

CONSTRUCTION PLANS FOR THE TOWNHOMES AT SANDIA PLAZA ALBUQUERQUE, NEW MEXICO

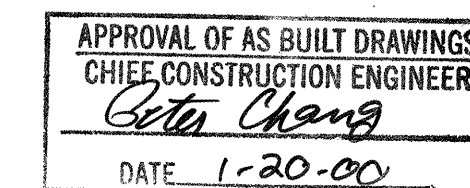
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SCANNED BY
MESA REPRO

CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR CONSTRUCTION OBSERVER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE CONSTRUCTION OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADING, SURFACE DISTURBANCE).
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE AT HIS EXPENSE ANY AND ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- ALL PERMANENT PAVEMENT MARKING AND TRAFFIC SIGNING SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR PER PLAN.
- THE CONTRACTOR SHALL FOLLOW THE CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN PROVIDED HEREIN. THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- ALL SAWCUT PAVEMENT SHALL HAVE A UNIFORM EDGE AND BE SPRAYED WITH TACK.
- WHEN ABUTTING NEW CURB AND GUTTER TO EXISTING PAVEMENT, A 1' WIDE SECTION OF EXISTING PAVEMENT ADJACENT TO THE CURB AND GUTTER SHALL BE SAWCUT, REMOVED, AND REPLACED AS PER THE STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENTS, PAVEMENT MARKINGS, CURB & GUTTER, DRIVE PADS, WHEELCHAIR RAMPS, AND SIDEWALK DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE PER COA STANDARDS, AT HIS OWN EXPENSE.



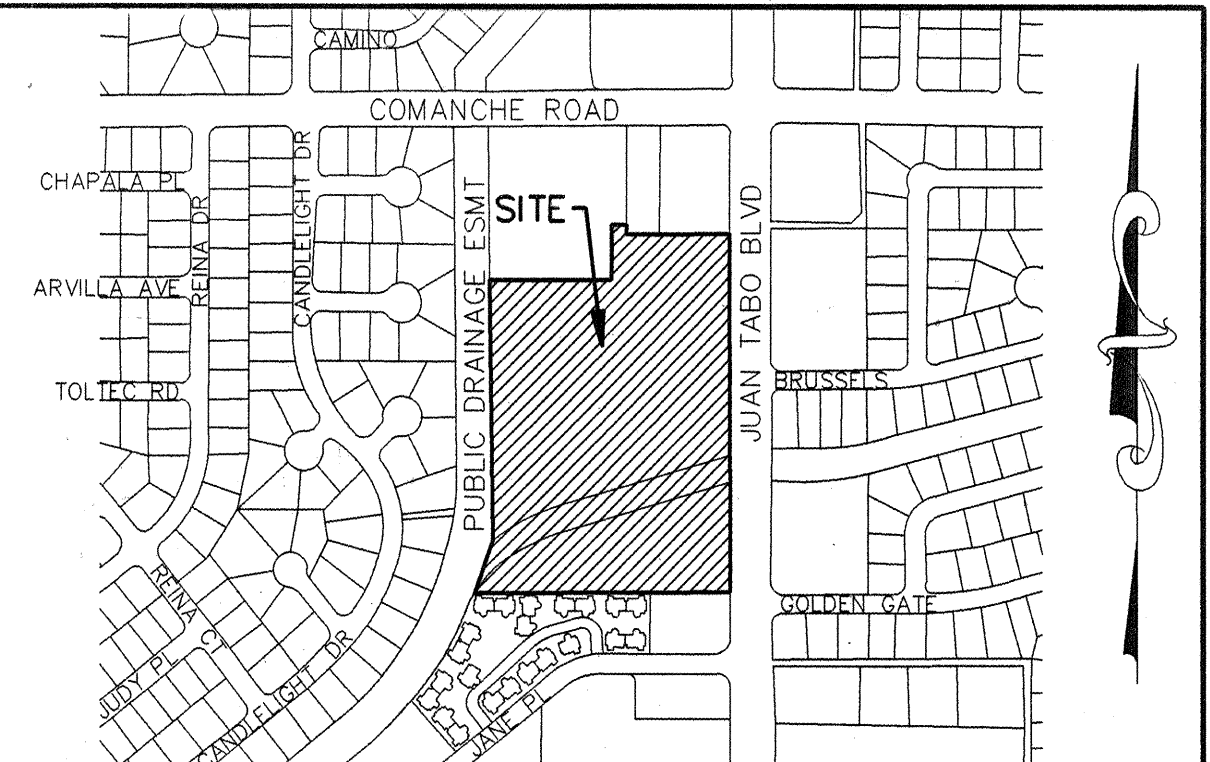
COA INSP. CLIFF PEDRONCELLI



RECORD DRAWING
DATE: 12-8-99

Bohannon & Huston
Courtyard One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109
ENGINEERS PLUMBERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER	DATE	*****	
		DRC Chairman	Bradley L. Bingham	6-21-99	APPROVED FOR CONSTRUCTION		
		Transportation	R. W. Kane	5-12-99			
		Water/Wastewater	R. W. Kane	6-14-99			
		Hydrology	John C. Cragg	5-18-99			
		Parks					
Const. Mngmt.					City Engineer	Date	
Const. Coord.							
City Project No.		613781		Sheet		Of	
DRB # 98-82				1		11	



VICINITY MAP
G-21-Z

NOTICE TO CONTRACTORS

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, INCLUDING UPDATE No. 6.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT SUCH CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED W/ PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR. ANY ROADWAY, IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS. ANY PERMANENT SURVEY MONUMENT LOCATED WITHIN 50' OF THE PROJECT LIMITS NOT SHOWN ON THE PLANS THAT IS DESTROYED DURING CONSTRUCTION WILL BE REPLACED AT DESIGNER'S EXPENSE.
- ANY WORK WITHIN AN ARTERIAL ROADWAY REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
- ALL UTILITY WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH NEW MEXICO UTILITIES, INC. SPECIFICATIONS FOR WATER AND WASTEWATER FACILITIES (MOST RECENT REVISIONS).
- THE CONTRACTOR SHALL NOTIFY NEW MEXICO UTILITIES (898-2661) THREE WORKING DAYS PRIOR TO BEGINNING THE CONSTRUCTION OF THE UTILITIES.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI - FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☒ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- ☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☒ IF CURB IS DEPRESSIONED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- ☒ THE REQUESTOR OR DEVELOPER SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ALL CURB AND GUTTER OR SIDEWALK DAMAGED AFTER APPROVAL BY THE CITY ENGINEER OF WORK COMPLETED BY THE CONTRACTOR.

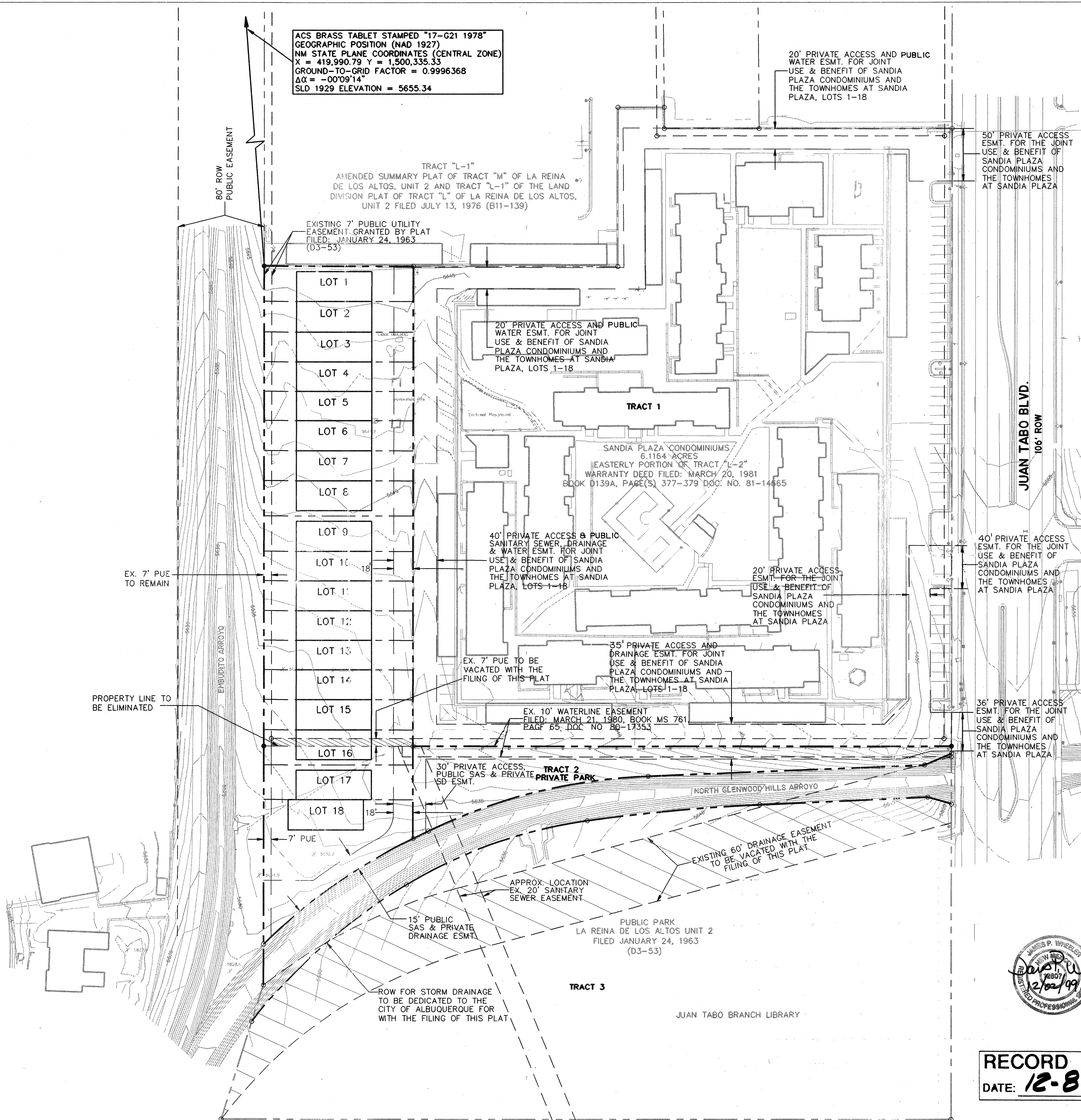
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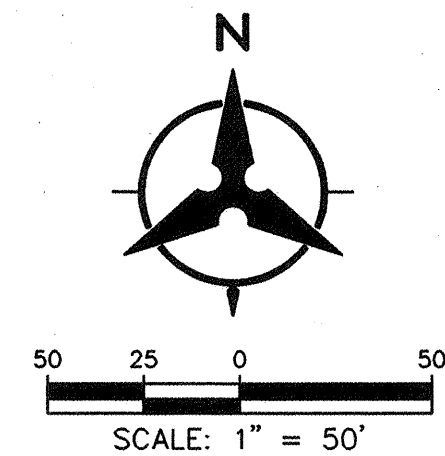
VICINITY MAP
ZONE ATLAS MAP NO. G-21-Z
N.T.S.

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	ADJOINING PROPERTY LINE
	MONUMENT TIE LINE
	EXISTING EASEMENT LINE
	NEW EASEMENT LINE
	FOUND REBAR W/CAP
	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
	EASEMENTS TO BE VACATED

SCANNED BY
MESA REPRO



PRELIMINARY PLAT FOR THE
TOWNHOMES AT SANDIA PLAZA
ALBUQUERQUE, NEW MEXICO
FEBRUARY, 1999
WESTERLY PORTION OF TRACT "L-2"
LAND DIVISION PLAT OF TRACT "L" OF
LA REINA DE LOS ALTOS, UNIT 2



GENERAL NOTES:

- EXISTING ZONING R-2
- GROSS ACRES AS CURRENTLY PLATTED: 2.8964 ACRES
NET ACREAGE AFTER ROW DEDICATION: 2.2401 ACRES
- TOTAL NUMBER OF LOTS: 18 LOTS
TRACT 2
- STORM DRAIN ROW: 0.55 ACRE
- PROPOSED DENSITY: 8.0 D.U./ACRE OVERALL
- MINIMUM LOT DIMENSIONS: REQUIRED: 22' x 100'
PROVIDED: 28' x 120'
- ALL UTILITIES AND DRAINAGE IMPROVEMENTS ARE TO BE PUBLIC, AND DEDICATED FOR MAINTENANCE TO THE CITY OF ALBUQUERQUE. ALL ACCESS EASEMENTS ARE FOR THE JOINT USE OF SANDIA PLAZA CONDOMINIUMS AND THE TOWNHOMES AT SANDIA PLAZA.
- LOTS SETBACKS SHALL CONFORM TO R-2 ZONE REGULATIONS. REQUIRED SET BACKS SHALL INCLUDE:
FRONT YARD: 20' (TYP.)
(15' w/20' TO GARAGE MIN.)
SIDE YARD: 5' (MIN.)
BACKYARD: 15' (MIN.)
- PRIVATE ACCESS AND DRAINAGE EASEMENTS TO BE MAINTAINED BY EXISTING HOMEOWNERS ASSOCIATION.

SURVEY NOTES:

- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.

W. C. Ch... 022599
CITY SURVEYOR DATE

Jude J. Baca 2-25-99
OWNER DATE

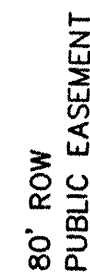
Ruth Pellegrino 4-5-99
RUTH PELLEGRINO, SANDIA PLAZA CONDOMINIUMS DATE



RECORD DRAWING
DATE: 12-8-99

Approved DRB
4/6/99

Bohannon & Huston
Surveyors
Engineers PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS



SUNGATE APARTMENTS

SANDIA PLAZA CONDOMINIUMS

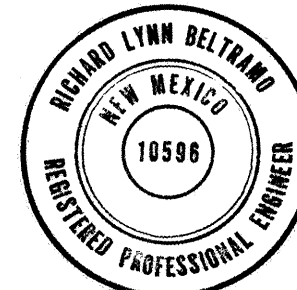
JUAN TABO BLVD.
106' ROW

GRADING & DRAINAGE CERTIFICATION

I, RICK BELTRAMO, OF BOHANNAN-HUSTON, N.M.P.E. # 10596
HEREBY CERTIFY THAT THE AS-BUILT DRAINAGE CONDITIONS
OF THE SITE ARE IN SUBSTANTIAL COMPLIANCE WITH THE
APPROVED GRADING AND DRAINAGE PLAN, TO THE BEST
OF MY KNOWLEDGE AND BELIEF. AS-BUILT ELEVATIONS,
VERIFIED BY BOHANNAN-HUSTON, ARE SHOWN ON THE PLAN.
THIS STATEMENT DOES NOT REPRESENT CERTIFICATION OF
CONTRACTOR'S METHODS OR MATERIALS.

NAME Ed Bell

DATE 12/13/99



SCANNED BY
MESA REPRO

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RECORD DRAWING

DATE: 12-8-99



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 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
TOWNHOMES AT SANDIA PLAZA
GRADING PLAN

Design Review Committee APPROVE JUN 21 1999 JUN 7 1 1999 DESIGN REVIEW COMMITTEE		City Engineer Approval		Last Design Update		Mo./Day/Yr. _____ _____ _____ _____ _____		Mo./Day/Yr. _____ _____ _____ _____ _____	
City Project No. G13781		Zone Map No. G-21-Z		Sheet X		Of X			

GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
3. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM AS PER DETAIL SHEET 3 AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
4. BOULDERS GREATER THAN 3 FEET IN DIAMETER, EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
5. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINES (WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY).
6. ALL DEVELOPED FLOWS SHALL DRAIN TOWARDS STREET.

VICINITY MAP
ATLAS MAP NO. G-21-Z
N.T.S.

AS-BUILT INFORMATION	CONTRACTOR CONCORD DATE
APPROVED BY BH	DATE 10/99
SUPPLIER'S	DATE 10/99
PREPARED BY BH	DATE 10/99
REVIEWED BY BH	DATE 10/99
RECORDED BY BH	DATE 12/99
INDEXED BY BH	DATE 12/99
AS-BUILT INFORMATION	RECORDED BY
DATE	DATE

BENCH MARKS

SURVEY INFORMATION

ENGINEER'S SEAL

BRADLEY L. BINGHAM
NEW MEXICO
12697
REGISTERED PROFESSIONAL ENGINEER
3/19/66

No.	Date	REMARKS	By
REVISIONS			
DESIGN			
Designed By: CAB		DATE: 02/16/99	
Drawn By: CAB		DATE: 02/16/99	

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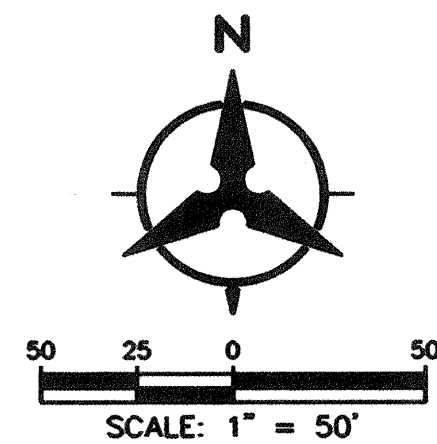
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PLATE 4

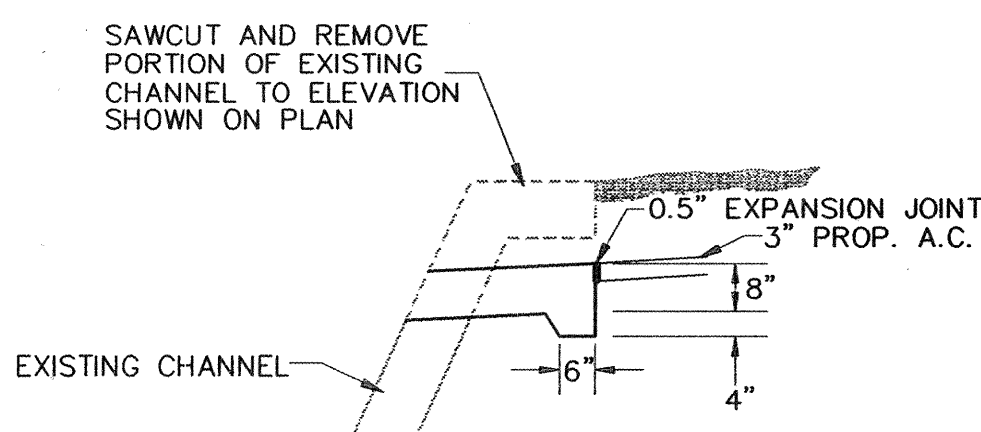
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FEBRUARY 16, 1999

SHEET 3 OF 11



ELEVATION TABLE			
POINT #	NORTHING	EASTING	FL ELEVATION
1	1500406.3300	420307.9609	5644.2 44.79
2	1500373.3299	420307.9278	5643.4
3	1500317.3300	420307.8716	5644.9 42.25
4	1500261.3300	420307.8154	5640.4 40.43
5	1500205.3300	420307.7592	5638.9 39.23
6	1500139.3301	420307.6929	5637.6
7	1500083.3301	420307.6367	5636.3
8	1500027.3301	420307.5805	5635.7
9	1499971.3301	420307.5243	5635.2
10	1499905.3302	420307.4581	5634.0 33.56
11	1499883.5287	420307.4362	5633.3 32.95
12	1499864.6641	420312.1351	5632.0 32.11
13	1499863.0547	420319.5539	5631.5
14	1499870.8655	420336.2044	5632.0
15	1499877.9793	420339.4283	5633.0 32.95
16	1499889.9780	420339.4404	5633.9 32.46
17	1499892.9750	420342.4434	5634.1 33.37
18	1499892.9579	420359.4434	5634.3 33.88
19	1499928.9579	420359.4795	5636.0 35.47
20	1499928.9746	420342.8606	5635.0 35.08
21	1499932.7275	420339.9596	5635.0 35.18
22	NOT USED		
23	1499943.9629	420354.4946	5635.3 36.18
24	1499943.9535	420363.8540	5636.5
25	1499934.1486	420357.6202	5636.8
26	1499933.4863	420386.9779	5637.1
27	1499943.9207	420396.5851	5636.8
28	1499943.7562	420560.6329	5644.0 41.91
29	1499943.6563	420667.3174	5646.0
30	1499943.5620	420754.1807	5649.3 43.29
31	1499946.1174	420761.4973	5648.58
32	1499938.2445	420764.4695	5649.0
33	1499938.6420	420773.1891	5649.1
34	1499947.0674	420782.3395	5650.0
35	1499957.0650	420793.1974	5650.28

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MEGA REPRO



CHANNEL RUN DOWN DETAIL
NTS

SUNGATE APARTMENTS

DUMPSTER PAD
SEE DETAIL, THIS SHEET

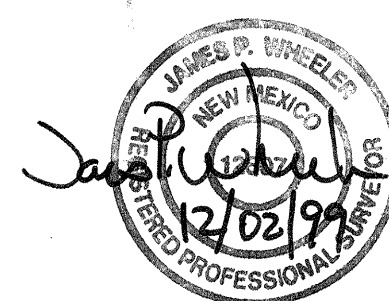
SANDIA PLAZA CONDOMINIUMS

JUAN TABO BLVD.
100' ROW

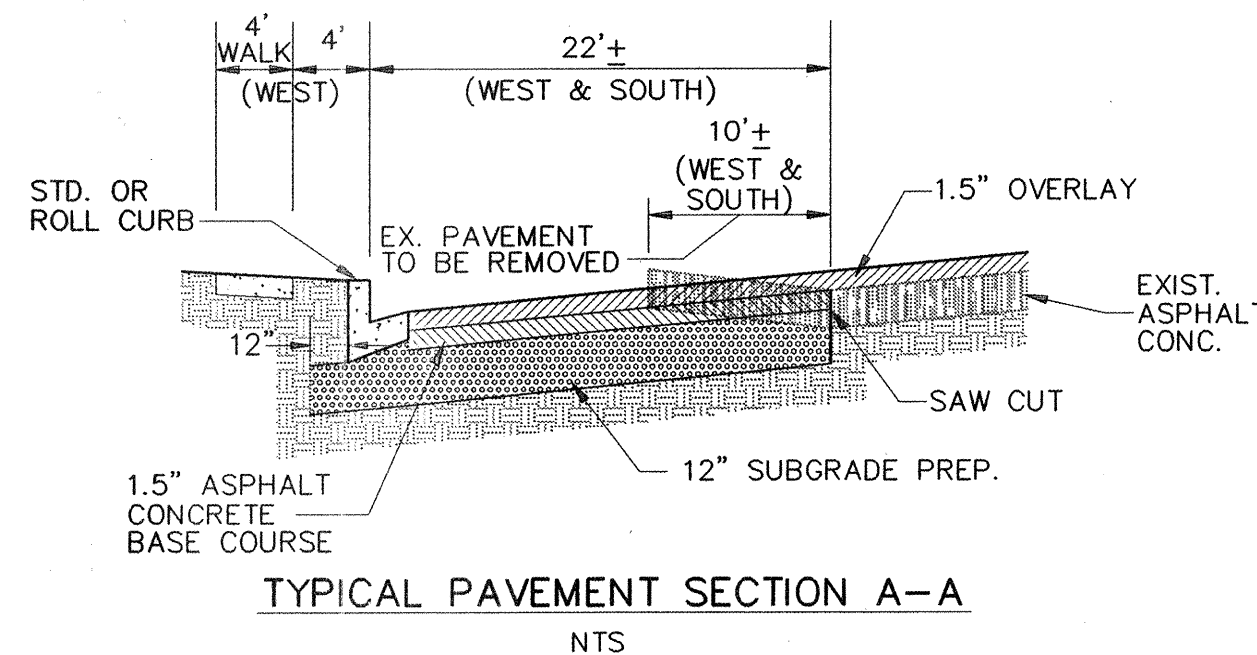
BRUSSELS
AVE.

SEE ENTRANCE
DETAILS, SHEET 7

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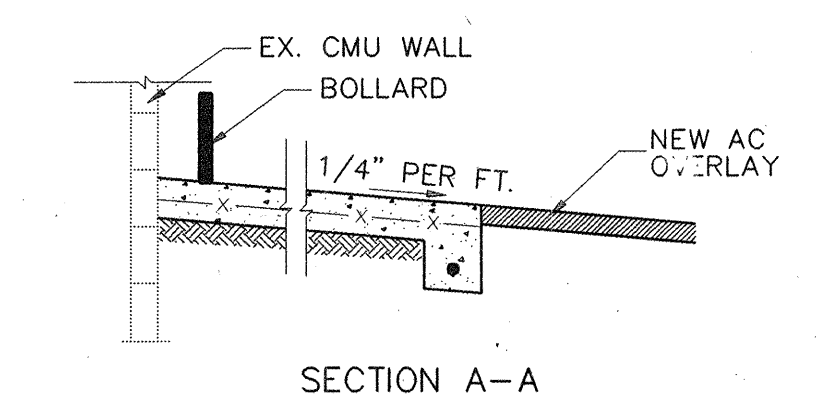
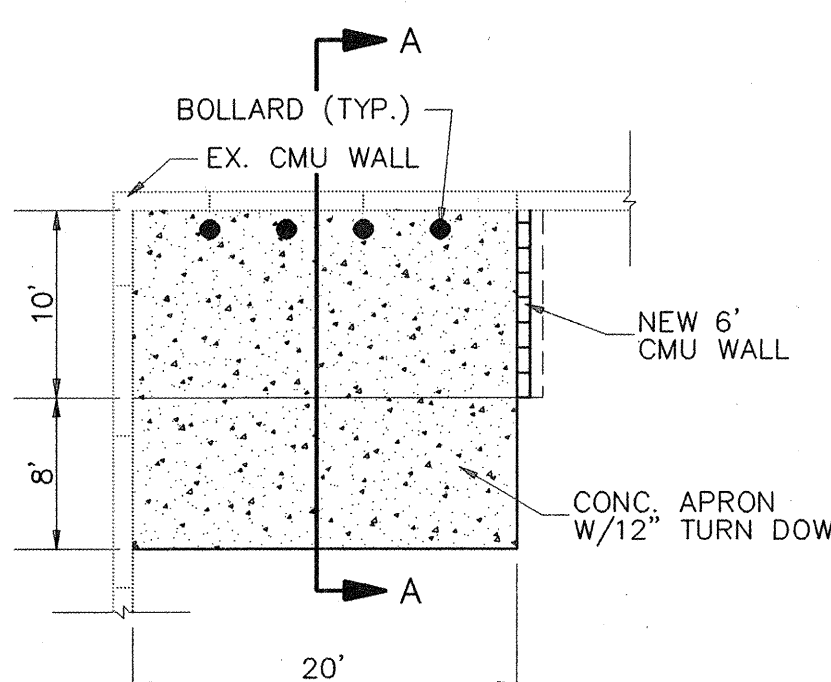
TYPICAL PAVEMENT SECTION A-A
NTS

LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- ADJOINING PROPERTY LINE
- MONUMENT TIE LINE
- EXISTING EASEMENT LINE
- NEW EASEMENT LINE
- FOUND REBAR W/CAP
- CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
- PROPOSED SAS MANHOLE
- PROPOSED WATERLINE VALVE
- PROPOSED WATER METER
- RELOCATED FIRE HYDRANT

KEYED NOTES

- INSTALL ASPHALT PAVING - SEE TYPICAL SECTION, THIS SHEET.
- STANDARD CURB & GUTTER PER COA STANDARD 2415.
- MOUNTABLE CURB PER COA STANDARD 2415.
- DEPRESSED GUTTER PER COA STANDARD 2415.
- 10' TRANSITION FROM STANDARD CURB & GUTTER TO DEPRESSED GUTTER.
- 10' TRANSITION FROM MOUNTABLE CURB & GUTTER TO STANDARD CURB & GUTTER.
- CONCRETE DUMPSTER PAD.
- 4' CONCRETE SIDEWALK (TYPICAL).
- ACCESS ROAD ENTRANCE PER COA STANDARD 2428.
- BUILD CHANNEL RUNDOWN - SEE DETAIL, THIS SHEET.



SECTION A-A

DUMPSTER PAD DETAIL
NTS

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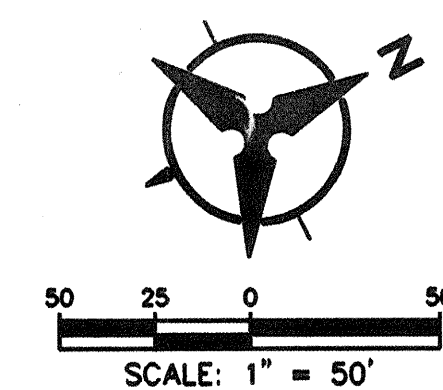
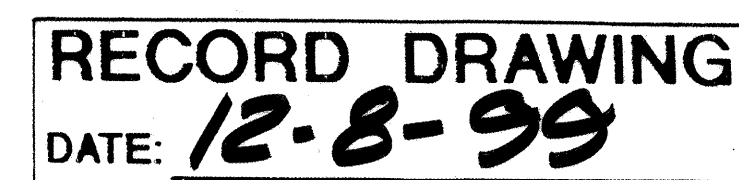
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
TOWNHOMES AT SANDIA PLAZA
PAVING PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
JUN 21 1999			
City Project No.	Zone Map No.	Sheet	Of
613781	G-21-7	4	11

SANITARY		LATERAL		INVERT @ END
LOT	STATION	OFFSET		
1	16+37.38	0.00'	RIGHT	5639.23
2	16+06.88	0.00'	RIGHT	5638.59
3	15+78.88	0.00'	RIGHT	5638.00
4	15+50.88	0.00'	RIGHT	5637.42
5	15+22.88	0.00'	RIGHT	5636.83
6	14+94.88	0.00'	RIGHT	5636.24
7	14+66.88	0.00'	RIGHT	5635.65
8	14+36.38	0.00'	RIGHT	5635.01
9	14+03.38	0.00'	RIGHT	5634.32
10	13+72.88	0.00'	RIGHT	5633.68
11	13+44.88	0.00'	RIGHT	5633.09
12	13+16.88	0.00'	RIGHT	5632.51
13	12+88.88	0.00'	RIGHT	5631.92
14	12+60.88	0.00'	RIGHT	5631.33
15	12+32.88	0.00'	RIGHT	5630.74
16	12+02.38	0.00'	RIGHT	5630.10
17	11+69.38	0.00'	RIGHT	5629.24
18	11+36.38	0.00'	RIGHT	5628.44

SANITARY SEWER LINE TABLE						
LINE	LENGTH	BEARING	START NORTHING	START EASTING	END NORTHING	END EASTING
L1	263.32	N84°02'48"E	1499788	419942	1499815	420204
L2	121.62	N61°10°44"E	1499815	420204	1499874	420310
L3	40.62	N00°03'27"E	1499874	420310	1499915	420310
L4	477.38	N00°03'27"E	1499915	420310	1500392	420311

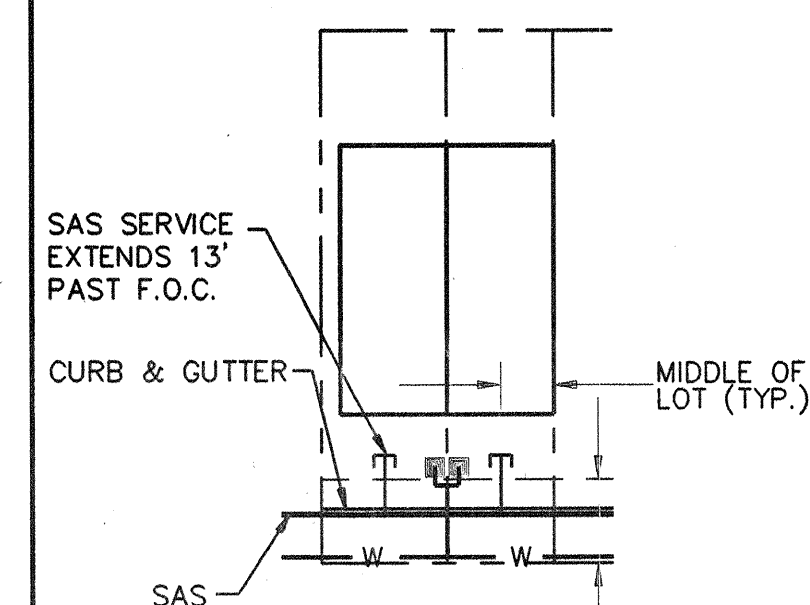


LEGEND

	PROPOSED SAS MANHOLE
	PROPOSED SAS SERVICE LATERAL
	PROPOSED WATERLINE VALVE
	PROPOSED WATER METER
	RELOCATED FIRE HYDRANT
	PROPOSED WATERLINE
	EXISTING WATERLINE

KEYED NOTES

- ① REMOVE AND DISPOSE OF EXISTING SANITARY SEWER MANHOLE.
- ② 3' OF EXISTING SANITARY SEWER TO BE ABANDONED IN PLACE. INSTALL CONCRETE PLUG IN MANHOLE IN SANITARY SEWER LINE.
- ③ REMOVE AND DISPOSE OF EXISTING SANITARY SEWER.
- ④ EXTEND EXISTING SANITARY SEWER TO PROPOSED MANHOLE (B).
- ⑤ RELOCATE EXISTING FIRE HYDRANT STA. 11+98.55 - 33.12' RT. FLANGE ELEV.
- ⑥ EXISTING FIRE HYDRANT TO REMAIN.
- ⑦ REMOVE AND DISPOSE OF EXISTING SANITARY SEWER MANHOLE. MANHOLE TO BE REPLACED.
- ⑧ REMOVE EXISTING 90° BEND
INSTALL 1-8" x 8" x 8" TEE
& 1-8" x 6" REDUCER
STA. 11+98.55 - 10.00' RT.
- ⑨ INSTALL 1 - 6" CAP W/BLOCKING
STA. 11+52.87 - 10.00' RT.



TYPICAL UTILITY SERVICE LOCATION
NO SCALE

NOTES

1. ALL SANITARY SEWER TO BE SDR-35.
2. ALL WATERLINE TO BE C-900.
3. WATERLINE BLOCKING TO BE PCC BLOCKING.
4. SEE SHEET 4 FOR PAVING PLAN.
5. SEE SHEET 6 FOR TYPICAL PAVING SECTIONS.
6. CONTRACTOR SHALL VERIFY THAT "R" VALUES FOR THIS PROJECT ARE GREATER THAN 50. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THE "R" VALUES ARE LESS THAN 50. A REDESIGN OF THE SUBGRADE WILL BE NECESSARY FOR "R" VALUES LESS THAN 50. CONTACT BRAD RINGHAM AT (505)823-1000.

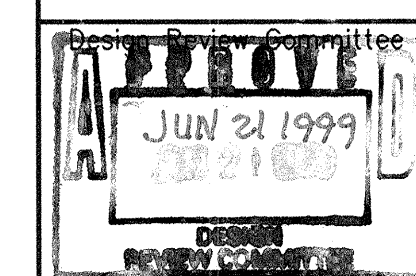
Bohannon ▲ Huston

 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TOWNHOMES AT SANDIA PLAZA UTILITY PLAN & PROFILE



City Project No.	613781	Zone Map No.	G-21-Z	Sheet	6	Of	11
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[illegible]

BENCH MARKS	AS-
JACS BRASS TABLET STAMPED "17-G21 1978"	CONTRACT
GEOGRAPHIC POSITION (NAD 1927)	INSPECTED BY
NM STATE PLANE COORDINATES (CENTRAL ZONE)	ACCEPTANCE
X = 419,990.79 Y = 1,500,335.33	REVISION
GROUND-TO-GRID FACTOR = 0.9996368	DRAWINGS
$\Delta\alpha = -00^{\circ}09'14''$	MICRO
SLD 1929 ELEVATION = 5655.34	RECORDED
	NO.

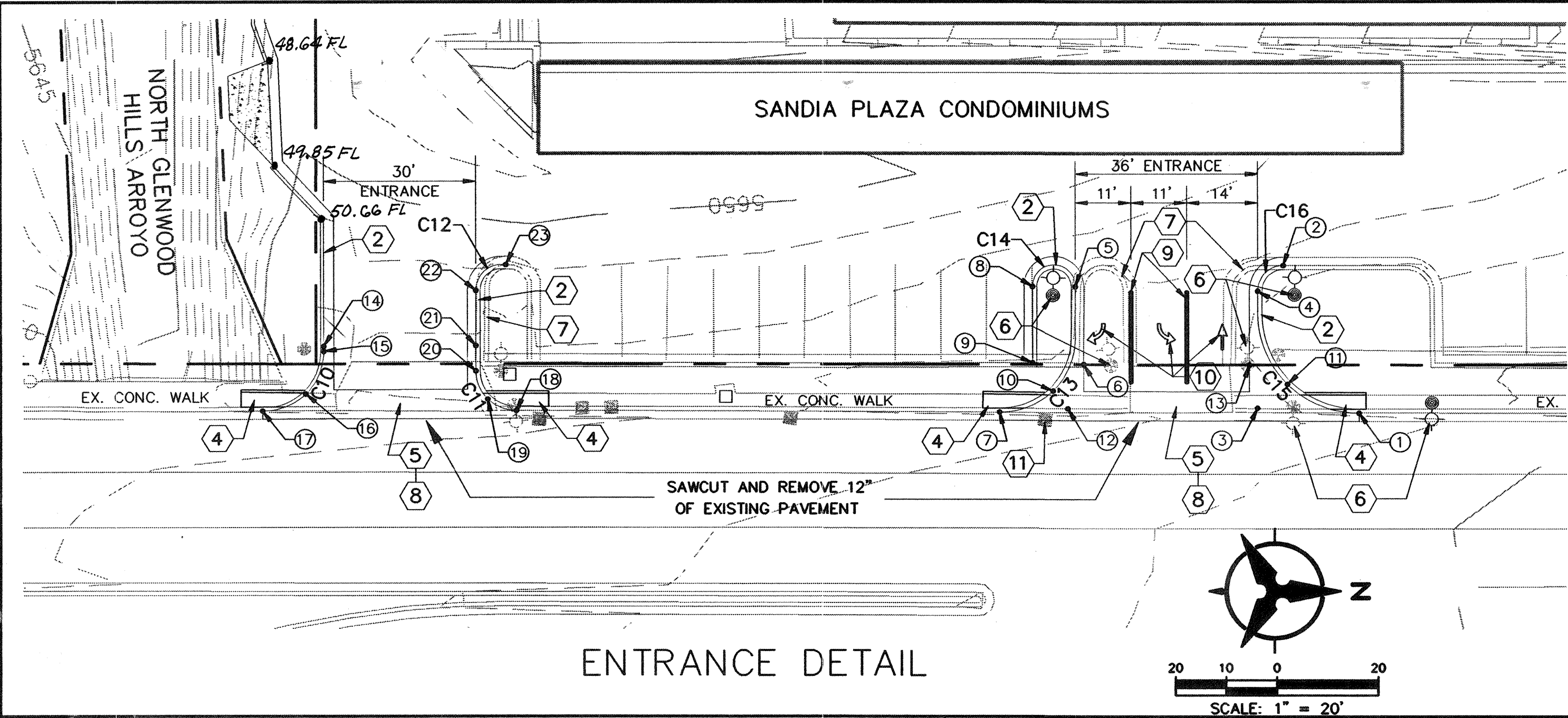
[illegible]

ENGINEER'S SEAL

BRADLEY L. BINGHAM
NEW MEXICO
12697
REGISTERED PROFESSIONAL ENGINEER
5/11/69

[illegible]

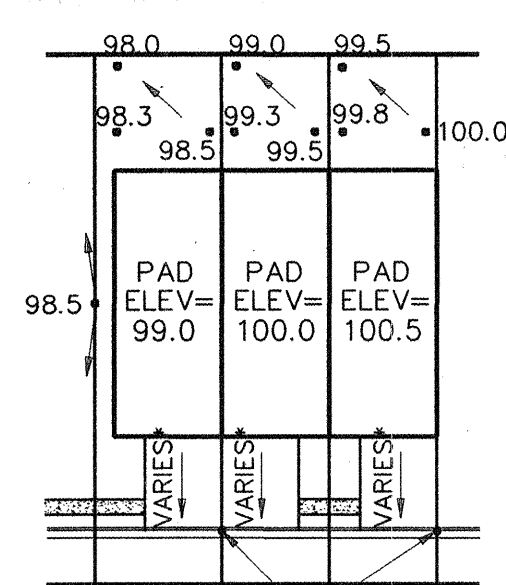
WERQUE STMENT MPMENT GROUP		
DIA PLAZA DFILE		
Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
No.	Sheet	Of
— Z	6	11



CURVE TABLE						
CURVE	RADIUS	ARC	TANGENT	CHORD	CHORD BEARING	DELTA
C10	12.00	18.90	12.05	17.01	N44°52'19"W	90°15'23"
C11	8.00	12.55	7.98	11.30	N45°03'36"E	89°52'47"
C12	5.00	7.85	5.00	7.07	S45°00'00"E	90°00'00"
C13	15.00	23.56	15.00	21.21	N44°58'04"W	90°00'00"
C14	4.23	13.29	8.46	8.46	S00°01'56"W	180°00'00"
C15	20.00	31.40	19.99	28.28	N45°03'01"E	89°57'50"
C16	5.00	7.85	5.00	7.07	S44°57'37"E	89°59'06"

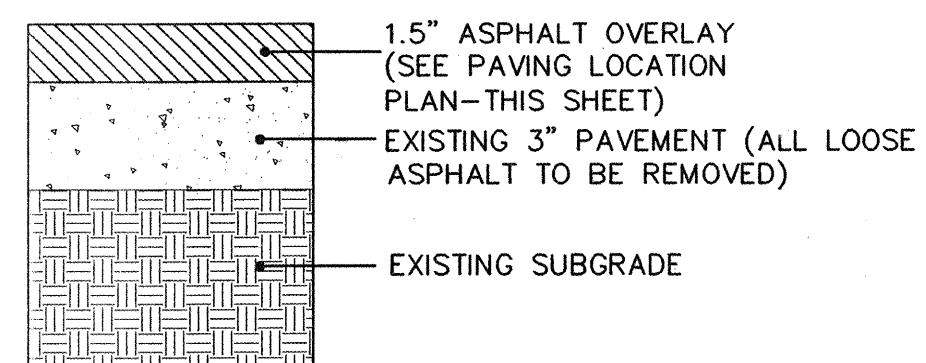
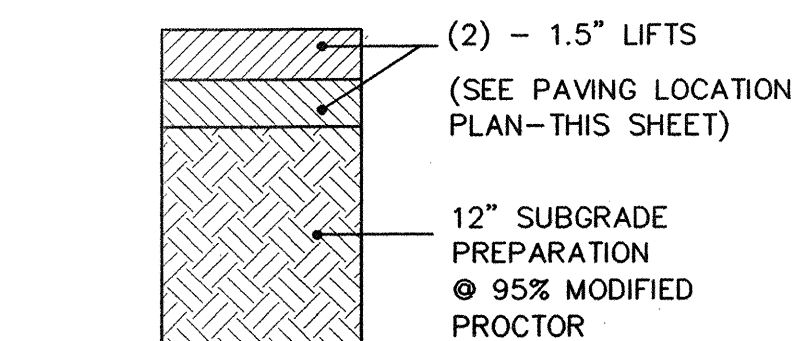
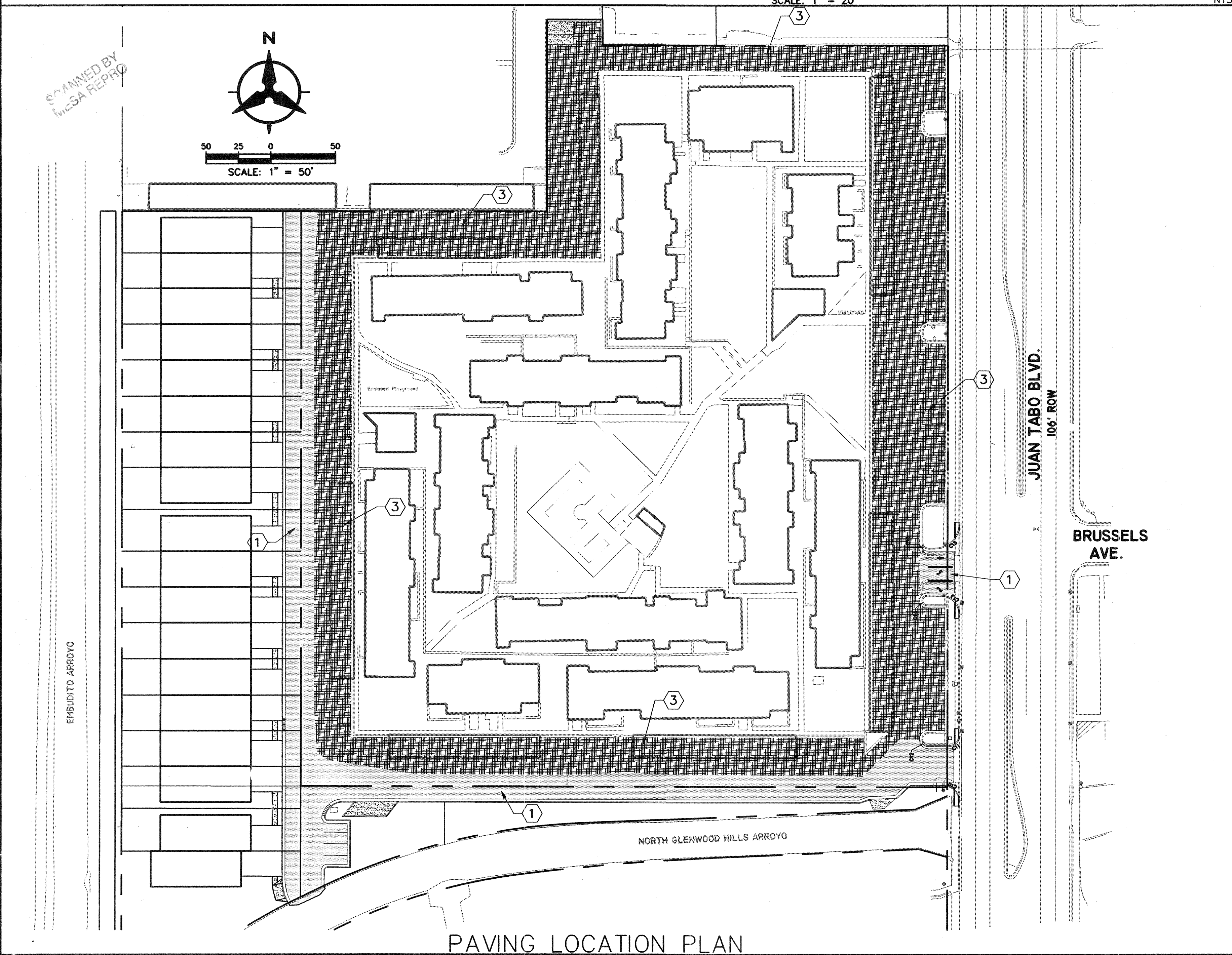
FLOWLINE POINTS DATA			
PT.	NORTHING	EASTING	ELEV.
1	1500161.33	420831.87	5653.7*
2	1500146.36	420802.41	5653.5*
3	1500141.34	420831.77	5653.4
4	1500141.35	420807.40	5653.8*
5	1500105.35	420806.54	5652.8*
6	1500107.02	420822.17	5652.1*
7	1500090.34	420831.74	5652.7*
8	1500096.89	420806.53	5652.4*
9	1500096.89	420821.80	5652.8*
10	1500100.95	420827.35	5653.0
11	1500147.20	420826.00	5653.5
12	1500105.34	420831.82	5652.9
13	1500139.68	420822.20	5653.6*
14	1499957.06	420818.47	5652.9
15	1499957.06	420819.49	5652.8*
16	1499953.53	420828.00	5652.5
17	1499945.01	420831.49	5652.2*
18	1499995.05	420831.41	5652.7*
19	1499989.40	420829.06	5652.5
20	1499987.06	420823.41	5652.8*
21	1499987.06	420818.34	5652.8*
22	1499987.06	420807.30	5652.2*
23	1499992.95	420802.30	5651.6*

*MATCH TO EXISTING CURB ELEVATION

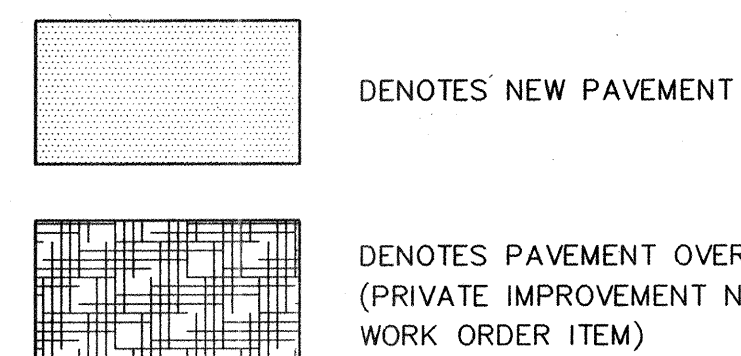


KEYED NOTES

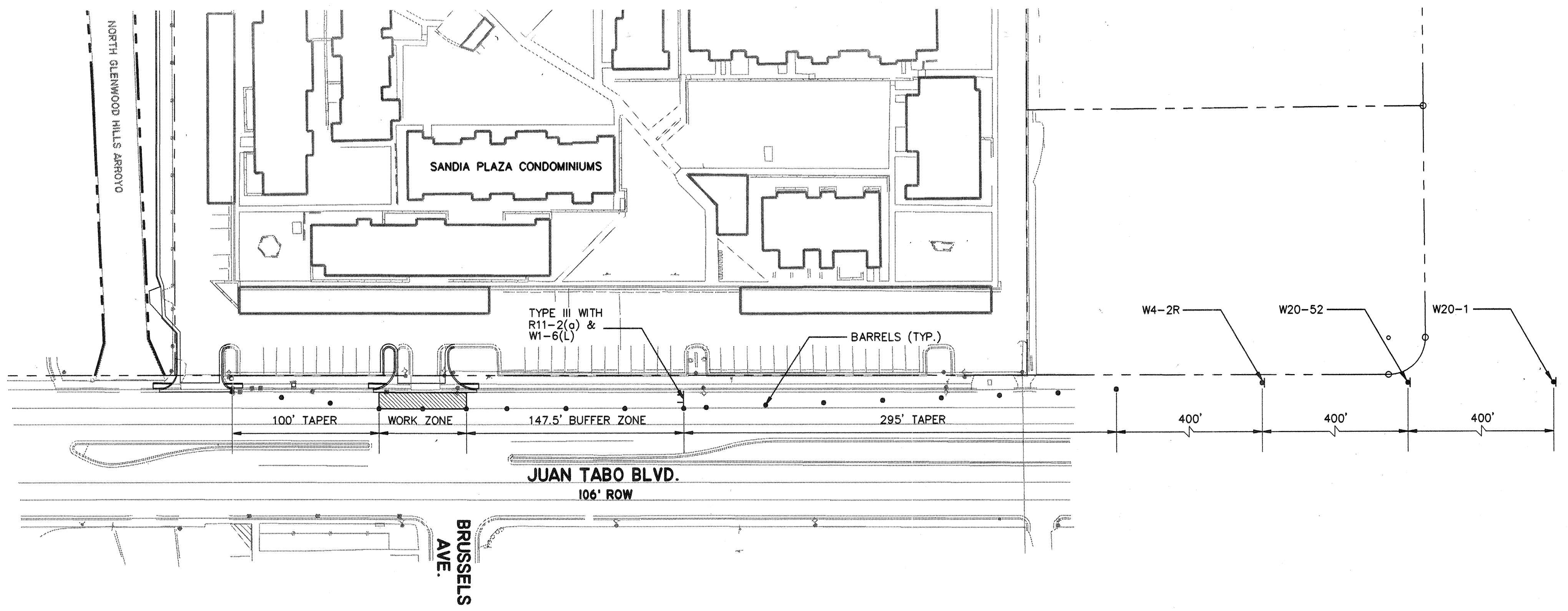
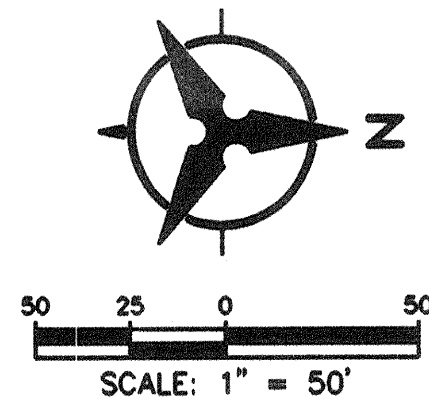
- INSTALL ASPHALT PAVING - SEE TYPICAL SECTION, THIS SHEET.
- STANDARD CURB & GUTTER PER COA STANDARD 2415.
- INSTALL ASPHALT OVERLAY-SEE TYPICAL SECTION, THIS SHEET.
- INSTALL WHEEL CHAIR RAMP-SEE DETAIL, THIS SHEET.
- INSTALL CONCRETE VALLEY GUTTER PER COA STANDARD 2420.
- RELOCATE EXISTING STREET LIGHT.
- REMOVE AND DISPOSE OF EXISTING CURB AND GUTTER.
- REMOVE AND DISPOSE OF EXISTING ENTRANCE.
- 4" WIDE WHITE LANE MARKINGS, PLASTIC.
- REFLECTORIZED PAVEMENT MARKINGS, PLASTIC.
- MODIFY DROP INLET PER DETAIL, THIS SHEET.



LEGEND

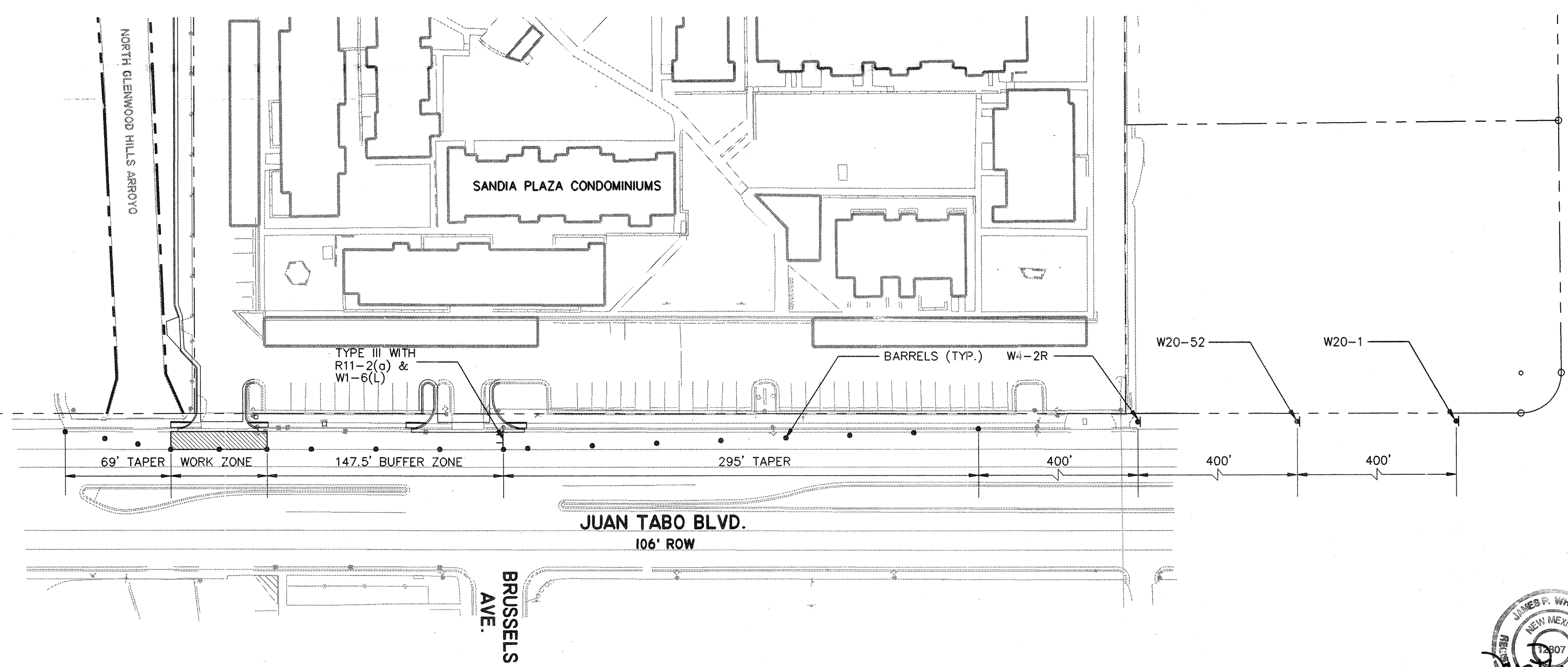
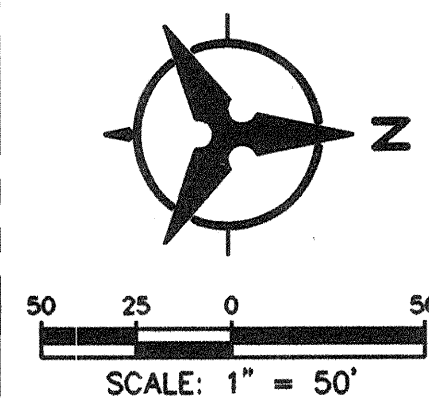


ENGINEER'S SEAL 		RECORD DRAWING DATE: 12-8-99	
BOHANNAN & HUSTON Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS		CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP TOWNHOMES AT SANDIA PLAZA DETAILS	
No. _____ Date _____ City _____	REMARKS REVISIONS DESIGN	Designed By: CAB Drawn By: CAB Checked By: BB	DATE: 02/16/99 DATE: 02/16/99 DATE: 02/16/99
City Project No. 613781		Zone Map No. G-21-Z Sheet 7 Of 11	



PHASE 1

SCANNED BY
MESA REPRO



PHASE 2



RECORD DRAWING
DATE: **12-8-99**

- TRAFFIC CONTROL PLAN
1. CONTRACTOR SHALL ERECT AND MAINTAIN BARRICADES PER THE TRAFFIC CONTROL PLAN, THIS SHEET.
 2. CONTRACTOR SHALL MAINTAIN BARRICADES FOR THE DURATION OF CONSTRUCTION ACTIVITIES.
 3. CONTRACTOR SHALL REMOVE BARRICADES AT COMPLETION OF THIS PROJECT.
 4. MAXIMUM NUMBER OF DAYS ALLOWED FOR WORK:
PHASE I: 4 DAYS
PHASE II: 4 DAYS
 5. BARRELS ARE SPACED @ 40' UON.

NOTE
CONTRACTOR SHALL PERFORM AS MUCH WORK AS POSSIBLE PRIOR TO AFFECTING TRAFFIC ON JUAN TABO BLVD.

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
1	12/1/99	17-G21 1978"	12/1/99	1	12/1/99	1	12/1/99
2	12/1/99	ACS BRASS TABLET STAMPED "17-G21 1978"	12/1/99	2	12/1/99	2	12/1/99
3	12/1/99	GEODETIC POSITION (NAD 1927)	12/1/99	3	12/1/99	3	12/1/99
4	12/1/99	NM STATE PLANE COORDINATES (CENTRAL ZONE)	12/1/99	4	12/1/99	4	12/1/99
5	12/1/99	X = 419,990.79 Y = 1,500,335.33	12/1/99	5	12/1/99	5	12/1/99
6	12/1/99	GROUND-TO-GRID FACTOR = 0.9996368	12/1/99	6	12/1/99	6	12/1/99
7	12/1/99	GROUND-TO-GRID FACTOR = 0.9996368	12/1/99	7	12/1/99	7	12/1/99
8	12/1/99	SLD 1929 ELEVATION = 5655.34	12/1/99	8	12/1/99	8	12/1/99
9	12/1/99		12/1/99	9	12/1/99	9	12/1/99
10	12/1/99		12/1/99	10	12/1/99	10	12/1/99
11	12/1/99		12/1/99	11	12/1/99	11	12/1/99
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35	12/1/99		12/1/99	35	12/1/99	35	12/1/99
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141	12/1/99		12/1/99	141	12/1/99	141	12/1/99
142	12/1/99		12/1/99	142	12/1/99	142	12/1/9



BORING.dwg 6-2-99 4:05:27 pm MST

AS-BUILT INFORMATION	
CONTRACTOR <i>CONDOZE</i>	DATE
WORK ORDER	DATE <i>10/99</i>
INSPECTOR'S ACCEPTANCE BY <i>BH</i>	DATE <i>10/99</i>
REVISIONS BY <i>BH</i>	DATE <i>10/99</i>
PROGRAMS CORRECTED BY <i>BH</i>	DATE <i>12/99</i>
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

BENCH MARKS
ACS BRASS TABLET STAMPED "17-C21 1978"
GEOGRAPHIC POSITION (NAD 1927)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X = 419,990.79 Y = 1,500,335.33
GROUND-TO-GRID FACTOR = 0.9996368
$\Delta\alpha = -00^{\circ}09'14"$
SLD 1929 ELEVATION = 5655.34

[illegible]

ENGINEER'S SEAL

BRADLEY L. BINGHAM
NEW MEXICO
12697
REGISTERED PROFESSIONAL
6/3/99

[illegible]

Bohannon ▲ Huston

 **Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87111**

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

	CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP		
	TOWNHOMES AT SANDIA PLAZA BORING LOCATION PLAN AND ASBUILT CONDITIONS		
Design Review Committee 	City Engineer Approval 	Last Design Update Mo./Day/Yr. 	Mo./Day/Yr.
City Project No. 613781	Zone Map No. G-21-Z	Sheet 11	Of 11