENED AS SOON AS POSSIBLE AND TO AVOID INTERRUPTION OF SERVICE TO BUSINESSES ON WHEELER AVE., CONTRACTOR IS RESPONSIBLE FOR SCHEDULING INTERRUPTION AND CONTACTING BUSINESSES IN ADVANCE.

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

 CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **BROADWAY INDUSTRIAL CENTER - UNIT III
MASTER PAVING AND UTILITY PLAN**

DESIGN REVIEW COMMITTEE

APPROVED

OCT 19 1999

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

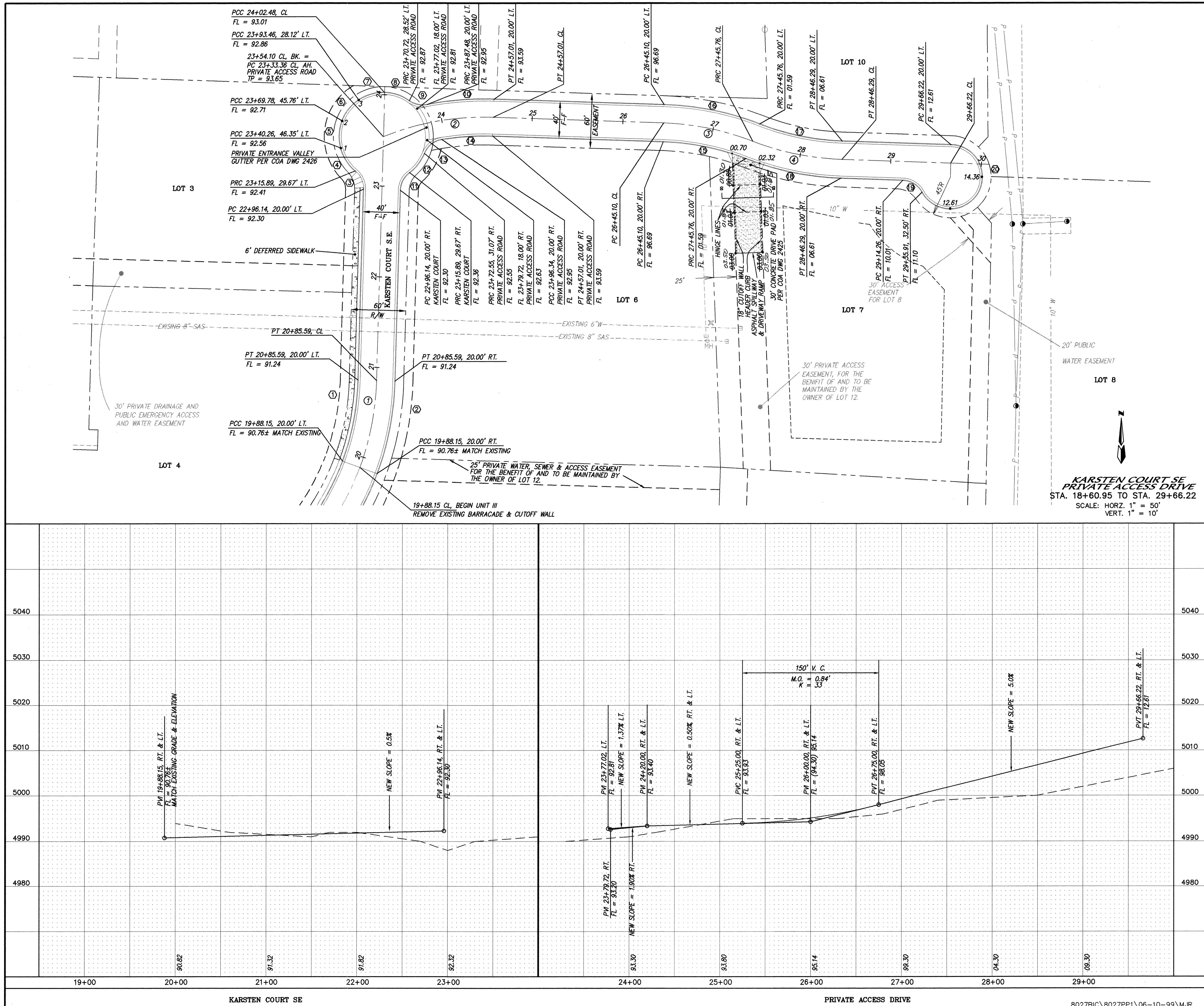
APPROVED

OCT 28 1999

CITY ENGINEER

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
6102.81	M-14	5	14

[illegible]



NOTES

- ALL 4' VALLEY GUTTERS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2421 AT KNUCKLES AND 6' VALLEY GUTTERS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2420 AT ALL INTERSECTIONS.
- ALL 6' INTERIOR SIDEWALKS ARE DEFERRED.
- ALL HANDICAP RAMPS TO BE CASE II PER CITY OF ALBUQUERQUE STANDARD DRAWING 2441. WHERE GRADES DO NOT PERMIT A MAXIMUM SLOPE OF 12:1 TO BE MAINTAINED WITHIN THE 7' LENGTH AS SPECIFIED, THEN THE 7' LENGTH AS SHOWN IN DRAWING 2441 SHALL BE INCREASED TO MAINTAIN A SLOPE < 12:1.
- TRANSITION SECTION FROM FULL CROWN TO NO CROWN TO BE A MINIMUM OF 50', PER CITY OF ALBUQUERQUE STANDARD DRAWING 2401.

CURVE DATA - DESCRIBES FACE OF CURB

1	Δ = 18°36'37"	2	Δ = 18°36'37"
R = 280.00'	R = 320.00'	R = 48.38'	R = 48.38'
L = 90.95'	L = 103.94'	L = 30.31'	L = 30.31'
T = 45.88'	T = 52.43'	T = 15.51'	T = 15.51'
3	Δ = 52°10'21"	4	Δ = 35°32'35"
R = 25.00'	R = 48.38'	R = 48.38'	R = 48.38'
L = 22.76'	L = 30.31'	L = 30.31'	L = 30.31'
T = 12.24'	T = 15.51'	T = 15.51'	T = 15.51'
5	Δ = 35°32'35"	6	Δ = 35°32'35"
R = 48.38'	R = 48.38'	R = 48.38'	R = 48.38'
L = 30.31'	L = 30.31'	L = 30.31'	L = 30.31'
T = 15.51'	T = 15.51'	T = 15.51'	T = 15.51'
7	Δ = 35°32'35"	8	Δ = 34°15'34"
R = 48.38'	R = 48.38'	R = 48.38'	R = 48.38'
L = 30.31'	L = 28.93'	L = 28.93'	L = 28.93'
T = 15.51'	T = 14.91'	T = 14.91'	T = 14.91'
9	Δ = 47°11'07"	10	Δ = 13°16'47"
R = 25.00'	R = 320.00'	R = 48.38'	R = 48.38'
L = 20.59'	L = 74.17'	L = 74.17'	L = 74.17'
T = 10.92'	T = 37.25'	T = 37.25'	T = 37.25'
11	Δ = 52°10'21"	12	Δ = 31°50'12"
R = 25.00'	R = 48.38'	R = 48.38'	R = 48.38'
L = 22.76'	L = 26.88'	L = 26.88'	L = 26.88'
T = 12.24'	T = 13.80'	T = 13.80'	T = 13.80'
13	Δ = 58°25'51"	14	Δ = 11°35'16"
R = 25.00'	R = 280.00'	R = 280.00'	R = 280.00'
L = 56.63'	L = 107.37'	L = 107.37'	L = 107.37'
T = 28.41'	T = 54.19'	T = 54.19'	T = 54.19'
15	Δ = 19°13'29"	16	Δ = 19°13'29"
R = 280.00'	R = 320.00'	R = 320.00'	R = 320.00'
L = 93.95'	L = 107.37'	L = 107.37'	L = 107.37'
T = 47.42'	T = 54.19'	T = 54.19'	T = 54.19'
17	Δ = 19°12'02"	18	Δ = 19°12'02"
R = 280.00'	R = 320.00'	R = 320.00'	R = 320.00'
L = 93.83'	L = 107.24'	L = 107.24'	L = 107.24'
T = 47.36'	T = 54.13'	T = 54.13'	T = 54.13'
19	Δ = 60°00'00"	20	Δ = 24°00'01"
R = 25.00'	R = 35.00'	R = 35.00'	R = 35.00'
L = 26.18'	L = 146.61'	L = 146.61'	L = 146.61'
T = 14.43'	T = 60.62'	T = 60.62'	T = 60.62'

CURVE DATA - DESCRIBES CENTERLINE

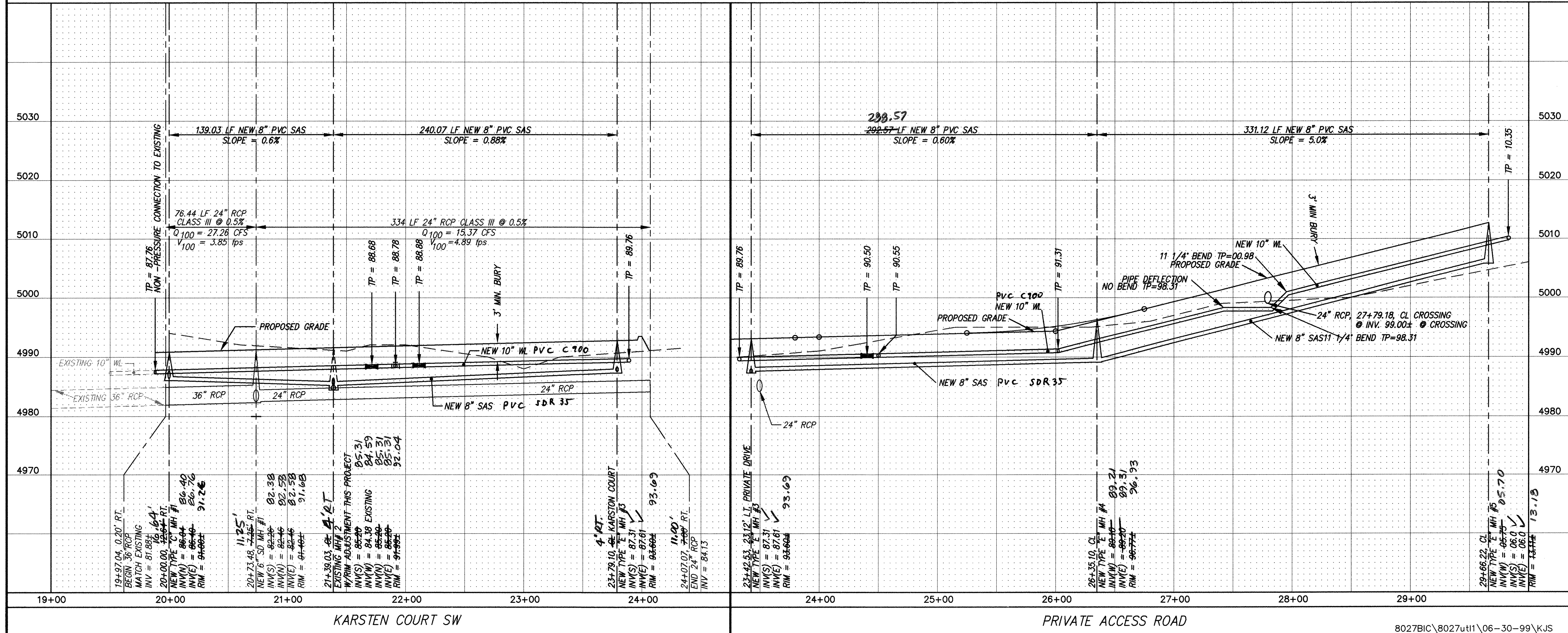
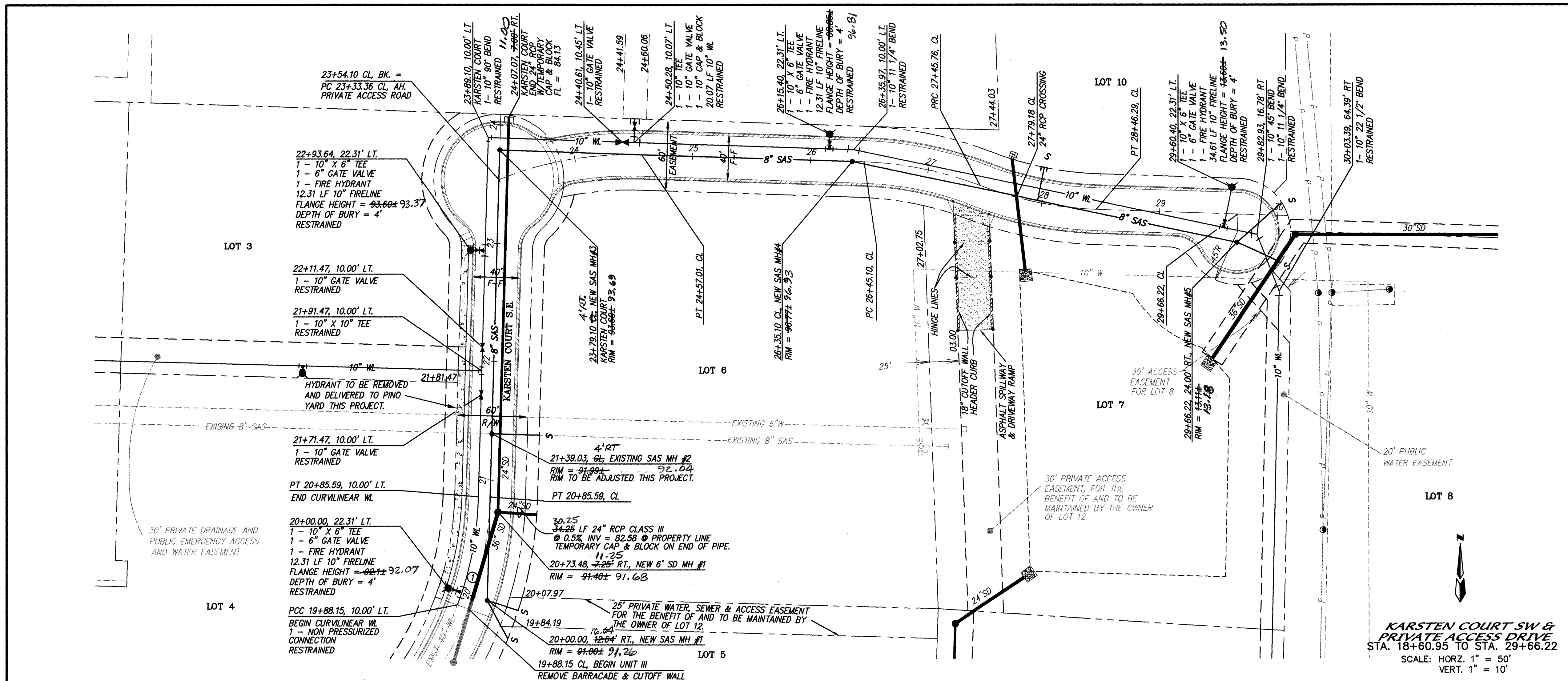
1	Δ = 18°36'37" LT.	2	Δ = 23°36'56" RT.
R = 300.00'	R = 300.00'	R = 300.00'	R = 300.00'
L = 97.44'	L = 123.65'	L = 123.65'	L = 123.65'
T = 49.15'	T = 62.72'	T = 62.72'	T = 62.72'
3	Δ = 19°13'29" RT.	4	Δ = 19°10'02" LT.
R = 300.00'	R = 300.00'	R = 300.00'	R = 300.00'
L = 100.66'	L = 100.53'	L = 100.53'	L = 100.53'
T = 50.81'	T = 50.74'	T = 50.74'	T = 50.74'

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

BROADWAY INDUSTRIAL CENTER - UNIT III
PAVING IMPROVEMENTS

DESIGN REVIEW COMMITTEE
OCT 19 1999
CITY ENGINEER
OCT 28 1999
CITY PROJECT NO. **6102.81**
ZONE MAP NO. **M-14**
SHEET **6** OF **14**



NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.
2. ALL FIRE HYDRANTS TO BE 4' BURY UNLESS OTHERWISE INDICATED.
3. EXISTING 6" WL & EXISTING SAS IN LOT 6 TO BE REMOVED THIS PROJECT.
4. EXISTING 10" WL IN LOT 6, LOT 7, & LOT 8 TO BE REMOVED THIS PROJECT.
5. ALL SANITARY SEWER SERVICES ARE 6" PIPE.

CURVE DATA - DESCRIBES CURVILINEAR WATERLINE

$$\begin{aligned} \Delta &= 18^{\circ}36'37'' \\ R &= 290.00' \\ L &= 1094.20' \\ T &= 47.52' \end{aligned}$$

SANITARY SEWER SERVICES

LOT	STATION AT PUE	INV. ELEV. AT PUE	LENGTH AT PUE
5	20+00.00	86.70	27.36'
6	21+39.03	85.50	40.00'
12	19+77.99	86.70	36.40'

SANITARY SEWER SERVICES

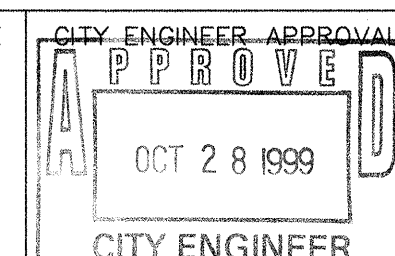
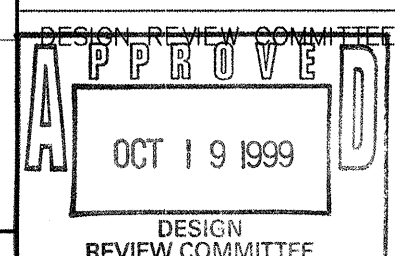
LOT	STATION AT PL	INV. ELEV. AT PL	LENGTH AT PL
8	30+03.79, 39.77R	06.60	40.74'
9	30+02.87, 11.12L	06.60	50.76'
10	27+96.03	00.00	28.44'



MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87189
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE
BROADWAY INDUSTRIAL CENTER - UNIT III
UTILITY IMPROVEMENTS



NO.	DATE	REVISIONS	BY
1	4-99	DESIGN	JDH
2	4-99	DESIGN	MJR
3	4-99	DESIGN	DWG

CITY PROJECT NO.

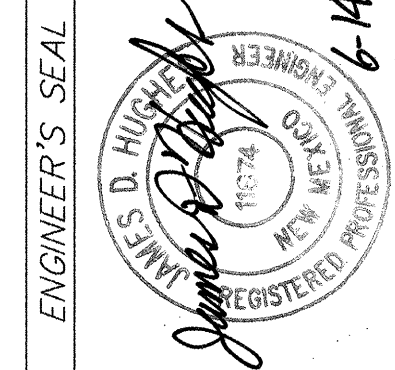
6102.81

ZONE MAP NO.

M-14

SHEET OF

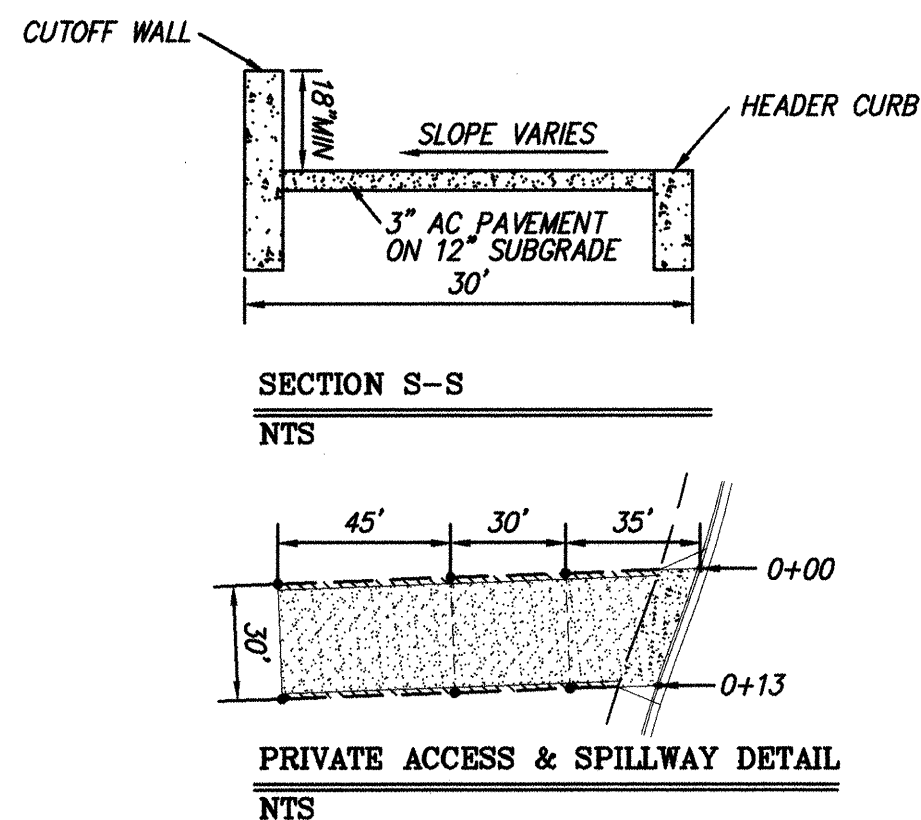
7 14



ENGINEER'S SEAL
JAMES D. HUCH
STATE OF NEW MEXICO
NO. 11374
6-14-99

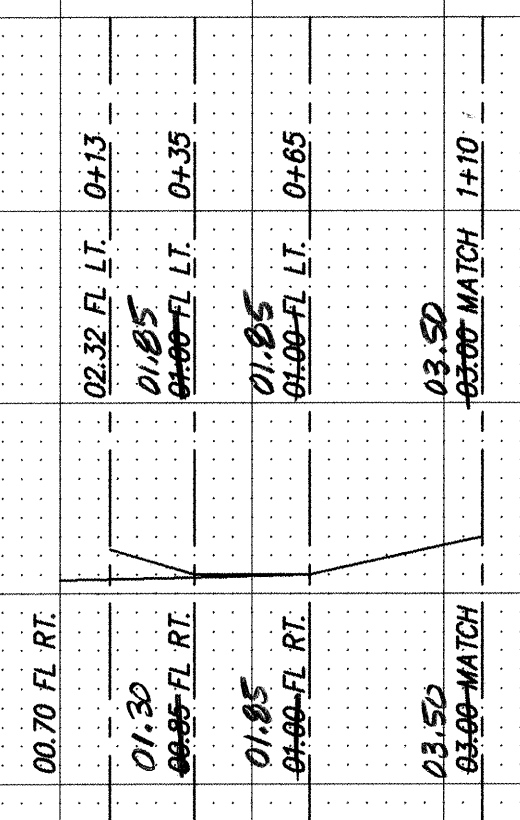
AS BUILT INFORMATION
CONTRACTOR: FRANKLINS
WORK: STAKED BY: ALS, INC. DATE: 9/90
FIELD: STAKED BY: ALS, INC. DATE: 9/90
DRAWINGS: CORRECTED BY: ALS, INC. DATE: 9/90
MICRO-FILM INFORMATION
RECORDED BY: DATE: NO.

SURVEY INFORMATION
FIELD NOTES
NO. BY DATE
NMSHC MONUMENT 11-25-30"
Y = 1477272.26 X = 383916.04 G-G = 0.9987444
DELTA ALPHA = -071322" CENTRAL ZONE (NAD 1927/SLD 1929)
ELEVATION = 5038.51
ACS MONUMENT "M361-3"
Y = 1475668.30 X = 381897.40 G-G = 0.9987445
DELTA ALPHA = -071336" CENTRAL ZONE (NAD 1927/SLD 1929)
ELEVATION = 4966.07



STORM DRAIN LOTS 7 & 12
STA. 10+00.00 TO STA. 16+95.37
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'

DRIVEWAY PROFILE THROUGH SPILLWAY
SECTION T-T



NOTES

1. SEE DRAINAGE FILE M-14, D-12 FOR APPROVED GRADING & DRAINAGE MASTER PLAN.

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
		FIELD NOTES		NMSHC MONUMENT "1-25-30" Y = 1477272.26 X = 383916.04 G-G = 0.99967444 CENTRAL ZONE (NAD 1927/SLD 1929) DELTA ALPHA = -00713722" ELEVATION = 5038.51		CONTRACTOR FRANKLIN'S WORK BY AL'S, INC. DATE 09/16/20 INSPECTOR'S ACCEPTANCE BY FIELD LOCATION BY AL'S, INC. DATE 09/16/20 DRAWINGS CORRECTED BY AL'S, INC. DATE 09/16/20 MICRO-FILM INFORMATION	
		NO.	DATE				
BY							
REMARKS							
DESIGNED BY JDH	DATE 4-99						
DRAWN BY MJR	DATE 4-99						
CHECKED BY DMG	DATE 4-99						

 MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

 CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **BROADWAY INDUSTRIAL CENTER - UNIT III
STORM DRAIN IMPROVEMENTS**

DESIGN REVIEW COMMITTEE

APPROVED

OCT 19 1999

DESIGN
REVIEW COMMITTEE

CITY ENGINEER APPROVAL

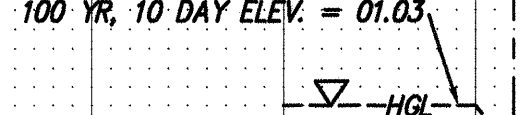
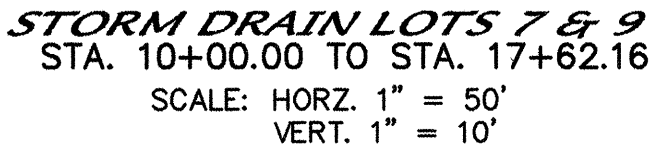
A

OCT 28 1999

CITY ENGINEER

LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. 6102.81	ZONE MAP NO. M-14	SHEET OF 10 14
------------------------------------	-----------------------------	--------------------------



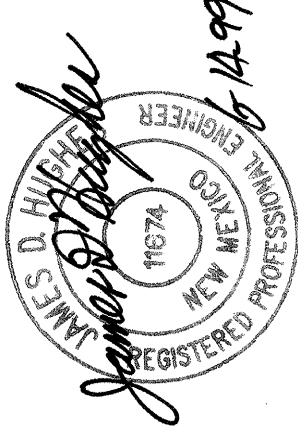
1. SEE DRAINAGE FILE M-14, D-12

AS BUILT INFORMATION	
CONTRACTOR	FRANKLINS
WORK	DATE
STARTED BY	DATE
INSPECTOR'S	DATE
ACCEPTANCE BY	DATE
FIELD	DATE
DRAWINGS	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO	

BENCH MARKS

SURVEY INFORMATION

ENGINEER'S SEAL



3Y

1111

11

XS

REN

--	--

DATE

NO

D

U
C

2.	
----	--

4

EET

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

 CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **BROADWAY INDUSTRIAL CENTER - UNIT III
STORM DRAIN IMPROVEMENTS**

DESIGN REVIEW COMMITTEE

APPROVED

OCT 19 1999

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL
APPROVED
OCT 28 1999
CITY ENGINEER

LAST DESIGN UPDATE

M

7/18

EET

CITY PROJECT NO.

ZONE MAP NO

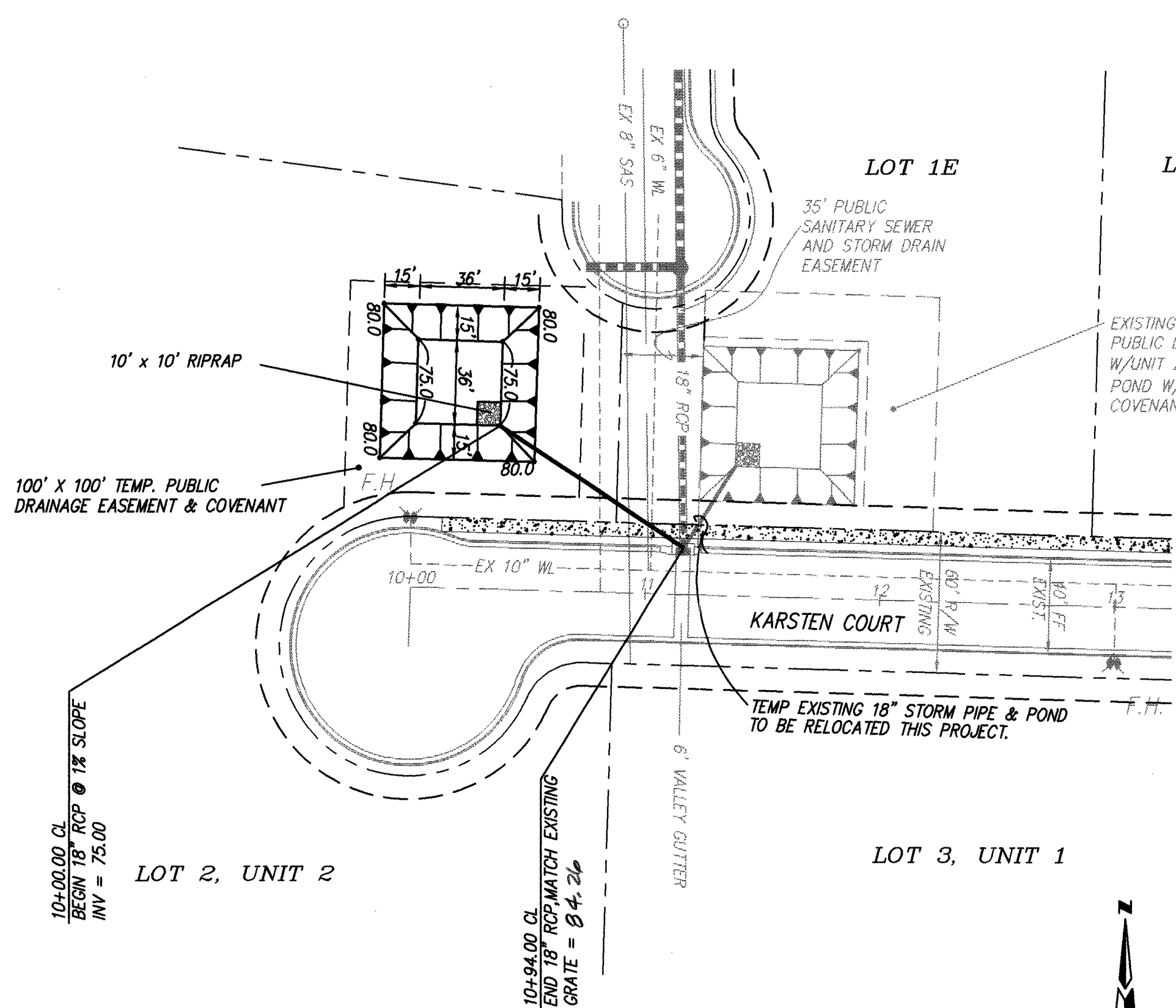
EET OF

6102.81

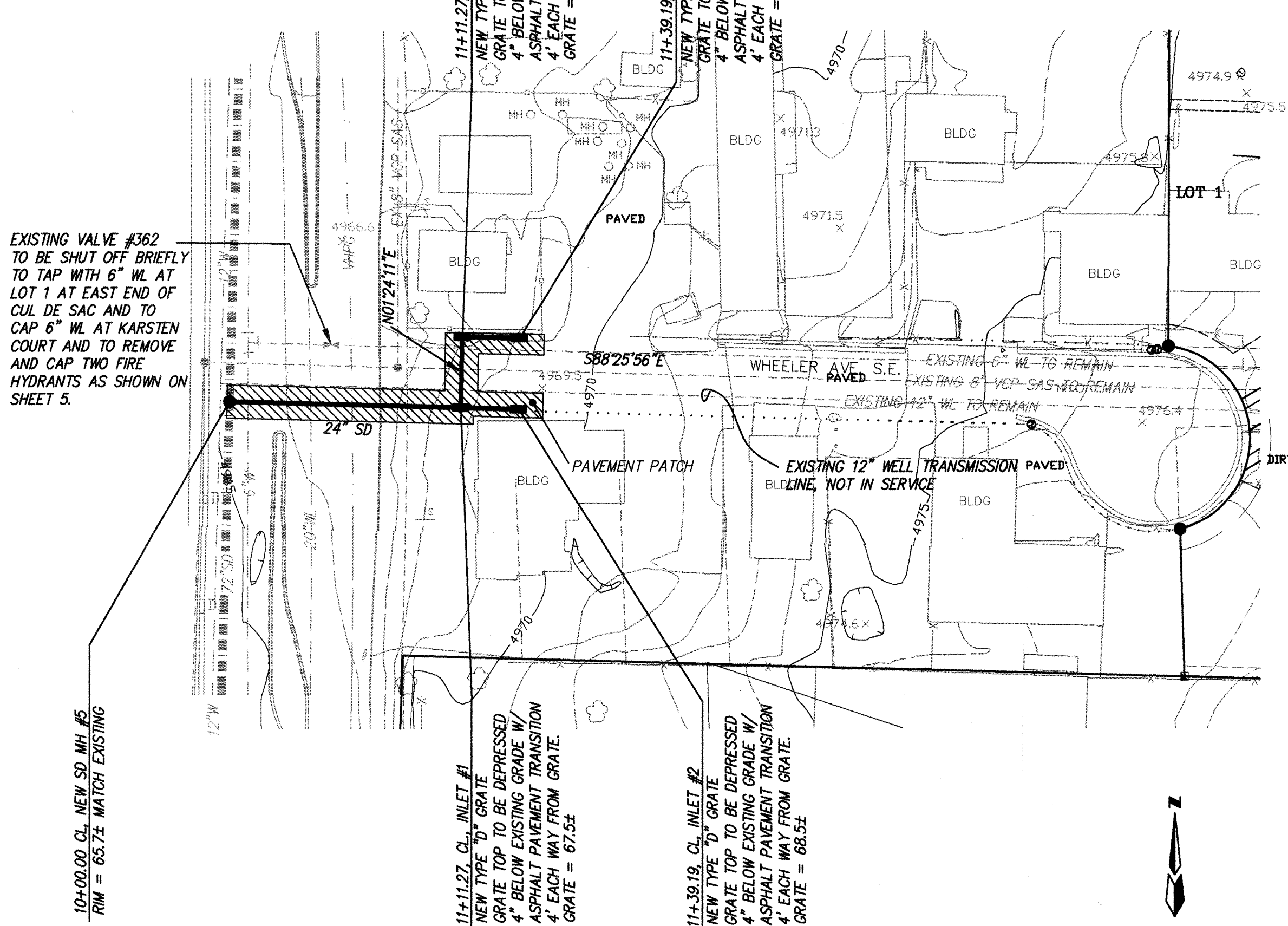
M-14

11 1

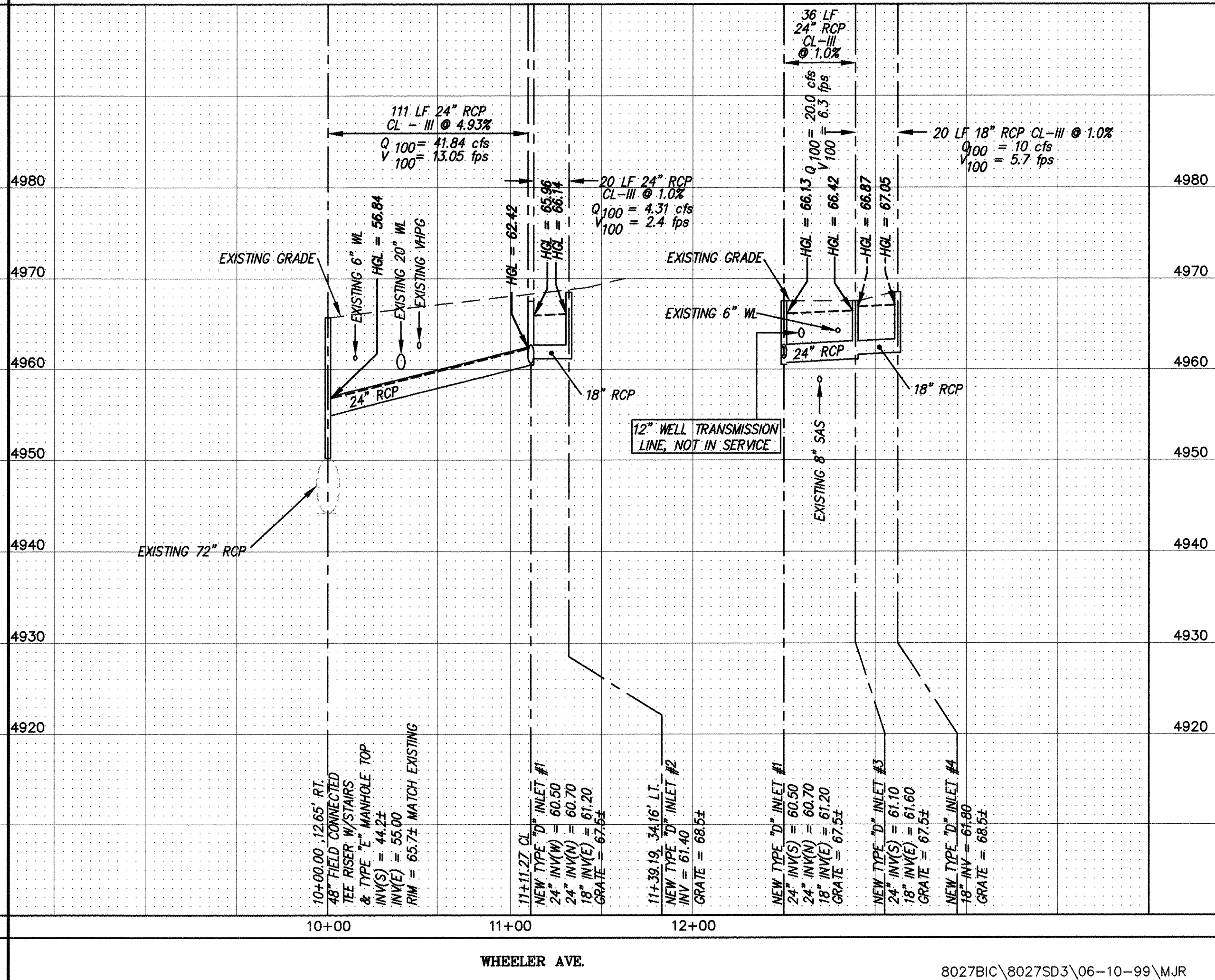
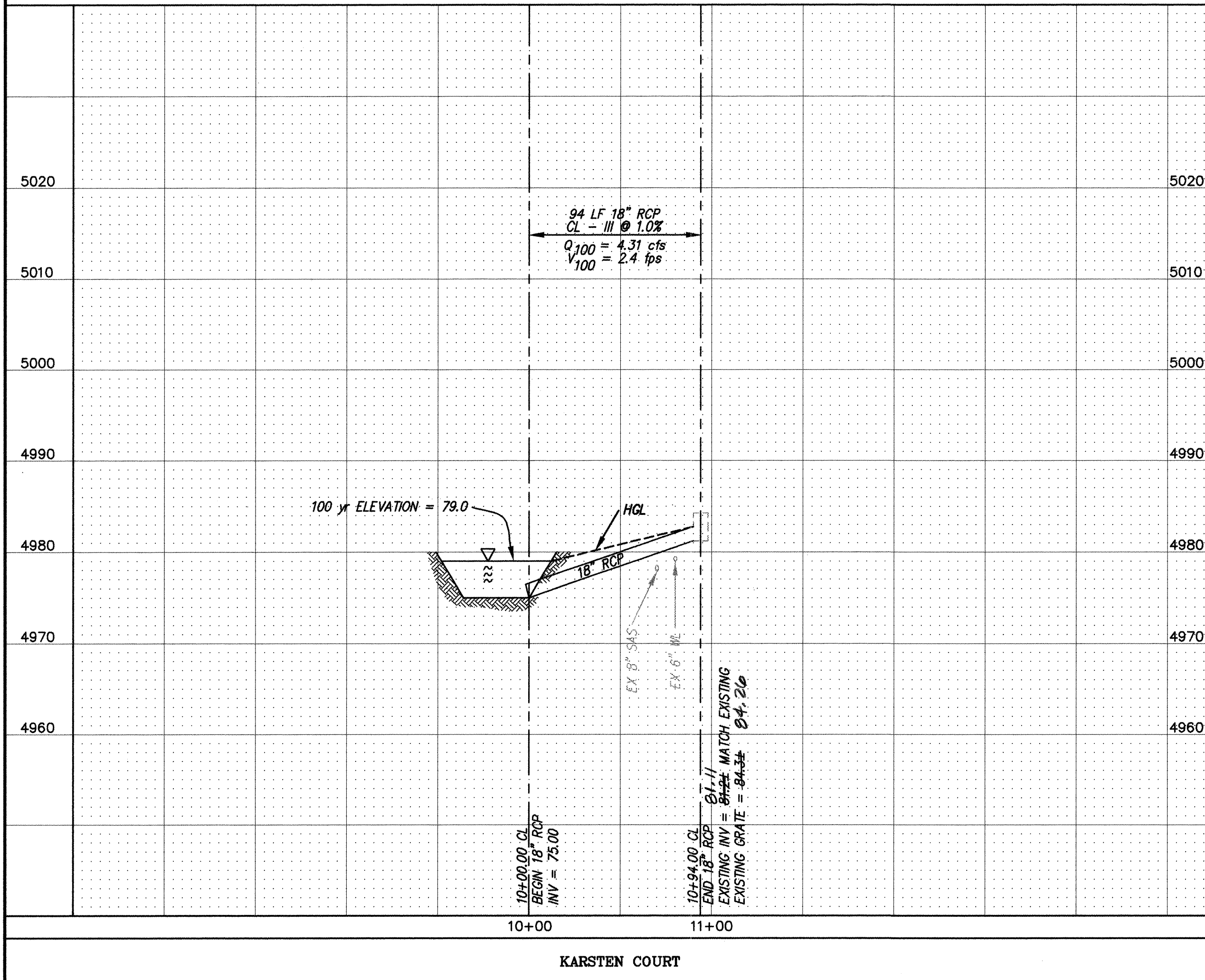
8027BIC\8027SD2\06-10-99\MJR



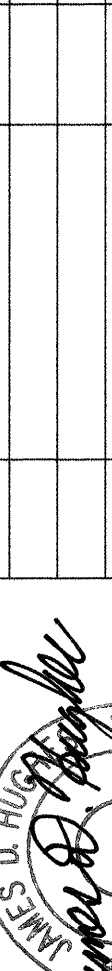
STORM DRAIN - KARSTEN COURT
STA. 10+00.00 TO STA. 10+94.00
SCALE: HORIZ. 1" = 50'
VERT. 1" = 10'



STORM DRAIN - WHEELER AVE.
STA. 10+00.00 TO STA. 21+00.00
SCALE: HORIZ. 1" = 50'
VERT. 1" = 10'



- NOTES**
- ALL UTILITIES IN BROADWAY BLVD. AND WHEELER AVE. ARE TO BE EXCAVATED AND FIELD LOCATED AND THE DESIGN OF THE STORM PIPE PROFILE ADJUSTED BY THE ENGINEER AS NECESSARY PRIOR TO CONSTRUCTING ANY STORM PIPES OR INLETS THIS SHEET.
 - ALL INLETS THIS SHEET ARE TYPE DOUBLE "D" PER COA DWG 2206.

ENGINEER'S SEAL			SURVEY INFORMATION			BENCH MARKS			AS BUILT INFORMATION					
			FIELD NOTES			NMSPC MONUMENT "1-25-30"			CONTRACTOR FLANKLIN'S					
			NO.			BY			DATE			WORK STAKED BY ALS, INC DATE 09/99		
									Y = 1477272.26 X = 383916.04 G-G = 0.9967444			FIELD ACCEPTANCE BY ALS, INC DATE 09/99		
									DELTA ALPHA = -071322" CENTRAL ZONE (NAD 1927/SLD 1929)			FIELD CORRECTION BY ALS, INC DATE 09/99		
									ELEVATION = 5038.51			DRAWINGS CORRECTED BY ALS, INC DATE 09/99		
									ACS MONUMENT "M0361-3"			MICRO-FILM INFORMATION		
						Y = 1475688.30 X = 381897.40 G-G = 0.9967845			RECORDED BY			DATE		
									DELTA ALPHA = -071336" CENTRAL ZONE (NAD 1927/SLD 1929)			NO.		
						ELEVATION = 4966.07								

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
TITLE: **BROADWAY INDUSTRIAL CENTER - UNIT III**
STORM DRAIN IMPROVEMENTS

APPROVED	APPROVED	MO./DAY/YR.	MO./DAY/YR.
OCT 19 1999	OCT 28 1999		
DESIGN REVIEW COMMITTEE	CITY ENGINEER		
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
6102.81	M-14	12	14

8027B/C\8027SD3\06-10-99\MJR

CONSTRUCTION TRAFFIC CONTROL GENERAL NOTES

1. CONTRACTOR MUST OBTAIN FROM CONSTRUCTION COORDINATION AN EXCAVATION/BARRICADING PERMIT BEFORE ENGAGING IN ANY CONSTRUCTION, MAINTENANCE OR REPAIR WORK IN ANY OF THE CITY OF ALBUQUERQUE'S RIGHTS-OF-WAY. EMERGENCY WORK THAT WOULD PRESERVE LIFE OR PROPERTY IS EXCLUDED WITH THE UNDERSTANDING, THAT A PERMIT SHALL BE OBTAINED WITHIN 24 TO 48 HOURS.

2. CONTRACTOR SHALL AT THE TIME OF PERMIT REQUEST, SUBMIT FOR APPROVAL BY CONSTRUCTION COORDINATION, A TRAFFIC CONTROL PLAN DETAILING ALL EXISTING TOPOGRAPHY SUCH AS LANE WIDTHS, DRIVEWAYS, AND BUSINESS/RESIDENTIAL ACCESSES. THE TRAFFIC CONTROL PLAN SHALL INCLUDE ALL PHASES OF WORK AND SCHEDULES INVOLVED IN THE CONSTRUCTION PROJECT. ANY SEPARATE PHASES OF A CONSTRUCTION PROJECT SHALL BE GIVEN AN INDIVIDUAL PERMIT EACH. BLANKET PERMITS WILL NOT BE ISSUED.

3. THESE TYPICAL TRAFFIC CONTROL PLANS DO NOT REFLECT THE EXISTING TOPOGRAPHY SUCH AS DRIVEWAYS, LANE WIDTHS, AND BUSINESS/RESIDENTIAL ACCESSES. EVERY LOCATION THAT REQUIRES CONSTRUCTION TRAFFIC CONTROL SHALL HAVE A DETAILED TRAFFIC CONTROL PLAN SHOWING ALL EXISTING TOPOGRAPHY.

4. CONSTRUCTION SHALL NOT BEGIN UNLESS A TRAFFIC CONTROL PLAN HAS BEEN APPROVED AND VERIFIED BY CONSTRUCTION COORDINATION.

5. CONSTRUCTION COORDINATION SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY TRAFFIC CONTROL CHANGES NEEDED BY CONTRACTOR, THAT WERE NOT PREVIOUSLY APPROVED. THESE TRAFFIC CONTROL CHANGES SHALL BE REQUESTED IN WRITING ACCOMPANIED WITH A TRAFFIC CONTROL PLAN REFLECTING SUCH CHANGES.

6. ALL CONSTRUCTION TRAFFIC CONTROL DEVICES SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL, SERVICE AND MAINTAIN ALL TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL DEVICES SHALL NOT BE REMOVED OR ALTERED IN ANY WAY WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION, PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.

7. THE CONSTRUCTION TRAFFIC CONTROL INITIAL SET-UP SHALL BE BY AN AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA) CERTIFIED WORKSITE TRAFFIC SUPERVISOR. THE MAINTENANCE AND SERVICING SHALL ALSO BE DONE BY AN ATSSA CERTIFIED WORKSITE TRAFFIC SUPERVISOR OR EQUIVALENT.

8. CONTRACTOR IS RESPONSIBLE TO MAINTAIN AND SERVICE ALL TRAFFIC CONTROL DEVICES 24 HOURS A DAY, 7 DAYS A WEEK THROUGHOUT LENGTH OF PROJECT. CONTRACTOR IS RESPONSIBLE THAT ALL TRAFFIC CONTROL DEVICES COMPLY WITH THE MUTCD, LATEST EDITION.

9. ALL ADVANCE WARNING SIGNS SHALL BE DOUBLE INDICATED WHENEVER THERE ARE MULTI-LANE TRAFFIC IN ANY ONE GIVEN DIRECTION AND THERE IS SUFFICIENT MEDIAN SPACE.

10. ALL BARRICADES IN ALL TAPERS AND TANGENTS SHALL BE PLACED APART, A DISTANCE MEASURED IN FEET, EQUAL TO THAT OF THE POSTED SPEED LIMIT. NO EXCEPTIONS UNLESS APPROVED BY CONSTRUCTION COORDINATION PER MUTCD SECTION 6A-4.

11. ALL WORK IN ARTERIAL ROADWAYS SHALL BE ON A CONTINUOUS 24 HOUR PER DAY BASIS UNTIL COMPLETED.

12. CONTRACTOR IS RESPONSIBLE TO PROVIDE CONSTRUCTION COORDINATION, A WEEKLY LOG OF DAILY INSPECTIONS OF BARRICADE AND MAINTENANCE SCHEDULES ON PROJECTS THAT ARE OVER ONE WEEK DURATION.

13. EQUIPMENT OR MATERIALS SHALL NOT BE STORED WITHIN 15 FEET OF A TRAVELLED TRAFFIC LANE DURING NON-WORKING HOURS WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION.

14. CONTRACTOR SHALL PROVIDE AND MAINTAIN A SAFE AND ADEQUATE MEANS OF CHANNELIZING PEDESTRIAN TRAFFIC AROUND AND THROUGH THE CONSTRUCTION AREA.

15. CONTRACTOR IS RESPONSIBLE FOR OBLITERATION OF ANY CONFLICTING STRIPING AND RESPONSIBLE FOR ALL TEMPORARY STRIPING.

16. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES, BUSINESSES AND/OR RESIDENTS AT ALL TIMES.

17. CONTRACTOR SHALL PROVIDE ACCESS SIGNS FOR BUSINESSES LOCATED WITHIN THE CONSTRUCTION AREA UNDER THE SUPERVISION OF CONSTRUCTION COORDINATION. EACH ACCESS SIGN SHALL HAVE 5 INCH, WHITE OPAQUE LETTERING ON BLUE REFLECTORIZED BACKGROUND. ACCESS SIGNS SHALL BE CONSIDERED INCIDENTAL TO THE BID AND NOT PART OF THE CONTRACT UNLESS OTHERWISE STATED. NO MORE THAN 3 BUSINESSES SHALL BE LISTED ON A ACCESS SIGN. SHOPPING CENTERS AND MALLS SHALL BE LISTED AS SUCH.

18. ALL ADVANCE WARNING SIGNS SHALL MEET THE MINIMUM REFLECTIVE INTENSITY REQUIREMENTS SET FORTH BY THE CITY OF ALBUQUERQUE. CONSTRUCTION COORDINATION SHALL DETERMINE ALL REQUIREMENTS AND APPROVE OR DISAPPROVE ANY ADVANCE WARNING SIGN PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.

19. 48 HOURS PRIOR TO OCCUPYING OR CLOSING OF A RIGHT-OF-WAY, CONTRACTOR SHALL NOTIFY: POLICE, FIRE DEPARTMENT, SCHOOLS, HOSPITALS, TRANSIT AUTHORITY, BUSINESSES AND/OR RESIDENTS THAT WILL BE AFFECTED BY THE CONSTRUCTION.

20. ANY FIELD ADJUSTMENTS SHALL BE APPROVED BY CONSTRUCTION COORDINATION.

21. EXCAVATIONS SHALL BE PLATED, TEMPORARILY PATCHED OR RESURFACED PRIOR TO OPENING OF TRAFFIC. A MINIMUM OF 11 FEET SHALL BE PROVIDED FOR TRAFFIC IN ANY GIVEN DIRECTION. CONTRACTOR IS RESPONSIBLE FOR ANY WORK INVOLVED IN SATISFYING THESE REQUIREMENTS.

22. CONTRACTOR SHALL AT ALL TIMES COMPLY WITH THE FOLLOWING:
1. STANDARDS AND REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
2. THE CITY OF ALBUQUERQUE TRAFFIC CODE, LATEST EDITION.
3. SECTION 19 OF THE CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTION, AS WELL AS OTHER SECTIONS.

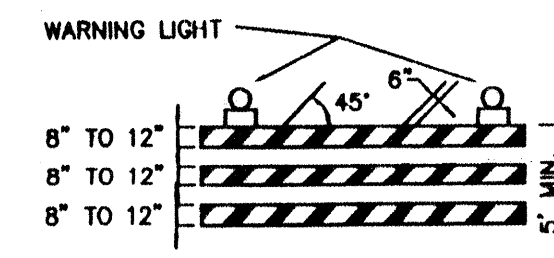
23. FAILURE TO COMPLY WITH ANY OF THE ABOVE MENTIONED, WILL BE ADEQUATE CAUSE TO CEASE ALL WORK ON ANY CONSTRUCTION PROJECT. WORK WILL NOT RESUME UNTIL ALL REQUIREMENTS ARE ADDRESSED AND APPROVED BY CONSTRUCTION COORDINATION.

24. ALL TRAFFIC CONTROL DEVICES SHALL BE KEPT IN NEW-CLEAN CONDITION. WASHING OF EQUIPMENT IS INCIDENTAL TO ITS PLACEMENT AND MAINTENANCE.

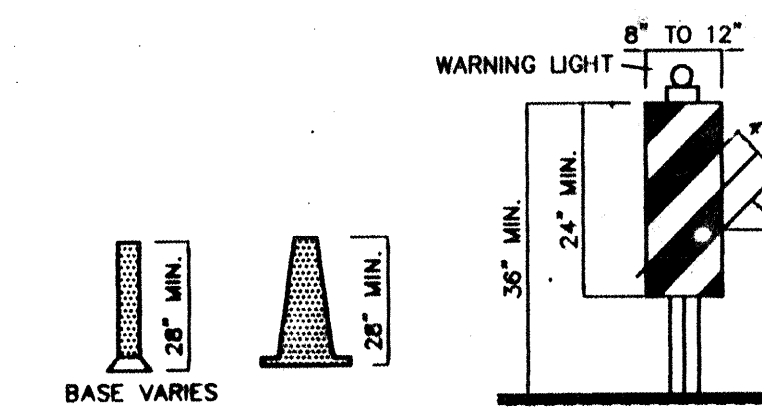
25. TRAFFIC CONTROL STANDARDS APPLY ONLY WHERE THE CONSTRUCTION TRAFFIC CONTROL PLANS ARE NOT SPECIFIC.

26. ADVANCE WARNING SIGNS SHALL BE 36"x36" MIN. WITH SUPER ENGINEERING GRADE SHEETING OR BETTER. MOUNTING HEIGHT AT TOP OF SIGN SHALL BE THE SAME AS FOR A 48" SIGN AS INDICATED IN THE M.U.T.C.D.

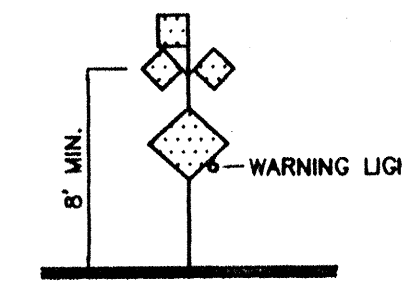
27. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORKSITE. ALL GRAFFITI SHALL BE PROMPTLY REMOVED FROM ALL EQUIPMENT, BOTH PERMANENT AND TEMPORARY.



TYPE III BARRICADE



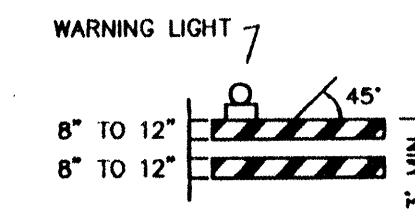
VERTICAL PANEL



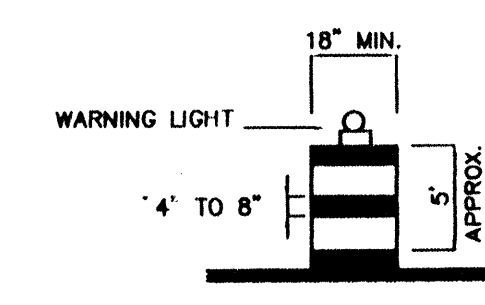
HIGH LEVEL WARNING DEVICE



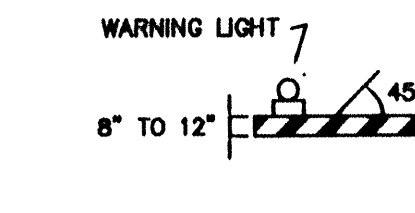
CONES



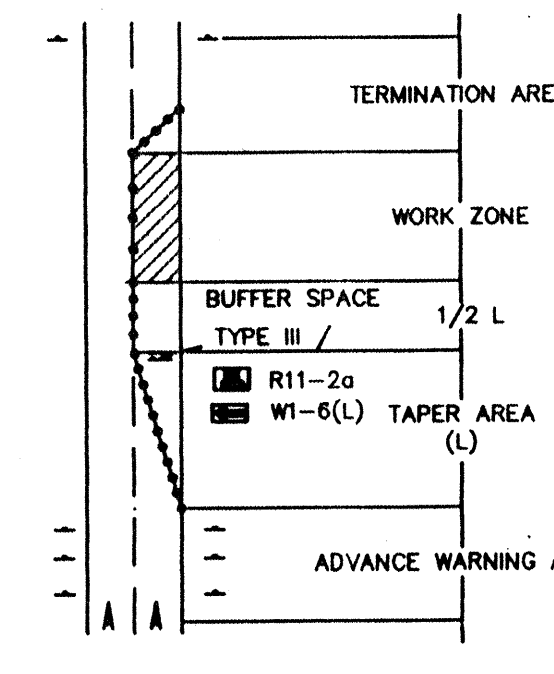
TYPE II BARRICADE



BARREL



TYPE I BARRICADE



TRAFFIC CONTROL ELEMENTS

LEGEND

- WORK AREA
BARRICADE - TYPE I, TYPE II, OR BARREL
BARRICADE - TYPE III
VERTICAL PANEL
WARNING SIGN
DISTANCE BETWEEN SIGNS - A DISTANCE MEASURED IN FEET EQUAL TO A VALUE OF TEN TIMES THE SPEED LIMIT OF THE STREET
FLAGMAN POSITION
SPACING BETWEEN BARRICADES - A DISTANCE MEASURED IN FEET EQUAL TO THE SPEED LIMIT OF THE STREET
TAPER LENGTH - SEE CHART BELOW
THE TANGENT LENGTH IS EQUAL TO THE TAPER LENGTH FOR A GIVEN STREET.

TAPER REQUIREMENTS

SPEED LIMIT (MPH)	TAPER LENGTH (L) (FEET)			MINIMUM NUMBER OF DEVICES FOR TAPER	MAXIMUM DEVICE SPACING IN FEET	
	10' LANE	11' LANE	12' LANE		ALONG TAPER	AFTER TAPER
20	70	75	80	5	20	20
25	105	115	125	6	25	25
30	150	165	180	7	30	30
35	205	225	245	8	35	35
40	270	295	320	9	40	40
45	450	495	540	13	45	45
50	500	550	600	13	50	50
55	550	605	660	13	55	55

RECOMMENDED SIGN SPACING (D) FOR ADVANCE WARNING SIGN SERIES

SPEED LIMIT (MPH)	MINIMUM DISTANCE IN FEET	
	BETWEEN SIGNS	FROM LAST SIGN TO TAPER
0-20	10 X SPEED LIMIT	10 X SPEED LIMIT
25-30	10 X SPEED LIMIT	10 X SPEED LIMIT
30-35	10 X SPEED LIMIT	10 X SPEED LIMIT
40-45	10 X SPEED LIMIT	10 X SPEED LIMIT
50-60	10 X SPEED LIMIT	10 X SPEED LIMIT

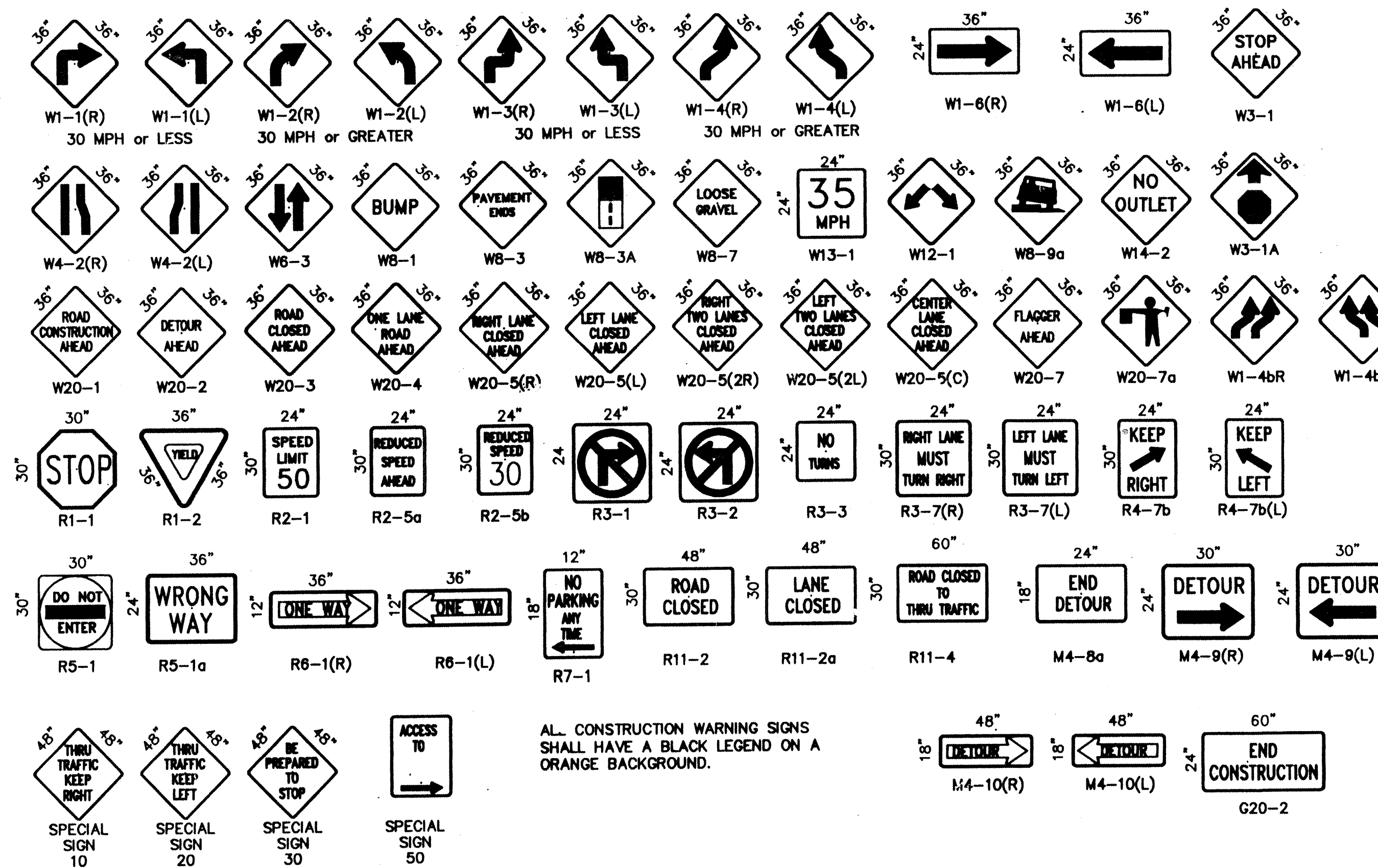
TAPER CRITERIA

TYPE OF TAPER	TAPER LENGTH
UPSTREAM TAPER:	
MERGING TAPER	L MINIMUM
SHIFTER TAPER	1/2 L MINIMUM
SHOULDER TAPER	1/2 L MINIMUM
TWO-WAY TRAFFIC TAPER	100 FEET MAXIMUM
DOWNSTREAM TAPERS	100 FEET PER LANE

TAPER LENGTH COMPUTATION

SPEED LIMIT	
40 MPH OR LESS	$L = \frac{WS^2}{60}$
45 MPH OR GREATER	$L = W \times S$
L = TAPER LENGTH W = WIDTH OF OFFSET IN FEET S = POSTED SPEED OR OFF-PEAK 85-PERCENTILE SPEED IN MPH	

SIGN FACE DETAILS



ALL CONSTRUCTION WARNING SIGNS SHALL HAVE A BLACK LEGEND ON A ORANGE BACKGROUND.