

VICINITY MAP                      ZONE ATLAS K-16-Z  
GENERAL NOTES                  SCALE: NONE

### GENERAL NOTES

## NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #1, INCLUDING AMENDMENT #1.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DISRUPTION.
5. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPANCY OF ANY EXCAVATION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
6. ALL WORK AFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
7. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC ROAD MARKERIZED STRIPING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
8. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPAIRS SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT TO COVER THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REVISIONS OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
9. CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAVE BEEN RECORDED.
10. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
11. CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY (857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER OR SEWER UTILITIES. EXISTING VALVES TO BE OPERATED BY THE UTILITY PERSONNEL ONLY. CONTRACTOR SHALL CONTACT THE APUWA SEVEN (7) WORKING DAYS PRIOR TO NEEDING VALVES TURNED ON OR OFF.
12. FOR STORM DRAIN CONSTRUCTION, CONTRACTORS SHALL NOT BE GRANTED FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GRANTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.
13. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.654, SUBPART P.
14. ELECTRONIC MARKER DISKS (EMD) WILL BE PLACED ACCORDING TO SECTION 1.0 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1.96 EDITION AS REVISED THROUGH UPDATE #7.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE.
16. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENT, PAVEMENT MARKINGS, CURB AND GUTTER, HANDRAILS, RAMP AND SIDEWALK DURING CONSTRUCTION. DAMAGE TO EXISTING PAVEMENT SHALL BE INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE PER CITY OF ALBUQUERQUE STANDARDS, AT THE CITY'S OWN EXPENSE.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPEC'FI STREET USE.
- ☒ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE ENGINEER.
- ☒ SIDEWALK AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DERESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

**dmg** D. MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P. O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 828-2200. FAX (505) 797-9536

[illegible]

| INDEX TO DRAWINGS |                     |
|-------------------|---------------------|
| SHEET NO.         | SHEET               |
| 1                 | TITLE SHEET         |
| 2,3               | FINAL PLAT          |
| 4,5               | GRADING & DRAINAGE  |
| 6,7               | PAVING IMPROVEMENTS |
| 8                 | PAVING DETAILS      |

APPROVED AS RECORD DRAWING  
DESIGN REVIEW SECTION  
CITY CONSTRUCTION ENGINEER  
*William J. [Signature]*  
DATE: 11/06/09

SURVEYOR'S CERTIFICATE

I, Andrew S Medina, a duly qualified Licensed Professional Surveyor under the laws of the State of New Mexico, do hereby certify; that the "as-built" information shown on these drawings was obtained from field construction and "as-built" surveys performed by me or under my supervision that the "as built" information shown on these drawings was added by me of under my supervision; and that this "as-built" information is true and correct to the best of my knowledge and belief. I am not responsible for any of the design concepts, calculations, engineering, or intent of the record drawings.

RECORD DRAWING  
CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, John M. MacKenzie, NMPE 11619, of the firm Mark Goodwin & Associates, PA, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by Andrew S. Medina NMPS number 12649.

John M. MacKenzie NMPE 11619

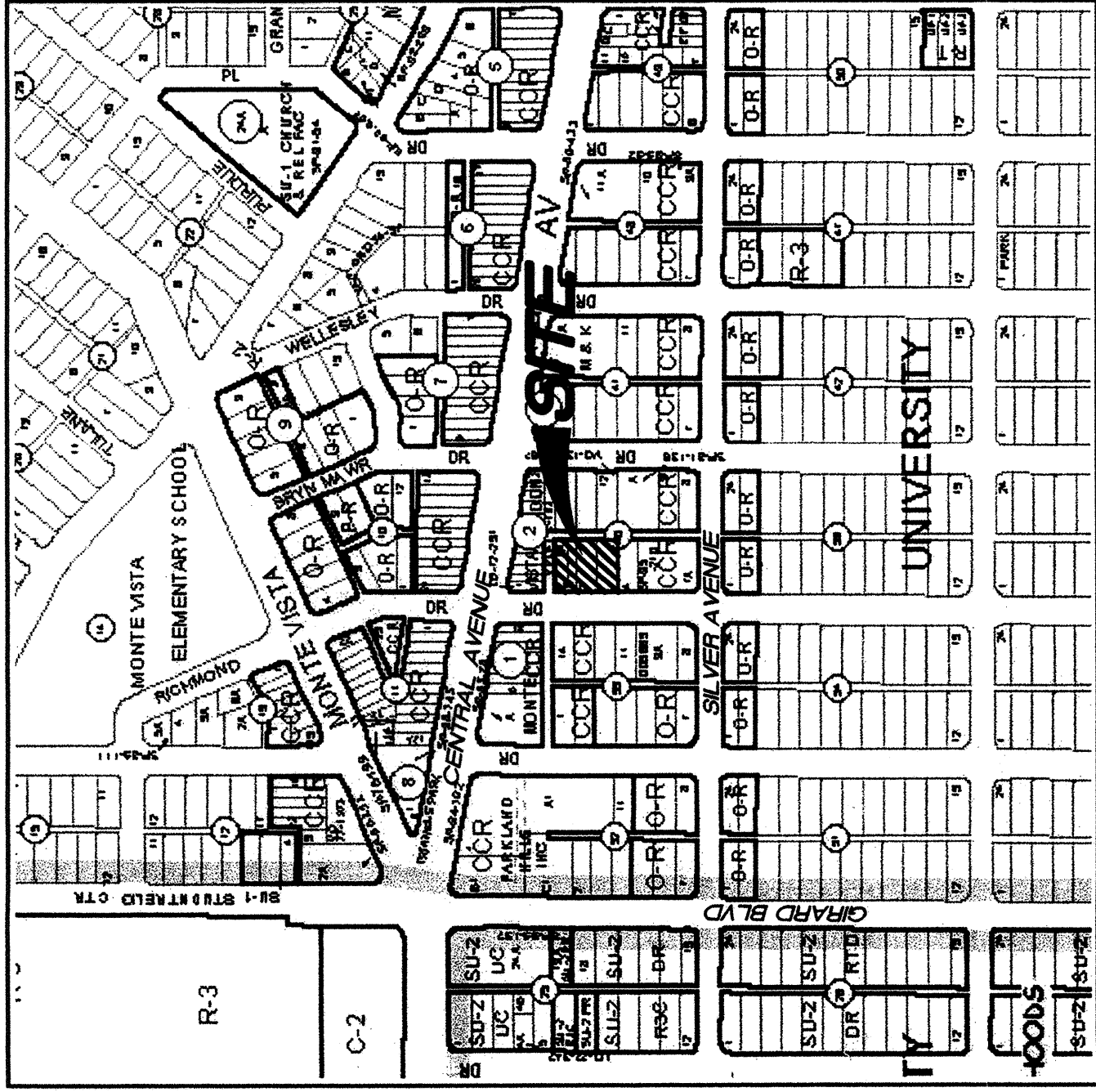
I, John M. MacKenzie, certify that this electronic version is identical to the original reproducible APPROVED FOR CONSTRUCTION drawings signed by me on 07-09-01 at 25/109.

This set of drawings is accepted for RECORD purposes by \_\_\_\_\_ on \_\_\_\_\_, 2008.

*Andrew S. Mading*  
Andrew S. Mading, NMDS 12640

DRB PROJECT NO. *1006913*





VICINITY MAP  
NOT TO SCALE

#### GENERAL NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone NAD83) originated at the Albuquerque Central Survey Monument "15-K16".
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parentheses ( ).
5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750 OR HUGG L.S. 11808" unless otherwise indicated herein.
6. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750 OR HUGG L.S. 11808" or a concrete nail with brass disk stamped "HUGG L.S. 9750 OR HUGG L.S. 11808" unless otherwise indicated herein.
7. This property is subject to all exceptions pertaining to this property as listed in SCHEDULE B, PART II (Exceptions) of the Title Report prepared for this property by First American Title Insurance Company, Commitment for Title Insurance No. 959491-AL16, dated January 5, 2007.
8. U.C.L.S. Log Number 2007231576
9. Field surveys were performed during the month of January, 2007.
15. City of Albuquerque Zone Atlas Page: K-16-Z
16. This property is currently zoned "COR40s shown on the City of Albuquerque Zone Atlas, dated March 14, 2006.

#### PURPOSE OF PLAT:

- A. Combine 4 existing Lots into 1 Tract.
- B. Dedicate the additional street right of way to the City of Albuquerque

070428 REPLAT.dwg

DOC# 2008082287  
9/18/2008 12:58 PM Page 3 of 3  
Touhese, Bernalillo County  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3566  
Fax: 505-897-3577

#### TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

1-016-057-341263-031-15  
Touhese, Bernalillo County  
Bernalillo County Treasurer  
Date 1-6-2008

#### PLAT OF

### ONE TEN RICHMOND

(BEING A REPLAT OF LOTS 1-A, 1-B, 2 AND 3,  
BLOCK 40, UNIVERSITY HEIGHTS ADDITION)

WITHIN

SECTION 22, TOWNSHIP 10 NORTH, RANGE 3 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2007

PROJECT NUMBER: 1006413

Application Number: 07088-70333

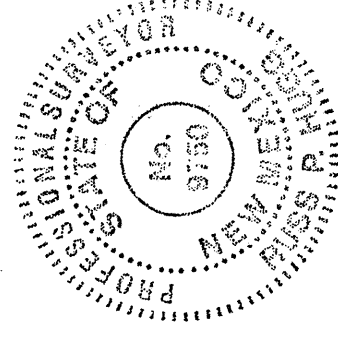
#### PLAT APPROVAL

##### Utility Approvals

|                                          |          |      |
|------------------------------------------|----------|------|
| PNM Gas and Electric Services            | 10-04-07 | Date |
| QWest Corporation                        | 10/11/07 | Date |
| City of Albuquerque                      | 10-5-07  | Date |
| City of Albuquerque, Planning Department | 10-4-07  | Date |
| Real Property Division                   |          | Date |
| Environmental Health Department          |          | Date |
| Bentley & Bingham                        | 1/8/8    | Date |
| ABCWA                                    | 11-7-07  | Date |
| Christina Sandoval                       | 11/1/07  | Date |
| Bentley & Bingham                        | 11/7/07  | Date |
| Bentley & Bingham                        | 11/7/07  | Date |
| Andrew Sandoval                          | 11/8/07  | Date |
| DRS Chairperson, Planning Department     | 11/8/07  | Date |

#### SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico; that I am duly licensed as a Professional Surveyor; that I meet the minimum requirements for surveys and monuments of the Albuquerque Statute Ordinance that it is true and correct to the best of my knowledge and belief.



Russ P. Hugg  
Professional Surveyor  
October 3, 2007

SURVOTEK, INC.

Consulting Surveyors  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3566  
Fax: 505-897-3577

SHEET 1 OF 3

#### PLAT OF

### ONE TEN RICHMOND

(BEING A REPLAT OF LOTS 1-A, 1-B, 2 AND 3,  
BLOCK 40, UNIVERSITY HEIGHTS ADDITION)

WITHIN

SECTION 22, TOWNSHIP 10 NORTH, RANGE 3 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2007

DOC# 2008082287  
9/18/2008 12:58 PM Page 3 of 3  
Touhese, Bernalillo County  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3566  
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#### LEGAL DESCRIPTION

Lots numbered One-A (1-A) and One-B (1-B) in Block numbered Forty (40) of the UNIVERSITY HEIGHTS ADDITION to the City of Albuquerque, New Mexico, as the same is shown and designated on the Map of said Addition, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on July 25, 1972, in Plat Book 56, Folio 194.

AND

Lots numbered Two (2) and Three (3) in Block numbered Forty (40) of the UNIVERSITY HEIGHTS ADDITION to the City of Albuquerque, New Mexico, as the same is shown and designated on the Map of said Addition, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on February 7, 1916.

Above Parcels contain 0.5226 acres gross (22,764 square feet), more or less.

#### FREE CONSENT AND DEDICATION

SURVEYED AND REPLATED and now comprising "PLAT OF ONE TEN RICHMOND" (BEING A REPLAT OF LOTS 1-A, 1-B, 2 AND 3, BLOCK 40, UNIVERSITY HEIGHTS ADDITION) WITHIN SECTION 22, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in the presence of the undersigned, the owners and proprietors of said land, and they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby dedicate the land subdivided to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

#### OWNERS(S)

110 Richmond LLC,  
a New Mexico Limited Liability Company

By: Kenny Hinkes, Managing Member

#### ACKNOWLEDGMENT

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO

SS

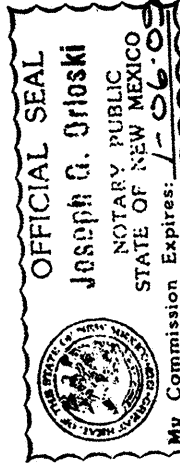
The foregoing instrument was acknowledged before me this 3rd

day of OCTOBER, 2007, by Kenny Hinkes, Managing Member

of 110 Richmond, LLC

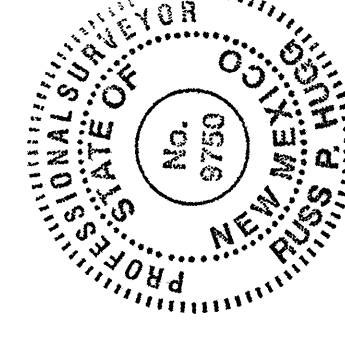
Notary Public

My commission expires 1-06-09



#### DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY:

- A. Plat entitled "A PLAT OF LOT 7A, BLOCK 40 OF UNIVERSITY HEIGHTS, SITUATE WITHIN SECTION 22, T 10 N, R 3 E, N.M.P.M., CITY OF ALBUQUERQUE, NEW MEXICO", filed September 1, 1995, in Volume 95C, Folio 334, records of Bernalillo County, New Mexico.
- B. Plat entitled "SUMMARY PLAT OF LOTS 10 AND 11 IN BLOCK 40 OF UNIVERSITY HEIGHTS, SITUATE WITHIN SECTION 22, T 10 N, R 3 E, N.M.P.M., CITY OF ALBUQUERQUE, NEW MEXICO", filed May 11, 1991, in Volume 81B, Folio 187, records of Bernalillo County, New Mexico.
- C. Plat entitled "LAND DIVISION PLAT OF LOT 1, BLOCK 40, OF UNIVERSITY HEIGHTS, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, NOW BEING LOTS 1-A AND 1-B, OF SAID ADDITION, BERNALILLO COUNTY, NEW MEXICO", filed in Volume 85, Folio 194, records of Bernalillo County, New Mexico.
- D. Plat entitled "REPLAT OF BLOCK 2, MONTEVISTA ADDITION, BERNALILLO COUNTY, NEW MEXICO", filed in Volume 80, in Folio 183, records of Bernalillo County, New Mexico.
- E. Plat entitled "PLAT OF UNIVERSITY HEIGHTS, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO", filed in Volume 5, Folio 27, records of Bernalillo County, New Mexico.
- F. Title Report prepared for this property by First American Title Insurance Company, Commitment for Title Insurance No. 959491-AL16, dated January 5, 2007.



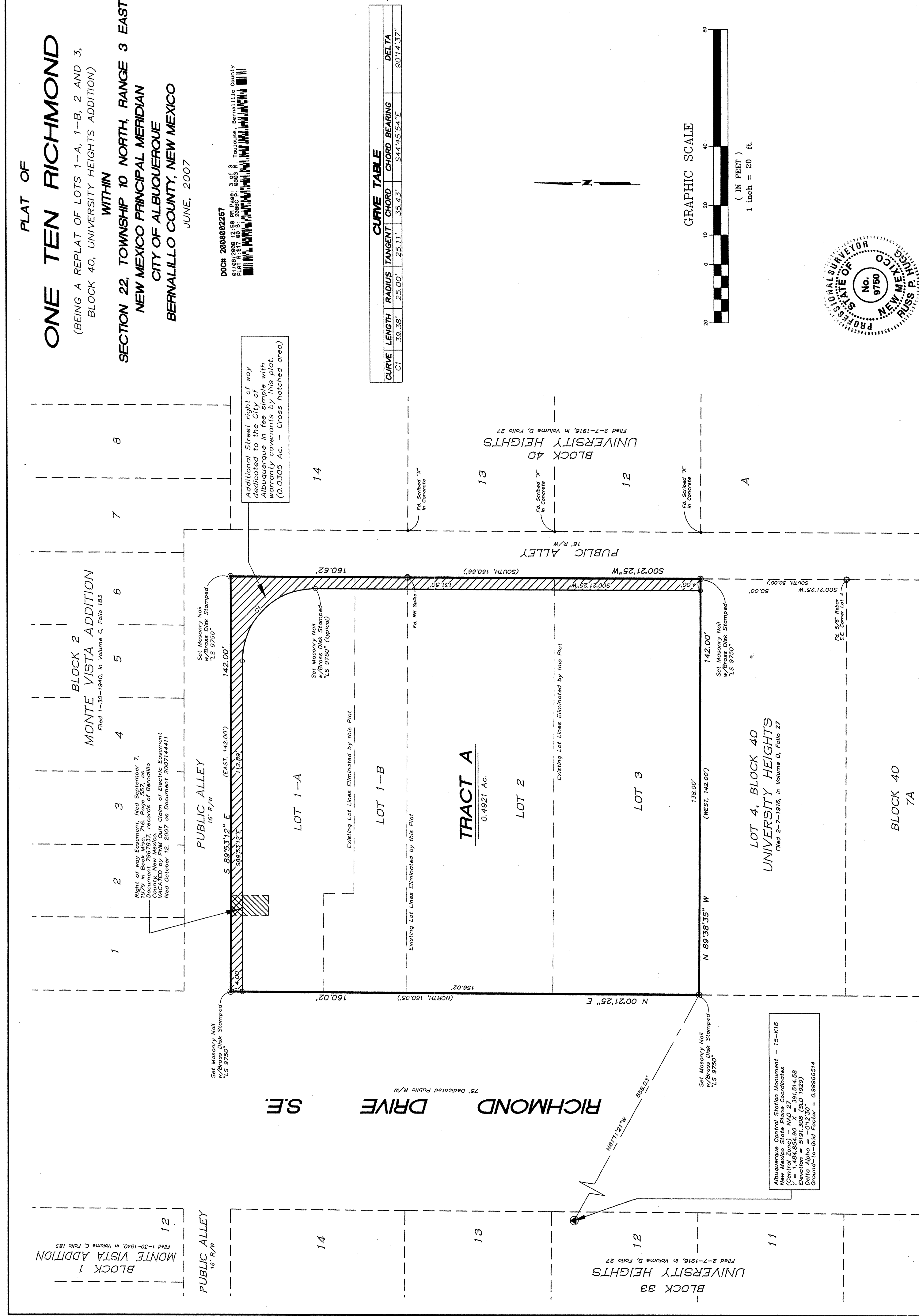
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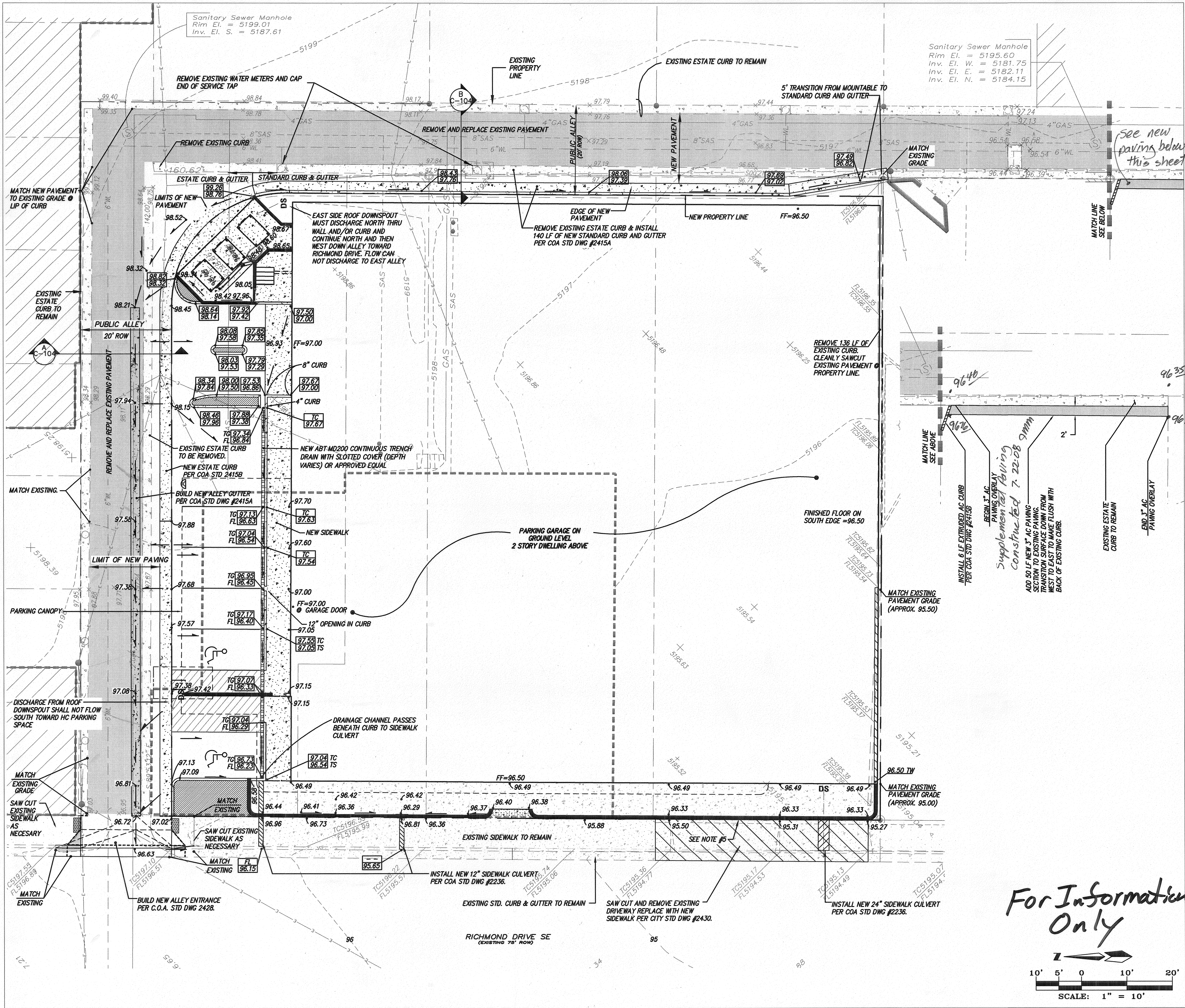
070428 REPLAT.dwg

SHEET 2 OF 3









For Information  
Only

1" = 10'



ASC Bench Mark  
Albuquerque Control Survey Benchmark  
"15-K16", Elevation = 5191.308 (NGVD29)  
Notes  
SEE SHEET C-104

| Legend    |                                             |
|-----------|---------------------------------------------|
| X 5196.44 | EXISTING SPOT ELEVATION                     |
| ■         | EXISTING POWER POLE                         |
| ○         | EXISTING FOUND PROPERTY CORNER AS INDICATED |
| ●         | EXISTING SET CONCRETE NAIL AND BRASS DISC   |
| □         | EXISTING WATER METER                        |
| ---       | EXISTING OVERHEAD UTILITY LINE              |
| ---       | EXISTING SEWER CLEAN OUT                    |
| ○         | EXISTING WATER VALVE                        |
| ○         | EXISTING TELEPHONE MANHOLE                  |
| ○         | EXISTING POLE ANCHOR                        |
| ○         | EXISTING SANITARY SEWER MANHOLE             |
| ○         | EXISTING LIGHT POLE                         |
| ○         | EXISTING BOLLARD                            |
| ---       | EXISTING PROPERTY LINE                      |
| ---       | EXISTING BLOCK WALL                         |
| ■         | EXISTING POWER POLE WITH FEED               |
| ---       | EXISTING CONCRETE AREA                      |
| ---       | EXISTING GAS LINE                           |
| ---       | EXISTING SANITARY SEWER LINE                |
| ---       | EXISTING WATER LINE                         |
| ---       | EXISTING UNDERGROUND TELEPHONE LINE         |
| ---       | EXISTING BUILDING                           |
| ---       | REMOVE AND REPLACE EXISTING ASPHALT         |
| ---       | EXISTING CONCRETE                           |
| ---       | NEW CONCRETE                                |
| DS        | NEW ROOF DRAIN DOWN SPOUT                   |
| ---       | PROPERTY LINE                               |
| ---       | NEW PROPOSED EXTENDED STEM WALL             |
| ---       | PROPOSED FLOW DIRECTION                     |
| ---       | OVER HANG OF BUILDING                       |
| ---       | NEW HANDICAP PARKING                        |
| ---       | SIDEWALK CULVERT                            |
| ---       | NEW HEADER CURB PER STD DWG 2415B           |
| ---       | NEW BASIN BOUNDARY LINE                     |
| ---       | NEW WATER METER                             |
| ---       | NEW PRIVACY WALL                            |
| 98.55 TS  | TOP OF SIDEWALK ELEVATION                   |
| 98.55 TC  | TOP OF GRADE ELEVATION                      |
| 97.55 TC  | TOP OF CURB ELEVATION                       |
| 97.05 FL  | FLOW LINE ELEVATION                         |

James C Lewis Architect  
General Design, Inc.  
1820 Central Avenue SE  
Albuquerque, NM 87106  
(505) 247-1523 jcl@jclaw.com  
Architecture & Planning

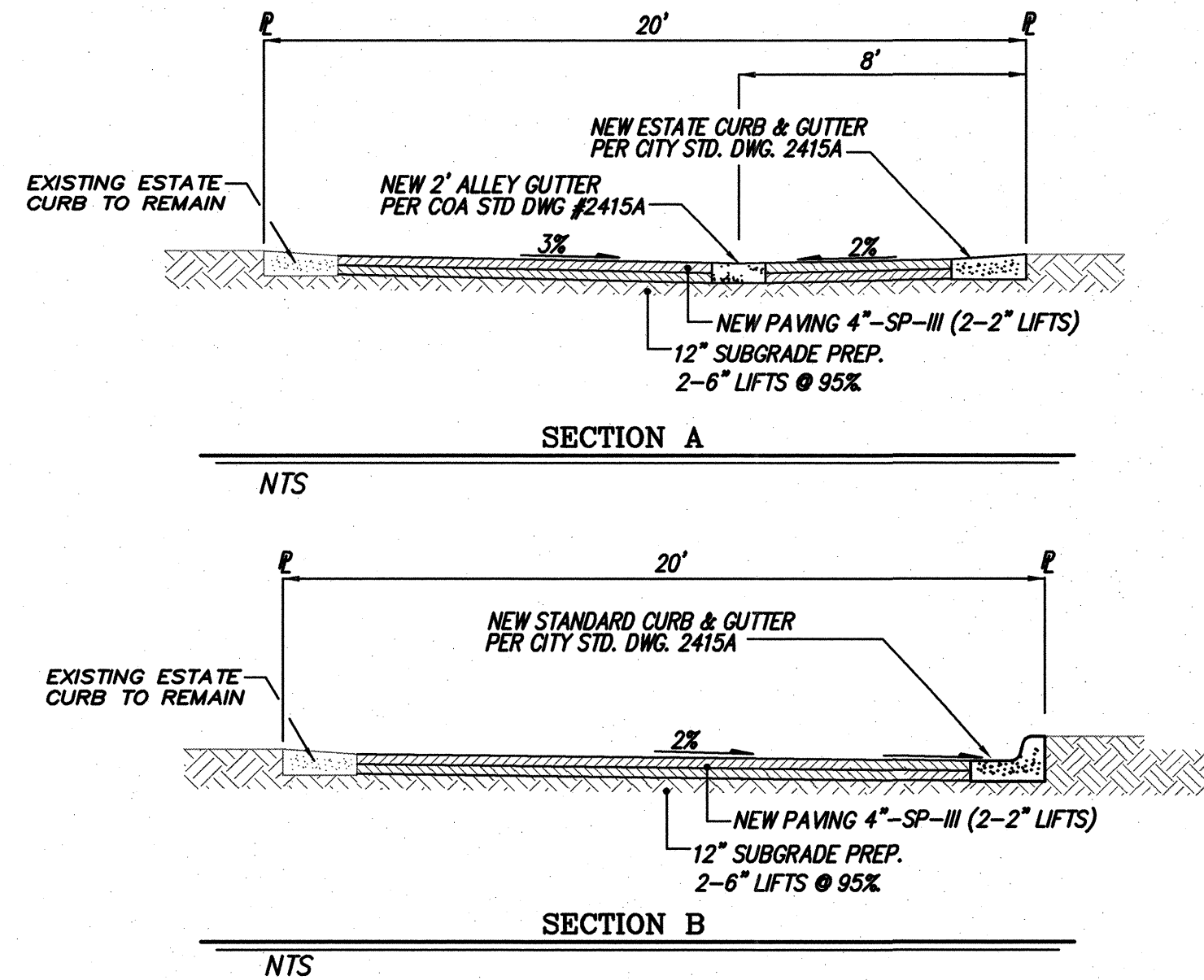
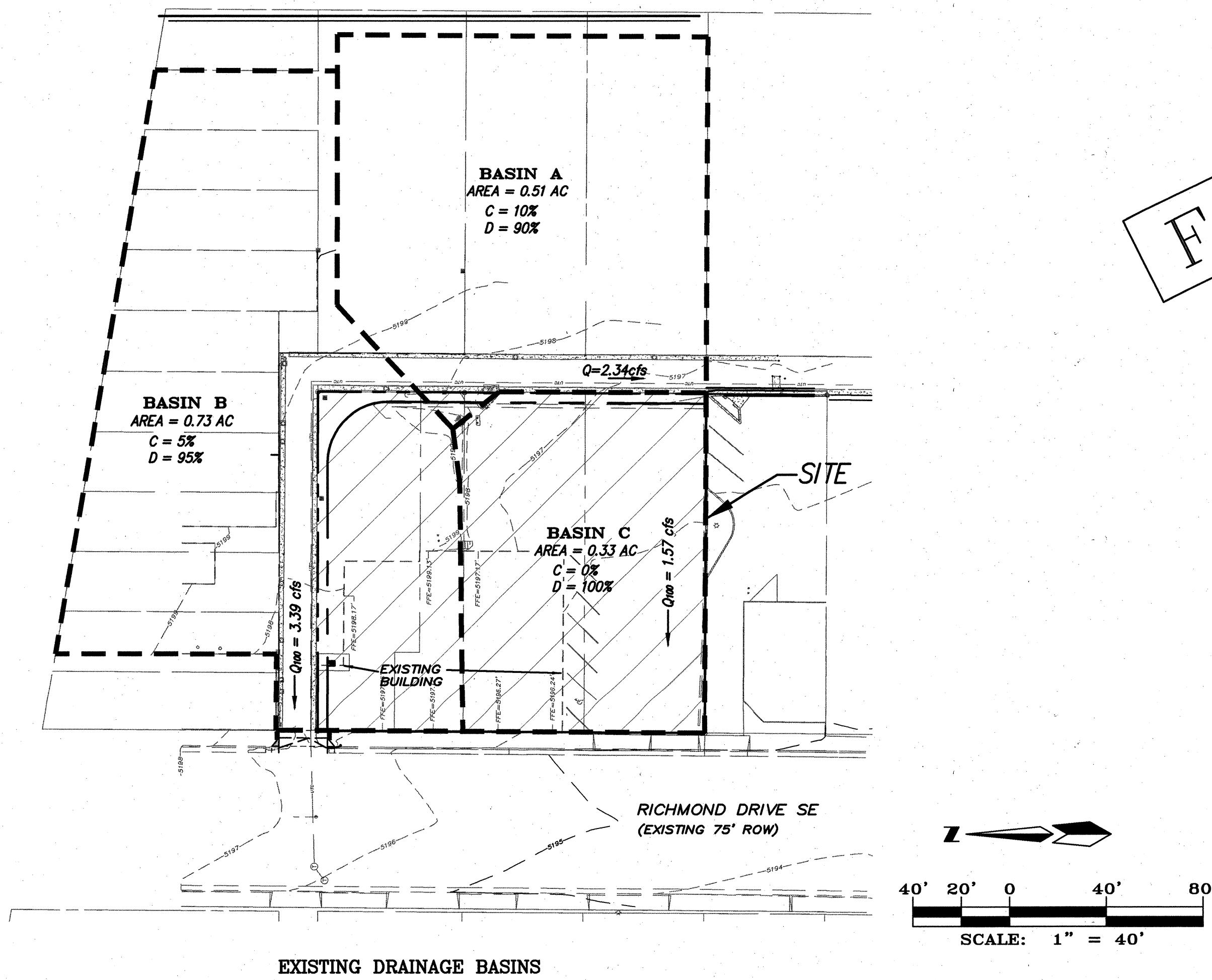
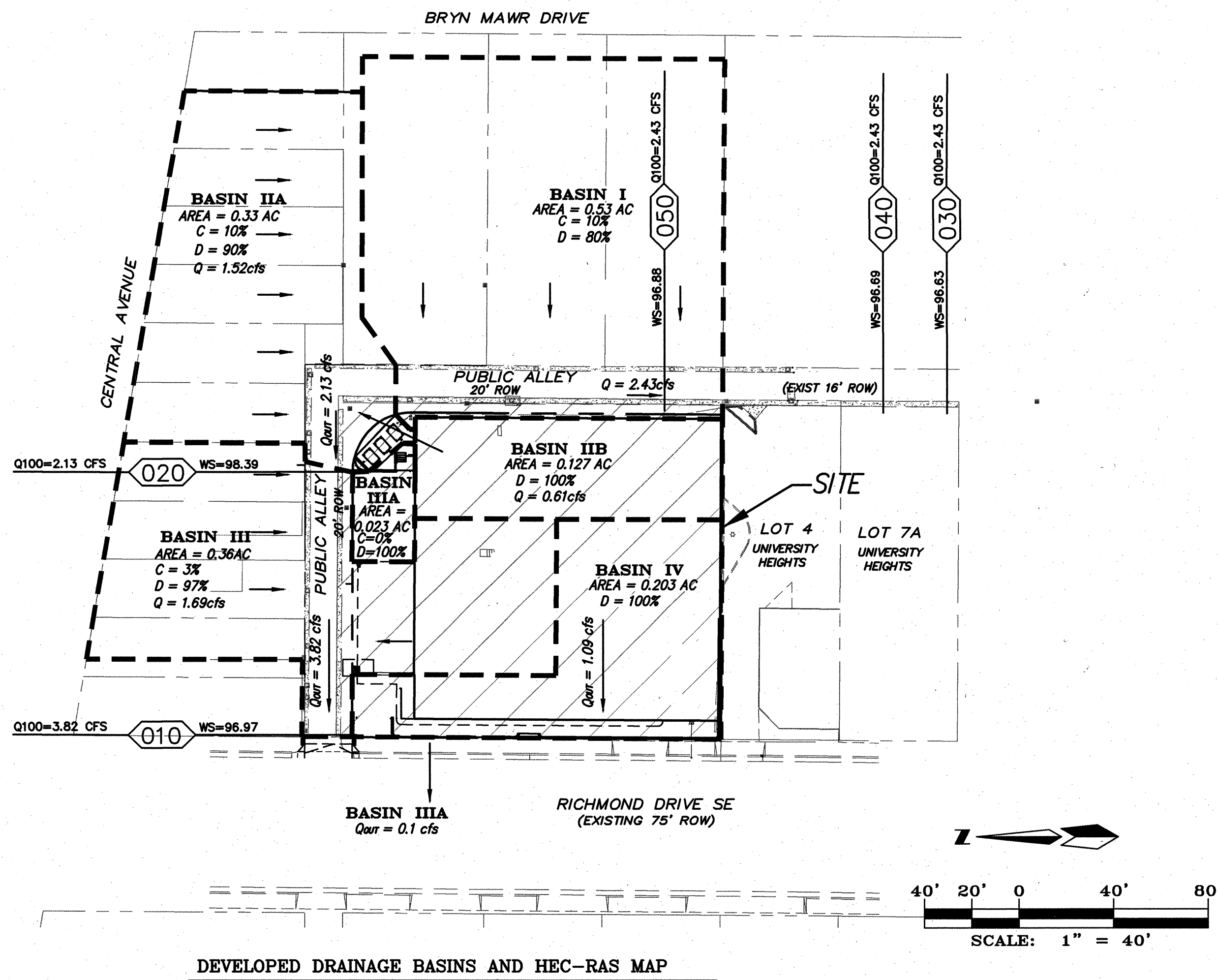
one ten richmond  
110 Richmond SE  
Albuquerque, New Mexico 87106

ISSUE DATE:  
5 July 2007

REVISIONS:  
PROJECT # 2007-0703

Grading Plan  
SHEET  
C-103  
5 OF 52

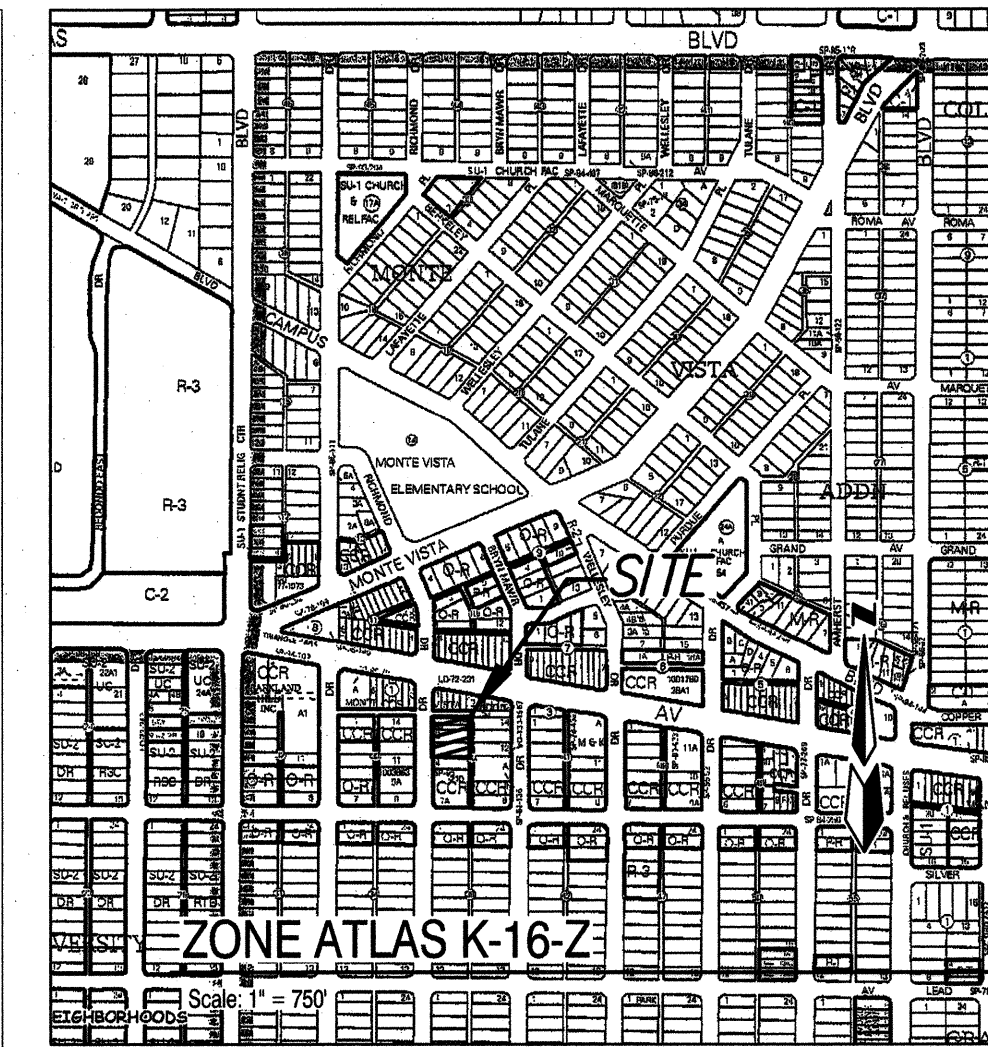




FOR INFORMATION ONLY

#### NOTES

1. TOPOGRAPHIC SURVEY PROVIDED BY SURVTEK, FEBRUARY 2007.
2. ALL CONSTRUCTION MATERIALS SHALL BE IN ACCORDANCE WITH COA STANDARD SPECIFICATIONS.
3. ALL ROOF DRAINS AND DOWN SPOUTS SHALL DISCHARGE ONTO OR DRAIN DIRECTLY TO PUBLIC RIGHT OF WAY.
4. ALL OVERHEAD AND UNDERGROUND UTILITIES MAY NOT BE SHOWN. CONTRACTOR IS RESPONSIBLE FOR LOCATING SUCH UTILITIES TO AVOID CONFLICT.
5. RUNOFF FROM SIDEWALK ADJACENT TO BUILDING SHALL SUFFICIENTLY DRAIN ONTO ADJACENT PUBLIC SIDEWALK THRU MINIMUM 4" DIA. HOLES IN BASE OF PERIMETER PRIVACY WALL AT MINIMUM SPACING OF 10' ON CENTER.
6. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS BEFORE INITIATING CONSTRUCTION WORK.



#### Legend

- 5196.44 EXISTING SPOT ELEVATION
- EXISTING POWER POLE
- EXISTING FOUND PROPERTY CORNER AS INDICATED
- EXISTING SET CONCRETE NAIL AND BRASS DISC
- EXISTING WATER METER
- EXISTING OVERHEAD UTILITY LINE
- EXISTING SEWER CLEAN OUT
- EXISTING WATER VALVE
- EXISTING TELEPHONE MANHOLE
- EXISTING POLE ANCHOR
- EXISTING SANITARY SEWER MANHOLE
- EXISTING LIGHT POLE
- EXISTING BOLLARD
- EXISTING PROPERTY LINE
- EXISTING BLOCK WALL
- EXISTING POWER POLE WITH FEED
- EXISTING CONCRETE AREA
- GAS EXISTING GAS LINE
- SAS EXISTING SANITARY SEWER LINE
- WL EXISTING WATER LINE
- UTC EXISTING UNDERGROUND TELEPHONE LINE
- EXISTING BUILDING
- REMOVE AND REPLACE EXISTING ASPHALT
- EXISTING CONCRETE
- NEW CONCRETE
- DS NEW ROOF DRAIN DOWN SPOUT
- PROPERTY LINE
- NEW PROPOSED EXTENDED STEM WALL
- PROPOSED FLOW DIRECTION
- OVER HANG OF BUILDING
- NEW HANDICAP PARKING
- SIDEWALK CULVERT
- NEW HEADER CURB PER STD DWG 2415B
- NEW BASIN BOUNDARY LINE
- NEW WATER METER
- NEW PRIVACY WALL
- SUB-BASIN BOUNDARY
- 100-YEAR WATER SURFACE LIMITS
- HEC-RAS CROSS-SECTION ID

James C Lewis Architect  
General Design, Inc.  
1020 Central Avenue SE  
Albuquerque, New Mexico 87106  
(505) 247-1329 - pgs@jclaw.com

one ten richmond  
110 Richmond SE  
Albuquerque, New Mexico 87106

ISSUE DATE:  
5 July 2007

REVISIONS:

PROJECT # 2007-0703

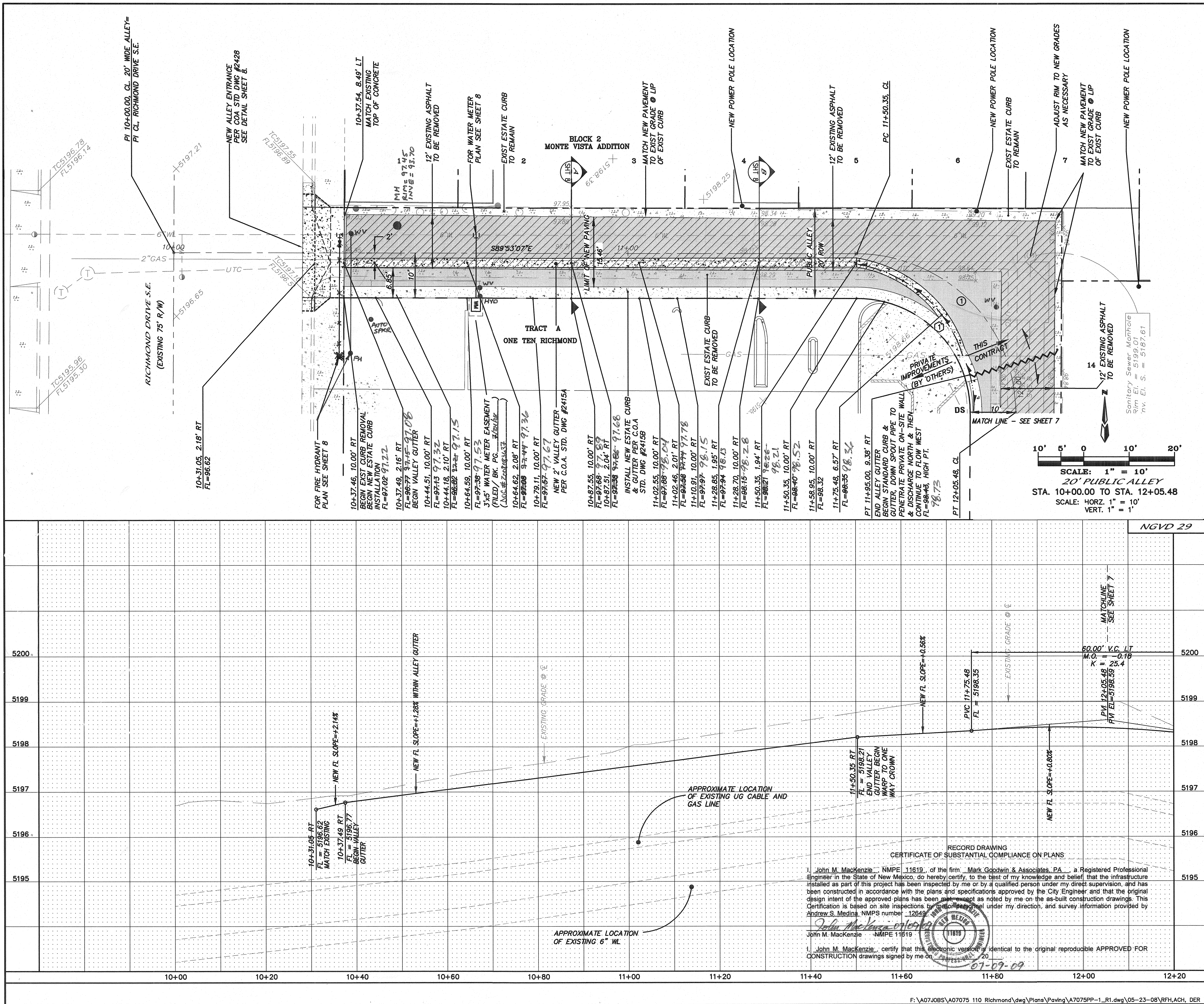
DETAIL SHEET

SHEET

C-104

6 OF 52





**NOTES**

1. ALL STATIONING IS BASED ON CENTERLINE OF ALLEY.  
2. FOR PAVEMENT SECTION, SEE SHEET 8.

**CURVE DATA - DESCRIBES CENTERLINE**

①  $L=90'14'37''$   
 $L=55.13$   
 $R=35.00$   
 $Tan=35.15$

**CURVE DATA - DESCRIBES THEORETICAL FACE OF NEW CURB**

①  $L=90'14'37''$   
 $L=39.38$   
 $R=25.00$   
 $Tan=25.11$

**LEGEND**

- NEW DEPRESSED CURB & GUTTER
- NEW MEDIAN CURB AND GUTTER
- NEW STANDARD CURB AND GUTTER
- NEW MOUNTABLE CURB & GUTTER
- NEW FULL 50' CROWN TRANSITION
- NEW 25' 1/2 CROWN TRANSITION
- NEW ALLEY GUTTER
- NEW RIGHT-OF-WAY LINE
- CENTERLINE
- NEW EASEMENTS
- NEW RETAINING WALL
- NEW UNI-DIRECTIONAL RAMP WITH TRUNCATED DOMES
- NEW GENERAL WHEEL CHAIR RAMP WITH TRUNCATED DOMES
- NEW ASPHALT PAVING THIS PROJECT
- EXISTING ASPHALT TO BE REMOVED
- EXISTING CHAIN LINK/WIRE FENCE
- EXISTING BARB WIRE FENCE
- EXISTING WOOD FENCE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING POWER POLE
- EXISTING GUY WIRE
- EXISTING TELEPHONE MANHOLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING UG TELEPHONE MARKER
- EXISTING CABLE PEDESTAL
- EXISTING TRAFFIC SIGNAL PULL BOX
- SANITARY SEWER MANHOLE
- EXISTING GUY WIRE
- EXISTING CONCRETE CURB
- EXISTING WALL OR HEAD WALL
- WATER BREAK

**ENGINEER'S SEAL**

John M. Mackenzie  
11619  
07-17-08

**CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT**

TITLE: **ONE TEN RICHMOND S.E.  
ALLEY PAVING IMPROVEMENTS**

DESIGN REVIEW COMMITTEE: **APPROVED**  
AUG 8 2008

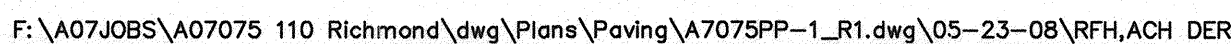
CITY ENGINEER APPROVAL: **APPROVED**  
JAN 2 2009

DESIGNED BY: JMM  
DRAWN BY: DER  
CHECKED BY: DMG

DATE: 11/07  
DATE: 11/07  
DATE: 11/07

CITY PROJECT NO. **628182** ZONE MAP NO. **K-16-Z** SHEET **6** OF **8**

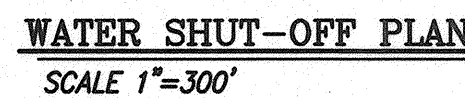




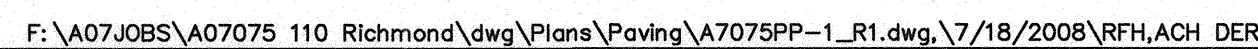
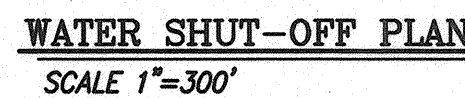
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| CITY PROJECT NO. | ZONE MAP NO. | SHEET | OF |
| 628182           | K-16-Z       | 7     | 8  |

[illegible]





1. CONTRACTOR WILL CONTACT WATER AUTHORITY AT 857-8200, SEVEN (7) DAYS PRIOR TO NECESSARY SHUT-OFF.
2. VALVES SHALL ONLY BE OPERATED BY WATER AUTHORITY EMPLOYEES. SEE THIS SHEET FOR VALVE NUMBERS & LOCATIONS.
3. WHEN INSTALLING NEW FIRE HYDRANT AND NEW FIRE SPRINKLER LINE, SHUT VALVES 913, 914 AND 915



RECORD DRAWING  
CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, John M. MacKenzie, NMPE 11619, of the firm Mark Goodwin & Associates, PA, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design was prepared by me or by a qualified person under my direct supervision, and that the construction of this project was in accordance with the approved plans and specifications noted by me on the as-built construction drawings. This Certification is based on site inspections by me or by a qualified person under my direction, and survey information provided by Andrew S. Medina, NMPS number 12649.

*John M. MacKenzie 01/09/21*

John M. MacKenzie - NMPE 11619

I, John M. MacKenzie, certify that this electronic version is identical to the original reproducible APPROVED FOR CONSTRUCTION drawings signed by me on \_\_\_\_\_, 20\_\_\_\_.

| ENGINEER'S SEAL |  | SURVEY INFORMATION |    | BENCH MARKS |  | AS BUILT INFORMATION   |           |
|-----------------|--|--------------------|----|-------------|--|------------------------|-----------|
|                 |  | FIELD NOTES        |    |             |  |                        |           |
|                 |  | NO.                | BY | DATE        |  |                        |           |
|                 |  |                    |    |             |  | CONTRACTOR             | TLC       |
|                 |  |                    |    |             |  | WORK                   | TLC       |
|                 |  |                    |    |             |  | INSPECTOR'S            | DATE 5/19 |
|                 |  |                    |    |             |  | FIELD CHANGE BY        | DATE 8/18 |
|                 |  |                    |    |             |  | VERIFICATION BY        | DATE      |
|                 |  |                    |    |             |  | CORRECTED BY           | DATE      |
|                 |  |                    |    |             |  |                        | DMG       |
|                 |  |                    |    |             |  | MICRO-FILM INFORMATION |           |
|                 |  |                    |    |             |  | RECORDED BY            | DATE      |
|                 |  |                    |    |             |  |                        | NO.       |

07-17-08

| DESIGN      |     | DATE | 11/07 |
|-------------|-----|------|-------|
| DESIGNED BY | JMM | DATE | 11/07 |
| DRAWN BY    | DER | DATE | 11/07 |
| CHECKED BY  | DMG | DATE | 11/07 |

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 828-2200, FAX (505) 797-9539



CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT

TITLE: *ONE TEN RICHMOND S.E.  
ALLEY PAVING IMPROVEMENTS*

DESIGN REVIEW COMMITTEE

APPROVED

AUG 08 2008

DESIGN REVIEW COMMITTEE



CITY ENGINEER APPROVAL  
JAN 22 2009  
CITY ENGINEER

|                    |             |             |
|--------------------|-------------|-------------|
| LAST DESIGN UPDATE | MO./DAY/YR. | MO./DAY/YR. |
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628182

ONE MAP NO