

CONSTRUCTION PLANS
FOR
**RIVERSIDE ESTATES
SUBDIVISION**

COUNTY ROADWAY, & CITY WATER,
SEWER, AND SERVICE LINE IMPROVEMENTS

INDEX

SHEET NO.

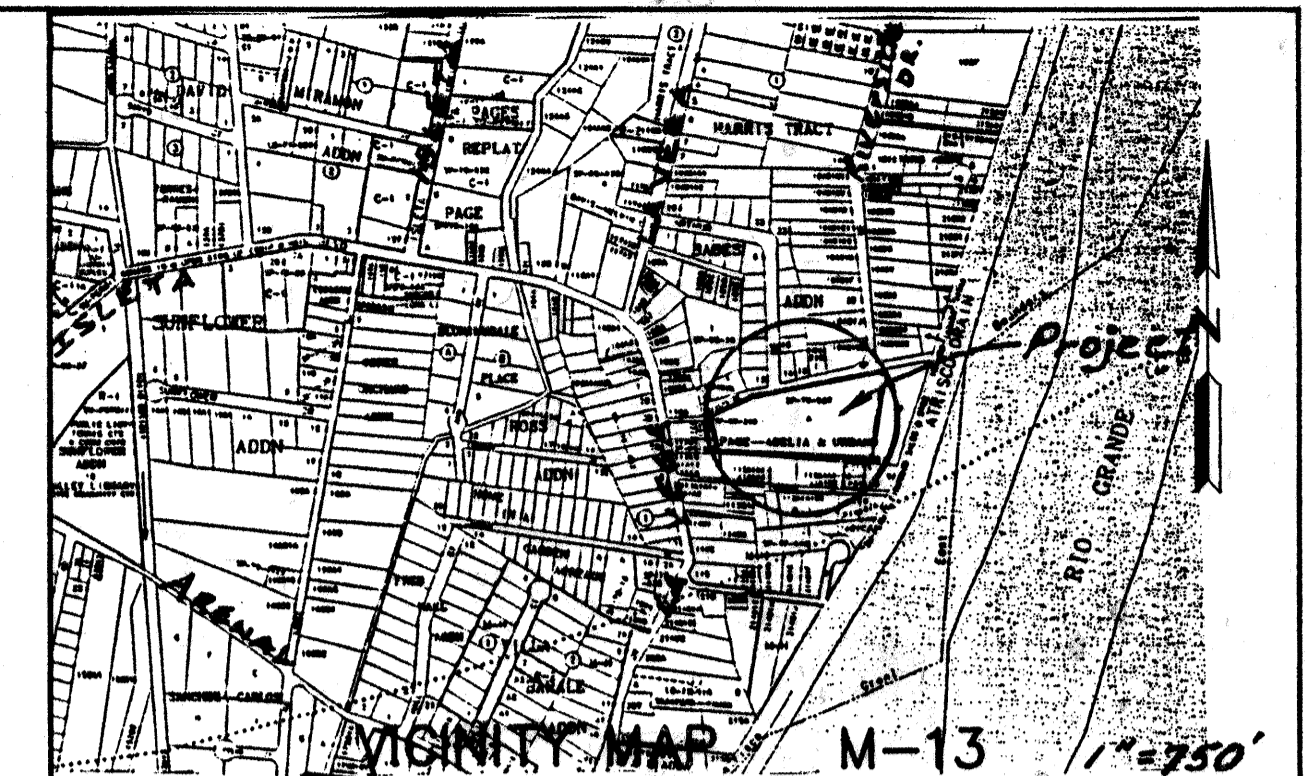
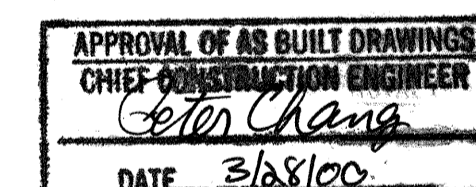
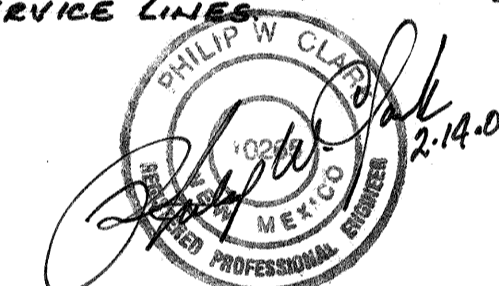
TITLE

1
2
3
4
5/6

COVER SHEET, Index & Notes
PRELIMINARY PLAT
GRADING AND DRAINAGE PLAN/REPORT
ROADWAY, WATER/SEWER PLAN & PROFILES
TRAFFIC CONTROL PLANS

AS-CONSTRUCTED

I, PHILIP W. CLARK, PROFESSIONAL ENGINEER, REGISTERED IN ACCORDANCE WITH THE LAWS IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE ROADWAY, GRADING AND DRAINAGE IMPROVEMENTS WERE CONSTRUCTED AS SHOWN, including CITY Water, SEWER & SERVICE LINES.



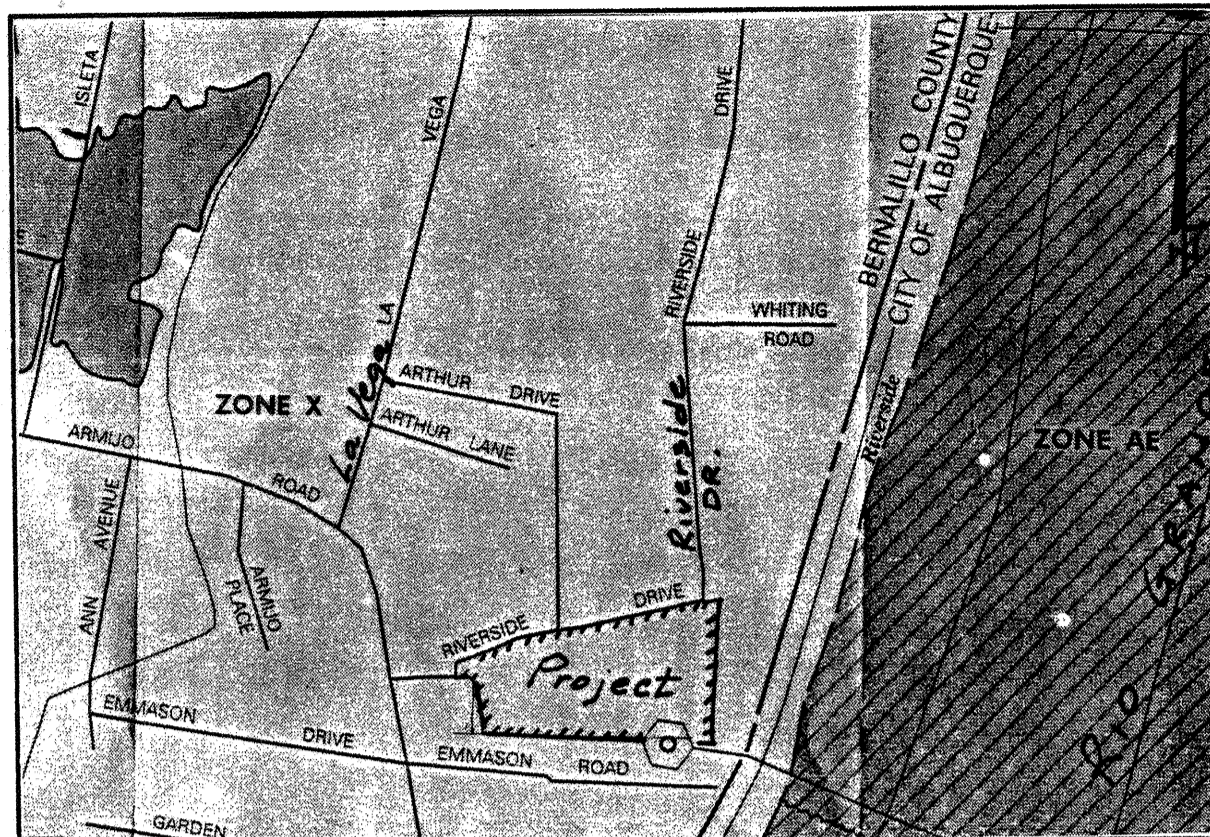
GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS, FOR PUBLIC WORKS CONSTRUCTION (1986 EDITION AS AMENDED TO DATE), & Bernalillo County Street Standards.
- ALL WORK PERFORMED ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- CONTRACTOR SHALL NOTIFY AND COORDINATE ALL CONSTRUCTION TWO WEEKS PRIOR TO START WITH THE FOLLOWING UTILITIES: US WEST COMMUNICATIONS, PUBLIC SERVICE CO. OF NEW MEXICO, GAS AND ELECTRIC SERVICES.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVING.
- BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE COUNTY ENGINEER.
- FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE COORDINATION DIVISION, A DETAILED CONSTRUCTION SCHEDULE REGARDING TRAFFIC CONTROL. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM SAME DIVISION. CONTRACTOR SHALL NOTIFY THE BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION, AS PER SECT. 19 OF THE SPECIFICATIONS.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED BY CONTRACTOR TO EXISTING LOCATION WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS, OR AS SHOWN IN THIS PLAN SET.

Clark Consulting Engineers
19 Ryan Road Edgewood, New Mexico 87015
(505) 281-2444 FAX (505) 281-2444

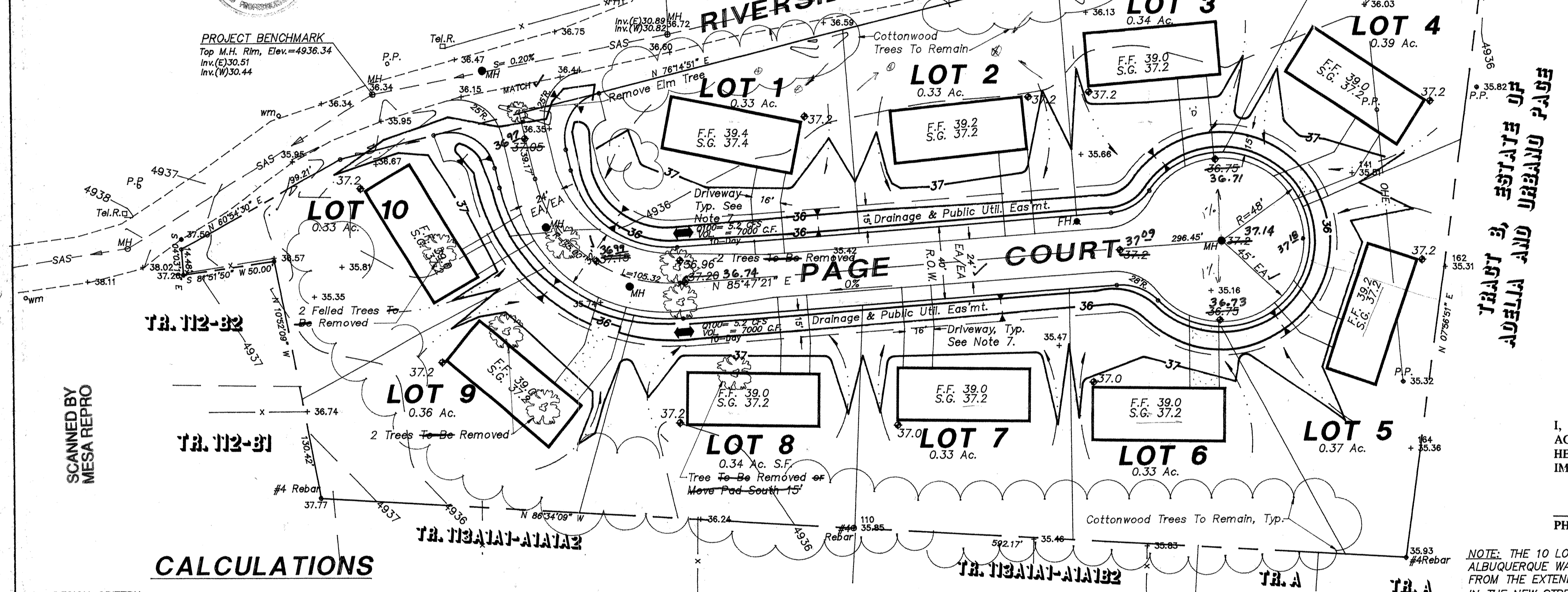
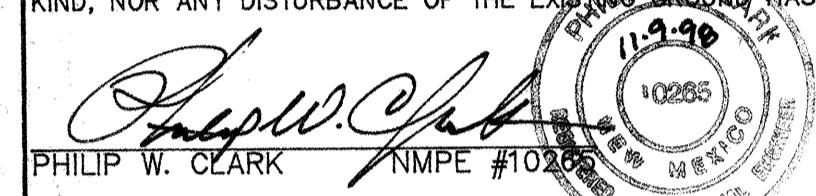
County of Bernalillo
&
CITY OF
Albuquerque

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEER'S STAMP & SIGNATURE		APPROVALS		ENGINEER	DATE	*****	
		D.F. Chairman		Billy G. Goodale	7-12-99	APPROVED FOR CONSTRUCTION (Water and Sewer - City Services)	
		Transportation		N/A County			
		Water/Wastewater		R.W. Karris	6-17-99		
		Hydrology		N/A County			
		Parks					
		Constr. Mngmt.				City Engineer Date	
		Constr. Coord'r.		J.D. [Signature]	7-15-99		
		City Project No.		6143.81		Sheet 1 of 6	



FIRM MAP, PANEL 341 @ 1"=500'

I, PHILIP W. CLARK, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON, AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO EARTHWORK OF ANY KIND, NOR ANY DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.



CALCULATIONS

I. DESIGN CRITERIA

HYDROLOGIC METHODS PER SECTION 22.2, HYDROLOGY, OF THE DEVELOPMENT PROCESS MANUAL (DPM), REVISED JANUARY 1993 FOR THE CITY OF ALBUQUERQUE AND ADOPTED BY THE COUNTY OF BERNALILLO.
DISCHARGE RATE: $Q = \text{Open } x \text{ AREA} \times \text{PEAK DISCHARGE RATES FOR SMALL WATERSHEDS}$
VOLUMETRIC DISCHARGE: $\text{VOLUME} = \text{EWEIGHTED } x \text{ AREA}$
SOIL TYPE: 'B', Emb Series, Embudo, A GRAVELLY FINE SANDY LOAM AS CLASSIFIED BY THE SOIL CONSERVATION SERVICE
T100 = 2.2 INCHES, ZONE 1, TIME OF CONCENTRATION, TC = 10 MINUTES
DESIGN STORM: 100-year/6-hour, 10-year/6-hour WHERE [] = 10 YEAR VALUES

II. EXISTING CONDITIONS

PROJECT AREA = 4 ACRES, WHERE EXCESS PRECIPITATION 'A' = 0.4 IN. [0.08]
PEAK DISCHARGE, Q100 = 5.2 CFS [0.8], WHERE UNIT PEAK DISCHARGE 'A' = 1.3 CFS/ACRE [0.2]
THEREFORE: $\text{VOLUME}_{100} = 5808 \text{ C.F. [1162] C.F.}$

III. DEVELOPED CONDITIONS

DETERMINE LAND TREATMENTS, PEAK DISCHARGE & WEIGHTED EXCESS PRECIPITATION

	AREA	LAND TREATMENT	UNIT PEAK DISCHARGE	'E'
UNDEVELOPED, 15%	0.60 AC.	A	1.29[0.24]	0.4[0.08]
LANDSCAPING, 46%	1.80 AC.	B	2.03[0.76]	0.67[0.22]
GRAVEL & COMPACTED SOIL	0.60 AC. 15%	C	2.87[1.49]	0.99[0.44]
ROOF/PAVEMENT, 24%	1.00 AC.	D	4.40[2.90]	1.97[1.24]
	4.00 ACRES			

Eweighted = 1.0 IN. [0.49]

Q100 = 10.55 CUBIC FEET PER SECOND (CFS) Q10 = 5.3 CFS; VOL100 = 14520 CUBIC FEET (CF)
THEREFORE APPROX. DISCHARGE PER ACRE = 2.6 CFS /ACRE

NOTE: THIS EXCEEDS THE ALLOWABLE DISCHARGE PER ACRE = HISTORIC = 1.3 CFS.....PONDING REQUIRED

$$\text{VOL}_{10-\text{DAY}} = \text{VOL}_{100} + \frac{A_p(P_{10-\text{DAY}} - P_{360})}{12} + 43560$$

$$= 14520 \text{ CF} + 1.0 \text{ AC}(3.67 - 2.2)/12 \text{ in.} + 43560$$

$$= 14520 + 5336 = 19,856 \text{ C.F.}$$

$$\text{POND VOLUME REQUIRED} = \text{VOL}_{10-\text{DAY}} - \text{VOL}_{\text{EXISTING}} = 19,856 - 5808 = 14,048 \text{ C.F. (TOTAL, 10 LOTS)}$$

$$\text{POND VOLUME PROVIDED} = 1058 \text{ L.F. } x \text{ CROSS-SECTION AREA} = 1058 \times 15.0 \text{ SF} = 15,870 \text{ C.F.} \sim \text{OK}$$

IV. QUANTIFY UP-STREAM RUNOFF IMPACTING THE PROPERTY

DUE TO THE FLAT TERRAIN OF ADJACENT UPSTREAM PROPERTY, NO IMPACT

GRADING & DRAINAGE PLAN

THE PROPOSED RESIDENTIAL HOME SUBDIVISION IS LOCATED IN THE SOUTH VALLEY AREA OF BERNALILLO COUNTY APPROXIMATELY 3 MILES SOUTHWEST OF THE DOWNTOWN CORE OF ALBUQUERQUE, NEW MEXICO. THE GRADING AND DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE BERNALILLO COUNTY FLOOD HAZARD ORDINANCE, NO.88-46, AND STORM DRAINAGE, NO.96-5. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR SUBDIVISION PLAT APPROVAL AND ULTIMATE BUILDING PERMIT. THE PROPOSED PLAN SHOWS:

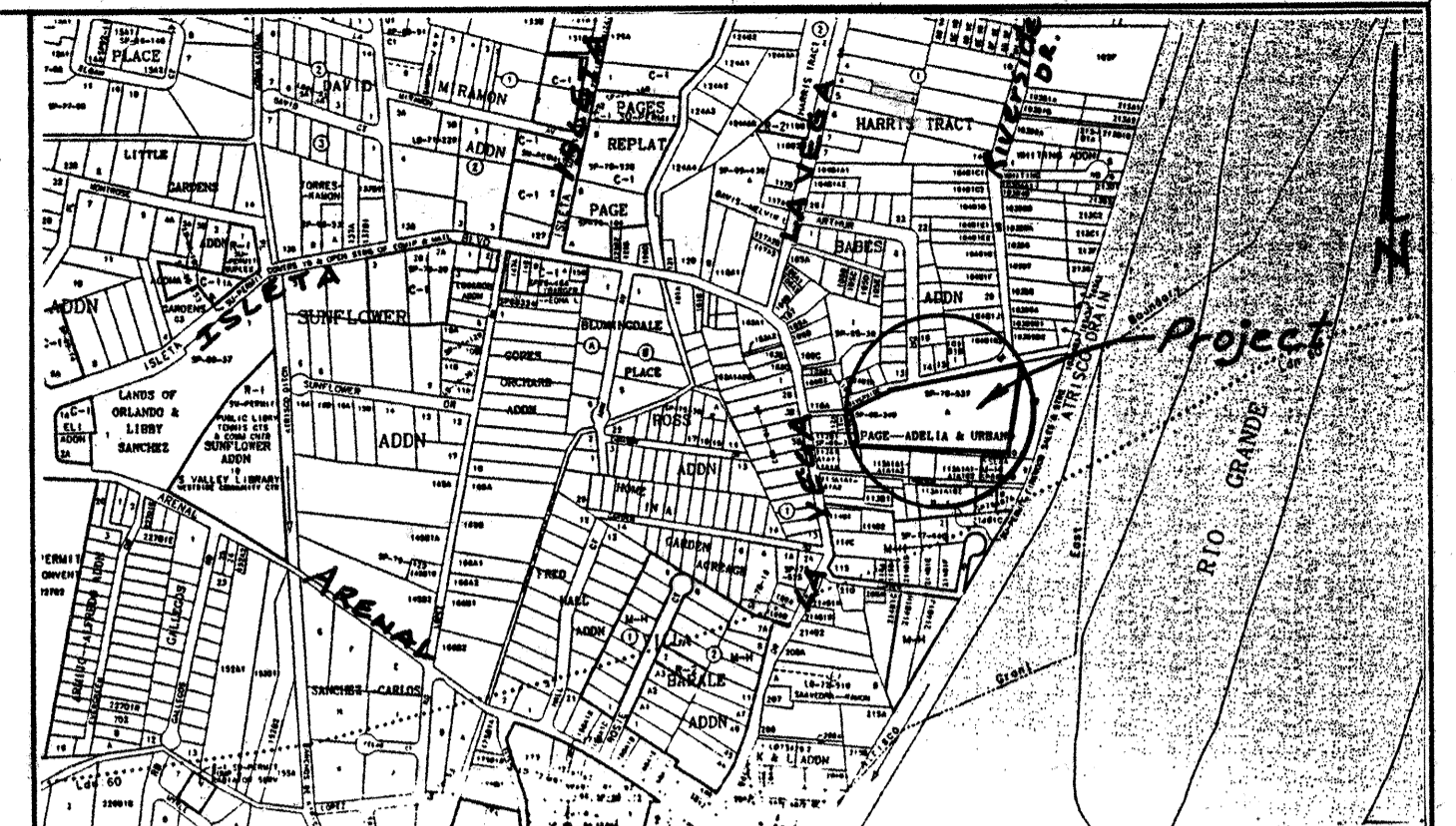
- 1.) EXISTING AND NEW CONTOURS WITH EXISTING AND NEW SPOT ELEVATIONS.
- 2.) PROPOSED IMPROVEMENTS, RESIDENCES, PAVED COUNTY ROADWAY, DRIVEWAYS, RETENTION PONDING, AND NEW GRADE ELEVATIONS, AND UTILITIES.
- 3.) CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
- 4.) QUANTIFICATION AND ACCEPTANCE OF UPSTREAM, OFF-SITE FLOWS WHICH CONTRIBUTE TO THE DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS.

THE PURPOSE OF THE PLAN IS TO ESTABLISH CRITERIA FOR CONTROLLING STORM RUN-OFF GENERATED BY THE PROPOSED IMPROVEMENTS, ESSENTIALLY ALLOWING HISTORIC OFF-SITE AREAS TO DRAIN THROUGH THE PROPERTY AFTER DEVELOPMENT. THE PLAN DETERMINES THE RUN-OFF RESULTING FROM THE 100-YEAR/6-HOUR DURATION STORMS FOR BOTH THE EXISTING AND DEVELOPED CONDITIONS.

PRESENTLY, THE SITE IS BOUNDED ON THE EAST BY A DEVELOPED LOT. PROPERTY ADJACENT TO THE SOUTH IS ALSO CURRENTLY DEVELOPED. RIVERSIDE DRIVE ALONG THE PROPERTY NORTH FRONTAGE IS PRESENTLY A MAINTAINED, IMPROVED, PAVED COUNTY ROADWAY SITUATED WITHIN A NON-STANDARD, VARYING WIDTH RIGHT-OF-WAY. ADJOINING PROPERTY TO THE WEST IS ALSO DEVELOPED. THE SITE IS ESSENTIALLY FLAT WITH NO POSITIVE SHEET FLOW CAPABILITY TYPICAL OF THE SOUTH VALLEY AREA. NO OFFSITE DRAINAGE FLOWS IMPACT THE SITE. THIS PROPERTY IS NOT ENCUMBERED BY A DESIGNATED 100-YEAR FEMA FLOOD PLAIN. SEE FIRM MAP UPPER LEFT, THIS SHEET.

THE OVERALL DRAINAGE CONCEPT WILL ENTAIL THE ESTABLISHMENT OF A CONTIGUOUS 15' WIDE DRAINAGE EASEMENT FOR RETENTION OF EXCESS STORM RUN-OFF CREATED BY THE IMPROVEMENTS. THE REQUIRED EASEMENT IS 15 FEET WIDE AND LOCATED ALONG THE RIGHT-OF-WAY OF THE NEW STREET. THE NEW CUL-DE-SAC WILL BE PAVED, WITH 'BARI' DITCHES EACH SIDE OF THE ROADWAY. SINCE RIVERSIDE DRIVE IS IMPROVED MINIMAL GRADING IMPROVEMENTS ARE PROPOSED WITHIN THE RIGHT-OF-WAY. PONDING OF STORM RUNOFF FROM THE SITE IS REQUIRED SINCE THE MAXIMUM ALLOWABLE IS EXCEEDED. SEE CALCULATIONS LAND TREATMENT PERCENTAGES FOR BASIS OF REQUIRED POND SIZING.

HYDROLOGIC PROCEDURES AND CALCULATIONS ARE IN ACCORDANCE WITH SECTION 22.2, HYDROLOGY, OF THE DEVELOPMENT PROCESS MANUAL (DPM) VOLUME 2, DESIGN CRITERIA, REVISED JANUARY 1993, FOR THE CITY OF ALBUQUERQUE, NEW MEXICO, AND ADOPTED BY BERNALILLO COUNTY.



VICINITY MAP, ZONE M-13 @ 1"=750'

LEGEND

EXIST. SPOT ELEV.	+13.00	FINISH FLOOR ELEVATION	F.F. Elev.
EXIST. CONTOUR	-08	SUBGRADE ELEVATION	S.G.
NEW SPOT ELEV.	+10.10	EDGE OF ASPHALT	EA
NEW CONTOUR	+10	CENTER LINE R.O.W.	CL
NEW STRUCTURE		EXISTING FIRE HYDRANT	o
NEW CONCRETE		EXISTING SLOPE LINE	-W-
DRAINAGE FLOW DIRECTION		SIDE SLOPE OF RETENTION DITCH	→
DRAINAGE SWALE		NEW MANHOLE	● MH
EXISTING TELEPHONE RISER	TEL.R.	NEW FIRE HYDRANT	● FH
EXISTING POWER POLE	P.P.	Subgrade	S.G.
EXISTING TREE TO BE REMOVED			

NOTES

1. ACCESS PERMITS PER COUNTY ORDINANCE IS REQUIRED PRIOR TO CONSTRUCTION.
2. PROJECT STRUCTURE SET BACK REQUIREMENTS:
25' FRONT YARD
15' REAR YARD
6' SIDE YARD (14' BTWN. STRUCTURES)
3. NO PERIMETER FENCING OR INTERIOR FENCING IS PROPOSED BY THIS PLAN. OWNERS OF LOTS ARE AWARE THAT ANY PROPOSED FENCING WILL REQUIRE SUBMITTAL OF DESIGN TO THE PUBLIC WORKS DEPT. PRIOR TO CONSTRUCTION.
4. POND BOTTOMS, SIDESLOPES, AND PERIMETER PAD AREAS DISTURBED BY GRADING OPERATIONS SHALL BE REVEGETATED PER COA SPECS, NATIVE SEEDING, SECT. 1011.
5. PER LOT % IMPERVIOUS REQUIREMENTS:
PER LOT PONDING REQ. IS BASED ON 24% ALLOCATED FOR PAVEMENT AREA AND OTHER LAND TREATMENT PERCENTAGES, SEE DETAIL, THIS SHEET, AND ALLOWABLE UNIT DISCHARGE COMPUTATIONS FOUND IN CALCS.
6. DEVELOPMENT OF THIS PROPERTY MUST REMAIN IN SUBSTANTIAL COMPLIANCE WITH THIS PLAN. ANY CHANGES TO BLDG. PAD LOCATIONS, ELEVATIONS, GRADING SCHEME, LAND TREATMENT PERCENTAGES WOULD CONSTITUTE REQUIREMENT FOR RE-SUBMITTAL TO THE COUNTY PUBLIC WORKS DEPT.
7. DRIVEWAY LOCATIONS SHOWN ARE CONCEPTUAL. FINAL LOCATIONS SHALL BE DETERMINED DEPENDING ON FINAL CONFIGURATION OF MODULAR HOME.

NOTES CONT'D.

8. ALL COTTONWOOD TREES SHALL REMAIN AND BE INTEGRATED INTO FINAL LANDSCAPING DEVELOPMENT UNLESS SPECIFICALLY NOTED OTHERWISE. ✓, As Built Dec 2/14/00

AS-CONSTRUCTED
Notes: No Homes or Finish Floors
Placed 2/14/00

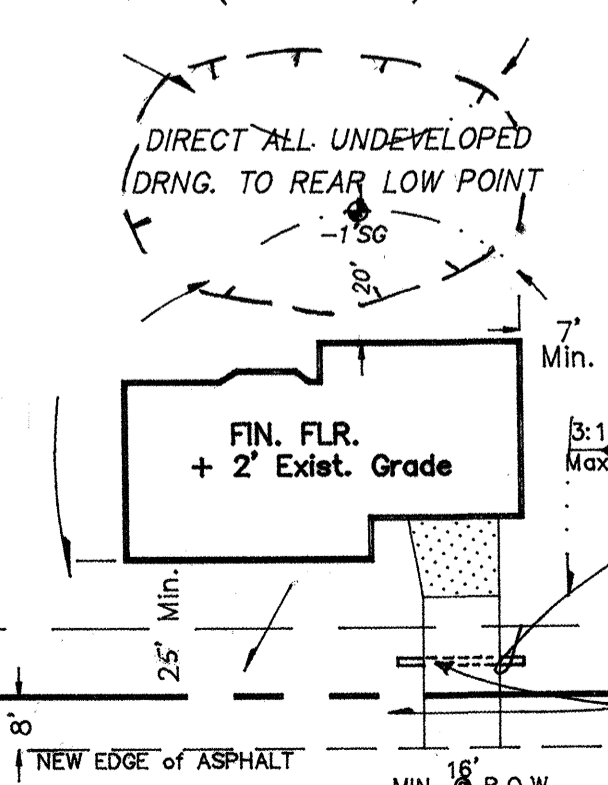
I, PHILIP W. CLARK, PROFESSIONAL ENGINEER, REGISTERED IN ACCORDANCE WITH THE LAWS IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE ROADWAY, GRADING AND DRAINAGE IMPROVEMENTS WERE CONSTRUCTED AS SHOWN.

Philip W. Clark
PHILIP W. CLARK, P.E. #10265

NOTE: THE 10 LOTS WILL GAIN CITY OF ALBUQUERQUE WATER AND SEWER SERVICE FROM THE EXTENDED MAINS TO BE LOCATED IN THE NEW STREET, AND CONSTRUCTED BY CITY WORK ORDER PROCESS.

NOTES

1. Maximum Site Slope Grading Without Erosion Protection: 3 Hor. to 1 Vert.
2. Allowable Land Treatment Values for PONDING OF Lot Run-off:
'B' = 46% 'A' & 'C' = 15% Each
'D' = 24% See Note, Right.
(PER UNIT ACRE)

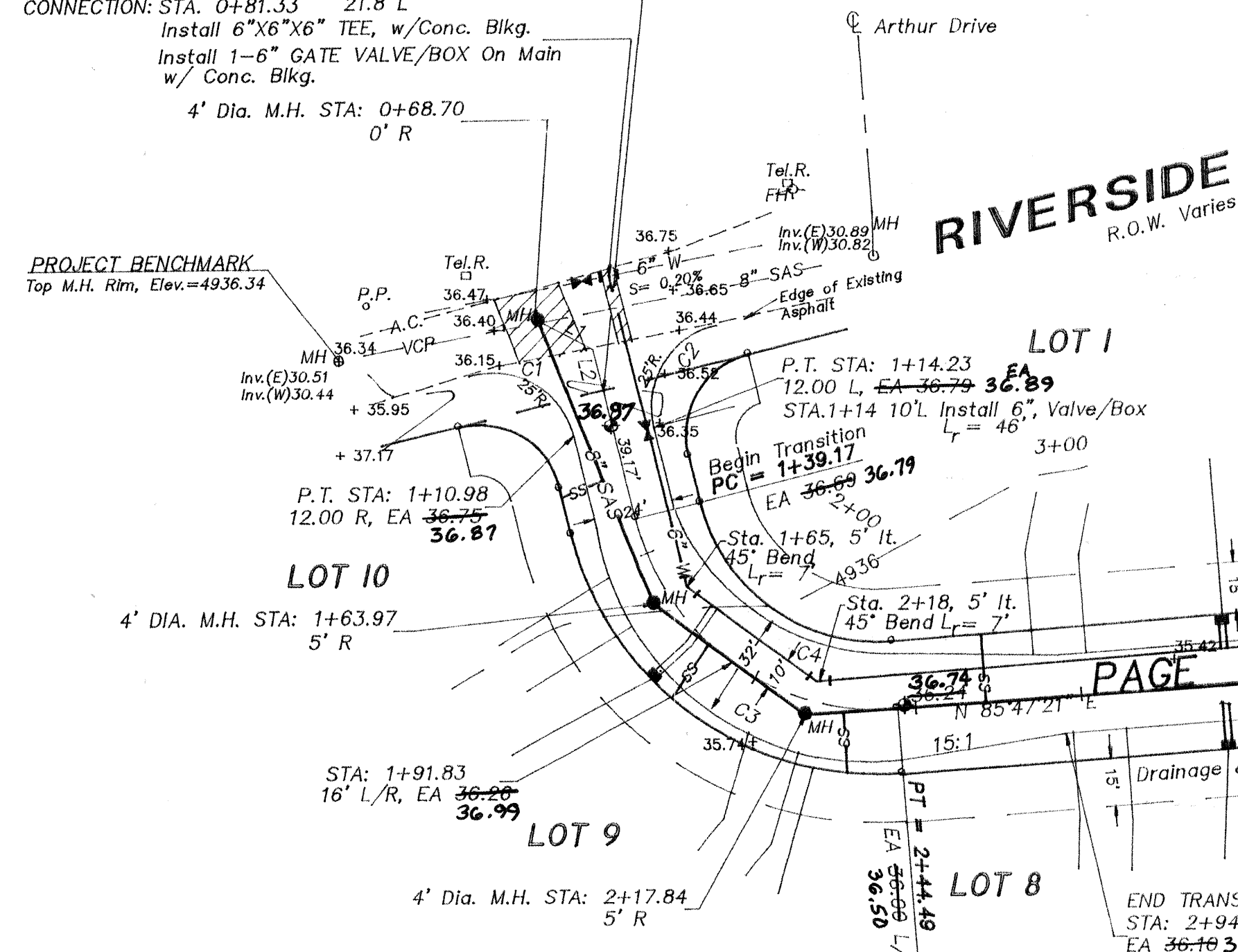


TYPICAL LOT GRADING/LAYOUT

Clark Consulting Engineers Edgewood, New Mexico 87015 Tel: (505) 281-2444 Fax: (505) 281-2444	
DATE: 12/15/98 REVISION: Add. Prop. Comm. 1/15/99 3/4/99 Add. Trees Removal/Note 8/16/99 Add. Culv. To Typical Pad	LOTS 1 THRU 10 RIVERSIDE ESTATES TOMMIE PAGE DEVELOPMENT GRADING & DRAINAGE PLAN
DESIGNED BY: PWC CHECKED BY: PWC	DRAWN BY: CCE JOB NO: RIVERA DATE: 11/10/98 FILE NO: G&D
SHEET NO: 1 of 1 6113.81	

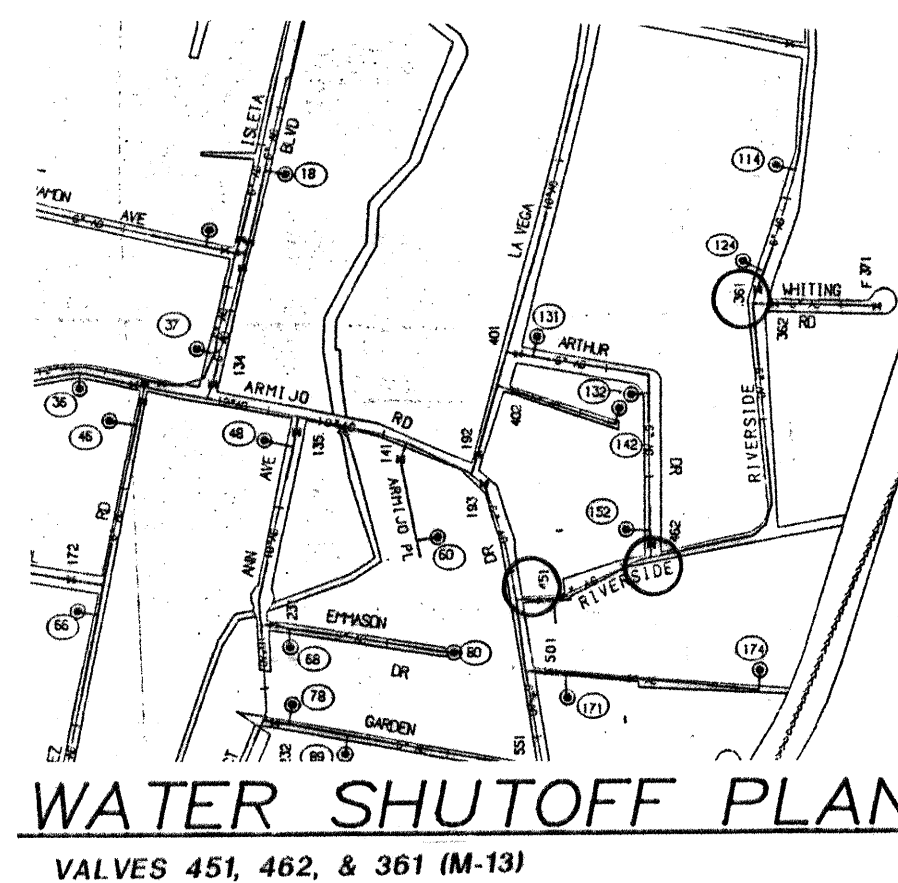
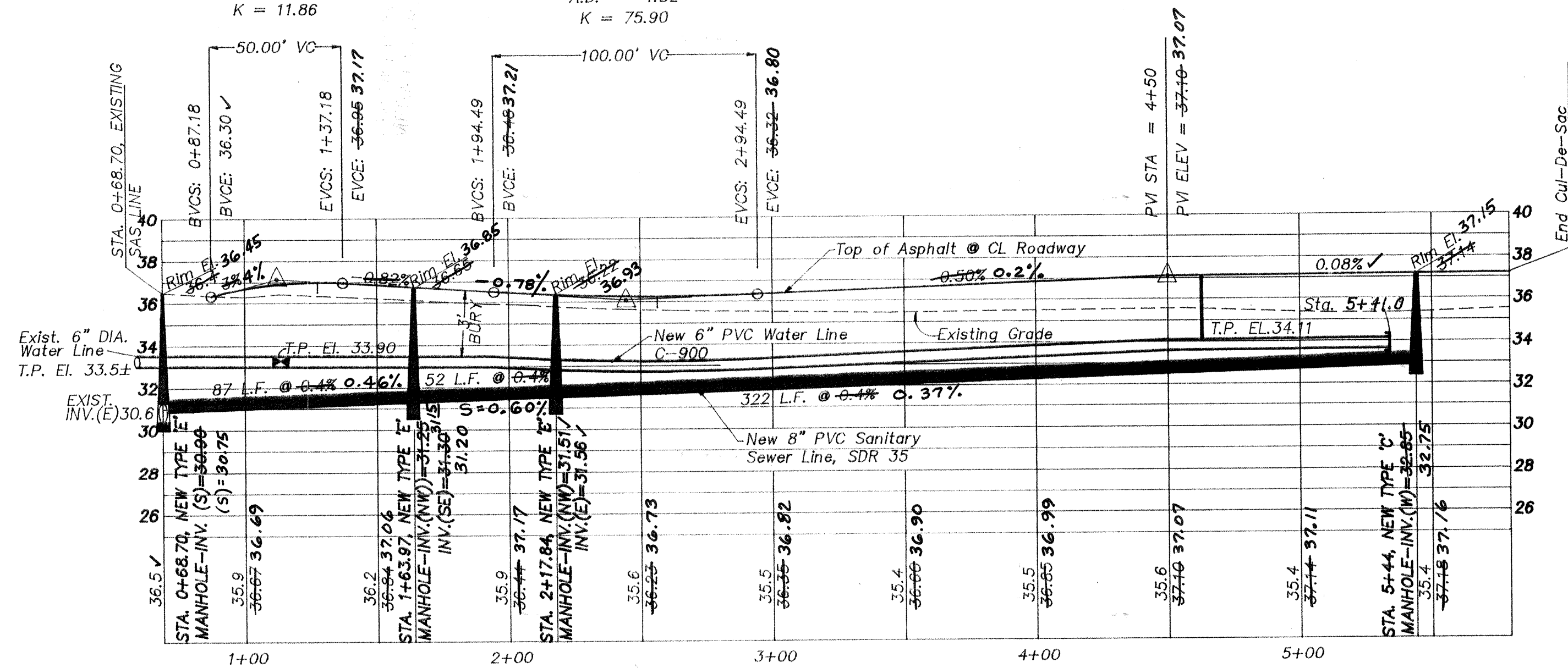
STA: 1+00.00, 0' R
CL Intersection New Roadway
And S. Right-Of-Way
NON-PRESSURIZED
CONNECTION: STA. 0+81.33 21.8 L
Install 6"x6"x6" TEE, w/Conc. Blkg.
Install 1-6" GATE VALVE/BOX On Main
w/ Conc. Blkg.
4' Dia. M.H. STA: 0+68.70
0' R

PROJECT BENCHMARK
Top M.H. Rim, Elev.=4936.34



HIGH POINT ELEV = 37.23
HIGH POINT STA = 1+27.50
PVI STA = 1+12.18
PVI ELEV = 37.15
A.D. = 4.22
K = 11.86

LOW POINT ELEV = 36.73
LOW POINT STA = 2+57
PVI STA = 2+44.49
PVI ELEV = 36.67
A.D. = -1.32
K = 75.90



NOTE:
CONTRACTOR SHALL NOTIFY CITY WATER UTILITIES LOCATED
AT THE PUMP YARDS 5 WORKING DAYS PRIOR TO REQUEST
OF VALVE SHUT OFF FOR NON-PRESSURIZED CONNECTION
ON RIVERSIDE DRIVE. TELE:

LEGEND

EXIST. SPOT ELEV.	13.00	CENTER LINE R.O.W.	---
EXIST. CONTOUR	0.00	NEW SANITARY SEWER	---
NEW SPOT ELEV.	10.10	NEW WATER LINE	---
EXISTING TELEPHONE RISER	10.10	NEW FIRE HYDRANT	---
EXISTING POWER POLE	10.10	NEW WATER VALVE	---
EXISTING FIRE HYDRANT	10.10	NEW DOUBLE METER/ SERVICE	---
EXISTING WATER LINE	10.10	NEW SANITARY SEWER SERVICE	---
EDGE OF ASPHALT	EA		
REMOVE/REPLACE ASPHALT			

EDGE OF ASPHALT DATA

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING
C1	25.00'	40.50'	26.26'	36.22'	N 60°08'54" W
C2	25.00'	40.05'	25.80'	35.90'	S 32°08'41" W
C3	83.03'	128.60'	79.30'	114.69'	S 52°34'01" E
C4	68.66'	83.64'	47.69'	78.56'	N 36°22'07" W
C5	28.00'	27.74'	15.13'	26.62'	S 57°24'08" W
C6	28.00'	27.74'	15.13'	26.62'	N 65°49'26" W
C7	45.00'	230.55'	29.48'	49.32'	N 04°12'59" W

LINE TABLE

LINE	DIRECTION	DISTANCE
L1	N 62°26'25" W	18.49'
L2	S 13°45'09" E	12.81'

SEWER SERVICE TABLE

LOT#	STA.	LENGTH	INV. @ P
1	2+71	20'	32.60 32.45
2	3+55	20'	32.80 32.75
3	4+72	20'	33.50
4	5+37	47'	33.50
5	5+40	47'	33.50
6	4+66	20'	33.28
7	3+52	20'	32.78
8	2+28, 1.4'R	18'	32.60
9	1+83	20'	32.40 32.36
10	1+26, 6'R	13.6'	32.20

AS-CONSTRUCTED

I, PHILIP W. CLARK, PROFESSIONAL ENGINEER, REGISTERED IN
ACCORDANCE WITH THE LAWS IN THE STATE OF NEW MEXICO, DO
HEREBY CERTIFY THAT THE ROADWAY, GRADING AND DRAINAGE
IMPROVEMENTS WERE CONSTRUCTED AS SHOWN, INCLUDING
Water, Sewer & Service Lines Improvements.

PHILIP W. CLARK, P.E. #10265

Clark Consulting Engineers

9 Ryan Road
Edgewood, New Mexico 87015-3485
Tel: (505) 281-2444 Fax: (505) 281-2444

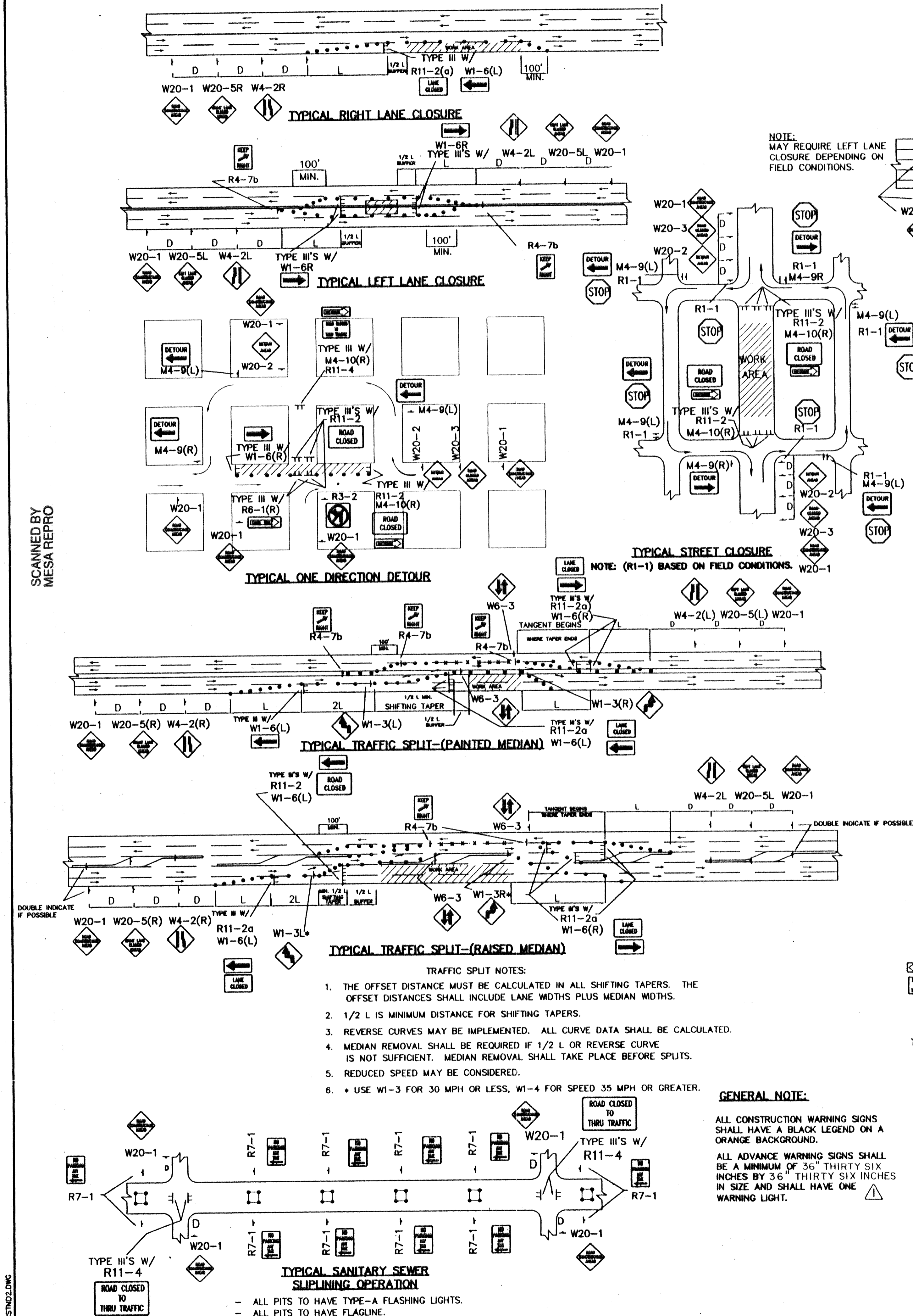
CITY OF ALBUQUERQUE/COUNTY OF BERNALILLO
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: PUBLIC WATER & SEWER IMPROVEMENTS
COUNTY ROADWAY PLAN & PROFILES

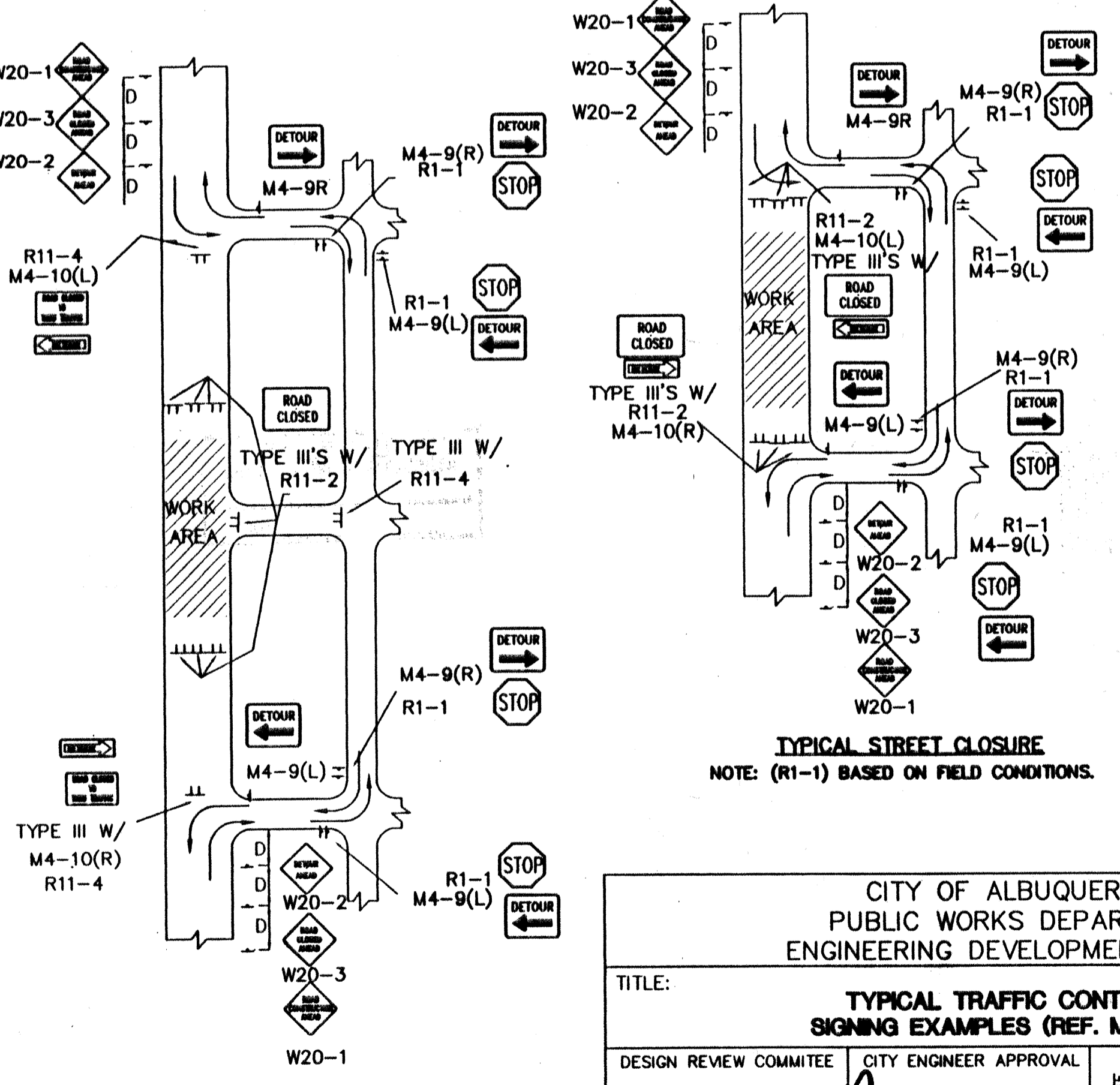
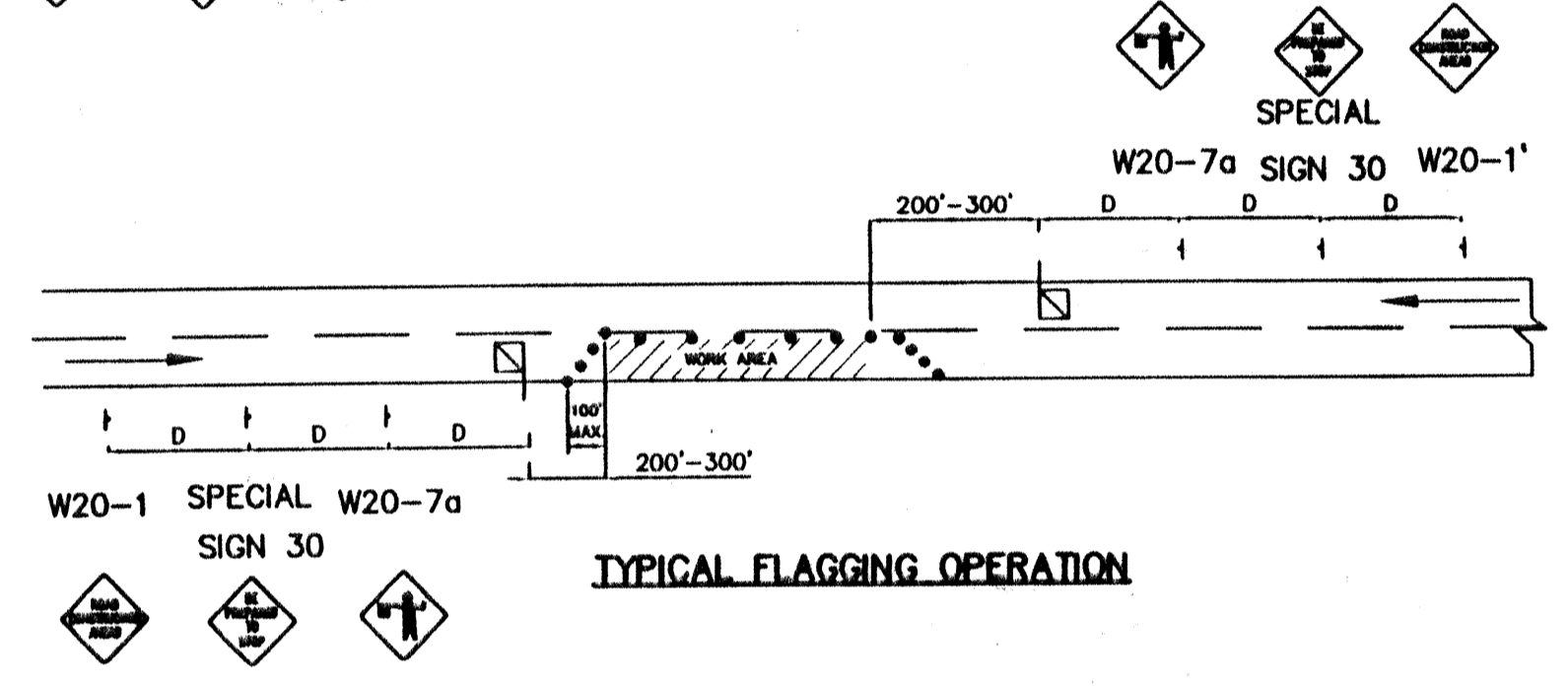
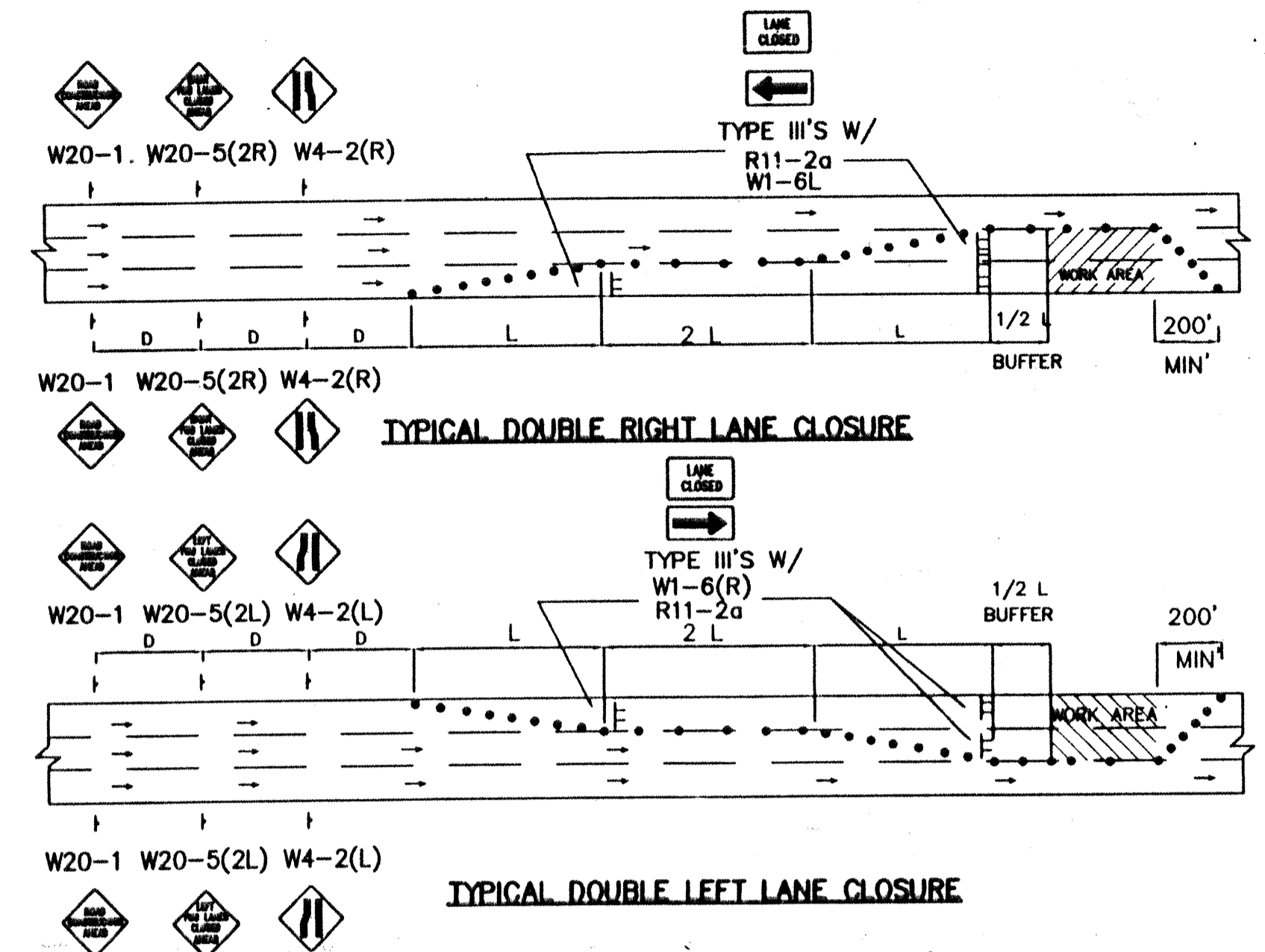
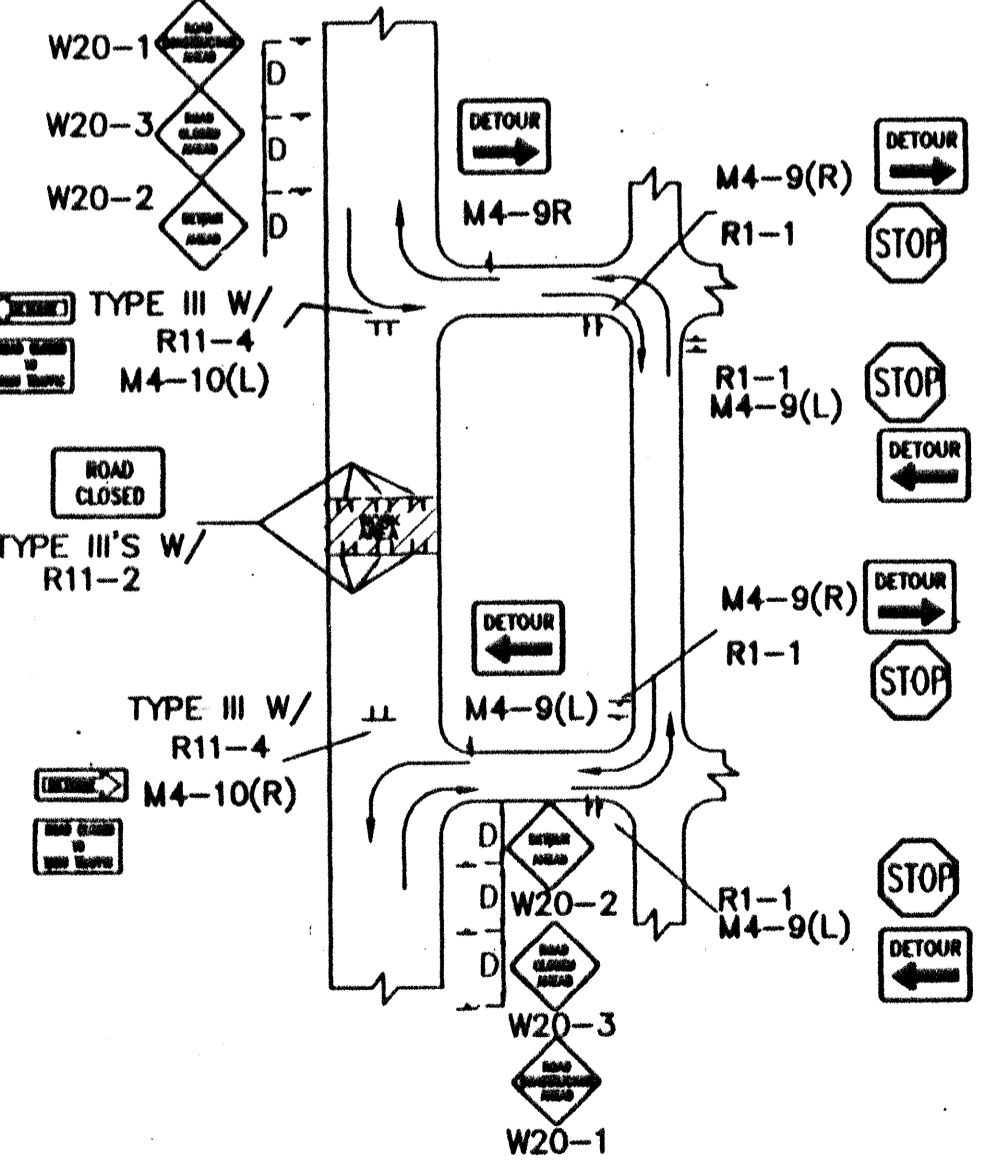
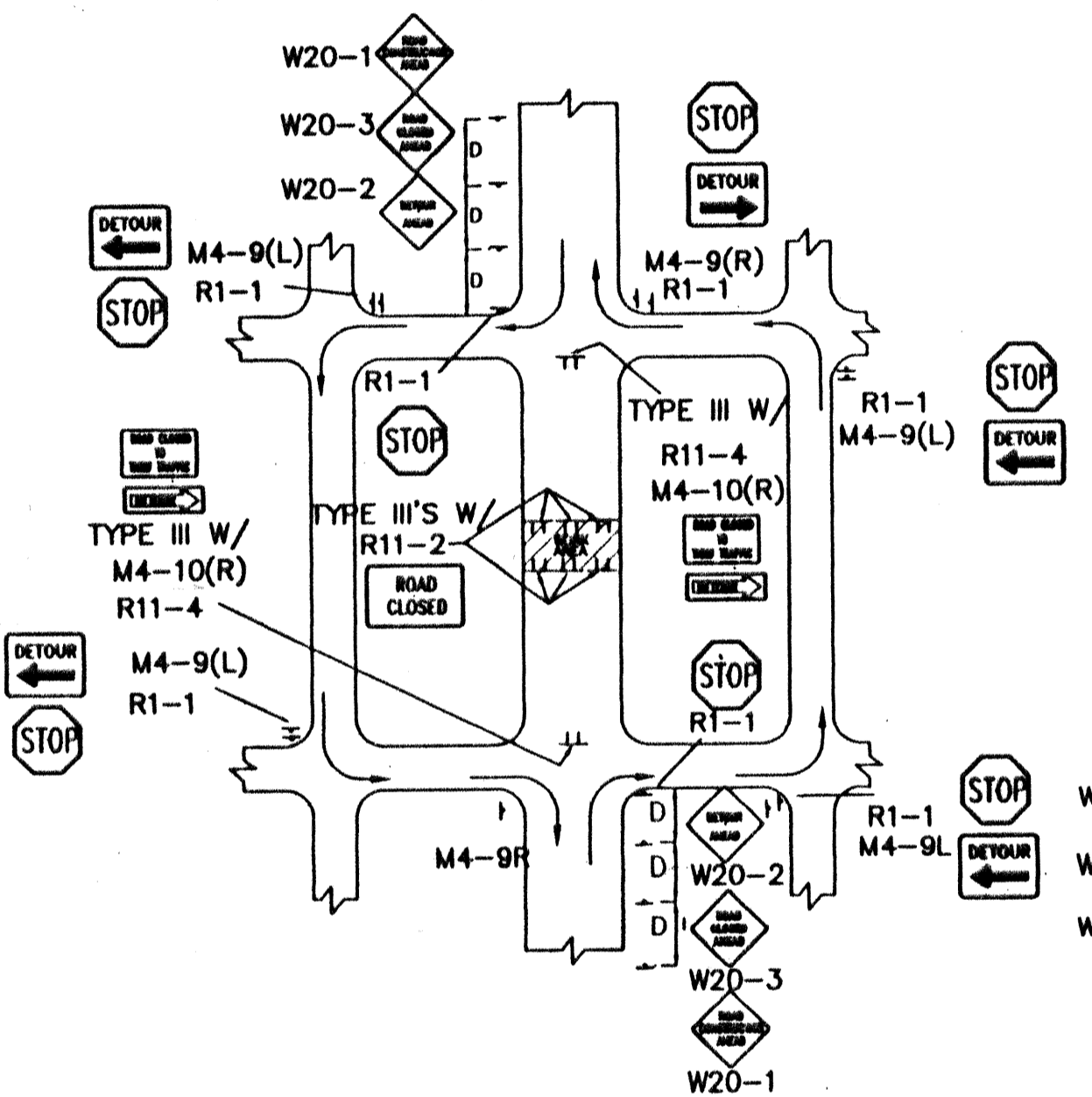
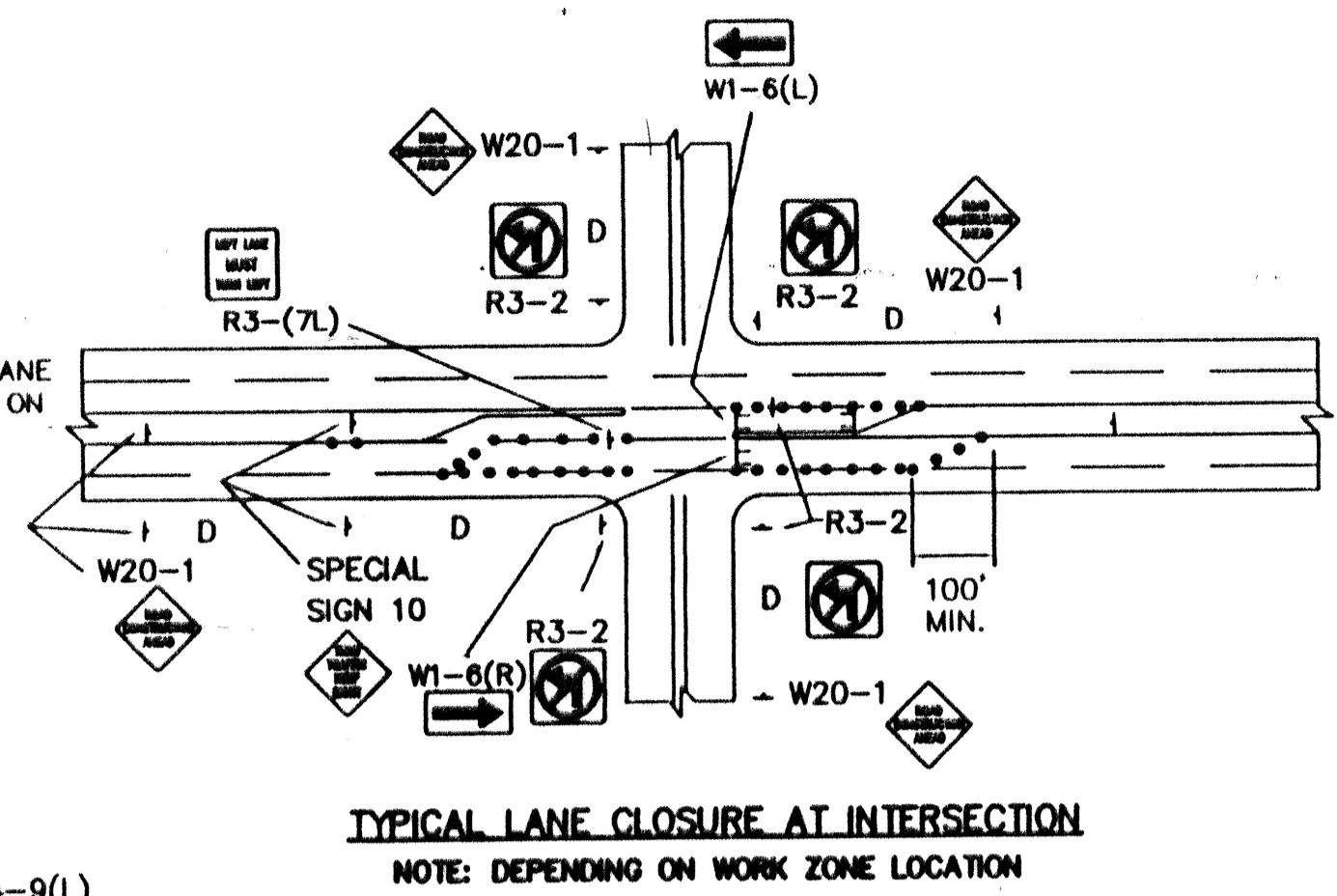
APPROVED JUL 12 1999 DESIGN REVIEW COMMITTEE
APPROVED CITY ENGINEER

City Project No. 614381 Zone Map No. M-13 SHEET 4 OF 6

SCANNED BY
MESA REPRO



NOTE:
MAY REQUIRE LEFT LANE
CLOSURE DEPENDING ON
FIELD CONDITIONS.



CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP			
TITLE: TYPICAL TRAFFIC CONTROL & SIGNING EXAMPLES (REF. MUT.C.D.)			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO. DAY/YR.	
C.O.A. Standard		MO. DAY/YR.	
PROJECT NO. 6143.81		MAP NO. M-13	SHEET 6 OF 6

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	BY	NO.	DATE	REMARKS	
DATE	DATE	DATE	DATE	DATE	DATE	DESIGNED BY C.O.A. STANDARDS	
DATE	DATE	DATE	DATE	DATE	DATE	DRAWN BY	
DATE	DATE	DATE	DATE	DATE	DATE	CHECKED BY	
MICRO-FILM INFORMATION		REVISIONS		DESIGN		DATE	
RECORDED BY		DATE		DATE		DATE	