

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT TRANSPORTATION DEVELOPMENT



SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the 'as-built' information shown on these drawings was obtained from field construction and 'as-built' surveys performed by me or under my supervision, that the 'as-built' information shown on these drawings was added by me or under my supervision, and that this 'as-built' information is true and correct to the best of my knowledge and belief." Aldrich Land Surveying is not responsible for any of the design concepts, calculations, engineering, or intent of the record drawings.

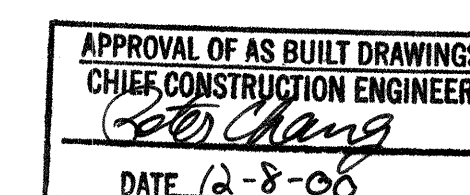
Timothy Aldrich, P.L.S. No. 7719

Date

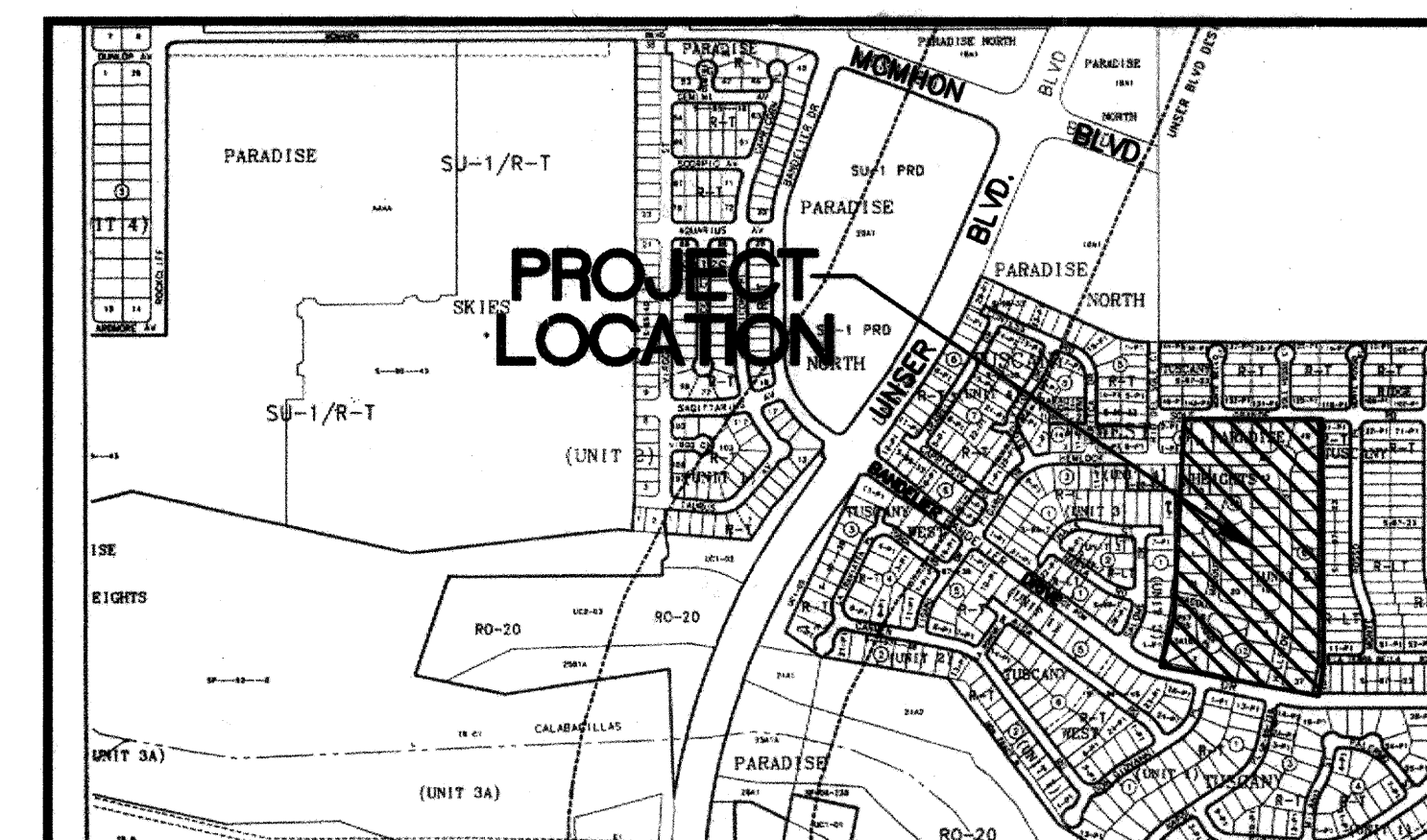
TUSCANY WEST UNIT 5

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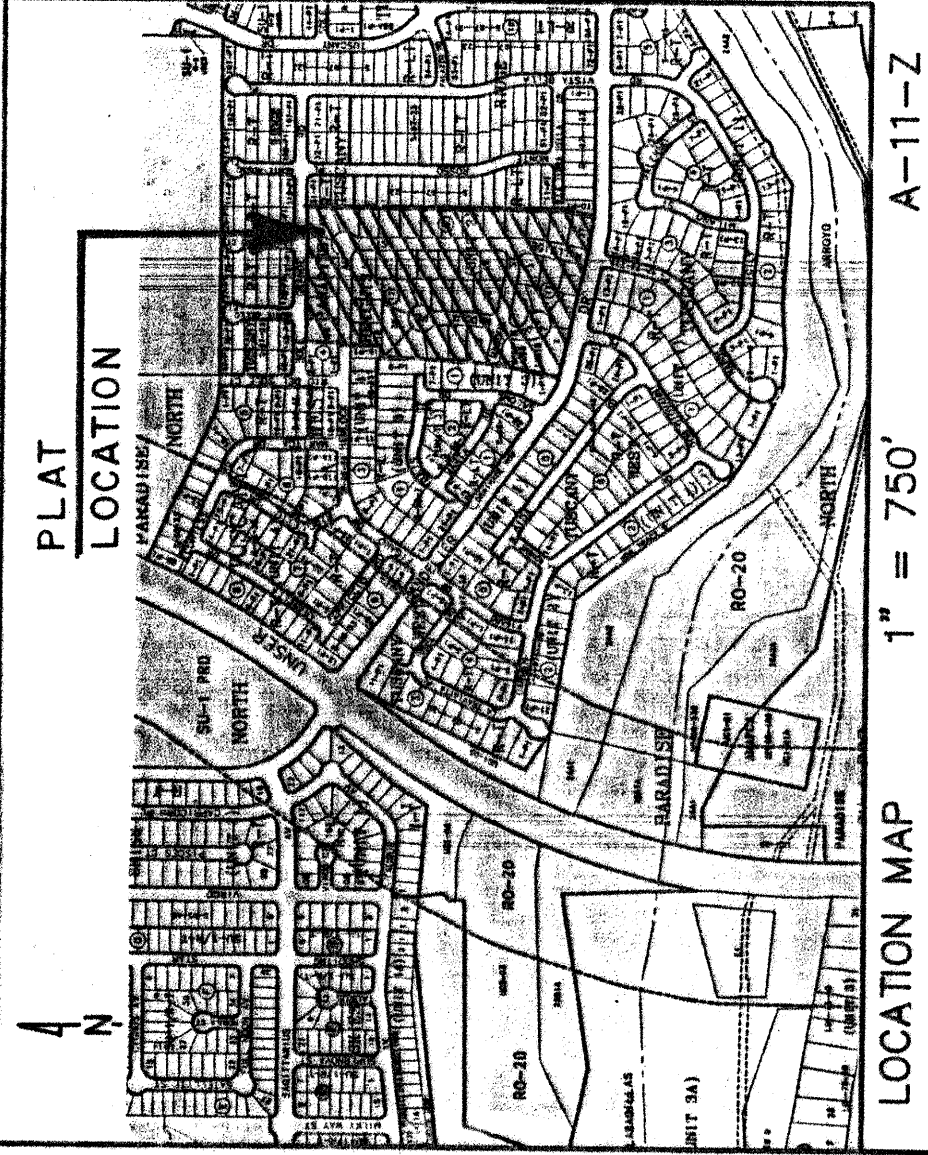


LOCATION MAP
ZONE ATLAS MAP A-11-Z

NTS

GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT, AND UNLESS STATED OTHERWISE OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS, PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO. 6.
2. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES BEING CONNECTED TO AND ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING SAFETY AND HEALTH.
5. CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
6. ALL GAS, ELECTRIC, TELEPHONE LINES, CABLES AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION SHALL BE DONE BY THE RESPONSIBLE UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS.
7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT AND MAINTAIN IN SERVICE ALL EXISTING UTILITIES.
8. THE CONTRACTOR SHALL BE REQUIRED TO CONFINE HIS WORK WITHIN THE CONSTRUCTION LIMITS AND/OR PUBLIC RIGHT-OF-WAY OR EASEMENTS TO PRESERVE EXISTING VEGETATION AND PRIVATE PROPERTY. OVERNIGHT PARKING OF EQUIPMENT AND/OR STORAGE OF MATERIALS IS NOT ALLOWED EXCEPT BY PERMISSION OF PROPERTY OWNER. RESTORATION OF PRIVATE IMPROVEMENTS WILL BE AT THE CONTRACTOR'S EXPENSE.
9. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL, ASPHALTIC PAVING, CONCRETE CURBS AND SIDEWALKS, ETC. SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE FIELD ENGINEER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
10. WHEN ABUTTING EXISTING PAVEMENT TO NEW, SAWCUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE PROJECT ENGINEER. REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED.
11. FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. SEE SECTION 19 OF THE SPECIFICATIONS.
12. ALL FINAL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM 90% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2315.
13. CONTRACTOR SHALL SUBMIT A REVEGETATION PLAN TO ENGINEER FOR PRIOR APPROVAL.
14. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THEN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
15. ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES TWENTY-FOUR (24) HOURS CONSTRUCTION.
16. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR TO LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.
17. ALL UTILITY WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH NEW MEXICO UTILITIES, INC. SPECIFICATIONS FOR WATER AND WASTEWATER FACILITIES (MOST RECENT REVISIONS.)
18. THE CONTRACTOR SHALL NOTIFY NEW MEXICO UTILITIES (898-2661) THREE (3) WORKING DAYS PRIOR TO BEGINNING THE CONSTRUCTION OF THE UTILITIES.



LOCATION MAP 1" = 750' A-11-Z

PURPOSE OF PLAT

1. To create 69 lots as shown hereon.
2. To eliminate lot lines as shown hereon.
3. To grant easements as shown hereon.
4. To dedicate street right-of-way as shown hereon.
5. To vacate street right-of-way as shown hereon.
6. To vacate easements as shown hereon.

SUBDIVISION DATA

1. DRB Case No.: 99-26
2. Zone Atlas Index No.: A-11-Z
3. Total Number of Existing Lots: 45
4. Total Number of Existing Tracts: 0
5. Total Number of Lots created: 69
6. Total Number of Tracts created: 0
7. Gross Subdivision Acreage: 14.1195
8. Total Mileage of Full Width Streets Created: 0.3800 Mi.
9. Total Mileage of Half Width Streets Created: 0

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plats (and documents) of record entitled:

PLAT FOR "PARADISE HEIGHTS, UNIT 2", (05-07-88, D3-199)

RE-PLAT FOR "PARADISE HEIGHTS, UNIT 2", (08-24-78, D8-174)

AMENDED RE-PLAT FOR "PARADISE HEIGHTS, UNIT 2", (05-28-80, C16-125)

PLAT FOR "TUSCANY RIDGE SUBDIVISION", (09-12-97, 97C-273)

PLAT FOR "TUSCANY WEST UNIT 3", (02-02-98, 98C-36)

PLAT FOR "TUSCANY WEST UNIT 4", (05-12-98, 98C-130)

all being records of Bernalillo County, New Mexico.

5. Field Survey performed February, 1999.

6. Centerline (in lieu of R/W) monumentation to be installed at all centerline PC's, PT's, angle points and street intersections as shown hereon, and will consist of a four inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monument", "Do Not Disturb", "PLS # 7719".

7. Utility Council Location System Log No.:99121709500134

8. This Report: None provided.

PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance, and service of overhead and underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
3. U.S. West for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
4. Jones Intericable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat. In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the elimination of lot lines, the vacation of street right-of-way and easements, the granting of easements, and the dedication of street right-of-way to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed.

Owner(s): City of West, Inc.

Stan Strickman

STAN STRICKMAN, VICE PRESIDENT

STATE OF NEW MEXICO)

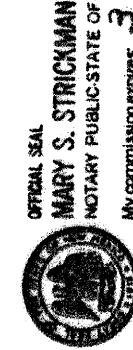
BERNALILLO COUNTY)

On this 9th day of February, 2000, this instrument was acknowledged before me by Stan Strickman, Vice President, City of West, Inc.

Mary S. Strickman

Notary Public

My Commission Expires



SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief."

Timothy Aldrich

Timothy Aldrich, P.L.S. No. 7719

ALDRICH LAND
SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

Drawn By:	RJA	Date:	12-21-99
Checked By:	TA	Drawing Name:	99007PL.DWG
Job No.:	99-007	Sheet:	1 of 5

PLAT FOR
TUSCANY WEST, UNIT 5
WITHIN THE
TOWN OF ALAMEDA GRANT
PROJECTED SECTION 2
TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 1999

DESCRIPTION

A tract of land situate within the Town of Alameda Grant, projected Section 2, Township 11 North, Range 2 East, New Mexico Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 37 THRU 54, BLOCK 6 AND LOTS 10 THRU 29, BLOCK 13, PARADISE HEIGHTS, UNIT TWO as the same is shown and designated on said plat filed in the office of the County Clerk of Bernalillo County, New Mexico on May 7, 1988 in Volume D3, Folio 99 and all of LOTS 1 THRU 7, BLOCK 12, PARADISE HEIGHTS, UNIT TWO as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 29, 1979 in Volume D9, Folio 174 and all of TRACT 13A-1B, PARADISE NORTH as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on November 13, 1997 in Volume 97C, Folio 330 together with a portion of VACATED HEMLOCK AVENUE N.W. and all of VACATED MADDOX STREET N.W., MADDOX COURT N.W. and HILLSIDE STREET N.W. and being more particularly described as follows:

BEGINNING at the southeast corner of the herein described tract, said point being common with the southwest corner of TUSCANY RIDGE SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 12, 1987 in Volume 97C, Folio 273 and further being on the north right-of-way line of the vacated Hemlock Drive N.W. from whence the Albuquerque Central Survey Monument "BLACK 2" bears S 84°57'12" E, 5576.58 feet;

THENCE along said north right-of-way line 116.20 feet along a curve to the right, whose radius is 661.16 feet through a central angle of 100°41'11" and whose chord bears N 82°26'39" W, 116.05 feet to a point of tangency;

THENCE continuing N 77°24'34" W, 497.45 feet to a point of curvature;

THENCE continuing 25.09 feet along a curve to the right, whose radius is 347.76 feet through a central angle of 04°04'02" and whose chord bears S 75°30'09" W, 25.09 feet to the southwest corner, said point being common with the southeast corner of BLOCK 1, TUSCANY WEST UNIT 3 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 12, 1998 in Volume 96C, Folio 130;

THENCE leaving said north right-of-way line N 12°35'26" E, 238.49 feet along a line common with the east line of said BLOCK 1 to a point;

THENCE continuing N 03°28'33" W, 52.03 feet to a point;

THENCE continuing N 12°35'26" E, 74.98 feet to a point;

THENCE continuing N 00°15'26" E, 325.87 feet to a point, said point being common with the southwest corner of LOT 18-P1, BLOCK 3, TUSCANY WEST UNIT 4 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 12, 1998 in Volume 98C, Folio 130;

THENCE S 89°44'34" E, 54.95 feet to a point, said point being common with the southeast corner of said LOT 18-P1;

THENCE N 00°15'26" E, 169.82 feet along a line common with the east line of said LOT 18-P1 to a point, said point being the southeast corner of LOT 1-P1, BLOCK 4, TUSCANY WEST UNIT 4 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 12, 1998 in Volume 98C, Folio 130 and further being on the north right-of-way line of Hemlock Avenue N.W.;

THENCE leaving said north right-of-way line S 89°44'34" E, 7.20 feet to a point, said point being common with the southeast corner of said LOT 1-P1;

THENCE N 00°15'26" E, 127.94 feet along a line common with the east line of said LOT 1-P1 and LOT 2-P1, BLOCK 4, TUSCANY WEST UNIT 4 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 12, 1998 in Volume 98C, Folio 130 to the northwest corner, said point being common with the northeast corner of said LOT 2-P1 and further being on the south right-of-way line of Sole Grande Road N.W.;

THENCE along said south right-of-way line S 89°47'49" E, 526.08 to the northeast corner, said point being on the west line of said TUSCANY RIDGE SUBDIVISION;

THENCE S 00°16'23" W, 989.94 feet along a line common with the west line of said TUSCANY RIDGE SUBDIVISION to a point;

THENCE continuing S 12°35'19" W, 122.28 feet to the point of beginning and containing 14.1195 (GROSS) acres more or less.

EXCEPTING THEREFROM, all of LOTS 14 AND 25, BLOCK 13, PARADISE HEIGHTS, UNIT 2 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 7, 1988 in Volume D3, Folio 199 and containing 0.5153 acres for a (NET) acreage of 13.6042 more or less.

Drawn By:	RJA	Date:	12-21-99
Checked By:	TA	Drawing Name:	99007PL.DWG
Job No.:	99-007	Sheet:	2 of 5

ALDRICH LAND
SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	116.20'	107.41°	581.16'	58.23'	N82°28'39"W	118.03'
C2	25.09'	04°38'00"	597.76'	12.55'	N75°36'00"W	25.09'
	(25.02)	(04°37'21")		(12.52)	(N75°20'53"W)	(25.02)

- PROPERTY CORNERS
- FOUND PK NAIL ON WALL (TYP)
 - SET 5/8" REBAR WITH CAP
 - *ALS LS 7719' (TYP)

SEE SHEET 5 OF 5
FOR ADDITIONAL
CURVE DATA

EASEMENTS

- 10' PUE (GRANTED BY THIS PLAT, TYP.)
- EXISTING 5' PUE (05-07-88, D3-198)

ACS MONUMENT
"2-B12"
Y=1529474.59
X=368662.22
G=0.9996675
M=0.001512"
CENTRAL ZONE
(NAO 1927/SID 1929)
ELEVATION=5273.63

LINE	DIRECTION	DISTANCE	LINE TABLE CONT'D
L1	N77°24'34"W	497.45'	L7 N00°15'26"E (188.82')
L2	N12°35'26"E	238.49'	L8 S89°44'34"E (7.20')
L3	N03°28'35"W	52.03'	L9 N00°15'26"E (127.78')
L4	N12°35'26"E	74.98'	L10 S89°47'49"E (526.08')
L5	N00°15'26"E	325.87'	L11 S89°48'00"E (536.30')
L6	S89°44'34"E	54.95'	L12 S00°16'23"W (988.94')
		(55.00')	

TUSCANY WEST UNIT 3
BLOCK 1
(02-02-98, 98C-36)

TUSCANY WEST UNIT 4
(05-12-98, 98C-130)

HEMLOCK AVENUE N.W. (46' R/W)

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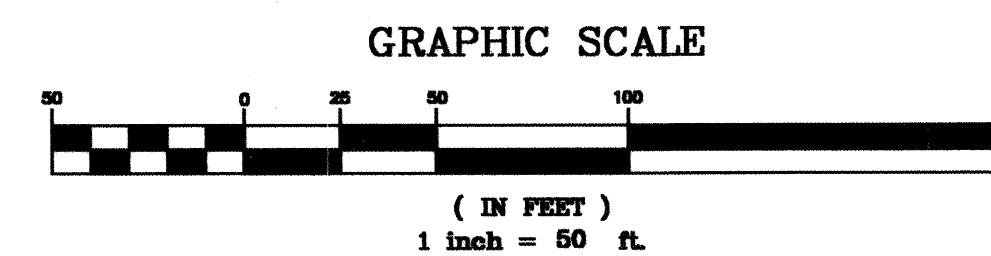
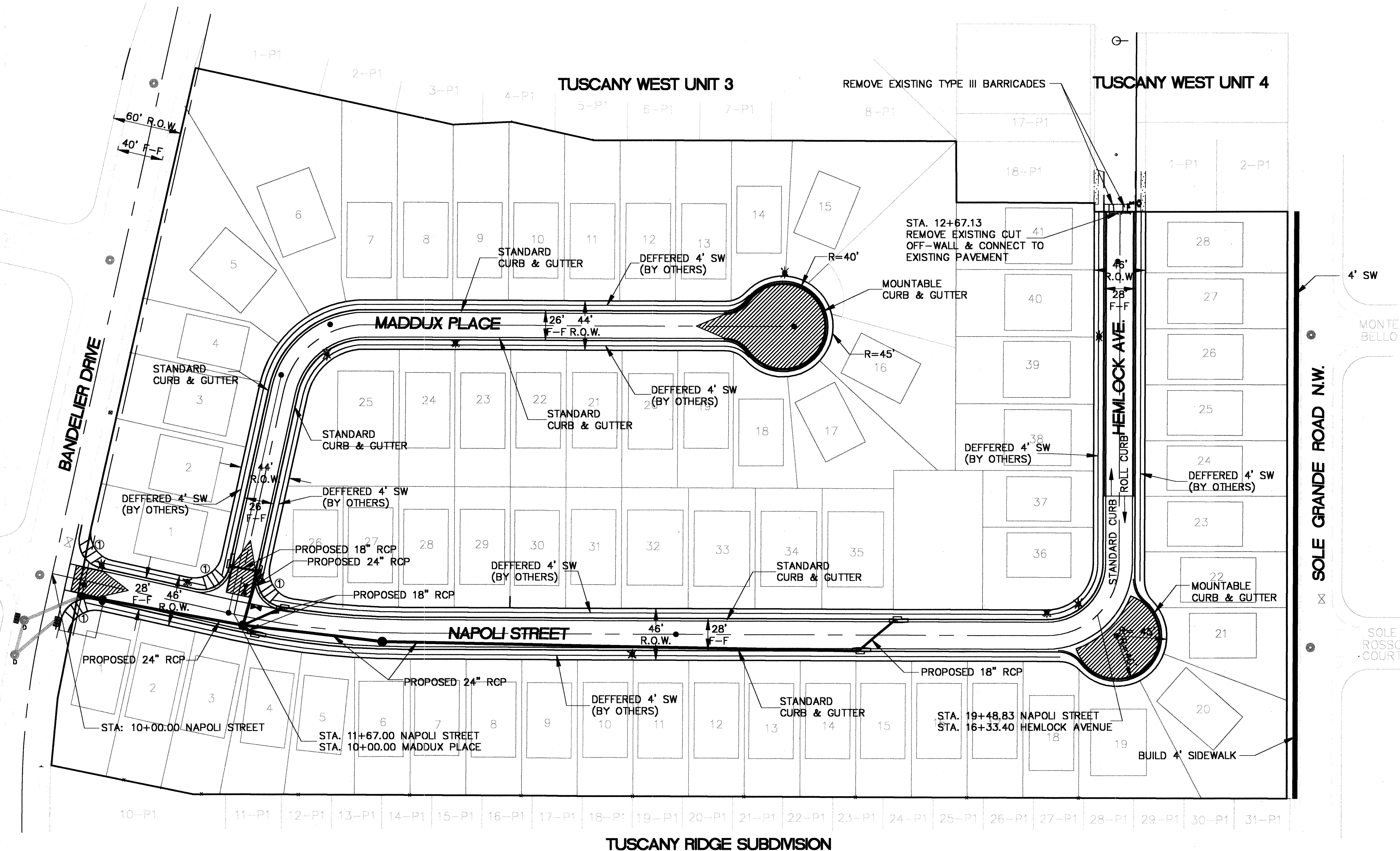
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HEMLOCK AVENUE N.W. (46' R/W)



GENERAL NOTES:

- ALL STATION AND OFFSET DIMENSIONS ARE BASED ON CENTERLINE OF RIGHT-OF-WAY.
- ALL ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.
- ALL SIDEWALKS TO BE CONSTRUCTED IN THIS PROJECT ARE SHOWN AS SOLID DILUTED LINES.
- ALL SIDEWALKS TO BE CONSTRUCTED BY OTHERS ARE SHOWN AS DASHED DILUTED LINES.

KEYED NOTES

- CONSTRUCT WHEELCHAIR RAMPS PER COA DWG. 2441, TYPE II.

LEGEND

- CENTERLINE OF STREET
- EXISTING CURB & GUTTER
- PROPOSED STANDARD CURB & GUTTER
- PROPOSED MOUNTABLE CURB & GUTTER
- PROPOSED WHEELCHAIR RAMP
- PROPOSED CONCRETE VALLEY GUTTER
- TRANSITION SECTION FROM FULL CROWN TO NO CROWN SECTION (MINIMUM 50' TRANSITION) SEE CITY STD. DWG. 2401
- PROPOSED STREET LIGHT LOCATION
- PROPOSED FIRE HYDRANT
- TYPE III BARRICADE
- PROPOSED SAS MANHOLE
- PROPOSED WATER VALVE
- EXISTING SAS MANHOLE
- EXISTING WATER VALVE
- PROPOSED SIDEWALK

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Consultants, Inc.**

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Los Lunas, NM 87031

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
TRANSPORTATION DEVELOPMENT

OVERALL PAVING PLAN
TUSCANY WEST UNIT 5

DESIGN REVIEW COMMITTEE
FEB 22 2000

CITY ENGINEER APPROVAL
MAR 13 2000

NO.	DATE	REMARKS	BY

City Project No.
6299.81

Zone Map No.
A-11-Z

Sheet
5 Of
15

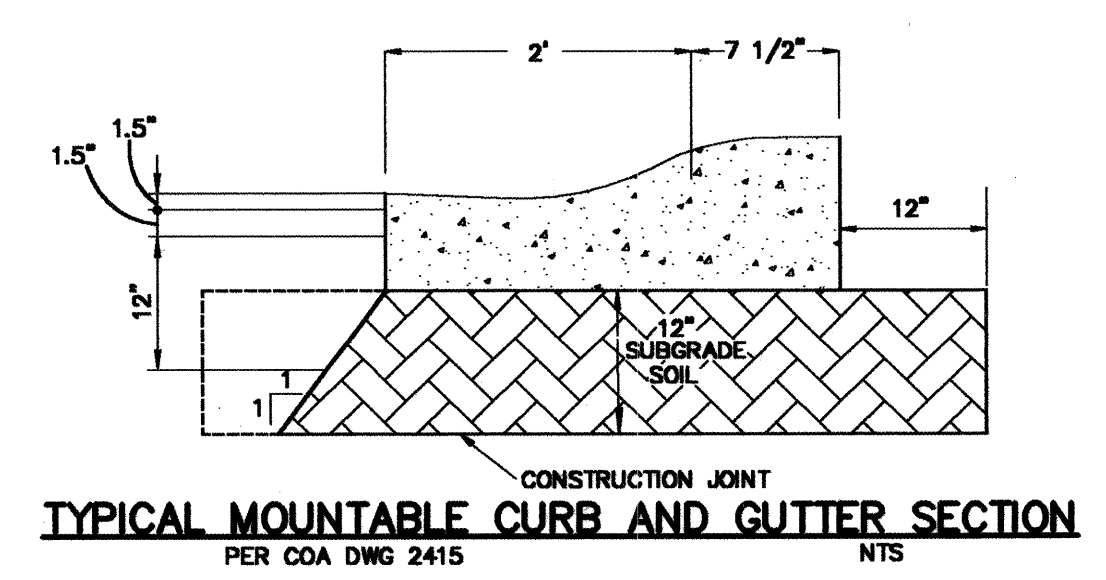
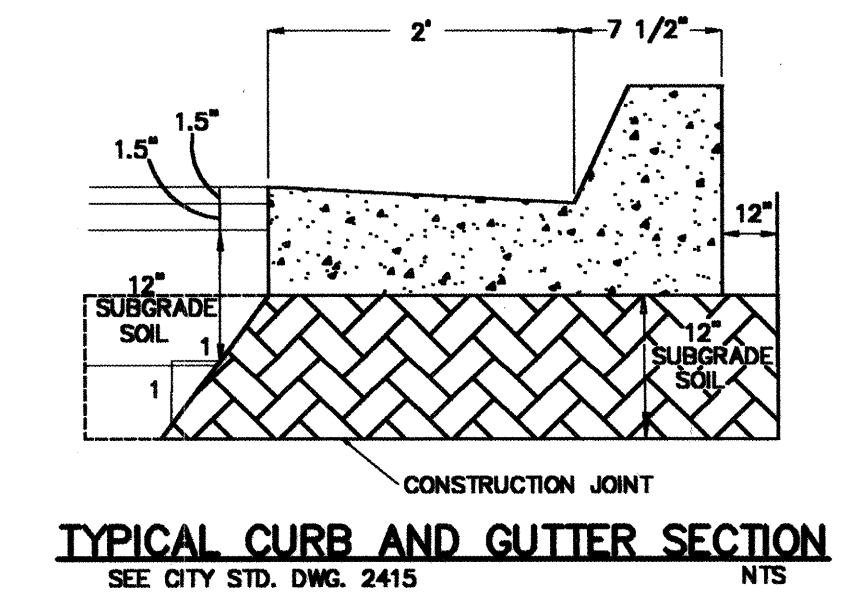
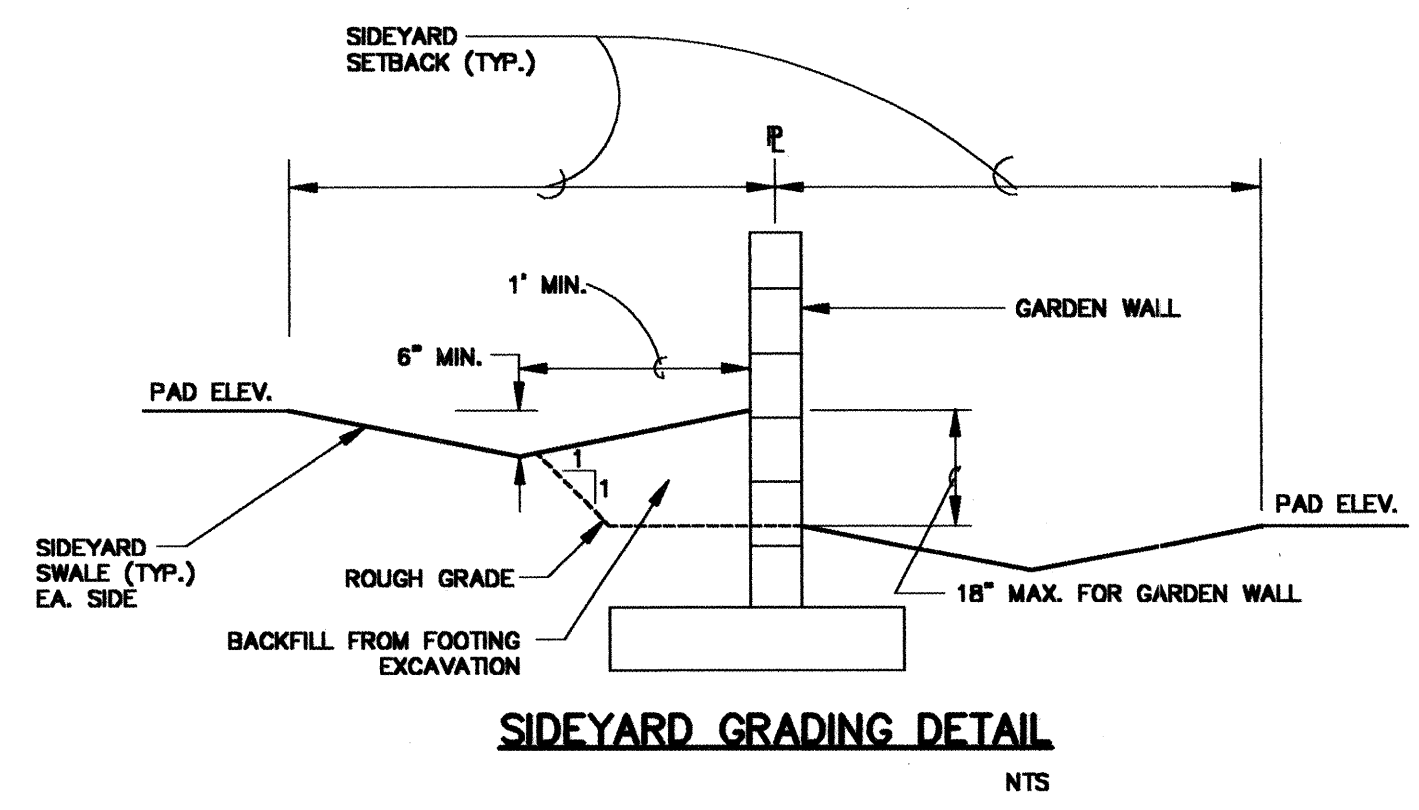
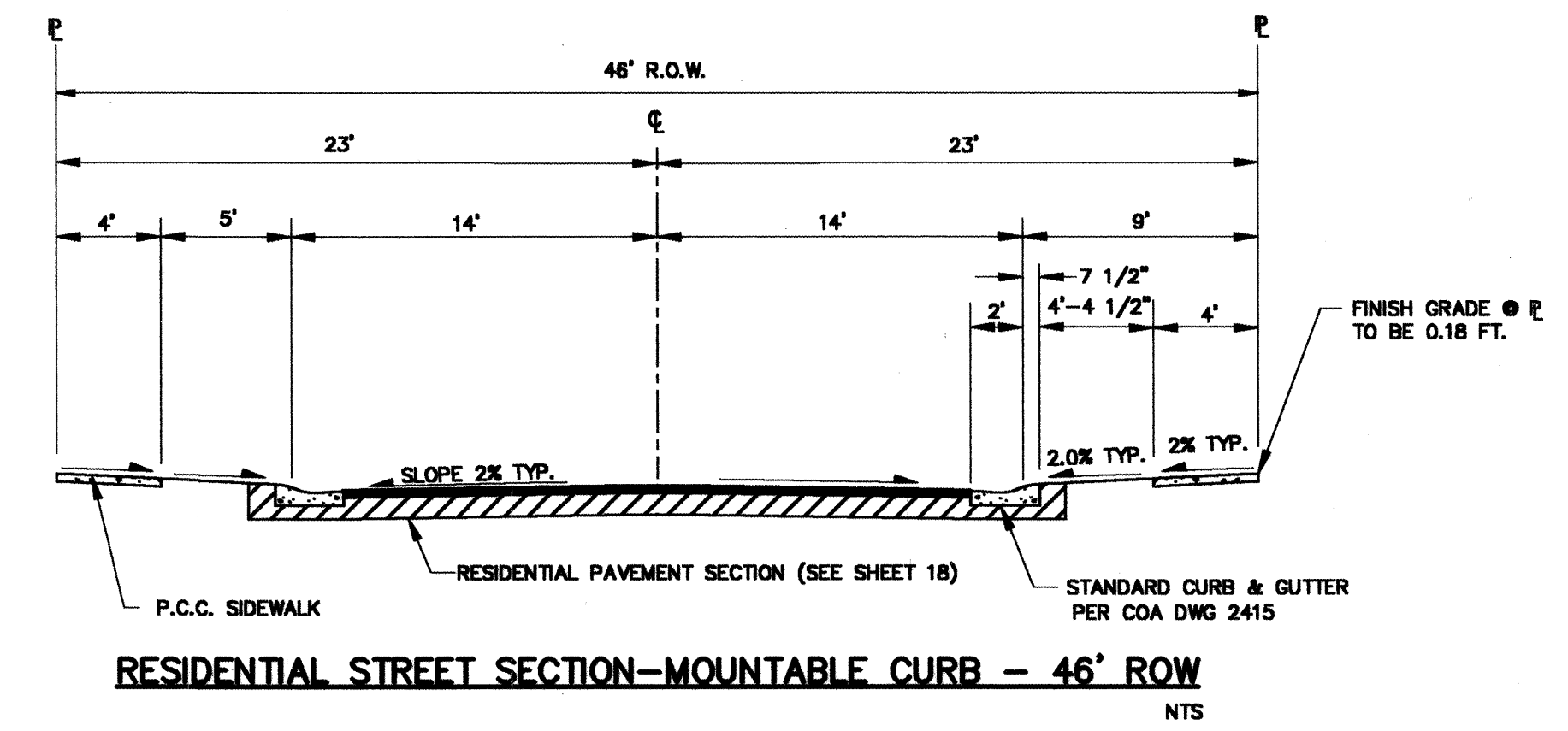
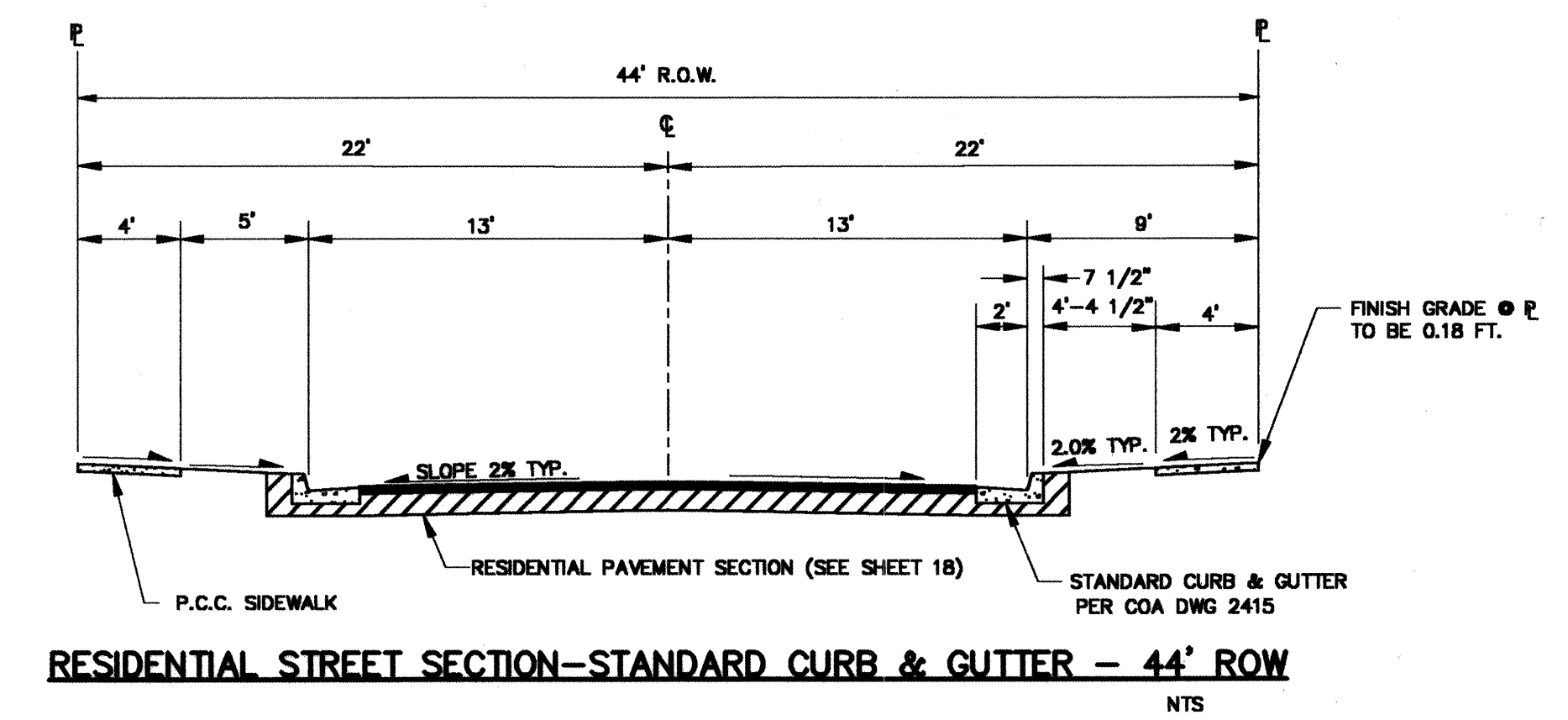
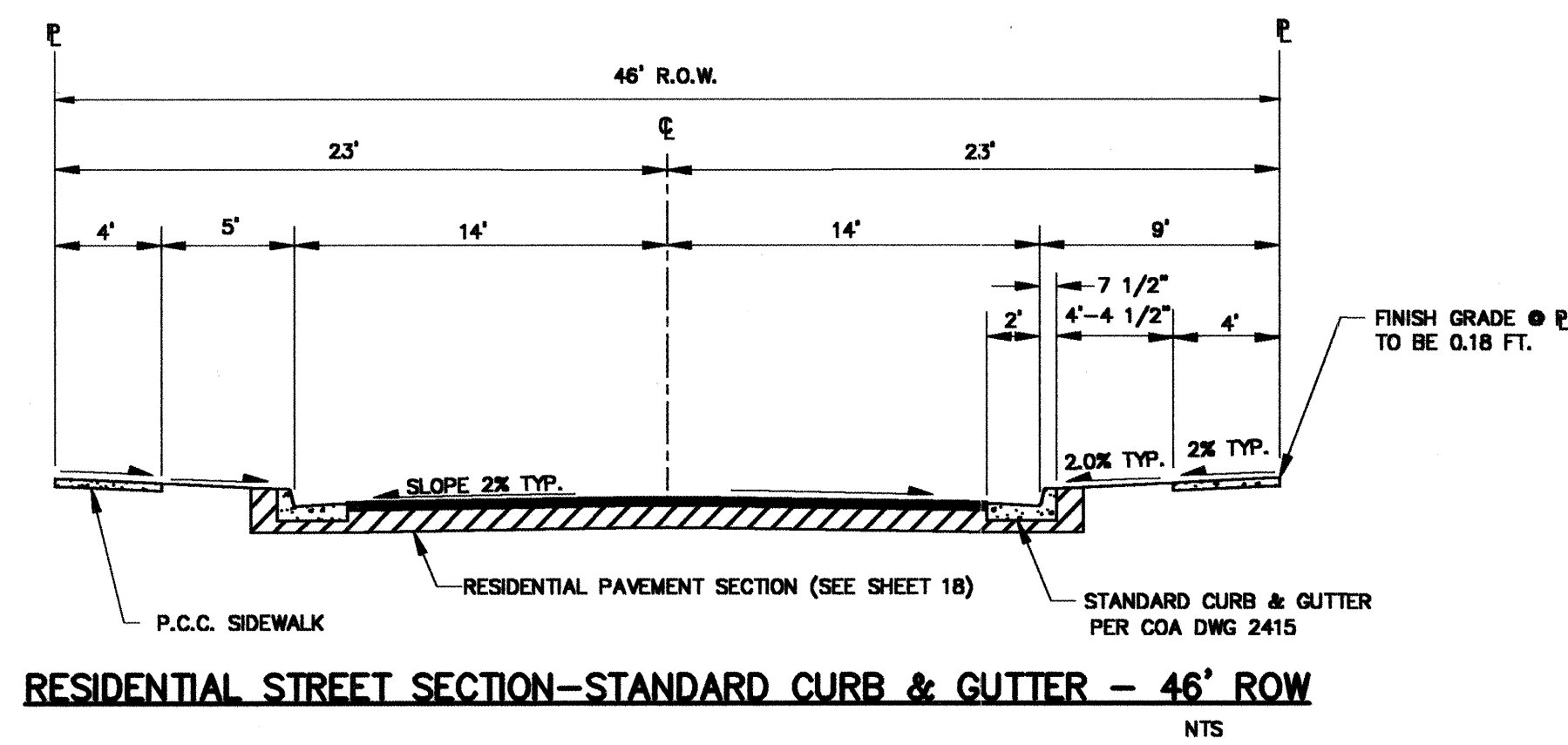
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CONTRACTOR	NEW CONCEPTS
STARTED BY	AKS, INC.
INSPECTOR'S	DATE
FIELD	DATE
VERIFICATION	DATE
CORRECTION	DATE
MICRO-FILM INFORMATION	
RECORDED BY	NO.
DATE	DATE

BENCH MARKS	
ACS BRASS TABLE STAMPED "2-B12"	LOCATED 2369.13 FEET ON A BEARING OF S 54°08'48" E FROM THE SOUTHWEST PROPERTY CORNER. Y = 1,529,474.59, X = 386,662.22, G-G = 0.9996675, ΔX = -0°15'12", CENTRAL ZONE (NAD 1927/SLD 1929) ELEVATION = 5273.83

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY

ENGINEER'S SEAL	

DESIGN	
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE



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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
TRANSPORTATION DEVELOPMENT

PAVING DETAILS
TUSCANY WEST UNIT 5

DESIGN REVIEW COMMITTEE
APPROVED
FEB 22 2000
DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL
APPROVED
MAR 13 2000
CITY ENGINEER

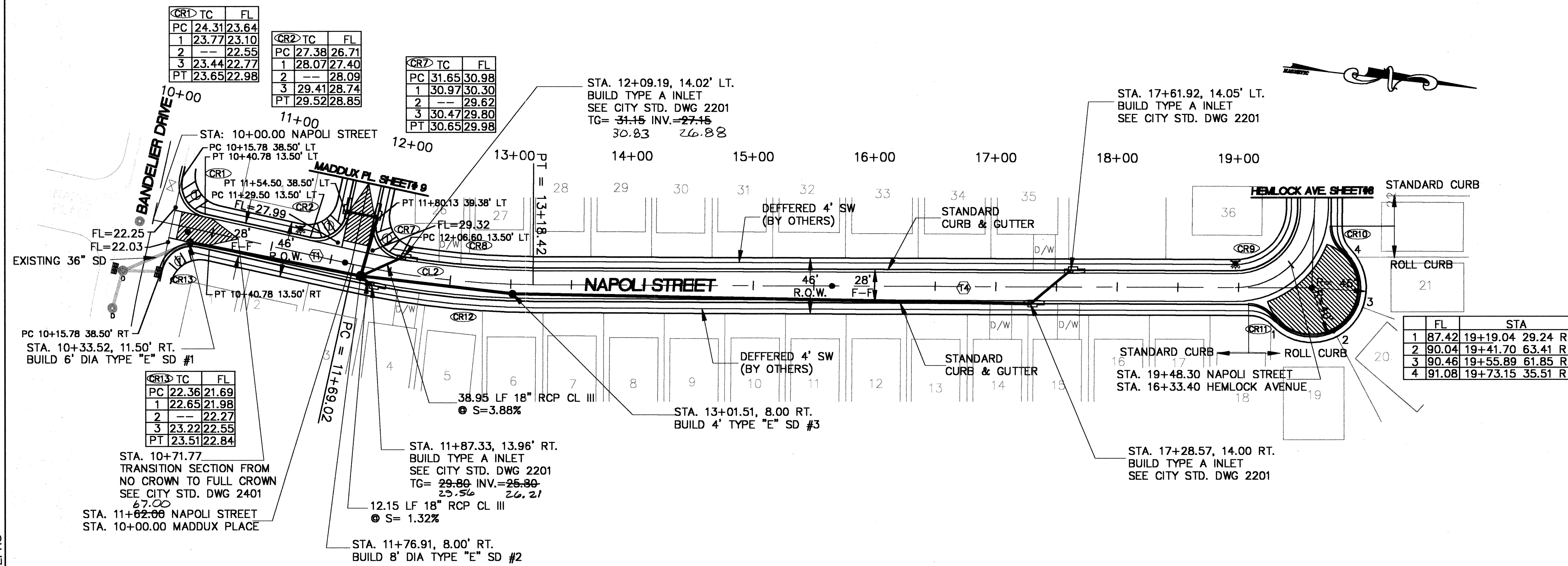
MO./DAY/YR.	MO./DAY/YR.

City Project No. 6299.81

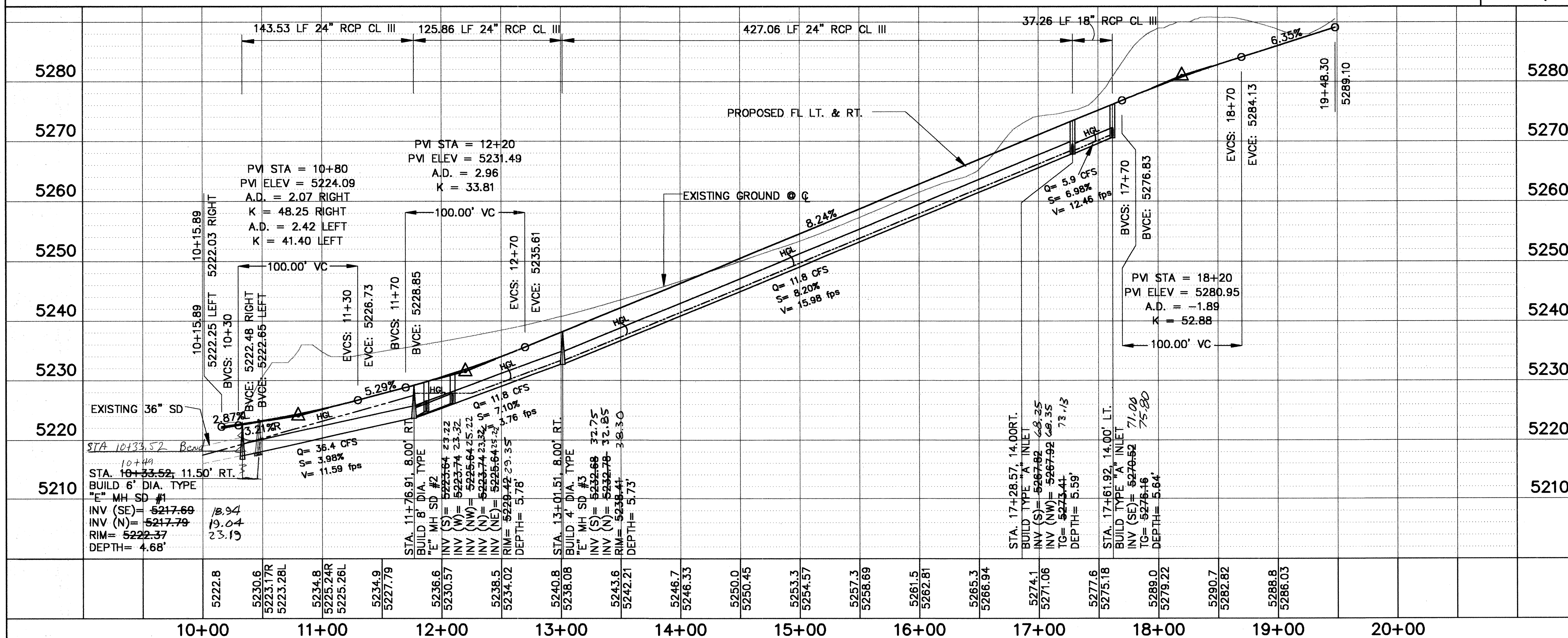
Zone Map No. A-11-Z

Sheet 6 Of 15

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REMARKS		DESIGN	
CONTRACTOR	NEW CONCEPTS	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
WORK BY	ALS, INC.			BY							
INSPECTOR	ALS, INC.										
FIELD	ALS, INC.										
REVISION	ALS, INC.										
CHECKED	ALS, INC.										
RECORDED	ALS, INC.										
NO.											



NAPOLI STREET



GENERAL NOTES:

1. ALL STATION AND OFFSET DIMENSIONS ARE BASED ON CENTERLINE OF RIGHT-OF-WAY.
2. ALL ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.

CENTERLINE CURVE DATA

<u>CURVE</u>	<u>DELTA</u>	<u>RADIUS</u>	<u>LENGTH</u>	<u>TANGENT</u>
CL2	12° 19' 56"	694.15	149.41	74.99

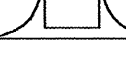
CURVE DATA

<u>CURVE</u>	<u>DELTA</u>	<u>RADIUS</u>	<u>LENGTH</u>	<u>TANGENT</u>
<u>CR1</u>	90° 00' 32"	25.00	39.27	25.00
<u>CR2</u>	90° 00' 00"	25.00	39.27	25.00
<u>CR7</u>	93° 08' 55"	25.00	40.62	26.39
<u>CR8</u>	09° 13' 48"	680.65	109.65	54.94
<u>CR9</u>	89° 59' 50"	51.50	80.89	51.50
<u>CR10</u>	50° 53' 35"	25.00	22.21	11.90
<u>CR11</u>	53° 07' 48"	25.00	23.18	12.50
<u>CR12</u>	12° 19' 56"	707.65	152.31	76.45
<u>CR13</u>	89° 59' 28"	25.00	39.27	25.00

TANGENT DATA

<u>TANGENT</u>	<u>BEARING</u>	<u>DISTANCE</u>
	S 12° 34' 54" W	169.02'
	N 00° 14' 58" E	641.83'

LEGEND

-  CENTERLINE OF STREET
 EXISTING CURB & GUTTER
 PROPOSED STANDARD CURB & GUTTER
 PROPOSED MOUNTABLE CURB & GUTTER
 PROPOSED WHEELCHAIR RAMP
 PROPOSED CONCRETE VALLEY GUTTER
 TRANSITION SECTION FROM FULL CROWN TO NO CROWN SECTION (MINIMUM 50' TRANSITION)
 SEE CITY STD. DWG. 2401
 PROPOSED STREET LIGHT LOCATION
 PROPOSED FIRE HYDRANT
 TT TYPE III BARRICADE
 PROPOSED SAS MANHOLE
 PROPOSED WATER VALVE
 EXISTING SAS MANHOLE
 EXISTING WATER VALVE

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
TRANSPORTATION DEVELOPMENT

NAPOLI STREET PAVING PLAN AND PROFILE
TUSCANY WEST UNIT 5

CITY ENGINEER APPROVAL

MAR 13 2000

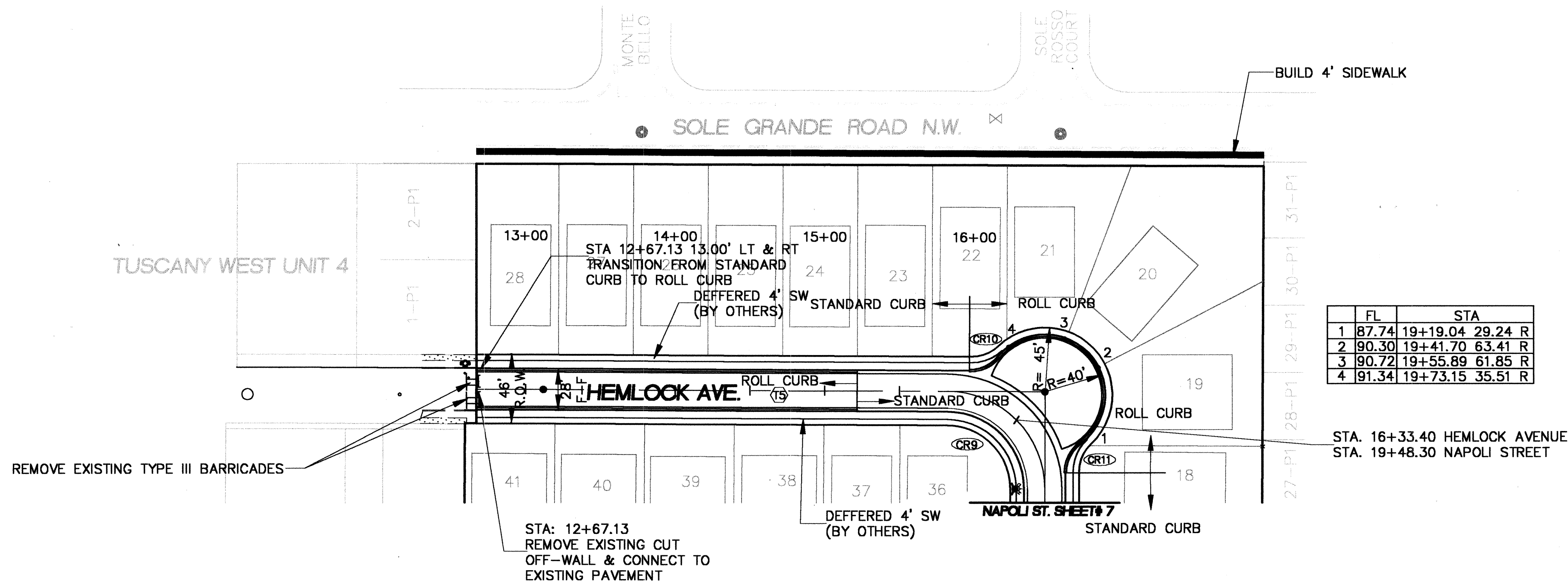
CITY ENGINEER

MO./DAY/YR.	MO./DAY/YR.

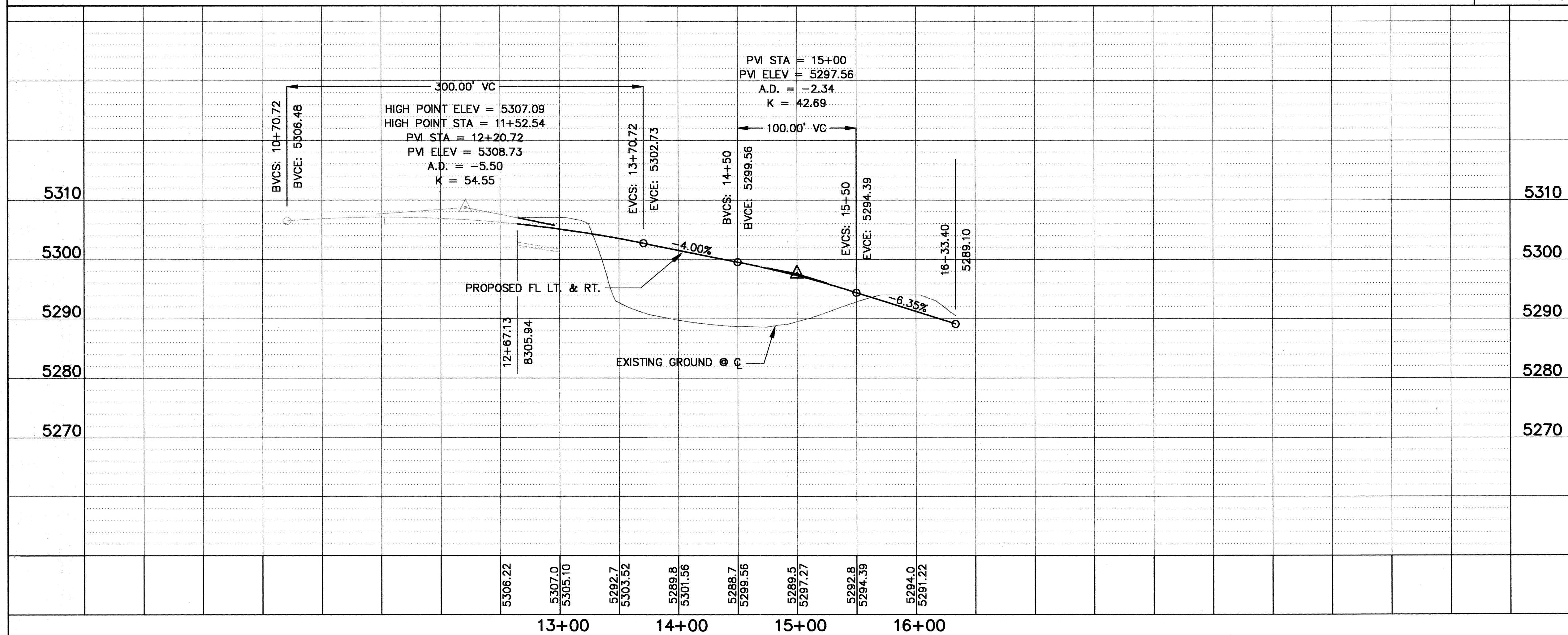
City Project No.	6299.81
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Zone Map No.
A-11-Z

Sheet	Of
7	15



HEMLOCK AVENUE



GENERAL NOTES:

1. ALL STATION AND OFFSET DIMENSIONS ARE BASED ON CENTERLINE OF RIGHT-OF-WAY.
2. ALL ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.

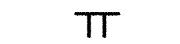
CURVE DATA

<u>CURVE</u>	<u>DELTA</u>	<u>RADIUS</u>	<u>LENGTH</u>	<u>TANGENT</u>
CR9	89° 59' 50"	51.50	80.89	51.50
CR10	50° 53' 35"	25.00	22.21	11.90
CR11	53° 07' 48"	25.00	23.18	12.50

TANGENT DATA

<u>TANGENT</u>	<u>BEARING</u>	<u>DISTANCE</u>
⑮	S 89° 44' 52" E	380.23'

LEGEND

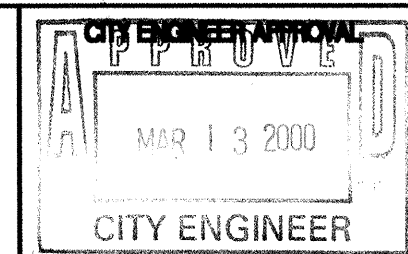
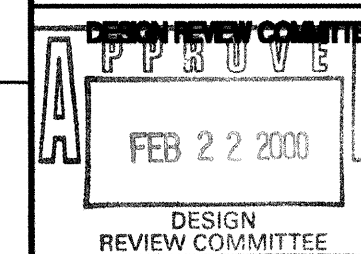
-  CENTERLINE OF STREET
 EXISTING CURB & GUTTER
 PROPOSED STANDARD CURB & GUTTER
 PROPOSED MOUNTABLE CURB & GUTTER
 PROPOSED WHEELCHAIR RAMP
 PROPOSED CONCRETE VALLEY GUTTER
 TRANSITION SECTION FROM FULL CROWN TO NO CROWN SECTION (MINIMUM 50' TRANSITION) SEE CITY STD. DWG. 2401
 PROPOSED STREET LIGHT LOCATION
 PROPOSED FIRE HYDRANT
 TYPE III BARRICADE
 PROPOSED SAS MANHOLE
 PROPOSED WATER VALVE
 EXISTING SAS MANHOLE
 EXISTING WATER VALVE
 PROPOSED SIDEWALK

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
TRANSPORTATION DEVELOPMENT

HEMLOCK AVENUE PAVING PLAN AND PROFILE
TUSCANY WEST UNIT 5

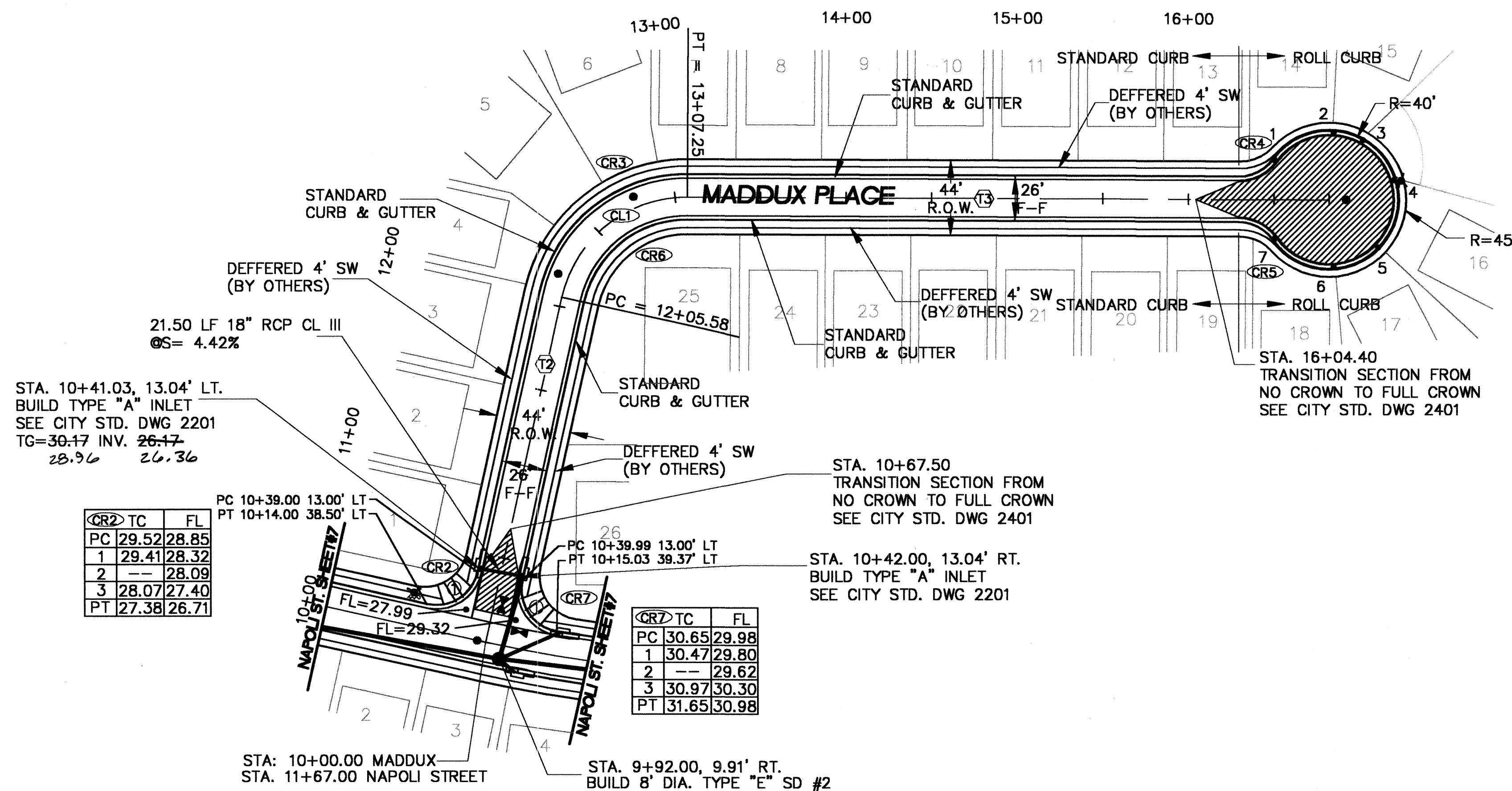


MO./DAY/YR.	MO./DAY/YR.

City Project No
6299.8

Zone Map No.
A-11-Z

Sheet	Of
8	15



	FL	STA	
1	67.45	16+49.68	23.38 L
2	70.20	16+84.02	39.96 L
3	71.17	17+00.89	35.33 L
4	72.67	17+20.03	12.81 L
5	71.78	17+11.54	27.11 R
6	70.39	16+85.82	39.83 R
7	67.64	16+49.68	23.38 R

GENERAL NOTES:

1. ALL STATION AND OFFSET DIMENSIONS ARE BASED ON CENTERLINE OF RIGHT-OF-WAY.
2. ALL ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.
3. ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE NOTED.

CENTERLINE CURVE DATA

<u>CURVE</u>	<u>DELTA</u>	<u>RADIUS</u>	<u>LENGTH</u>	<u>TANGENT</u>
CL1	77° 40' 04"	75.00	101.67	60.37

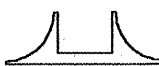
CURVE DATA

<u>CURVE</u>	<u>DELTA</u>	<u>RADIUS</u>	<u>LENGTH</u>	<u>TANGENT</u>
<u>CR2</u>	90° 00' 00"	25.00	39.27	25.00
<u>CR3</u>	77° 40' 04"	88.00	118.61	70.84
<u>CR4</u>	54° 13' 27"	25.00	23.66	12.80
<u>CR5</u>	54° 13' 27"	25.00	23.66	12.80
<u>CR6</u>	77° 40' 04"	62.00	84.72	49.81
<u>CR7</u>	93° 08' 55"	25.00	40.64	26.41

TANGENT DATA

<u>TANGENT</u>	<u>BEARING</u>	<u>DISTANCE</u>
⑫	N 77° 25' 06" W	205.58'
⑬	N 00° 14' 58" E	374.89'

LEGEND

-  CENTER LINE OF STREET
 EXISTING CURB & GUTTER
 PROPOSED STANDARD CURB & GUTTER
 PROPOSED MOUNTABLE CURB & GUTTER
 PROPOSED WHEELCHAIR RAMP
 PROPOSED CONCRETE VALLEY GUTTER
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 SEE CITY STD. DWG. 2401
 PROPOSED FIRE HYDRANT
 TT TYPE III BARRICADE
 PROPOSED SAS MANHOLE
 PROPOSED WATER VALVE
 EXISTING SAS MANHOLE
 EXISTING WATER VALVE

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
TRANSPORTATION DEVELOPMENT

MADDUX PLACE PAVING PLAN AND PROFILE
TUSCANY WEST UNIT 5

DESIGN REVIEW COMMITTEE
APPROVE
FEB 22 2000
DESIGN
REVIEW COMMITTEE

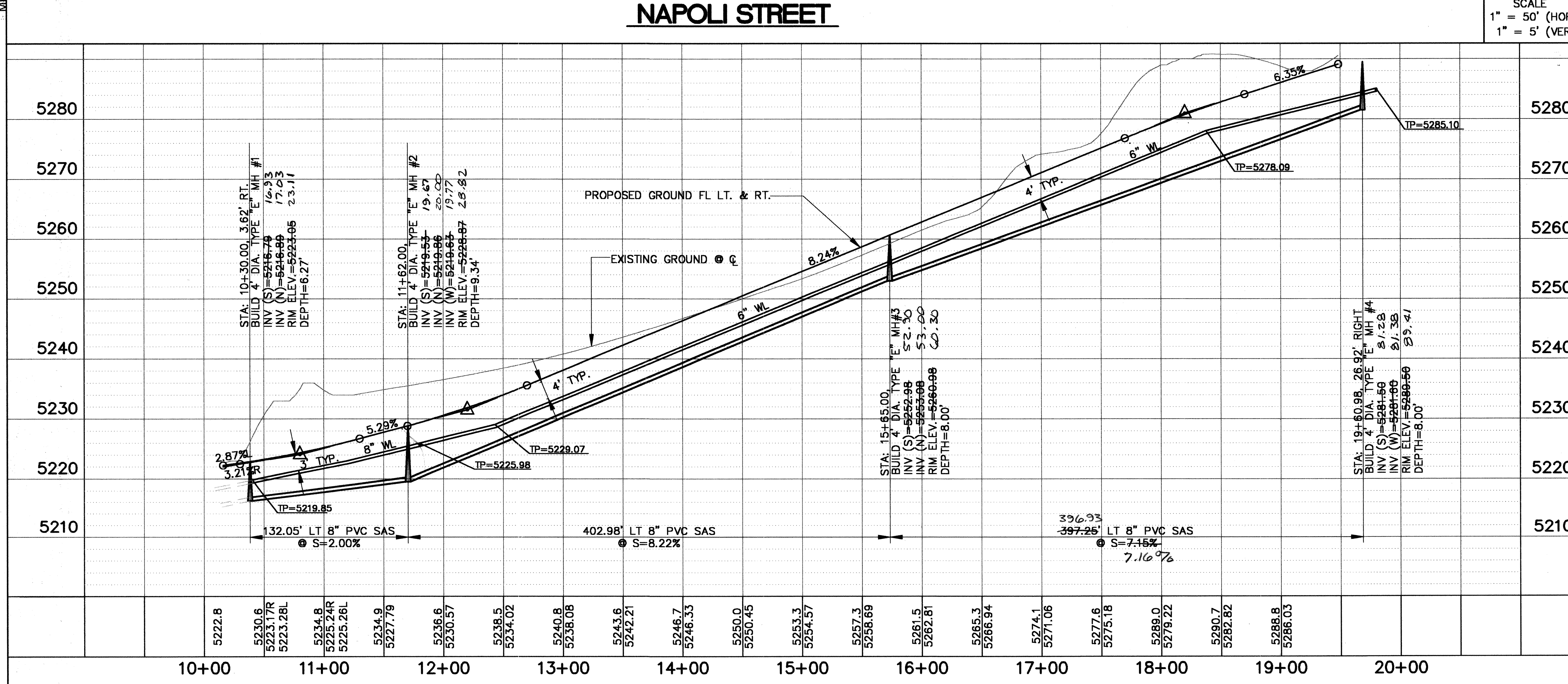
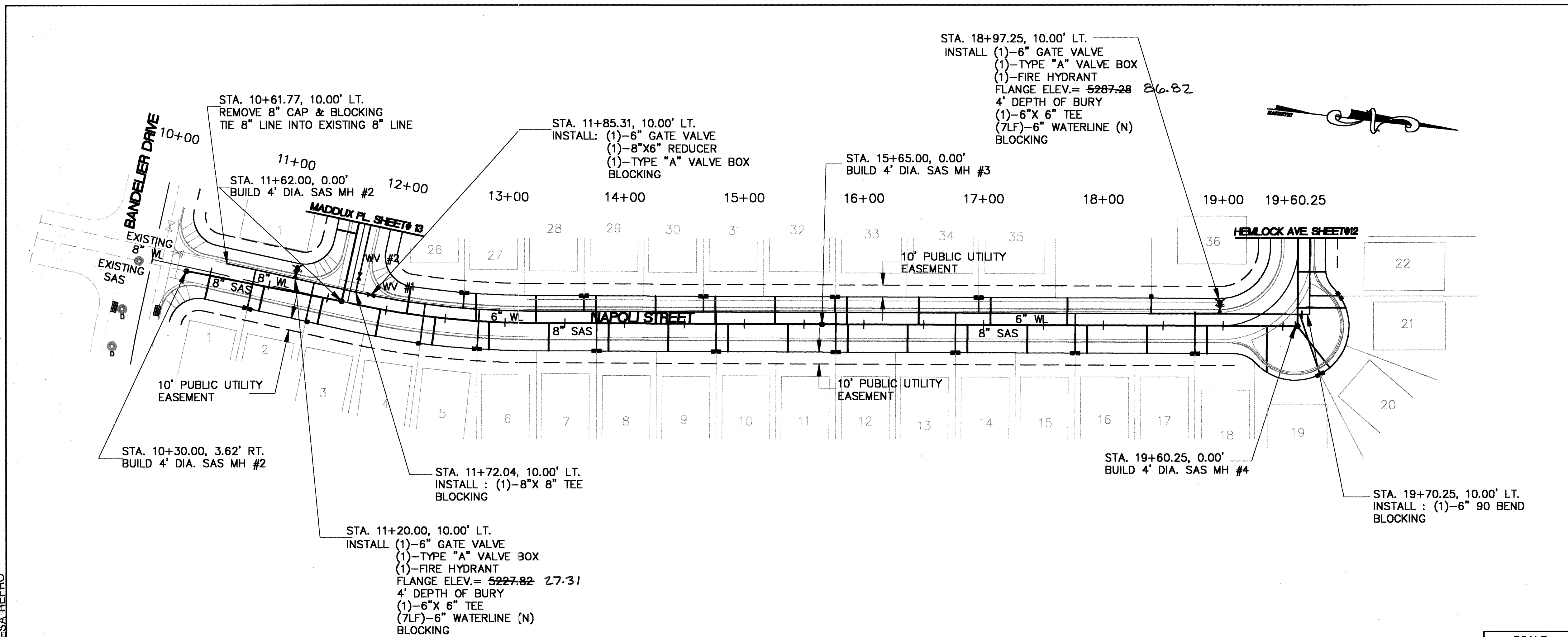
CITY ENGINEER APPROVAL
APPROVE
MAR 13 2000
CITY ENGINEER

MO./DAY/YR.	MO./DAY/YR.

City Project No. 6299.81

Zone Map No.
A-11-Z

Sheet	Of
9	15



UTILITY NOTES

- STATIONING ALONG C OF STREET UNLESS OTHERWISE NOTED.
- SANITARY SEWER LINE LENGTHS COMPUTED FROM MH C TO MH C.
- SLOPES ARE COMPUTED INVERT TO INVERT. MH RIM ELEVATIONS GIVEN ARE APPROXIMATE. CONTRACTOR SHALL ADJUST ALL RIMS TO FINAL GRADE.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH UTILITY COMPANIES.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND UTILITY CONNECTIONS PRIOR TO BEGINNING CONSTRUCTION. SHOULD A CONFLICT EXIST OR DESIGN REVISIONS BE REQUIRED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND ALLOW SUFFICIENT TIME FOR DESIGN REVISIONS SO AS TO NOT DELAY THE CONSTRUCTION SCHEDULE.

LEGEND

- W — EXISTING WATERLINE
- SD — EXISTING STORM DRAIN
- SAS — EXISTING SANITARY SEWER
- MH EXISTING MANHOLE
- ★ EXISTING FIRE HYDRANT
- △ EXISTING GATE VALVE
- PROPOSED WATERLINE
- PROPOSED STORM DRAIN
- PROPOSED SANITARY SEWER
- PROPOSED MANHOLE
- ★ PROPOSED FIRE HYDRANT
- △ PROPOSED GATE VALVE
- PROPOSED CAP OR PLUG
- PROPOSED SINGLE METER, WATER SERVICE LINE
- PROPOSED DOUBLE METER, WATER SERVICE LINES
- PROPOSED SANITARY SEWER SERVICE LINE
- + + + PROPOSED CROSS, TEE, OR ELBOW
- STORM INLETS
- ★ PROPOSED STREET LIGHT LOCATION

AS BUILT INFORMATION

CONTRACTOR: *ALS, INC.*
INSPECTED BY: *ALS, INC.*
FIELD ENGINEER: *ALS, INC.*
DATE: *01/09/00*

BENCH MARKS

ACS BRASS TABLE STAMPED "2-812"
LOCATED 2369.13 FEET ON A BEARING
OF S 54°08'48" E FROM THE SOUTHWEST
PROPERTY CORNER. Y = 1,529,474.59,
X = 368,662.22, G = 0.9996675
ΔX = -0°01'51"2", CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION = 5273.83

SURVEY INFORMATION

FIELD NOTES BY: *ALS, INC.*
DATE: *01/09/00*

ENGINEER'S SEAL

Thompson Engineering Consultants, Inc.
2060 Main Street N.E., Suite E
Los Lunas, NM 87031

CITY OF ALBUQUERQUE

PUBLIC WORKS DEPARTMENT
TRANSPORTATION DEVELOPMENT

NAPOLI STREET UTILITY PLAN AND PROFILE
TUSCANY WEST UNIT 5

APPROVALS

DESIGN REVIEW COMMITTEE: *FEB 22 2000*
CITY ENGINEER: *MAR 13 2000*

City Project No. **6299.81**

Zone Map No. **A-11-Z**

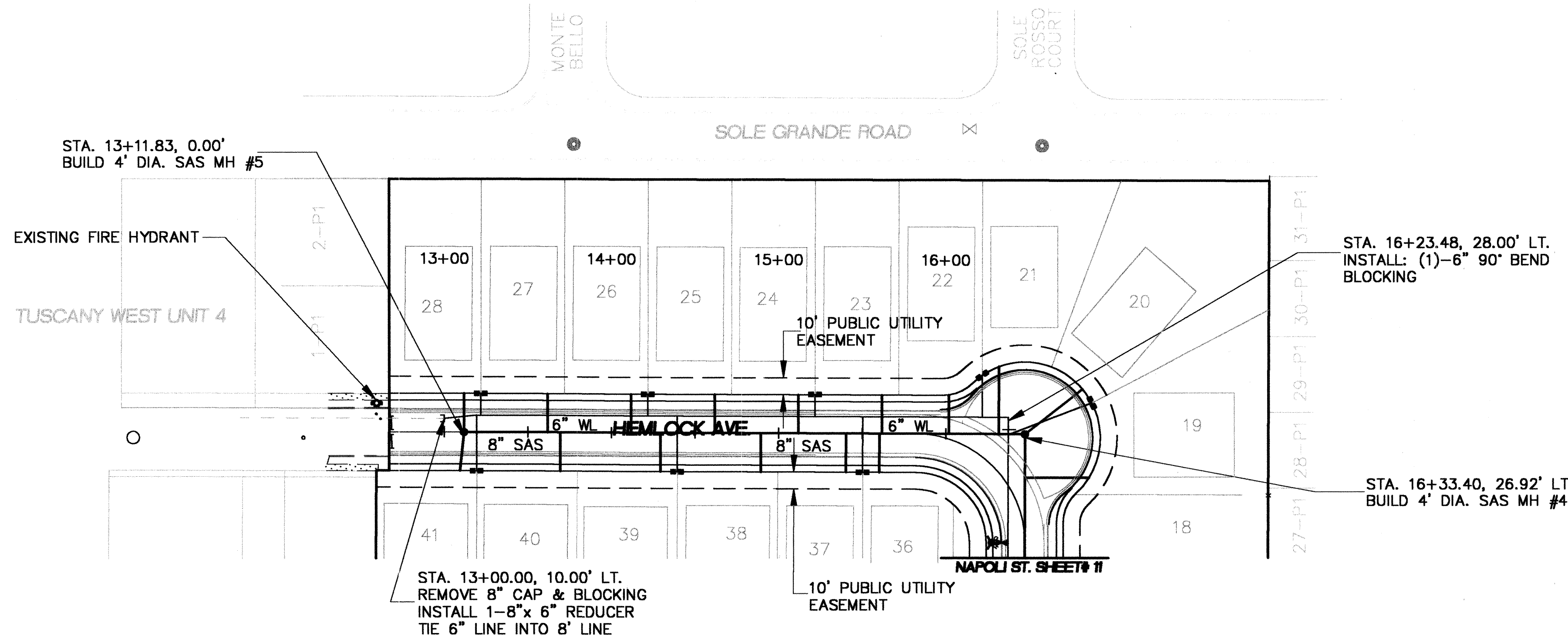
Sheet **11** Of **15**

NO. DATE REMARKS BY

DESIGN DATE

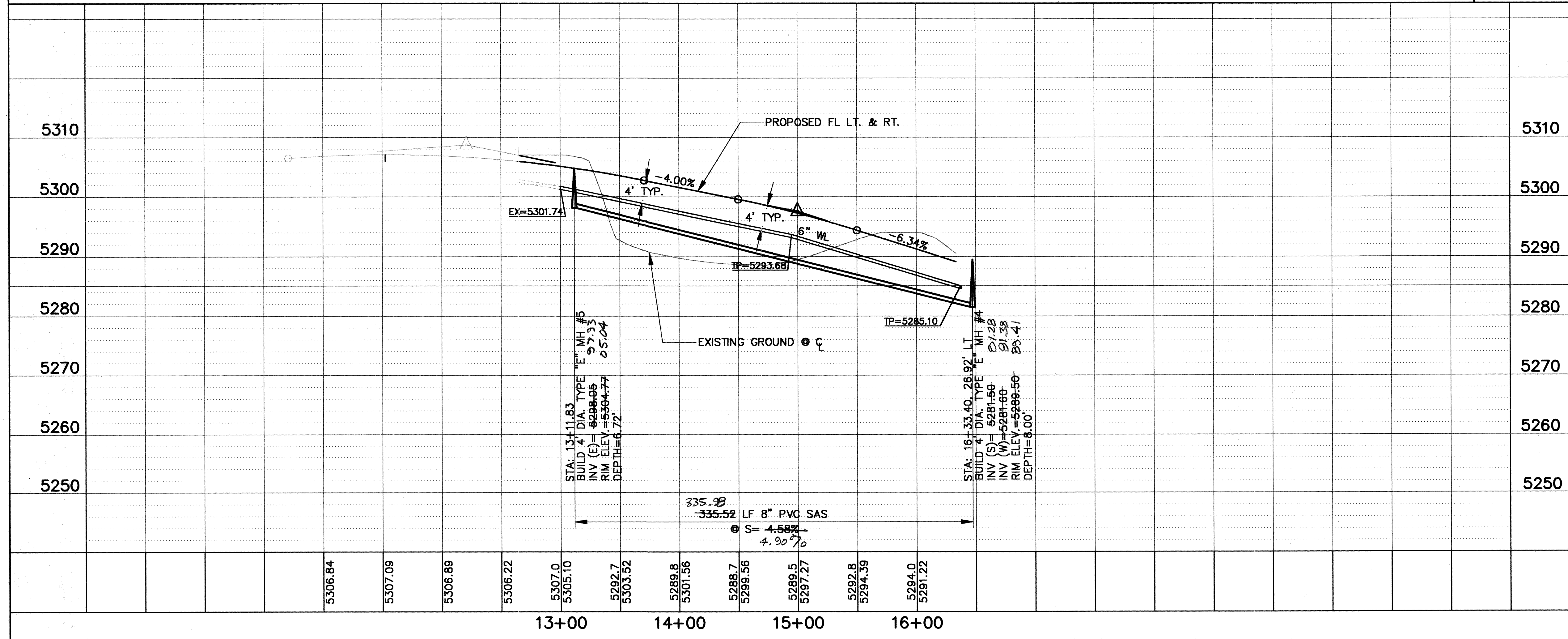
DRAWN BY DATE

CHECKED BY DATE



HEMLOCK AVENUE

SCALE
1" = 50' (HOR)
1" = 5' (VER)



UTILITY NOTES

- 1.) STATIONING ALONG C. OF STREET UNLESS OTHERWISE NOTED.
- 2.) SANITARY SEWER LINE LENGTHS COMPUTED FROM MH C. TO MH C.
- 3.) SLOPES ARE COMPUTED INVERT TO INVERT. MH RIM ELEVATIONS GIVEN ARE APPROXIMATE. CONTRACTOR SHALL ADJUST ALL RIMS TO FINAL GRADE.
- 4.) CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH UTILITY COMPANIES.
- 5.) CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND UTILITY CONNECTIONS PRIOR TO BEGINNING CONSTRUCTION. SHOULD A CONFLICT EXIST OR DESIGN REVISIONS BE REQUIRED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND ALLOW SUFFICIENT TIME FOR DESIGN REVISIONS SO AS TO NOT DELAY THE CONSTRUCTION SCHEDULE.

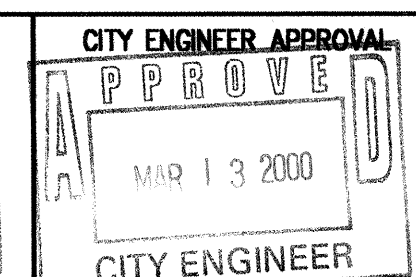
LEGEND

- W — EXISTING WATERLINE
- SD — EXISTING STORM DRAIN
- SAS — EXISTING SANITARY SEWER
- ⊙ MH EXISTING MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING GATE VALVE
- PROPOSED WATERLINE
- PROPOSED STORM DRAIN
- PROPOSED SANITARY SEWER
- ⊙ PROPOSED MANHOLE
- ⊙ PROPOSED FIRE HYDRANT
- ⊙ PROPOSED GATE VALVE
- PROPOSED CAP OR PLUG
- PROPOSED SINGLE METER, WATER SERVICE LINE
- PROPOSED DOUBLE METER, WATER SERVICE LINES
- PROPOSED SANITARY SEWER SERVICE LINE
- + + + PROPOSED CROSS, TEE, OR ELBOW
- ⊙ STORM INLETS
- ⊙ PROPOSED STREET LIGHT LOCATION

**Thompson Engineering
Consultants, Inc.**

2060 Main Street N.E., Suite E
Los Lunas, NM 87031

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
TRANSPORTATION DEVELOPMENT
**HEMLOCK AVENUE UTILITY PLAN AND PROFILE
TUSCANY WEST UNIT 5**



City Project No.
6299.81

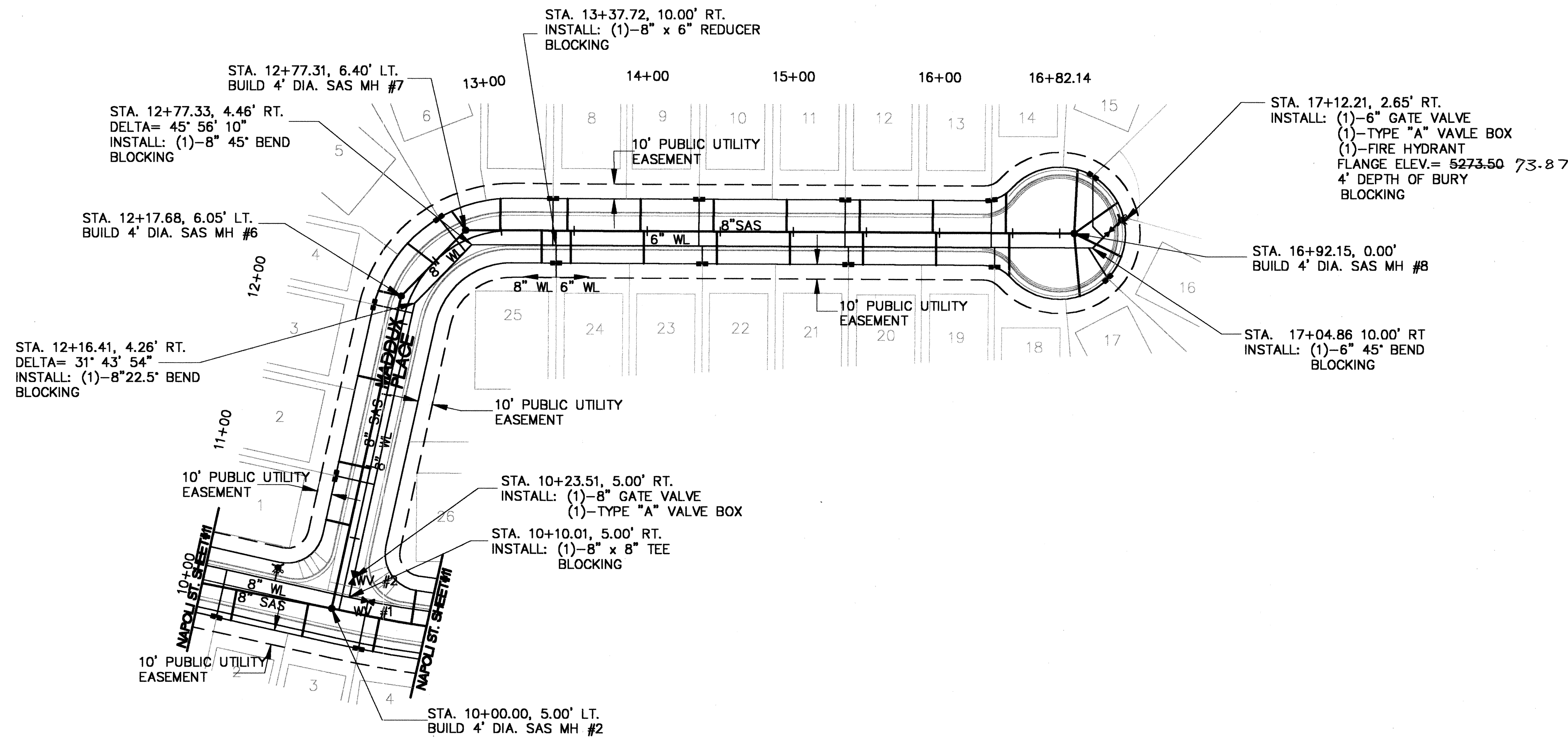
Zone Map No.
A-11-Z

Sheet
12 Of
15

SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	DATE	NO.	DATE	NO.	DATE
		ACS BRASS TABLE STAMPED "2-B12"		CONTRACTOR	
		LOCATED 2368.13 FEET ON A BEARING		WORK	
		OF S 54°08'46" E FROM THE SOUTHWEST		STAMPED BY <i>ALS, INC.</i>	
		PROPERTY CORNER. Y = 1,529,474.99,		INSPECTOR'S	
		X = 388,662.22, G-G = 0.9996675		FIELD NAME BY <i>R. B. B. B.</i>	
		ΔX = -0°15'12", CENTRAL ZONE		FIELD NAME BY <i>ALS, INC.</i>	
		(NAD 1927/SLD 1929)		CORRECTED BY <i>ALS, INC.</i>	
		ELEVATION = 5273.83		RECORDED BY	

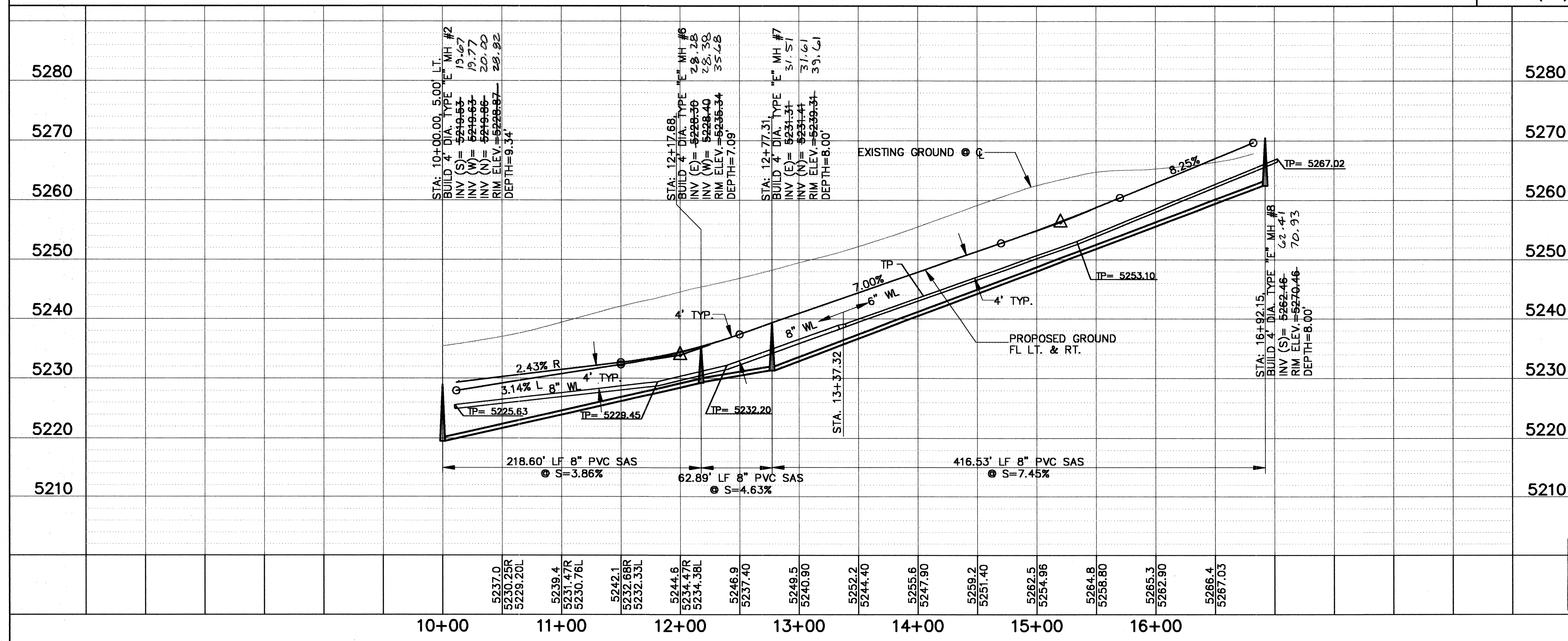


NO.	DATE	REMARKS	BY
		DESIGN	
		DRAWN BY	
		CHECKED BY	



MADDUX PLACE

SCALE
1" = 50' (HOR)
1" = 5' (VER)



UTILITY NOTES

- STATIONING ALONG C. OF STREET UNLESS OTHERWISE NOTED.
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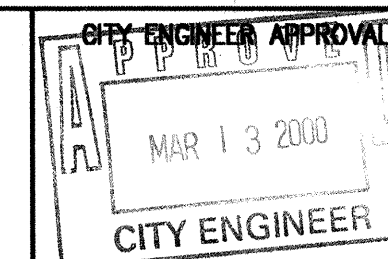
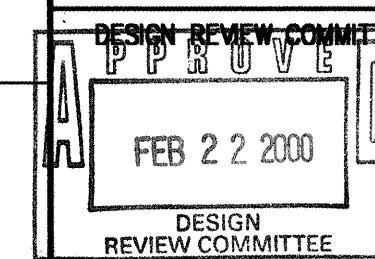
LEGEND

- EXISTING WATERLINE
- EXISTING STORM DRAIN
- EXISTING SANITARY SEWER
- EXISTING MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING GATE VALVE
- PROPOSED WATERLINE
- PROPOSED STORM DRAIN
- PROPOSED SANITARY SEWER
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- PROPOSED SANITARY SEWER SERVICE LINE
- PROPOSED CROSS, TEE, OR ELBOW
- STORM INLETS
- PROPOSED STREET LIGHT LOCATION

Thompson Engineering Consultants, Inc.

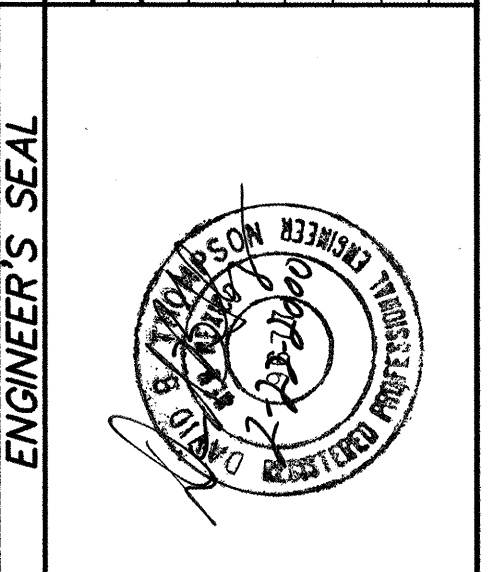
2060 Main Street N.E., Suite E
Los Lunas, NM 87031

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
TRANSPORTATION DEVELOPMENT
MADDUX PLACE UTILITY PLAN AND PROFILE
TUSCANY WEST UNIT 5

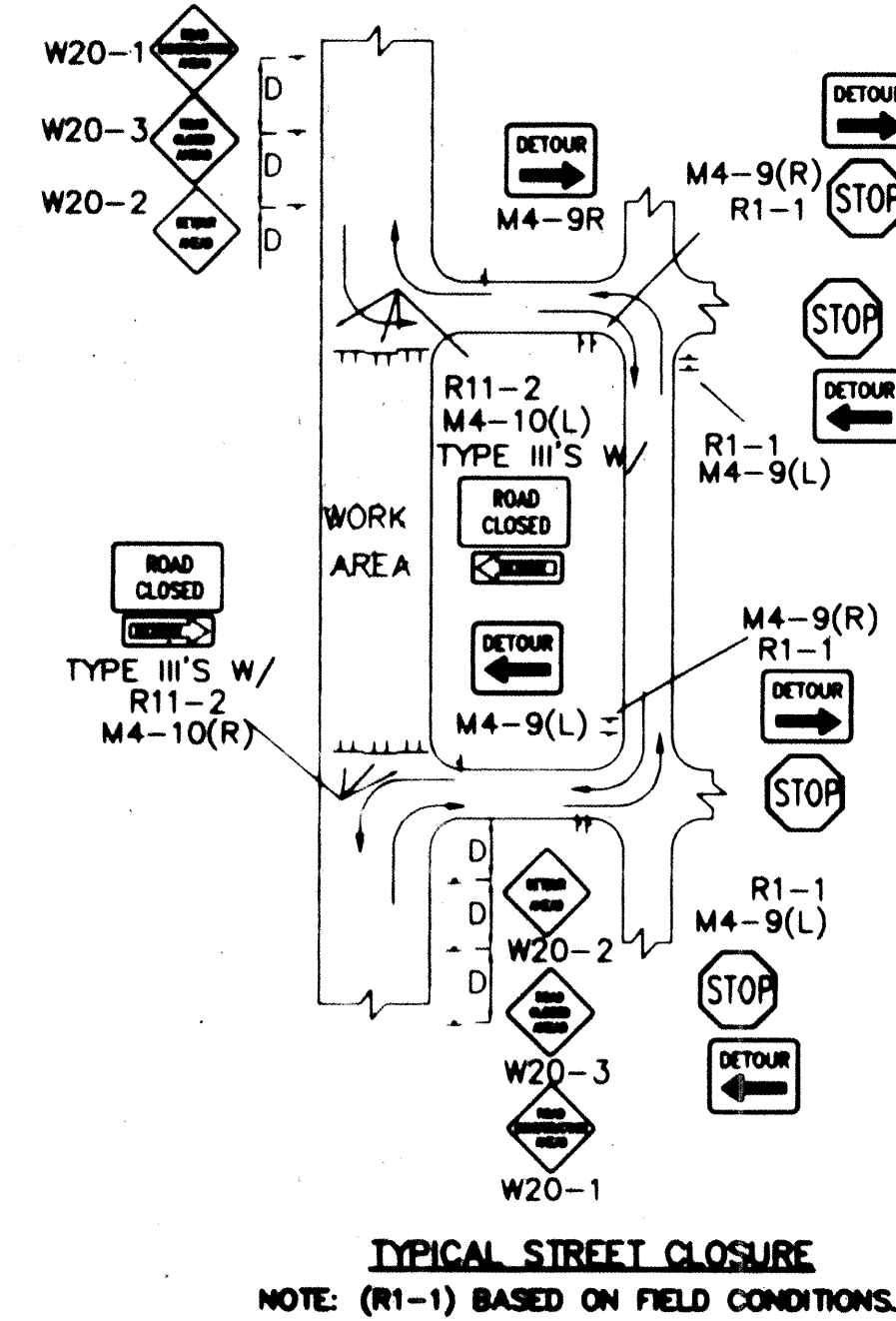
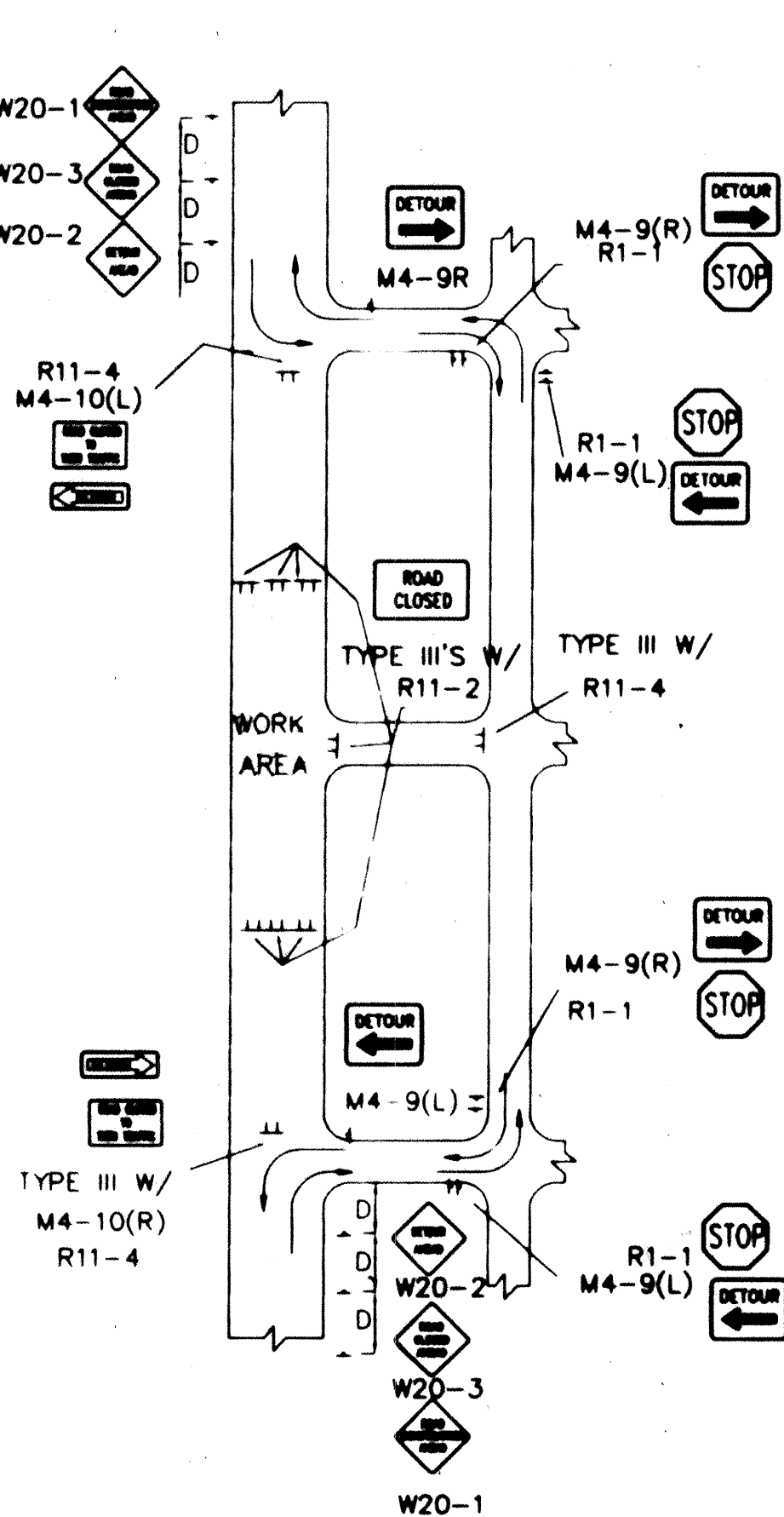
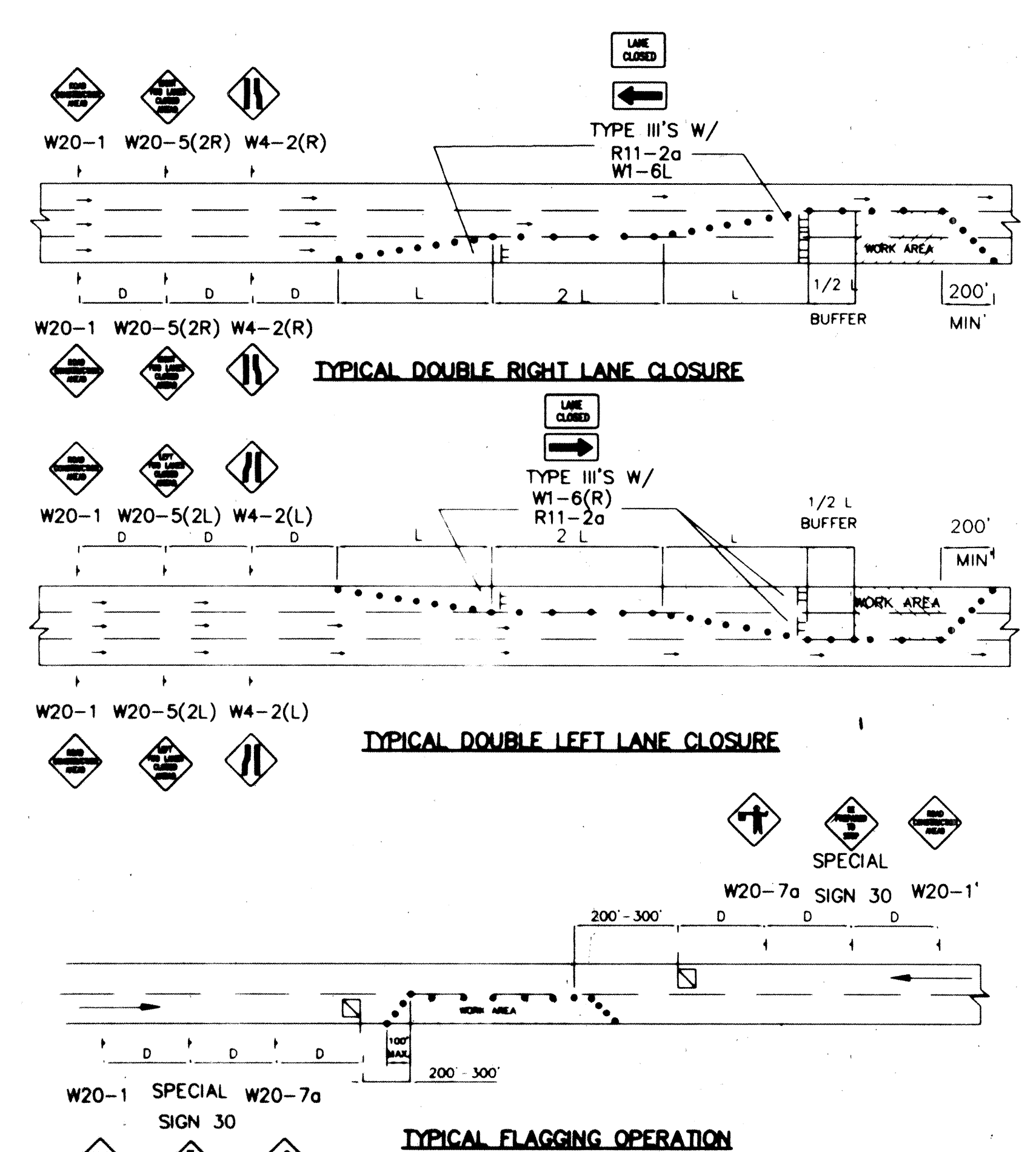
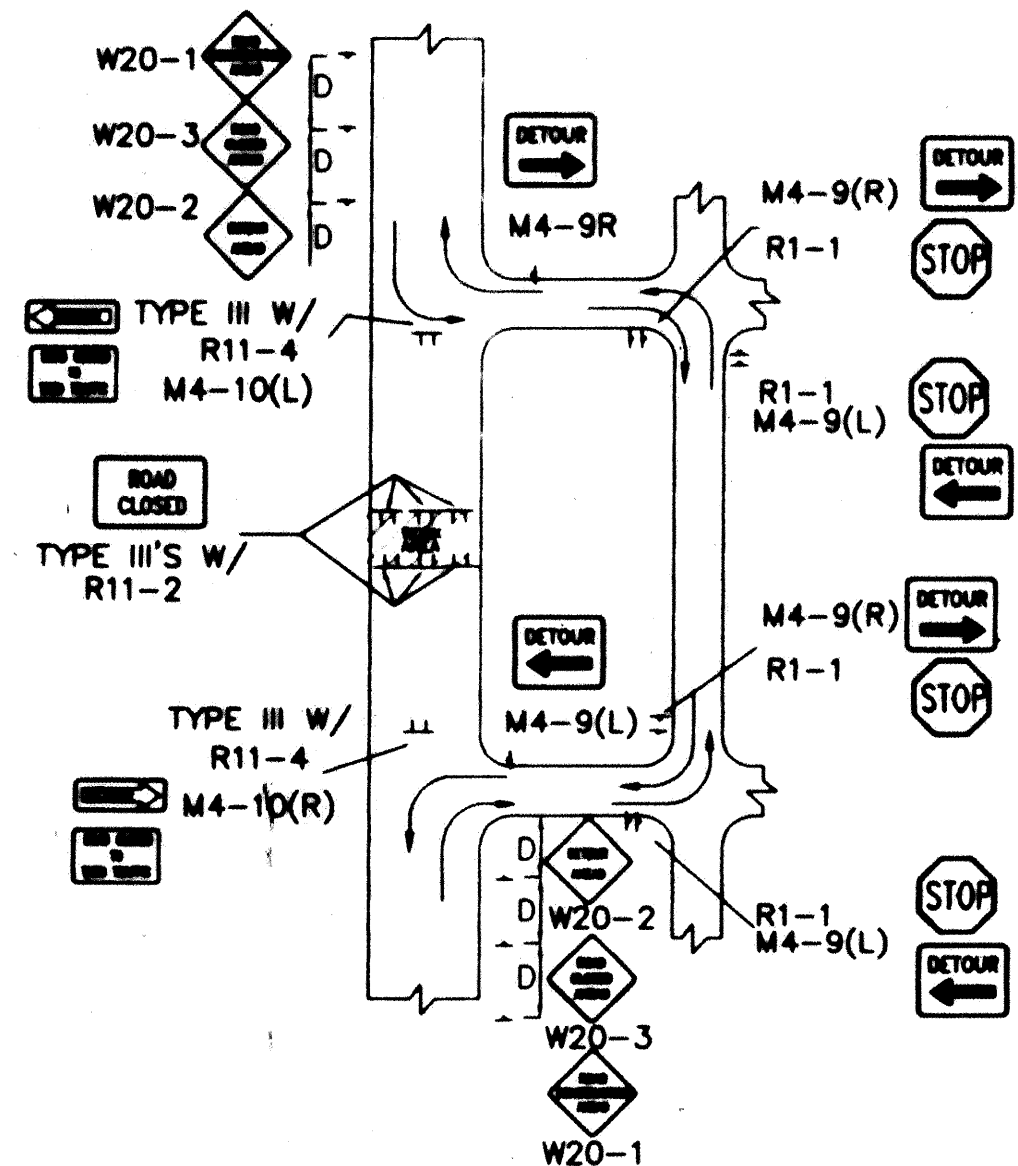
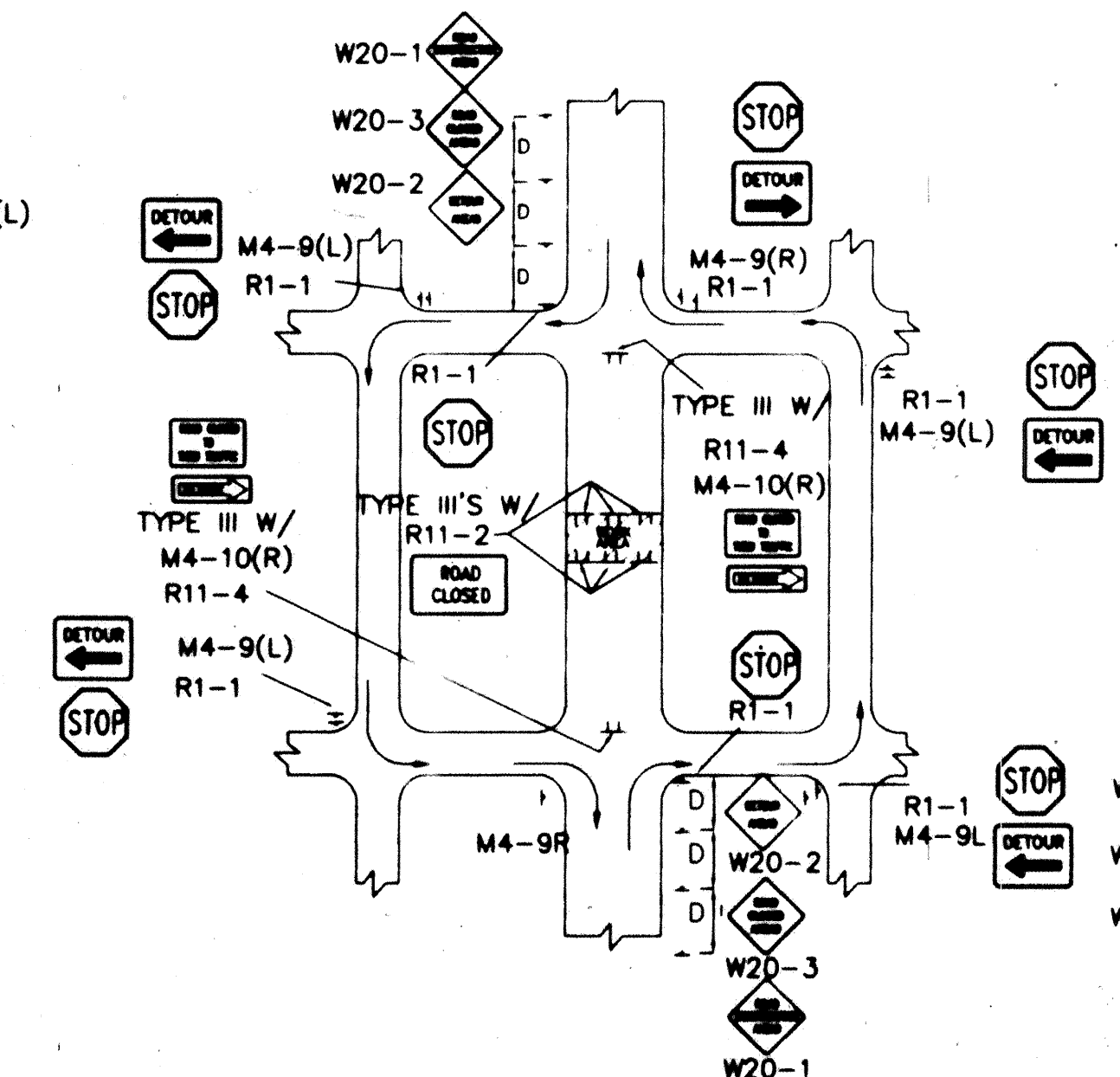
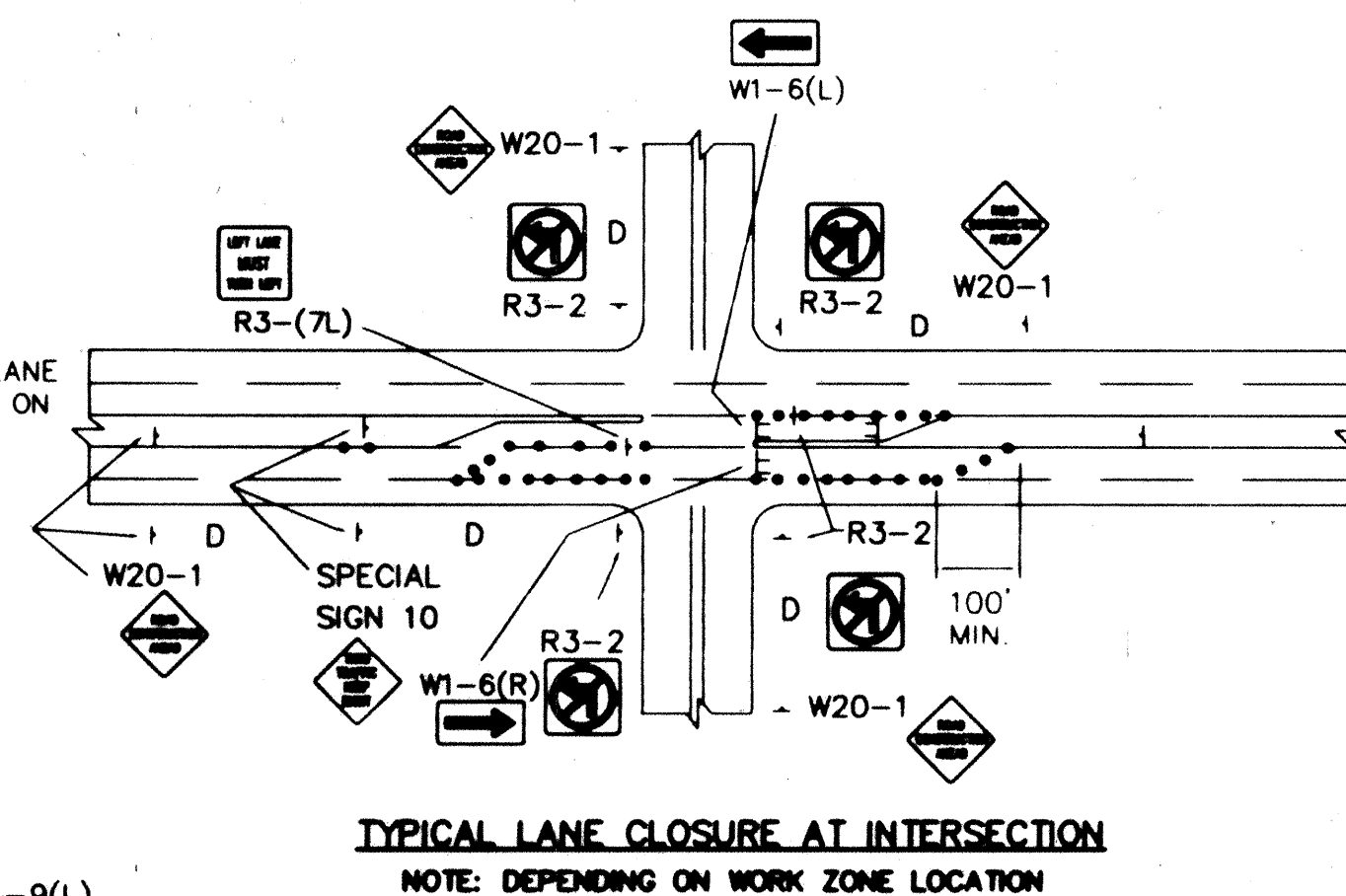
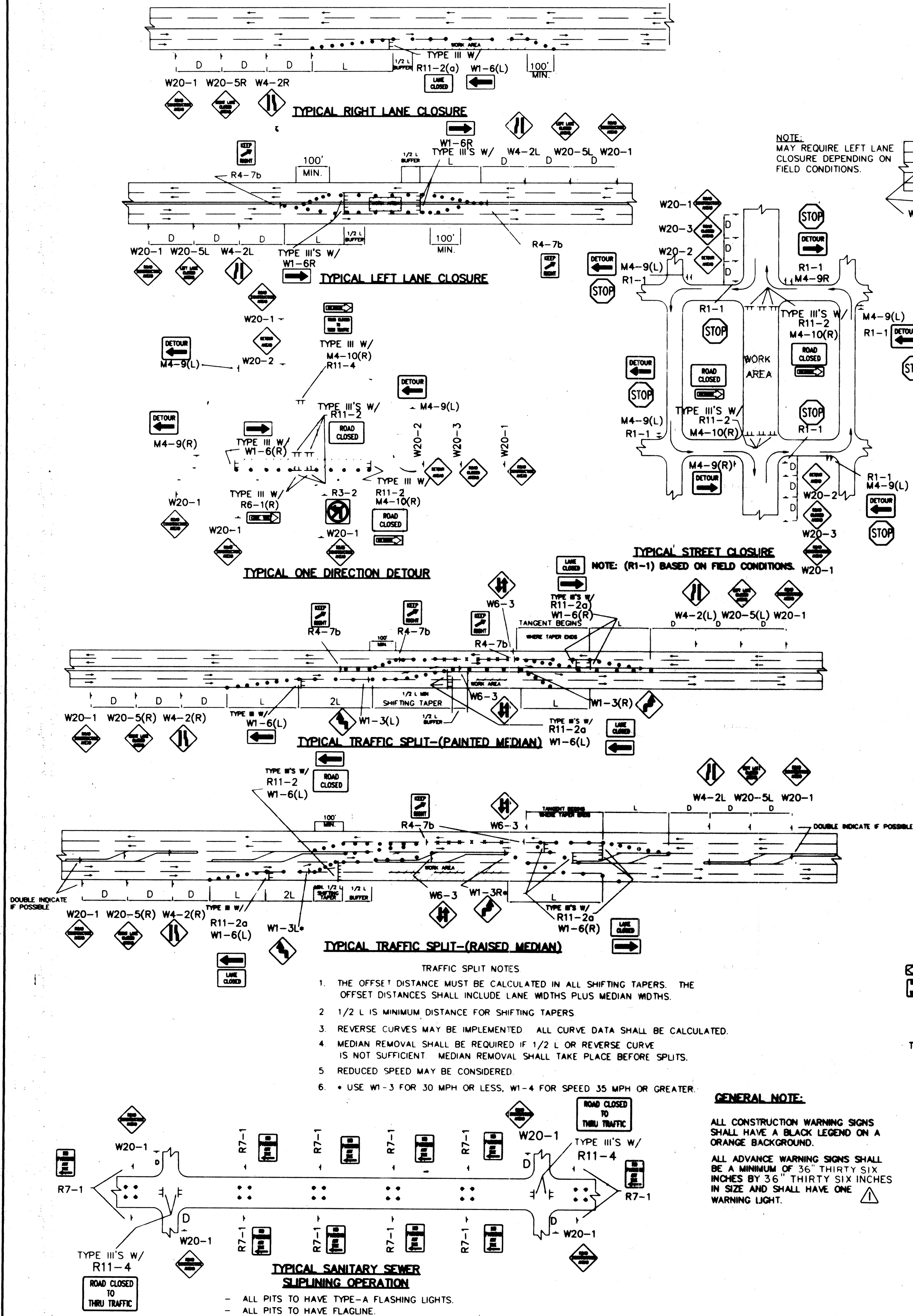


City Project No. 6299.81 Zone Map No. A-11-Z Sheet 13 Of 15

AS BUILT INFORMATION	
CONTRACTOR	NEW CONCEPTS
DRAWN BY	ALB, INC.
CHECKED BY	DATE
INSP. BY	DATE
FIELD BY	DATE
VERIFIED BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	NO.
ELEVATION	5273.83



SURVEY INFORMATION	
FIELD NOTES	DATE
BY	
NO.	
ENGINEER'S SEAL	
NO.	DATE
REMARKS	BY
DESIGN	DATE
DRAWN BY	DATE
CHECKED BY	DATE



CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP			
TITLE: TYPICAL TRAFFIC CONTROL & SIGNING EXAMPLES (REF. M.U.T.C.D.)			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST UPDATE	NO. / DAY / YR
NA	CON STN		
PROJECT NO. 6299.81	MAP NO.	SHEET OF 14	15

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION	
CONTRACTOR A/E/UT/DATE	DATE	NO.	DATE	NO.	DATE
WORK STARTED BY	DATE	NO.	DATE	NO.	DATE
FIELD ACCEPTANCE BY	DATE	NO.	DATE	NO.	DATE
DESIGNED BY	DATE	NO.	DATE	NO.	DATE
DRAWN BY	DATE	NO.	DATE	NO.	DATE
CHECKED BY	DATE	NO.	DATE	NO.	DATE
REVISIONS		REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE	NO.	DATE
REMARKS		REMARKS		REMARKS	
DESIGN		DESIGN		DESIGN	
C.O.A. STANDARDS		C.O.A. STANDARDS		C.O.A. STANDARDS	

