

San Mateo Business Park

LOTS 1, 2, 3, 31 AND 32, BLOCK 3, TRACT A, UNIT B

NORTH ALBUQUERQUE ACRES

Construction Plans for Public Infrastructure:

Pasadena Avenue NE Paving, Water, Sewer and Storm Drain Improvements

Venice Avenue NE Paving, Water, Sewer and Storm Drain Improvements

San Mateo Boulevard NE Paving and Storm Drain Improvements

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SURVEYOR'S CERTIFICATION

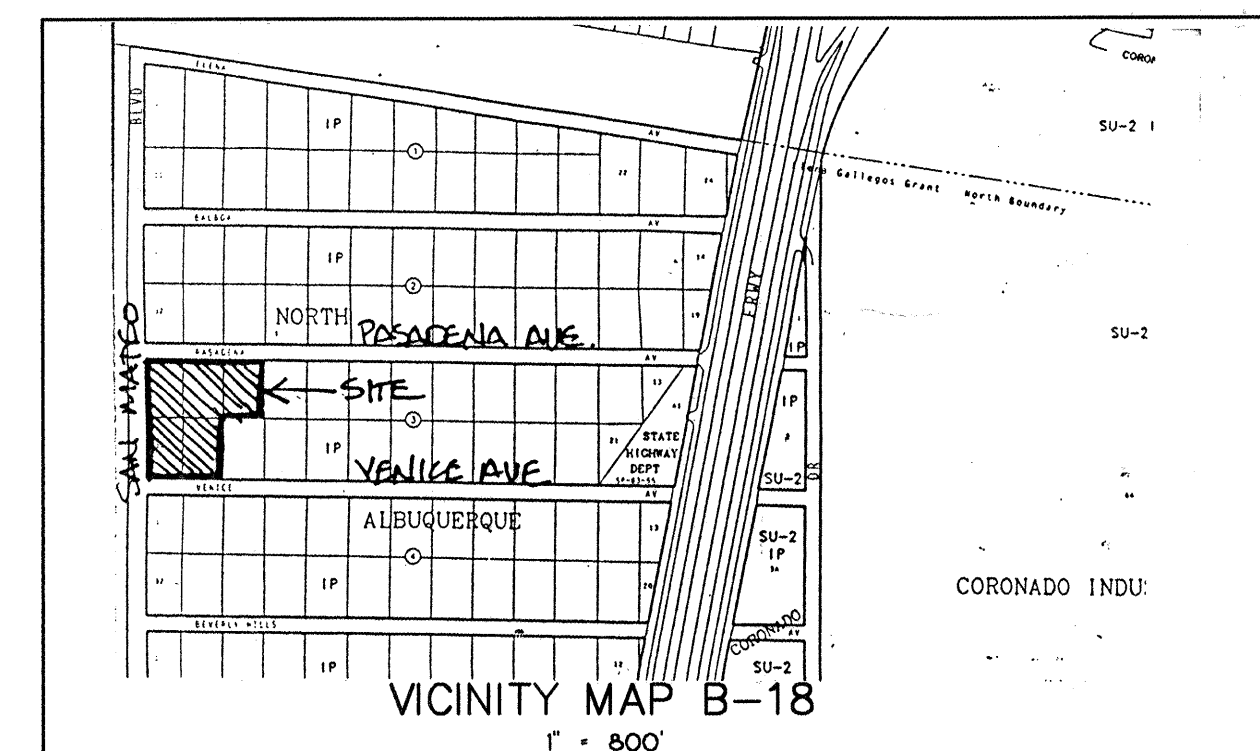
"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the 'as-built' information shown on these drawings was obtained from field construction and 'as-built' surveys performed by me or under my supervision, that the 'as-built' information shown on these drawings was added by me or under my supervision, and that this 'as-built' information is true and correct to the best of my knowledge and belief." Aldrich Land Surveying is not responsible for any of the design concepts, calculations, engineering, or intent of the record drawings.

Timothy Aldrich, S. No. 7719

Date

The San Mateo Business Park site is located within the 1000 ft buffer surrounding the former Coronado Landfill. The Albuquerque Environmental Health Department requires that the site be screened for the presence of landfill gas, and that, if determined a risk, plans will address risk abatement measures prior to the issuance of a building permit. Analysis and risk abatement measures, if required, are being submitted as a separate exhibit.

*** SEE ENVIRONMENTAL HEALTH MEMO DATED FEB 2, 2000 WITH ATTACHMENTS FOR INFORMATION CONCERNING LANDFILL GASES (COPY IN DRC FILE) ***



THE FOLLOWING NOTES APPLY WHEN CHECKED

- ☐ ALL UTILITIES AND UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☐ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- ☐ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEPRESSED FOR A DRIVE PAD, THE DRIVE PAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- ☐ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.



C.L. WEISS ENGINEERING, INC.
POST OFFICE BOX 97 SAN MATEO PARK, N.M. 87047 - (505) 281-1800
100 ALVARADO DRIVE ALBUQUERQUE, N.M. 87102 - (505) 266-5444

DRB NO. 93-35

GENERAL NOTES:

- ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITION OF CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. 1986 EDITION SHALL INCLUDE UODATE NO. 6.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION, ETC.).
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE TRAFFIC ENGINEERING DEPARTMENT PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.

- FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. THE CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- THE WATER SYSTEMS DIVISION (857-8200) SHALL BE NOTIFIED FIVE (5) WORKING DAYS IN ADVANCE OF ANY WORK WHICH MAY AFFECT EXISTING PUBLIC WATER FACILITIES. THE CONTRACTOR SHALL ALSO COORDINATE FOR VALVE OPERATION FOR WATER SHUTOFF.
- THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL SYSTEM, PHONE: 260-1990, TO LOCATE UNDERGROUND UTILITIES TWO (2) WORK DAYS PRIOR TO BEGINNING EXCAVATION.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION SHALL BE COORDINATED WITH THAT UTILITY COMPANY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- FOR PURPOSES OF THIS PROJECT THE TERM ENGINEER SHALL REFER TO EITHER THE OWNER'S EMPLOYEE OR THE CONSTRUCTION OBSERVER RESPONSIBLE FOR CONSTRUCTION INSPECTION OF THE PROJECT.
- ALL EXISTING IMPROVEMENTS ARE TO REMAIN, UNLESS SPECIFICALLY NOTED TO BE REMOVED. CONTRACTOR SHALL REPAIR ANY CONTRACTOR-CAUSED DAMAGE, AS DETERMINED BY THE ENGINEER TO EXISTING IMPROVEMENTS TO THE SATISFACTION OF THE OWNER AT THE CONTRACTOR'S EXPENSE.

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CHECK ALL DIMENSIONS, HORIZONTAL AND VERTICAL, AND SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CONFLICT CAN BE RESOLVED WITH THE MINIMUM AMOUNT OF DELAY.
- ALL REFERENCES TO COMPACTED BACKFILL OR COMPACTED SUBGRADE SHALL MEAN SOIL COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557 UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK, IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY OF ALBUQUERQUE SURVEY SECTION. WHEN A CHANGE IS MADE IN THE FINISH ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO NEW GRADE, UNLESS OTHERWISE SPECIFIED.

PAVING NOTES:

- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY THE CONTRACTOR TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED IN THIS PLAN.
- ANY WORK AFFECTING AN ARTERIAL ROADWAY REQUIRES TWENTY-FOUR (24) HOUR CONSTRUCTION.
- ALL PAVEMENT TO BE REMOVED SHALL BE SAW CUT, HAVE A UNIFORM EDGE AND BE SPRAYED WITH TACK.

- WHEN ABUTTING NEW CURB AND GUTTER TO EXISTING PAVEMENT, A 1'-WIDE SECTION OF EXISTING PAVEMENT ADJACENT TO THE CURB AND GUTTER SHALL BE NEATLY SAW CUT, REMOVED AND REPLACED.

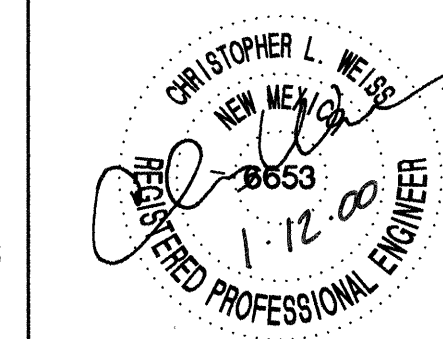
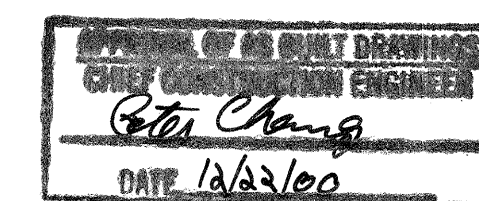
- PAVING AND ROADWAY GRADES SHALL BE $\pm 0.05'$ FROM ELEVATIONS SHOWN ON PLANS.

GRADING NOTES:

- THE CONTRACTOR MUST CONFORM TO ALL COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS, PERMITS AND APPROVALS. THE COST FOR REQUIRED MEASURES SHALL BE INCIDENTAL TO THE PROJECT COSTS.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO PREVENT WIND EROSION.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE CONSTRUCTION OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.

TRAFFIC CONTROL NOTE:

- THE CONTRACTOR SHALL CONTACT TRAFFIC ENGINEERING OPERATIONS AT 857-8000 FOR REMOVAL AND REPLACEMENT OF TRAFFIC SIGNS.



REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER		DATE	
		DRC Chairman			2-3-00	APPROVED FOR CONSTRUCTION	
		Transportation			1/24/00		
		Water/Wastewater			1/24/00		
		Hydrology			1-24-00		
		C.I.P.					
		Constr. Mngmt.					
		Constr. Coord.			1-24-00		
		City Project No.					

630981

Sheet 1 of 15

AUGUST, 1999

Walt W.

City Surveyor, City of Albuquerque
Public Works Department

Date 070277

Said parcel contains 4.1082 acres, more or less.

Phone: 505-897-3366
Fax: 505-897-3377

Albuquerque Control Survey Monument "OC 11/12 EG"
New Mexico State Plane Coordinate System, Central
Zone (NAD 27)
X = 366,796.963'
Y = 1,528,012.320'
Delta Alpha = -0011'37"
Ground to grid factor = 0.99966600

**LOTS 1-A, 3-A, 31-A AND 32-A
BLOCK 3**

2000

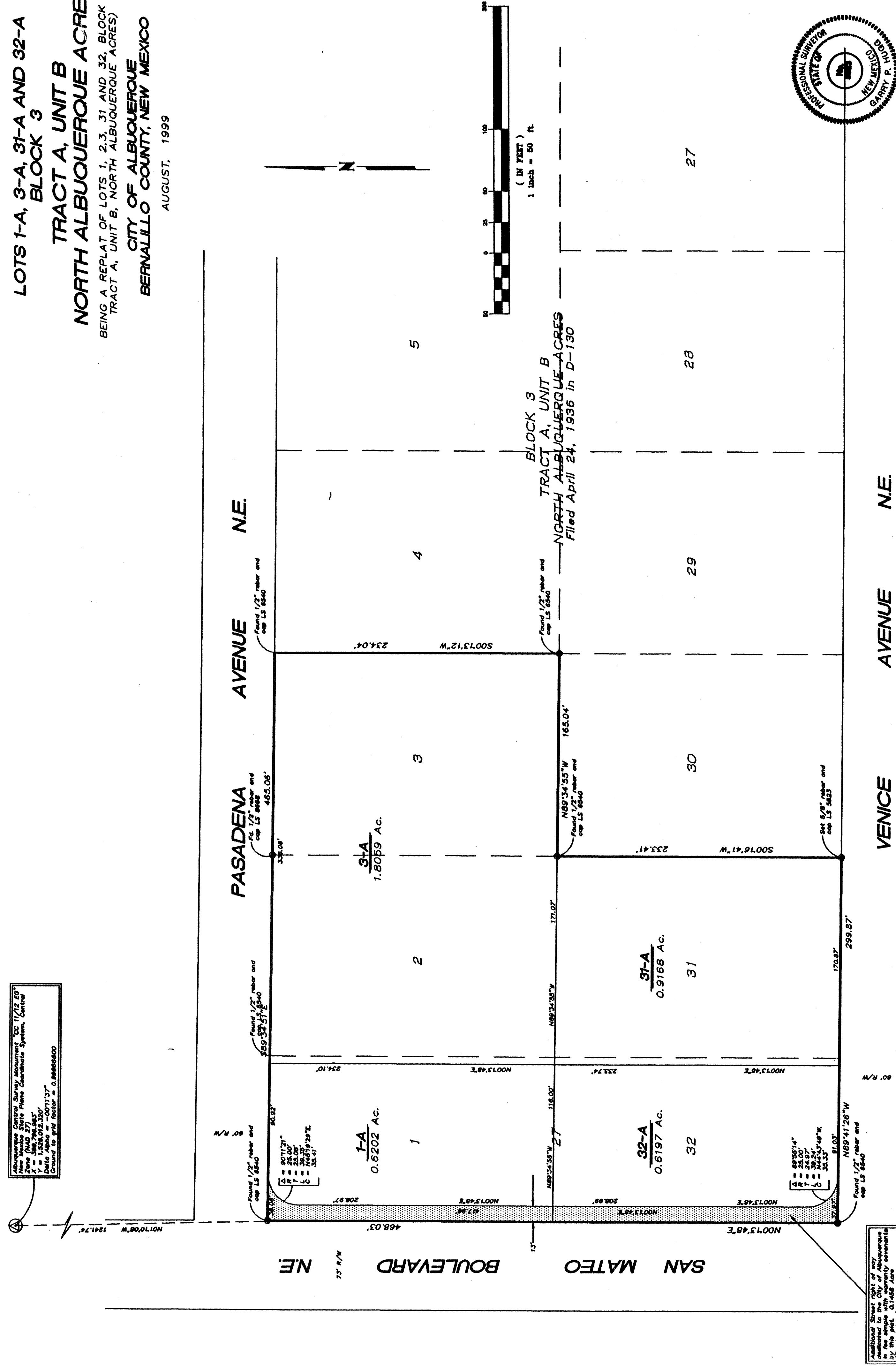
TRACT A, UNIT B

NORTH ALBUQUERQUE ACRES

BEING A REPLAT OF LOTS 1, 2, 3, 31 AND 32, BLOCK 3
TRACT A, UNIT 8, NORTH ALBUQUERQUE ACRES)

**CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO**

AUGUST, 1999



Additional Street right of way
dedicated to the City of Albuquerque
in fee simple with warranty covenants
by this plat. Q.1458 Acre

SHEET 3 OF 3

SURV $\oplus$ TEK, INC.

Consulting Surveyors
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3368
Fax: 505-897-3377

980423

SHEET 3 of 15

BOUNDARY SURVEY PLAT
LOTS 1, 2, 3, 31 AND 32, BLOCK 3
TRACT A, UNIT B
NORTH ALBUQUERQUE ACRES

LEGAL DESCRIPTION

GENERAL NOTES

- The locations of existing underground utilities as shown hereon were derived from City of Albuquerque As-Built Drawings, Gas Company of New Mexico Line Location Maps, Public Service Company of New Mexico Line Location Maps and surface indications. Other utilities spotted by the respective utility companies or apparent by visual observation. All utilities should be field verified and spotted by the contractor(s) prior to commencement of any construction.

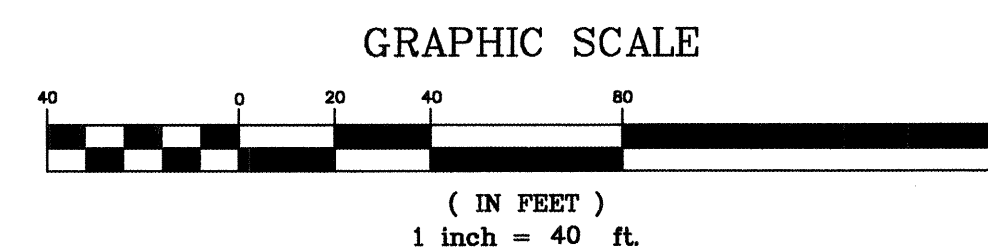
FLOOD ZONE DETERMINATION

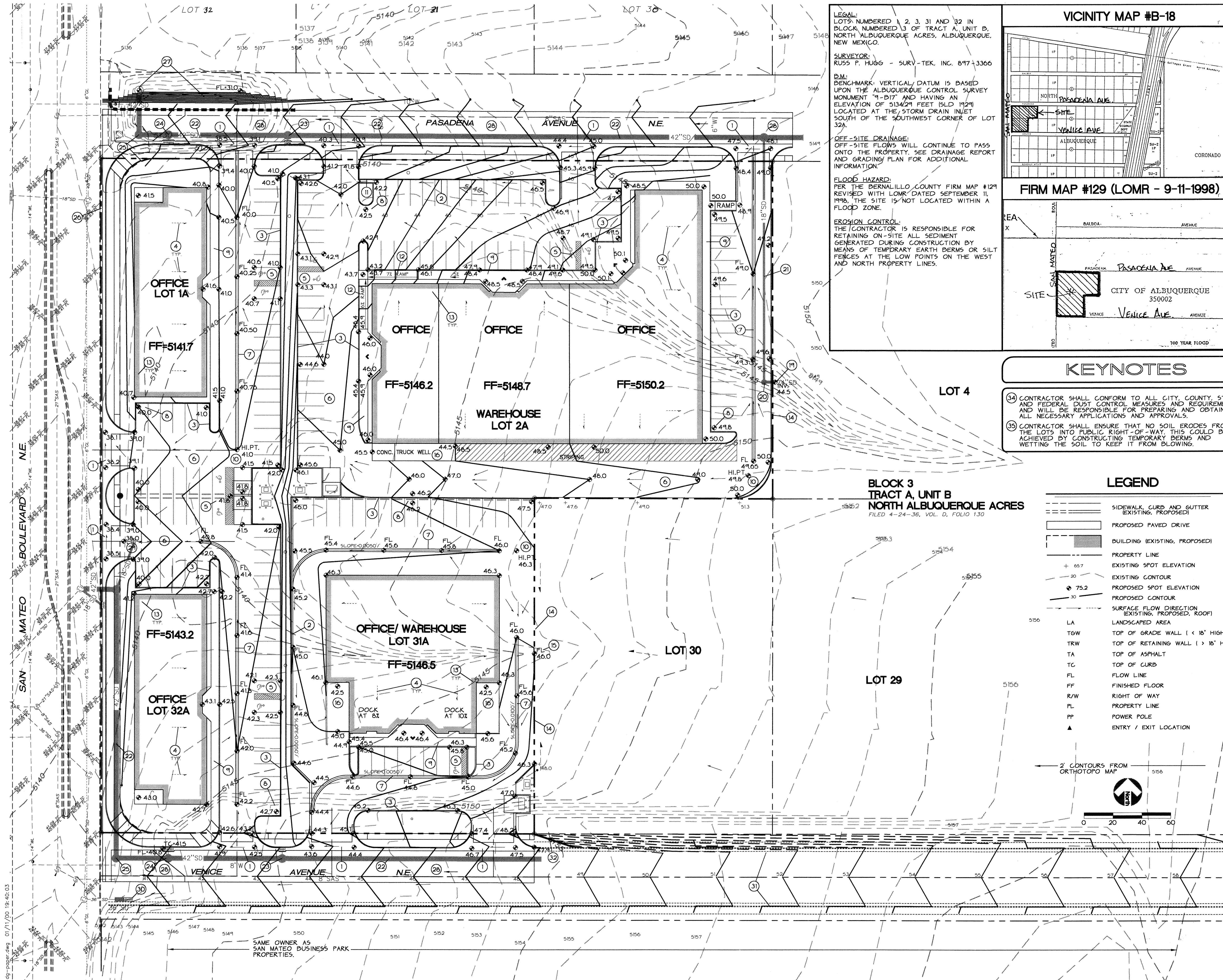
The southwesterly portion of the property appears to lie within Flood Zone AO-Depth 1 Foot, "Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined; for areas of alluvial fan flooding, velocities also determined", the remaining northeasterly portion of the property appears to lie within Flood Zone X, "Areas determined to be outside 500-year flood", as shown on FIRM Map No. 35001C029 D, effective date: September 20, 1996.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this Boundary Survey Plat was prepared from an actual ground survey performed by me or under my supervision; that I am responsible for this survey; that this survey is true and correct to the best of my knowledge and belief; and that this Boundary Survey Plat and the said survey upon which it is based meet the Minimum Standards for Surveying in New Mexico; and that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act and that this is a Boundary Survey Plat of five existing lots.

Russ P. Hugg, NMPS No. 9750
June 16, 1999





LEGAL:
LOTS NUMBERED 1, 2, 3, 31 AND 32 IN
BLOCK NUMBERED 3 OF TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRES, ALBUQUERQUE,
NEW MEXICO.

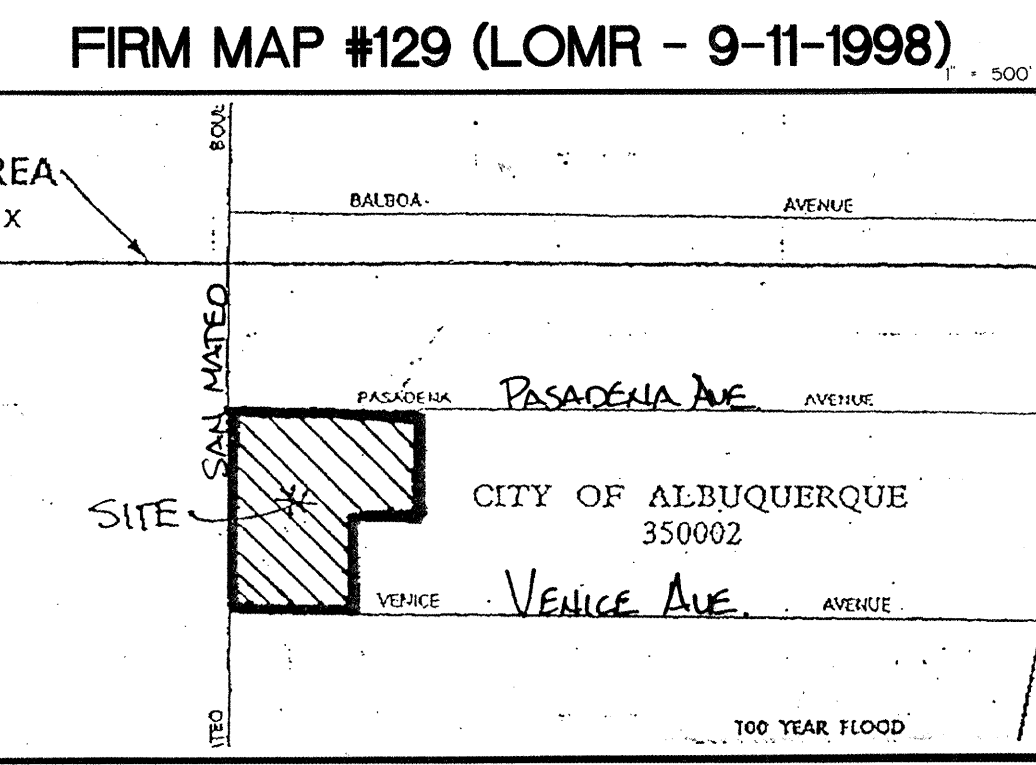
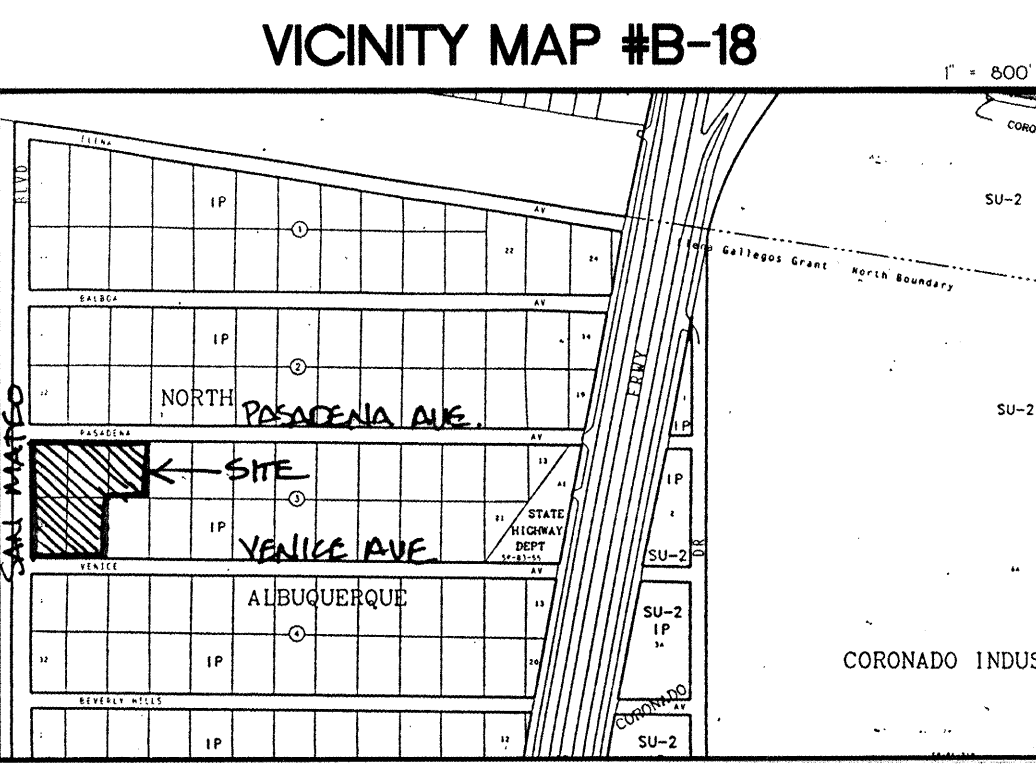
SURVEYOR:
RUSS P. HUGG - SURV-TEK, INC. 897-3366

B.M.:
BENCHMARK: VERTICAL DATUM IS BASED
UPON THE ALBUQUERQUE CONTROL SURVEY
MONUMENT "1-B" AND HAVING AN
ELEVATION OF 5134.21 FEET (SLD 1921)
LOCATED AT THE STORM DRAIN INLET
SOUTH OF THE SOUTHWEST CORNER OF LOT
32A.

OFF-SITE DRAINAGE:
OFF-SITE FLOWS WILL CONTINUE TO PASS
ONTO THE PROPERTY. SEE DRAINAGE REPORT
AND GRADING PLAN FOR ADDITIONAL
INFORMATION.

FLOOD HAZARD:
PER THE BERNALILLO COUNTY FIRM MAP #129
REVISED WITH LOMR DATED SEPTEMBER 11,
1998, THE SITE IS NOT LOCATED WITHIN A
FLOOD ZONE.

EROSION CONTROL:
THE CONTRACTOR IS RESPONSIBLE FOR
RETAINING ON-SITE ALL SEDIMENT
GENERATED DURING CONSTRUCTION BY
MEANS OF TEMPORARY EARTH BERMS OR SILT
FENCES AT THE LOW POINTS ON THE WEST
AND NORTH PROPERTY LINES.



- ### KEYNOTES
- 34. CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 - 35. CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS COULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.

**BLOCK 3
TRACT A, UNIT B
NORTH ALBUQUERQUE ACRES**
FILED 4-24-36, VOL. D, FOLIO 130

- ### LEGEND
- SIDEWALK, CURB AND GUTTER (EXISTING, PROPOSED)
 - PROPOSED PAVED DRIVE
 - BUILDING (EXISTING, PROPOSED)
 - PROPERTY LINE
 - + 55.7 EXISTING SPOT ELEVATION
 - 20 EXISTING CONTOUR
 - + 75.2 PROPOSED SPOT ELEVATION
 - 30 PROPOSED CONTOUR
 - - - SURFACE FLOW DIRECTION (EXISTING, PROPOSED, ROOF)
 - LA LANDSCAPED AREA
 - TGW TOP OF GRADE WALL (< 15' HIGH)
 - TRW TOP OF RETAINING WALL (> 15' HIGH)
 - TA TOP OF ASPHALT
 - TC TOP OF CURB
 - FL FLOW LINE
 - FF FINISHED FLOOR
 - R/W RIGHT OF WAY
 - PL PROPERTY LINE
 - PP POWER POLE
 - ▲ ENTRY / EXIT LOCATION

- ### KEYNOTES
- 1. SITE ENTRANCES / VALLEY GUTTERS / 0.9" WATERBLOCKS (AS SHOWN) TO BE CONSTRUCTED IN CONJUNCTION WITH IMPROVEMENTS FOR VENICE AVE, PASADENA AVE, SAN MATEO BLVD. SEE SEPARATE CONSTRUCTION DOCUMENTS FOR ADDITIONAL INFORMATION.
 - 2. CONSTRUCT STANDARD CONCRETE CURB AND GUTTER AT ALL CURB LOCATIONS WHICH CARRY CONCENTRATED FLOWS AND AS NOTED.
 - 3. CONSTRUCT CONCRETE HEADER CURB AT ALL CURB LOCATIONS UNLESS NOTED.
 - 4. ROOF FLOWS TO DRAIN IN DIRECTIONS INDICATED. ALL ROOF FLOWS TO BE RELEASED THROUGH PIPES THROUGH WALKS DIRECTLY INTO ADJACENT ASPHALT PARKING AREAS. SEE ARCHITECTURAL FOR SPECIFIC ROOF DRAIN LOCATIONS.
 - 5. HANDICAP PARKING AREA. SEE ARCHITECTURAL FOR ACCESSIBLE RAMP LOCATIONS AND ADDITIONAL INFORMATION.
 - 6. PROVIDE SHALLOW SWALE WITHIN ASPHALT PAVING TO DIRECT FLOWS AS SHOWN. MINIMUM SLOPE = 0.0100/.
 - 7. CONSTRUCT 2' WIDE X 6" THICK X 1' DEPRESSED CONCRETE VALLEY GUTTER THROUGH ASPHALT PAVING TO DIRECT FLOWS AS SHOWN. MINIMUM SLOPE = 0.0050/.
 - 8. GENERAL NOTE: ALL SPOT ELEVATIONS WITHIN PAVEMENT AREA REPRESENT TOP OF PAVING UNLESS NOTED. ADD 0.5' TYPICAL FOR TOP OF CURB / TOP OF WALK ELEVATIONS.
 - 9. CONSTRUCT SIDEWALK THIS AREA. SEE ARCHITECTURAL FOR WIDTH, MATERIAL AND ADDITIONAL INFORMATION.
 - 10. HIGH POINT IN PAVEMENT THIS AREA AS SHOWN.
 - 11. CONSTRUCT 1' WIDE U-SHAPED CONCRETE CHANNEL THIS AREA (SLOPE = 0.0050/) TO ALLOW FLOWS TO PASS THROUGH PARKING ISLAND.
 - 12. CONSTRUCT ACCESSIBLE RAMP (SLOPE > 0.0500/) THIS AREA TO ACHIEVE GRADES SHOWN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
 - 13. CONSTRUCT RETAINING / EXTENDED STEMWALL AS REQUIRED TO ACHIEVE GRADE DIFFERENCE SHOWN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
 - 14. CONSTRUCT RETAINING WALL ALONG PROPERTY LINE AS REQUIRED TO ACHIEVE GRADE DIFFERENCE SHOWN.
 - 15. PROVIDE MIN. 2' WIDE X 6" HIGH OPENING IN CURB AT OFFSITE LOW POINT TO ALLOW FLOWS FROM LOT 30.
 - 16. INSTALL SUMP INLET / SUMP PUMP TO DRAIN DOCK AREA. DISCHARGE TO ADJACENT VENICE.
 - 17. CONSTRUCT BAR DITCH WITH VENICE BLVD. AT ELEVATIONS SHOWN. 4' BOTTOM WIDTH. 2:1 SIDE SLOPES TO DAYLIGHT. INSTALL C-JUTE FABRIC AND RESEED WITH NATIVE VEGETATION PER C.O.A. STANDARDS.
 - 18. CONSTRUCT 25' HIGH COMPACTED EARTH BERM TO DIVERT FLOWS THIS AREA.
 - 19. INSTALL 24" PVC STUD THROUGH PROPOSED RETAINING WALL TO ACCEPT OFFSITE FLOWS INTO PROPOSED STORM SEWER SYSTEM. SEE 55 PLANS FOR ADDITIONAL INFORMATION.
 - 20. INSTALL 4" DIA. MANHOLE-SEE 55 PLANS FOR ADD'L INFO.
 - 21. INSTALL 15" RCP 55 TO PROPOSED MAIN WITHIN PASADENA AVE. SEE 55 PLANS FOR ADD'L INFO.
 - 22. PROPOSED 55 MAIN - SEE 55 PLANS FOR ADD'L INFO.
 - 23. PROPOSED 6" DIA. MH WITH SINGLE 'A' INLET AT CURB AS SHOWN. SEE 55 PLANS FOR ADD'L INFO.
 - 24. PROPOSED 6" DIA. MH WITH DOUBLE 'C' INLET AT CURB AS SHOWN. SEE 55 PLANS FOR ADD'L INFO.
 - 25. PROPOSED 6" DIA. MH. SEE 55 PLANS FOR ADD'L INFO.
 - 26. PROPOSED SINGLE 'A' INLET AT CURB RETURN TIED TO EXISTING MH AS SHOWN. SEE 55 PLANS FOR ADD'L INFO.
 - 27. EXISTING SEDIMENT BASIN TO BE FILLED WITHIN LIMITS OF NEW PAVING. STANDPIPE TO BE RELOCATED AS REQUIRED. GUARDRAIL TO BE ADDED FOR SAFETY. SEE 55 PLANS FOR ADD'L INFO.
 - 28. 20'-WIDE (PLUS 4'-WIDE TEMPORARY) ASPHALT PAVED STREET WITH CONCRETE CURB AND GUTTER AS SHOWN TO BE CONSTRUCTED AS PART OF ASSOCIATED INFRASTRUCTURE IMPROVEMENTS. SEE STREET CONSTRUCTION PLANS FOR ADD'L INFO.
 - 29. INSTALL SINGLE TYPE 'D' INLET WITHIN 0.5' SUMP AREA IN ASPHALT PAVING. SEE 55 PLANS FOR ADD'L INFO.
 - 30. INSTALL DOUBLE TYPE 'D' INLET WITH CONCRETE APRON AT BARDITCH FLOWLINE. TIE TO EXISTING 36" STORM SEWER STUD AS SHOWN. SEE 55 PLANS FOR ADD'L INFO.
 - 31. FUTURE STREET CURB AND GUTTER SHOWN DASHED.
 - 32. CONSTRUCT TEMPORARY RETAINING WALL WITHIN THE ROW FOR SLOPE TRANSITION AS SHOWN.
 - 33. CONTRACTOR OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.

C.L. WEISS ENGINEERING, INC.

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ALVARADO OFFICE
1100 ALVARADO DR. NE
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(505) 266-3444

Revisions

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SAN MATEO BUSINESS PARK

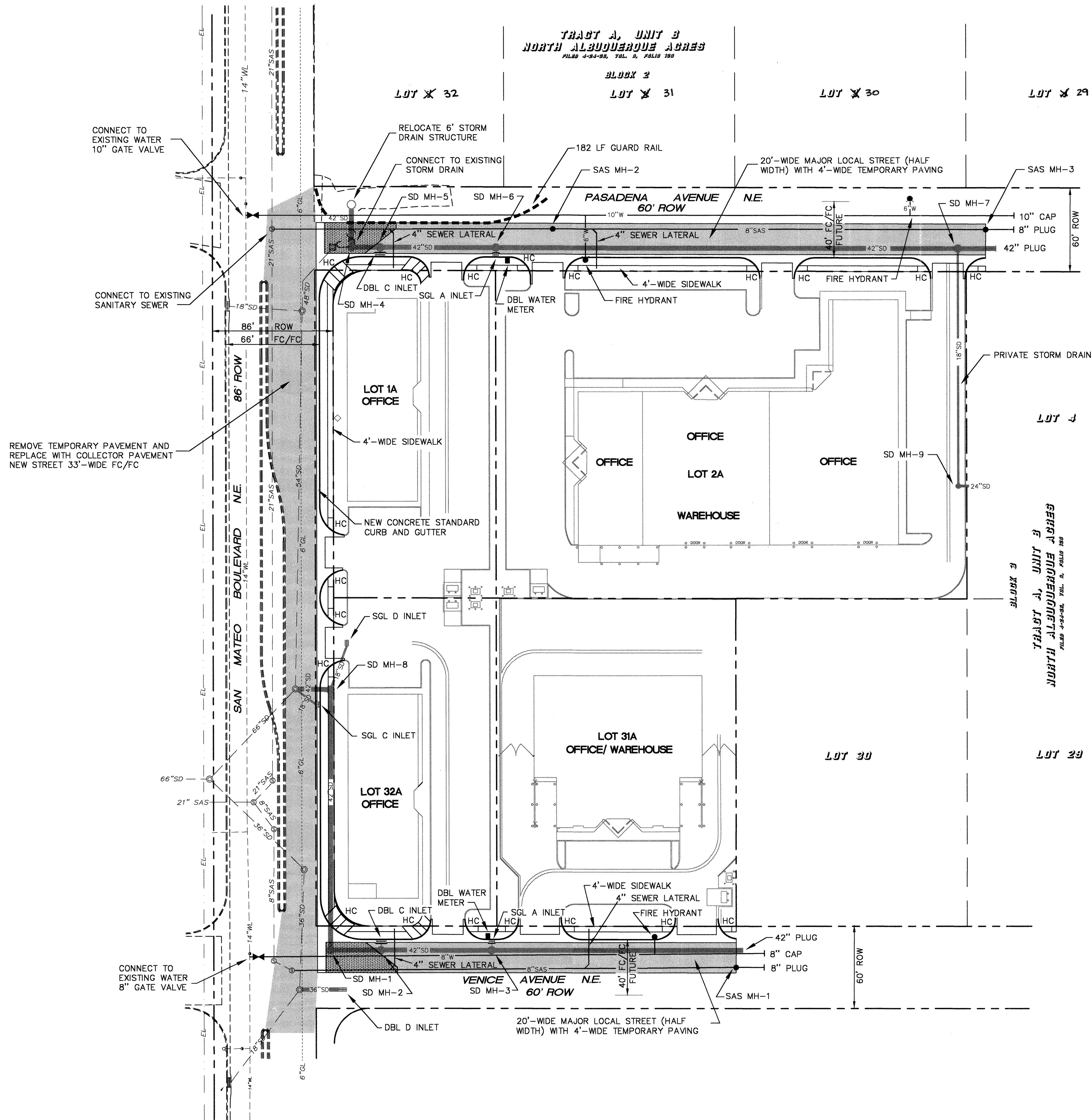
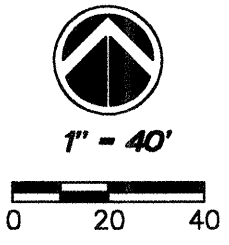
Mechenbier Construction

Scale: 1" = 30'	Drawn By: BJB	Checked By: CLW	Job Number:	Date: JAN. 11, 2000
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Grading Plan

C-1
SH. 1 OF 1

SAN MATEO BUSINESS PARK
MASTER STREETS AND UTILITIES PLAN



LEGEND	
APPLIES TO ALL SHEETS	
	PROPERTY LINE
	EXISTING CURB/GUTTER
	EXISTING WATER
	EXISTING SANITARY SEWER
	EXISTING STORM DRAIN
	EXISTING GAS LINE
	PROPOSED CURB/GUTTER
	PROPOSED WATER
	PROPOSED SANITARY SEWER
	PROPOSED STORM DRAIN
TC	TOP OF CURB
FC	FACE OF CURB
TA	TOP OF ASPHALT
FL	FLOW LINE
HC	HANDICAP RAMP
	NEW ASPHALT PAVEMENT
	NO-CROWN AREA

C.L. WEISS ENGINEERING, INC.
POST OFFICE BOX 97 SANDIA PARK, N.M. 87047 - (505) 281-8000
100 ALVARADO DR. NE ALBUQUERQUE, N.M. 87110 - (505) 266-3444

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **SAN MATEO BUSINESS PARK
MASTER STREETS AND UTILITIES PLAN**

DESIGN REVIEW COMMITTEE
City Project No. **630981**

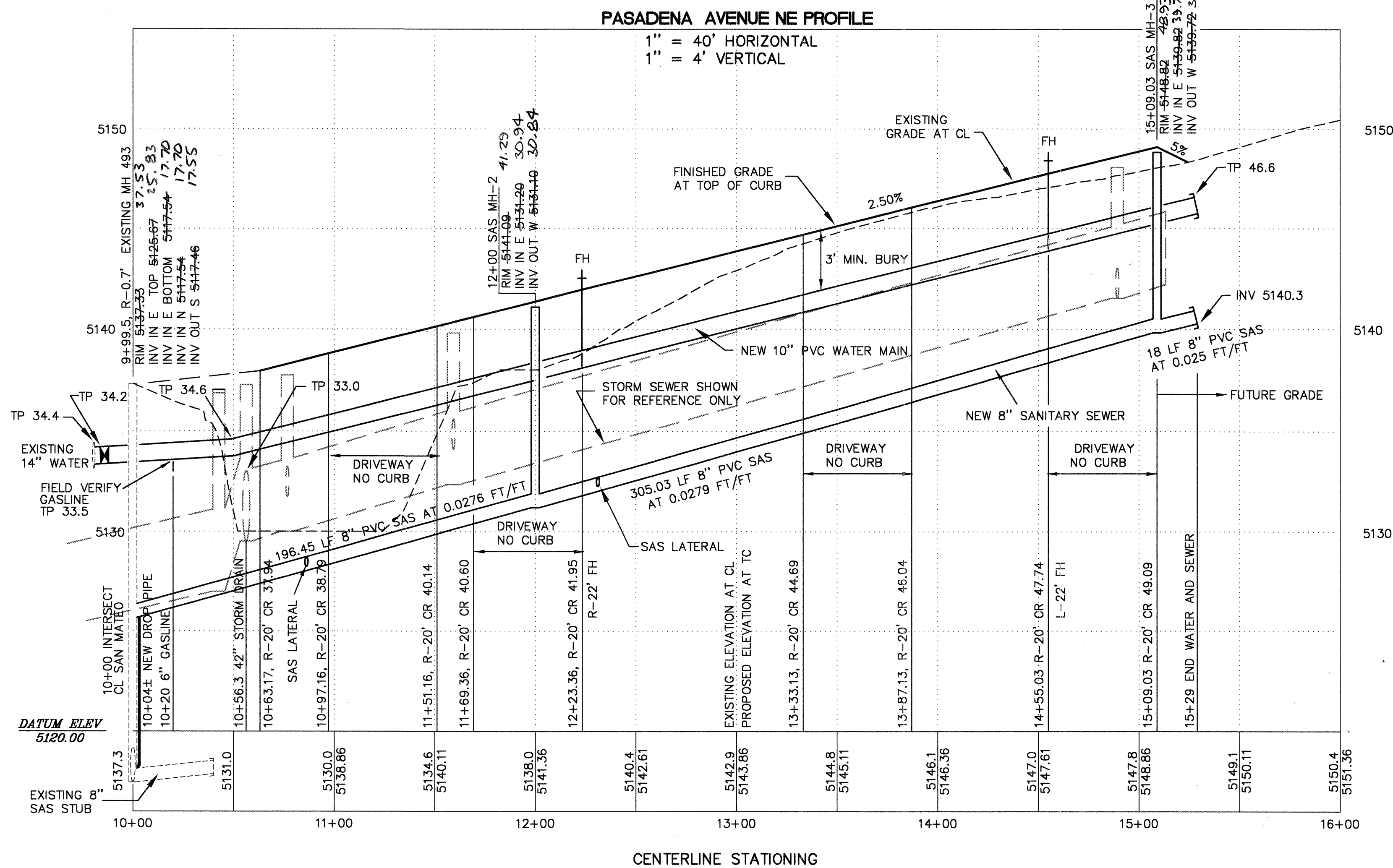
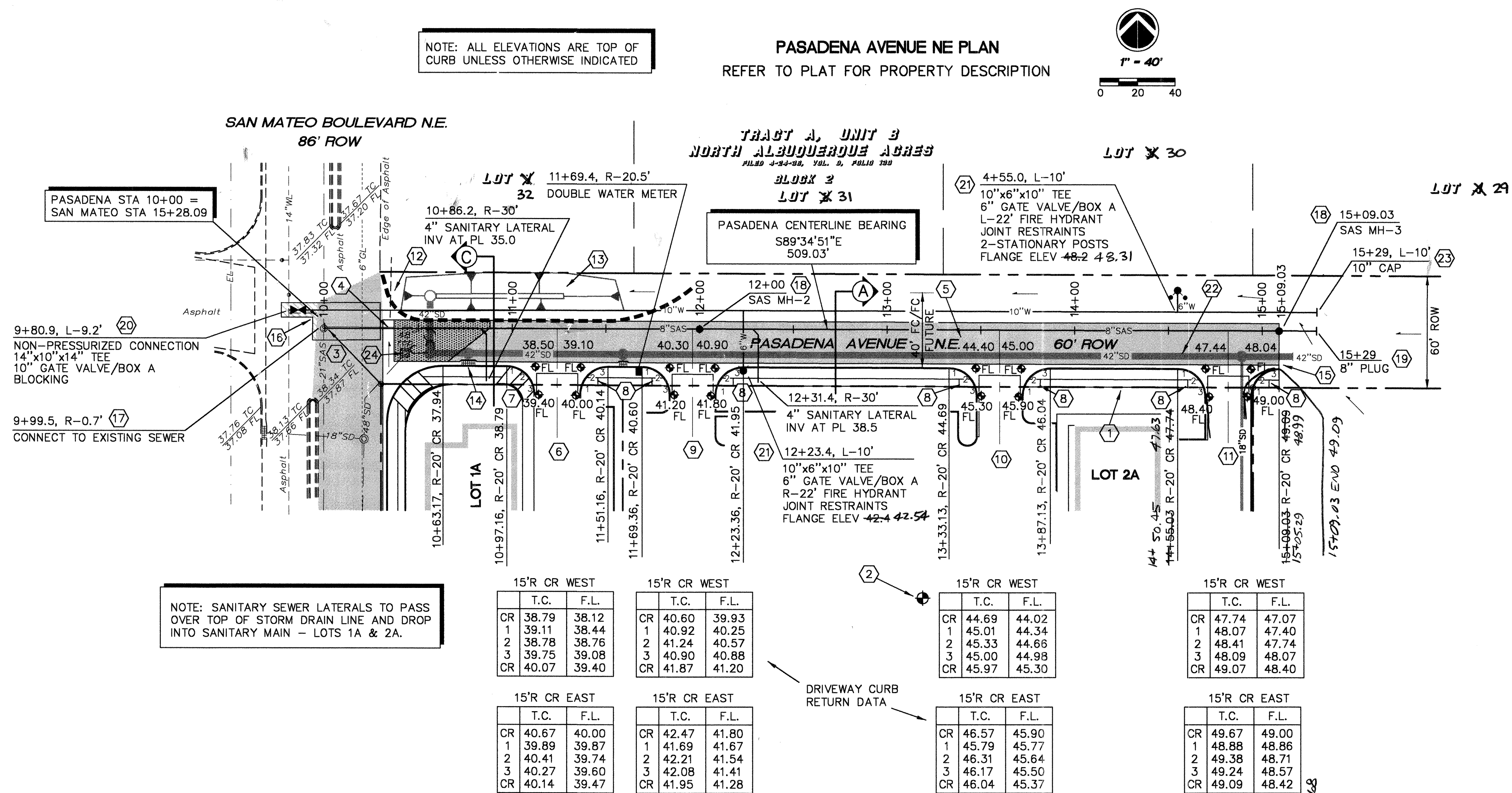
CITY ENGINEER
Zone Map No. **B-18**

Sheet **6** Of **15**

AS-BUILT INFORMATION	
CONTRACTOR	SUNDAUGE, MECH
STARTED BY	ALS, INC.
INSPECTOR'S DATE	12/12/99
FIELD DATE	12/12/99
VERIFICATION DATE	12/12/99
CONNECTED BY	ALS, INC.
RECORDED BY	ALS, INC.
NO.	

BENCH MARKS	
ALBUQUERQUE BENCHMARK "10-B17", LOCATED AT SOUTHWEST INTERSECTION OF SAN MATEO BLVD NE AND VENICE AVE NE. ELEVATION = 5144.48.	
SURVEY INFORMATION	
FIELD NOTES	DATE
BY	

ENGINEER'S SEAL	
NO.	DATE
REVISIONS	DATE
DESIGN	DATE
BY	DATE
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE



KEYED NOTES

- PROJECT BASIS OF BEARINGS IS NORTH PROPERTY LINE. (REFER TO PLAT).
- TEMPORARY BENCHMARK IS 5/8" REBAR WITH CAP STAMPED "SURV-TEK CONTROL". ELEVATION = 5146.09. NOTE: CONTRACTOR TO REESTABLISH CONSTRUCTION BENCHMARKS AS REQUIRED.
- PASADENA NE STA 10+00 IS LOCATED N 44°40'31" W, 42.50' FROM NW PROPERTY CORNER.
- SEE SHEET 8 FOR DETAILS OF PASADENA NE/SAN MATEO NE INTERSECTION.
- CONSTRUCT 20'-WIDE HALF-SECTION MAJOR LOCAL STREET WITH STANDARD CONCRETE CURB/GUTTER 20' RIGHT AS SHOWN. PROVIDE 4'-WIDE TEMPORARY PAVEMENT LEFT OF CENTERLINE. NO-CROWN AREA STA 10+73 TO 10+98. SEE SECTION A, SHEET 13, AND COA STD. DWGS. 2407 AND 2415.
- CONSTRUCT 24'-WIDE PRIVATE DRIVEWAY ENTRANCE CENTERED AT 11+24.05. SEE COA STD. DWG. 2426.
- CONSTRUCT CASE I WHEELCHAIR RAMP PER COA STD. DWG. 2441.
- CONSTRUCT WHEELCHAIR RAMP PER COA STD. DWG. 2426.
- CONSTRUCT 24'-WIDE PRIVATE DRIVEWAY ENTRANCE CENTERED AT 11+96.25. SEE COA STD. DWG. 2426.
- CONSTRUCT 24'-WIDE PRIVATE DRIVEWAY ENTRANCE CENTERED AT 13+59.96. SEE COA STD. DWG. 2426.
- CONSTRUCT 24'-WIDE PRIVATE DRIVEWAY ENTRANCE CENTERED AT 14+81.93. SEE COA STD. DWG. 2426.
- INSTALL 182 LF METAL BARRIER GUARD RAIL, STA 10+30, L-28' TO 10+53, L-4' TO 11+53, L-4' TO 11+96, L-18'. SEE COA STD. DWG. 2610 AND SEC. C, SHEET 13. PROVIDE STANDARD TERMINAL END SECTIONS AND WEAKENED POST SECTION BETWEEN SAN MATEO NE AND WEST END OF POND.
- SEE SHEET 5 FOR DETAILS CONCERNING THE RE-GRADING OF THE EXISTING STORM RUNOFF COLLECTION BASIN ADJACENT TO PASADENA NE.
- SEE SHEET 10 FOR DESIGN INFORMATION FOR THE NEW STORM DRAIN IMPROVEMENTS IN PASADENA NE.
- END STREET CONSTRUCTION AT 15+09.03. CONSTRUCT 24'-LONG CONCRETE CUTOFF WALL AT END OF PAVEMENT. SEE COA STD. DWG. 2415. PROVIDE 5% TRANSITIONAL GRADING TO EXISTING GROUND AND GRADE TO DRAIN TO NORTH HALF OF ROW.
- UTILITY TRENCHING REQUIRES REMOVAL OF 855 SF ARTERIAL PAVEMENT. A PORTION WILL BE REPLACED AS PART OF SAN MATEO NE REPAVING AS SHOWN. SEE SHEET 8.
- USING ACCEPTABLE DEEP-TRENCHING SAFETY PRECAUTIONS, LOCATE EXISTING SANITARY SEWER STUB AND CONSTRUCT DROP PIPE FOR CONNECTION TO NEW PASADENA NE SANITARY SEWER. SEE COA STD. DWG. 2116.
- CONSTRUCT TYPE E MANHOLE. SEE COA STD. DWG. 2102.
- PROVIDE 20 LF 8" PVC SEWER STUB AT SLOPE SHOWN.
- REMOVE AND DISPOSE OF EXISTING 6" WATER STUB AND 6" GATE VALVE. CONNECT NEW 10" WATER LINE. SEE COA STD. DWG. 2301 AND VALVE SHUT OFF PLAN SHEET 9.
- INSTALL FIRE HYDRANT. PROVIDE STATIONARY POSTS AT 14+52, L-20' AND 14+58, L-20'. SEE COA STD. DWGS. 2250, 2340 AND 2431.
- ROUTE 6" WATER LINE TO FIRE HYDRANT UNDER NEW 42" STORM DRAIN. SEE PROFILE. USE 45° BENDS WHERE POSSIBLE.
- PROVIDE 20 LF CAPPED WATER STUB BEYOND END OF PAVEMENT.
- ADJUST RIM ELEVATION OF EXISTING STORM DRAIN MH STA 10+42.7, R-13.5' TO 5137.1.

AS-BUILT INFORMATION

CONTRACTOR: SUNDANCE MICH

DATE: 01/00

INSPECTOR: ALB, INC

DATE: 01/00

FIELD VERIFICATION: T. Archuleta

DATE: 01/00

CONNECTION: ALB, INC

DATE: 01/00

MICRO-FILM INFORMATION

RECORDED BY: ALB, INC

DATE: 01/00

NO.

BENCH MARKS

ALBUQUERQUE BENCHMARK "10-B17", LOCATED AT SOUTHWEST INTERSECTION OF SAN MATEO BLVD NE AND VENICE AVE NE. ELEVATION = 5144.48.

SURVEY INFORMATION

FIELD NOTES

DATE

BY

ENGINEER'S SEAL

CHRYSTOPHER L. WEISS

NEW MEXICO

1-25

REGISTERED PROFESSIONAL ENGINEER

REVISIONS

NO.	DATE	REMARKS	BY
1		DESIGN	

DESIGNED BY SDC

DATE 12/99

DRAWN BY SDC

DATE 12/99

CHECKED BY CLW

DATE 12/99

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **SAN MATEO BUSINESS PARK
PASADENA AVENUE NE 10+00 TO 15+09 STREET AND UTILITIES**

Design Review Committee

DESIGN REVIEW COMMITTEE

CITY ENGINEER

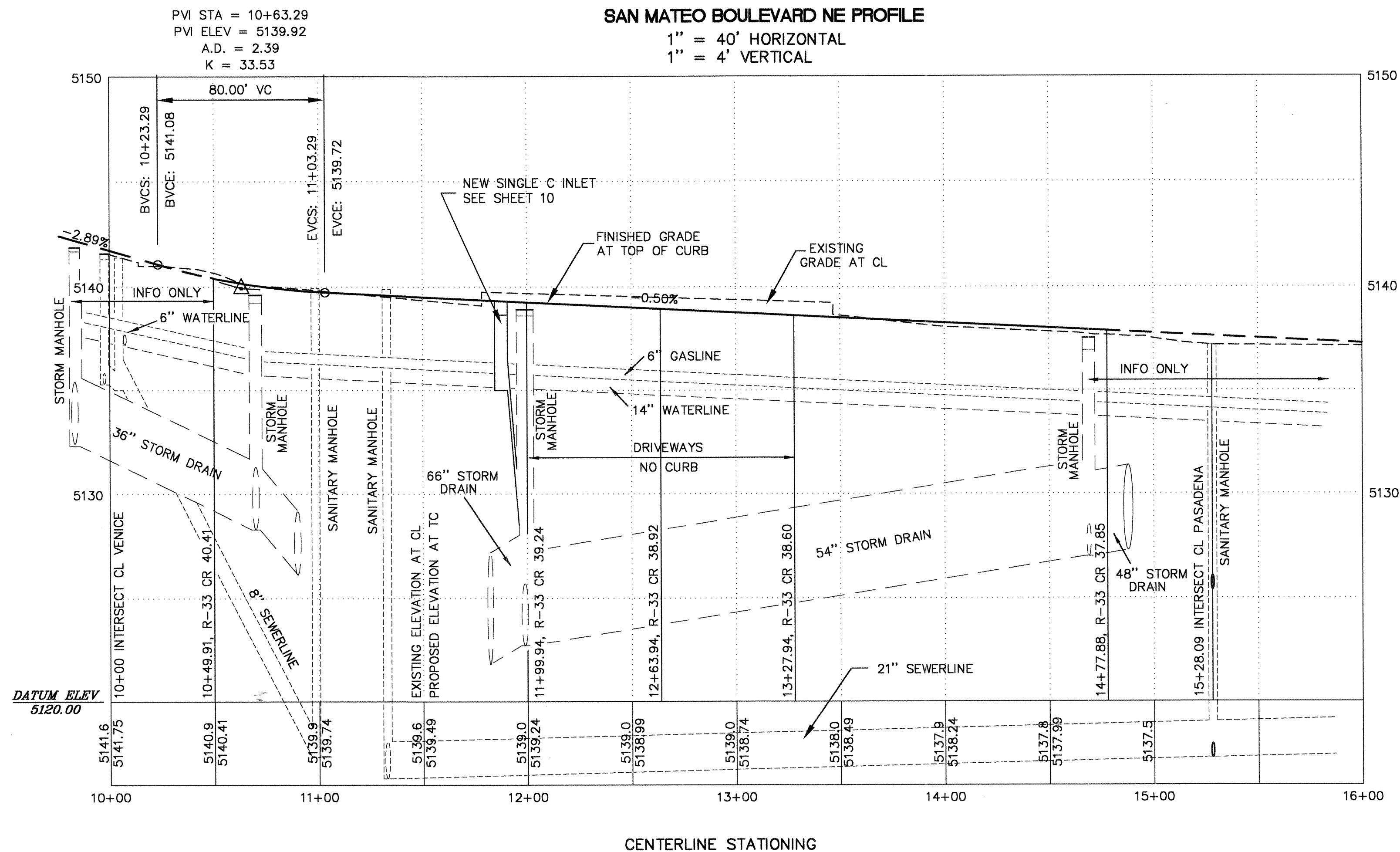
City Project No. **630981**

Zone Map No. **B-18**

Sheet **7** Of **15**

 $1'' = 40'$

1" = 40' HORIZONTAL
1" = 4' VERTICAL



25) SAN MATEO NE STA 10+00 IS LOCATED S 45°16'11" W, 42.40' FROM SW PROPERTY CORNER.

26) REMOVE AND DISPOSE OF 549 LF EXISTING ASPHALT CURB STA 9+57, R=29' TO 15+07, R=29'.

27) REMOVE AND DISPOSE OF 1855 SY EXISTING ASPHALT TEMPORARY PAVEMENT TO EXTENTS SHOWN. SAWCUT IN INTERSECTIONS FOR CLEAN EDGE. PROTECT EXISTING CONCRETE MEDIAN CURB, WHICH WILL REMAIN IN PLACE.

28) CONSTRUCT 33'-WIDE HALF-SECTION COLLECTOR STREET. SEE SECTION B, SHEET 13, AND COA STD. DWGS. 2408 AND 2415. MATCH EXISTING GRADE AT GUTTER EDGE OF MEDIAN CURB.

29) ADJUST RIM ELEVATION OF EXISTING STORM MANHOLE STA 9+83.7, R=18.2' TO 5141.9.

30) ADJUST RIM ELEVATION OF EXISTING SAS MANHOLE STA 9+97.6, R=12.6' TO 5141.6.

31) ADJUST RIM ELEVATION OF EXISTING STORM MANHOLE STA 10+69.9, R=21.6' TO 5139.6.

32) ADJUST RIM ELEVATION OF EXISTING STORM MANHOLE STA 11+98.9, R=15.6' TO 5138.9.

33) ADJUST RIM ELEVATION OF EXISTING STORM MANHOLE STA 14+69.0, R=21.0 TO 5137.5.

34) CONSTRUCT 24'-WIDE PRIVATE DRIVEWAY ENTRANCE CENTERED AT 12+31.94. SEE COA STD. DWG. 2426.

35) CONSTRUCT 24'-WIDE PRIVATE DRIVEWAY ENTRANCE CENTERED AT 12+95.94. SEE COA STD. DWG. 2426.

36) SEE SHEET 11 FOR DESIGN INFORMATION FOR THE NEW STORM DRAIN IMPROVEMENTS IN SAN MATEO NE.

37) CONSTRUCT 6'-WIDE CONCRETE VALLEY GUTTER ACROSS NEW INTERSECTION. PROVIDE SMOOTH ASPHALT TRANSITION BETWEEN EXISTING ASPHALT PAVEMENT AND END OF VALLEY GUTTER. GRADE TO DRAIN. SEE COA STD. DWG. 2420.

38) PROVIDE 4" DASHED WHITE CL STRIPING STA 10+60, R=20.3' TO 14+67, R=20.3'.

39) PROVIDE 4" SOLID WHITE STRIPING STA 13+88, R=7.8' TO 14+88, R=7.8'.

CONTRACTOR	SUNDANCE ME	NO.
WORK	DATE	DATE
INSPECTOR'S	ACCEPTANCE	DATE
FIELD	VERIFICATION	DATE
DRAWINGS	CORRECTED	DATE
MICRO-FILM INFORMATION		
RECORDED BY	DATE	

ALBUQUERQUE BENCHMARK "10-B17", LOCATED AT
SOUTHWEST INTERSECTION OF SAN MATEO BLVD NE
VENICE AVE NE. ELEVATION = 5144.48.

[illegible]

A circular professional engineer seal for Christopher L. Weiss, New Mexico, No. 8653, Expires 1.12.00. The seal is stamped in black ink on a white background. The text "CHRISTOPHER L. WEISS" is at the top, "NEW MEXICO" is below it, "8653" is in the center, and "1.12.00" is below the center. The words "REGISTERED PROFESSIONAL ENGINEER" are written around the bottom half of the circle. A signature is written across the seal.

[illegible]

C.L. WEISS ENGINEERING, INC.

POST OFFICE BOX 97 SANDIA PARK, N.M. 87047 - (505) 281-1800
1100 ALVARADO DR. NE ALBUQUERQUE, N.M. 87110 - (505) 266-3444

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

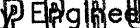
TITLE: **SAN MATEO BUSINESS PARK
SAN MATEO BOULEVARD NE 10+00 TO 15+09**

Design Review Committee

FEB - 3 2000


**DESIGN
REVIEW COMMITTEE**

City Engineer Approval

FEB 16 2000


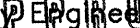
CITY ENGINEER

Design Review Committee

FEB - 3 2000


**DESIGN
REVIEW COMMITTEE**

City Engineer Approval

FEB 16 2000


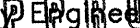
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Design Review Committee

FEB - 3 2000


**DESIGN
REVIEW COMMITTEE**

City Engineer Approval

FEB 16 2000


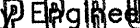
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Design Review Committee

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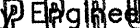
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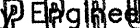
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Design Review Committee

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REVIEW COMMITTEE**

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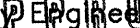
CITY ENGINEER

Design Review Committee

FEB - 3 2000


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REVIEW COMMITTEE**

City Engineer Approval

FEB 16 2000


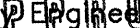
CITY ENGINEER

Design Review Committee

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**DESIGN
REVIEW COMMITTEE**

City Engineer Approval

FEB 16 2000


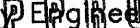
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Design Review Committee

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City Engineer Approval

FEB 16 2000


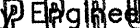
CITY ENGINEER

Design Review Committee

FEB - 3 2000


**DESIGN
REVIEW COMMITTEE**

City Engineer Approval

FEB 16 2000


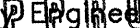
CITY ENGINEER

Design Review Committee

FEB - 3 2000

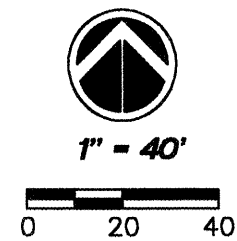

**DESIGN
REVIEW COMMITTEE**

City Engineer Approval

FEB 16 2000


CITY ENGINEER

City Project No.	Zone Map No.	Sheet	Of
630981	B-18	8	15



VENICE AVENUE NE PLAN
REFER TO PLAT FOR PROPERTY DESCRIPTION

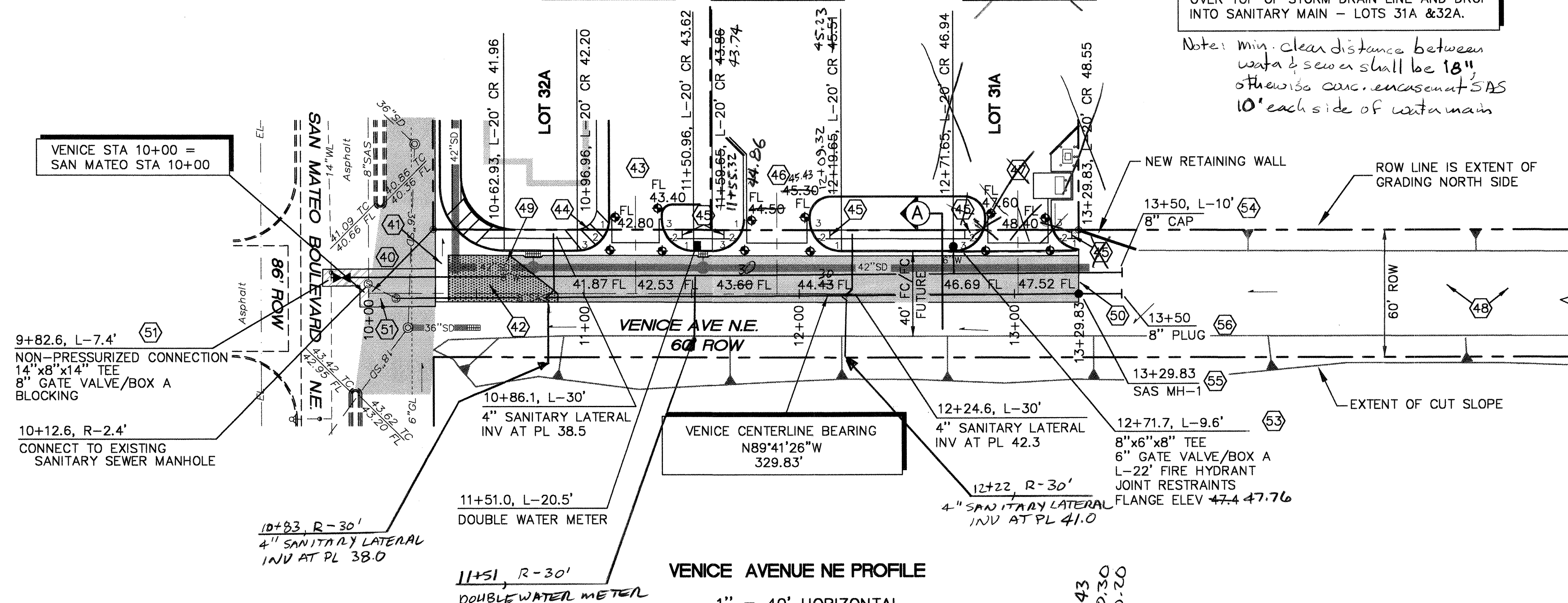
15'R CR WEST			15'R CR WEST			15'R CR WEST		
	T.C.	F.L.		T.C.	F.L.		T.C.	F.L.
CR	43.47	42.80	CR	45.17	44.50	CR	48.27	47.60
1	43.15	42.48	1	44.19	44.17	1	47.29	47.27
2	42.19	42.17	2	44.52	43.85	2	47.61	46.94
3	42.52	41.85	3	44.19	43.52	3	47.27	46.60
CR	42.20	41.53	CR	43.86	43.19	CR	46.94	46.27

15'R CR EAST			15'R CR EAST			15'R CR EAST		
	T.C.	F.L.		T.C.	F.L.		T.C.	F.L.
CR	43.62	42.95	CR	45.51	44.84	CR	48.55	47.88
1	43.73	43.06	1	45.63	44.96	1	48.88	48.01
2	43.85	43.18	2	45.74	45.07	2	48.88	48.14
3	43.31	43.29	3	45.21	45.19	3	48.29	48.27
CR	44.07	43.40	CR	45.97	45.30	CR	49.07	48.40

DRIVEWAY CURB
RETURN DATA

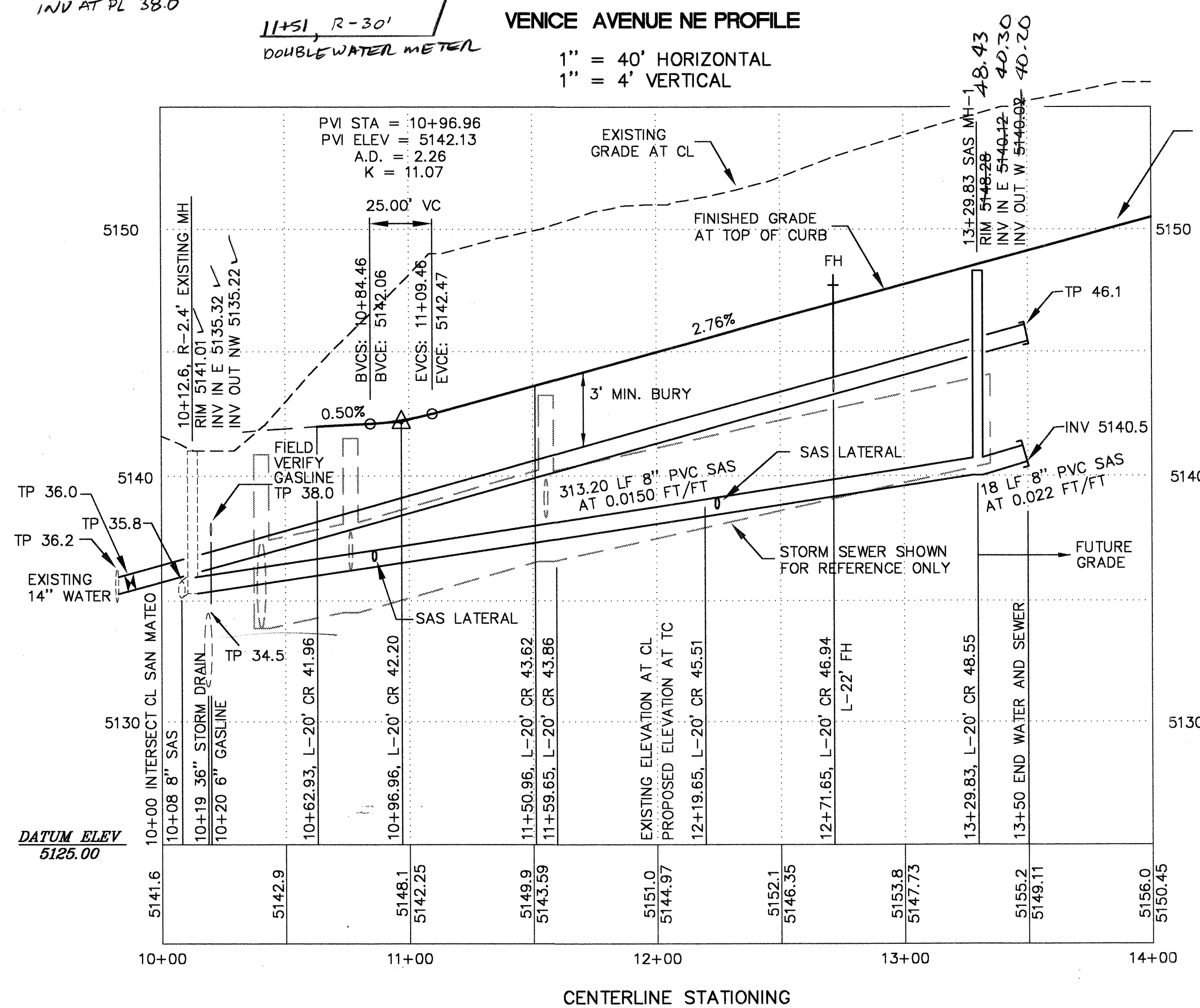
NOTE: SANITARY SEWER LATERALS TO PASS
OVER TOP OF STORM DRAIN LINE AND DROP
INTO SANITARY MAIN - LOTS 31A & 32A.

Notes: Min. clear distance between
water & sewer shall be 18"
otherwise conc. encasement SAS
10' each side of water main



VENICE AVENUE NE PROFILE

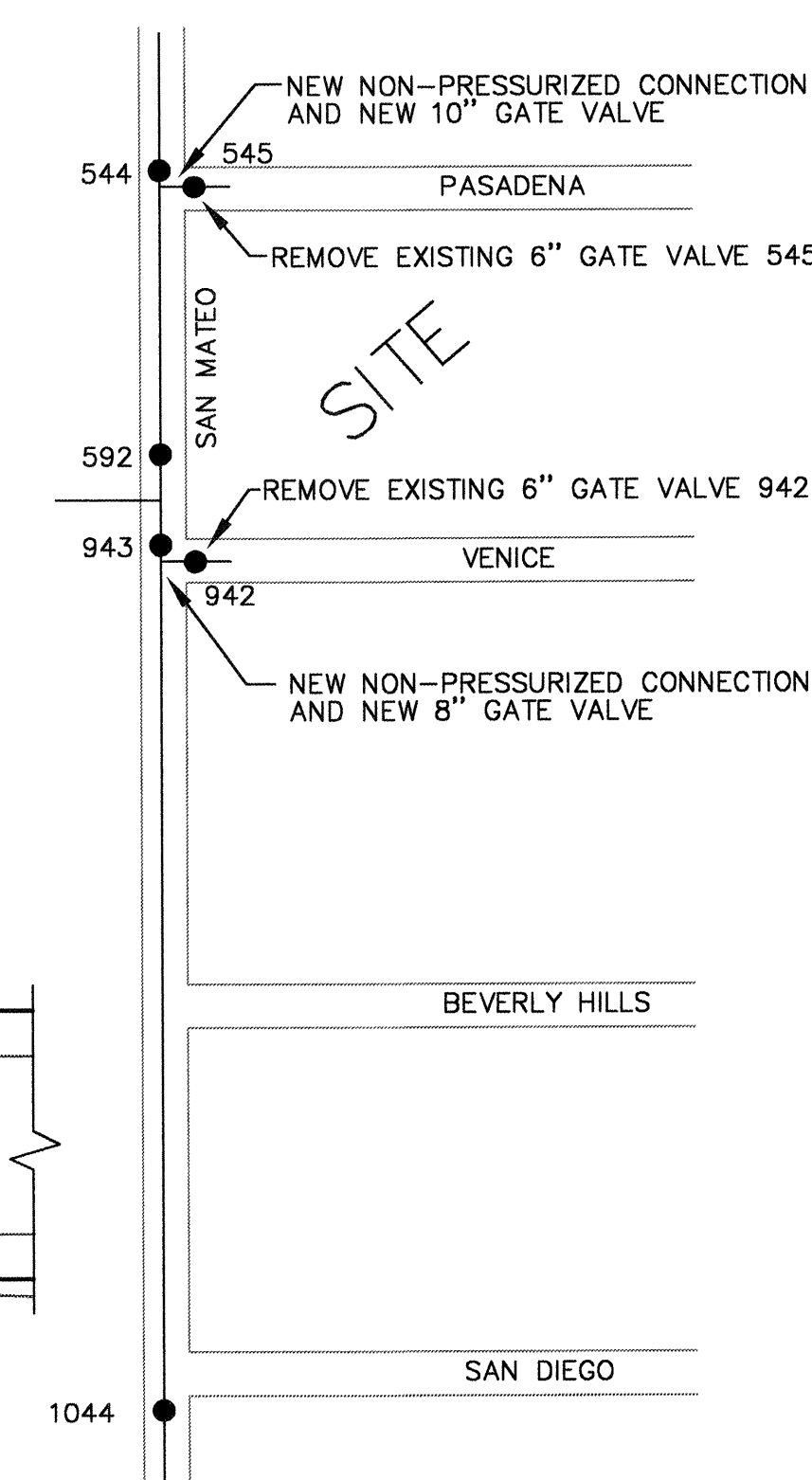
1" = 40' HORIZONTAL
1" = 4' VERTICAL



CONTINUE ROW GRADING AT 2.76%
APPROXIMATELY 450' EAST OF
END OF PAVEMENT UNTIL DAYLIGHT. RE-
FER TO GRADING PLAN (SHEET 5)
FOR ADDITIONAL INFORMATION.

WATER VALVE SHUT OFF PLAN

SHUT OFF VALVES 544 AND 592 BEFORE CONNECTING
NEW TEE TO EXISTING 14" LINE AT SAN MATEO/PASADENA.



SHUT OFF VALVES 1044 AND 943 BEFORE CONNECTING
NEW TEE TO EXISTING 14" LINE AT SAN MATEO/VENICE.

RESTRAINED JOINT TABLE

FITTING (ASSUME 8' Lr)	GIVEN LENGTH OF RESTRAINED JOINT EACH SIDE OF FITTING
14"x 10"x 14" TEE	13'
14"x 8"x 14" TEE	1'
10"x 6"x 10" TEE	1'
8"x 6"x 8" TEE	1'
10" VALVE	86'
8" VALVE	72'
10" CAP	86'
8" CAP	72'
6" 45° VERTICAL BEND	4'
6" 90° VERTICAL BEND	4'

- HORIZONTAL BENDS REQUIRE RESTRAINT OF ALL JOINTS WITHIN GIVEN LENGTH ON BOTH SIDES OF FITTING.
- IN-LINE VALVE REQUIRES RESTRAINT OF ALL JOINTS WITHIN GIVEN LENGTH UP TO VALVE.
- ALL FITTINGS TO BE RESTRAINED AT EACH FLANGE.
- CONTRACTOR SHALL PROVIDE MINIMUM PIPE LENGTHS OF 18' WITHIN RESTRAINED LENGTH OF FITTINGS. ALL PIPE JOINTS WITHIN 20' OF A FITTING SHALL BE RESTRAINED AT CONTRACTOR'S EXPENSE.

RESTRAINT TABLE ASSUMPTIONS:

ASTM SOIL CLASSIFICATION SM (SAND/SILT MIXTURE)
AWWA TRENCH TYPE 5
DEPTH OF BURY 3' TO TOP OF PIPE
WORKING PRESSURE 100 PSI
TEST PRESSURE 150 PSI
FACTOR OF SAFETY = 1.5 TO 1

KEYED NOTES

- VENICE NE STA 10+00 IS LOCATED S 45°16'11" W, 42.40' FROM SW PROPERTY CORNER.
- SEE SHEET 8 FOR DETAILS OF VENICE NE/SAN MATEO NE INTERSECTION.
- CONSTRUCT 20'-WIDE HALF-SECTION MAJOR LOCAL STREET WITH STANDARD CONCRETE CURB/GUTTER 20' LEFT AS SHOWN. PROVIDE 4'-WIDE TEMPORARY PAVEMENT RIGHT OF CENTERLINE. NO-CROWN AREA STA 10+73 TO 10+98. SEE SECTION A, SHEET 13, AND COA STD. DWGS. 2407 AND 2415.
- CONSTRUCT 24'-WIDE PRIVATE DRIVEWAY ENTRANCE CENTERED AT 11+24.01. SEE COA STD. DWG. 2426.
- CONSTRUCT CASE I WHEELCHAIR RAMP PER COA STD. DWG. 2441.
- CONSTRUCT WHEELCHAIR RAMP PER COA STD. DWG. 2426.
- CONSTRUCT 30'-WIDE PRIVATE DRIVEWAY ENTRANCE CENTERED AT 11+24.01. SEE COA STD. DWG. 2426.
- CONSTRUCT 30'-WIDE PRIVATE DRIVEWAY ENTRANCE CENTERED AT 13+01.67. SEE COA STD. DWG. 2426.
- SEE SHEET 5 FOR DETAILS CONCERNING THE RE-GRADING OF THE VENICE RIGHT OF WAY EAST OF END OF PAVEMENT. NOTE: LOT 31A/32A OWNER ALSO OWNS PROPERTY SOUTH OF VENICE ROW.
- SEE SHEET 12 FOR DESIGN INFORMATION FOR THE NEW STORM DRAIN IMPROVEMENTS IN VENICE NE.
- END STREET CONSTRUCTION AT 13+29.83. CONSTRUCT 24'-LONG CONCRETE CUTOFF WALL AT END OF PAVEMENT. SEE COA STD. DWG. 2415.
- UTILITY TRENCHING REQUIRES REMOVAL OF 770 SF ARTERIAL PAVEMENT. A PORTION WILL BE REPLACED AS PART OF SAN MATEO NE REPAVING AS SHOWN. SEE SHEET 8.
- REMOVE AND DISPOSE OF EXISTING 6" WATER STUB AND 6" GATE VALVE. CONNECT NEW 8" WATER LINE. SEE COA STD. DWG. 2301 AND VALVE SHUT OFF PLAN THIS SHEET.
- INSTALL FIRE HYDRANT. SEE COA STD. DWGS. 2340 AND 2431.
- PROVIDE 20 LF CAPPED WATER STUB BEYOND END OF PAVEMENT.
- CONSTRUCT TYPE E MANHOLE. SEE COA STD. DWG. 2102.
- REMOVE 20 LF 8" PVC SEWER STUB AT SLOPE SHOULDER

AS-BUILT INFORMATION				BENCH MARKS			
CONTRACTOR	DATE	INSPECTOR	DATE	ALBUQUERQUE BENCHMARK "10-B17"	LOCATED AT	DATE	BY
SUNSHINE	02/05/00	ALB	02/05/00	SOUTHWEST INTERSECTION OF SAN MATEO BLVD NE AND VENICE AVE NE. ELEVATION = 5144.48.			

SURVEY INFORMATION				ENGINEER'S SEAL			
DATE	BY	REVISIONS	DESIGN	NO.	DATE	DESIGNED BY	DATE
						SDC	12/99
						SDC	12/99
						CW	12/99

DATE	BY	REVISIONS	DESIGN

DATE	BY	REVISIONS	DESIGN

DATE	BY	REVISIONS	DESIGN



C.L. WEISS ENGINEERING, INC.

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100 ALVARADO DR. NE ALBUQUERQUE, NM. 87110 - (505) 266-3444

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **SAN MATEO BUSINESS PARK
VENICE AVENUE NE 10+00 TO 13+29 STREET AND UTILITIES**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Month / Day / Year	Month / Day / Year
DESIGN REVIEW COMMITTEE	CITY ENGINEER		

City Project No.	Zone Map No.	Sheet	Of
630981	B-18	9	15

1" = 40' HORIZONTAL
1" = 4' VERTICAL



1" = 40' HORIZONTAL
1" = 4' VERTICAL



1" = 40' HORIZONTAL
1" = 4' VERTICAL



- 57 REMOVE AND DISPOSE OF 6'-DIA DRAINAGE STRUCTURE AND 48" FITTINGS. INSTALL NEW VERTICAL 6'-DIA DRAINAGE STRUCTURE DUPLICATING OUTLET ORIFACE PATTERN OF EXISTING STRUCTURE AT STA 10+00, L=30.5.
- 58 CONSTRUCT TYPE C 6'-DIA. STORM MANHOLE. SEE COA STD. DWG. 2101. FIELD ADJUST AS REQUIRED TO CONNECT NEW MANHOLE TO EXISTING WEST 48" RCP AS SHOWN.
- 59 CONSTRUCT TYPE C 6'-DIA. STORM MANHOLE. SEE COA STD. DWG. 2101.
- 60 CONSTRUCT TYPE DOUBLE C DROP INLET WITH 18"-DIA. LATERAL CONNECTED TO STORM SEWER MAIN. SEE COA STD. DWG. 2205.
- 61 CONSTRUCT TYPE SINGLE A DROP INLET WITH 18"-DIA. LATERAL CONNECTED TO STORM SEWER MAIN. SEE COA STD. DWGS. 2201 AND 2202.
- 62 CONSTRUCT TYPE C 4'-DIA. STORM MANHOLE. SEE COA STD. DWG. 2101.
- 63 INSTALL 24" STORM DRAIN THROUGH RETAINING WALL. SEE SHEET 5 FOR ADDITIONAL OFFSITE INFORMATION.
- 64 AT STA 14+57 OR NEAREST BELL JOINT, FIELD FABRICATE 12" LUG WITH 1" MARINE-GRADE PLYWOOD-LOUT TO FIT IN BELL. CROSS BRACE WITH PRESSURE-TREATED LUMBER. COVER AND SECURE END WITH PLASTIC VAPOR BARRIER.

BENCH MARKS

ALBUQUERQUE BENCHMARK "10-B17", LOCATED AT
SOUTHWEST INTERSECTION OF SAN MATEO BLVD NE AND
VENICE AVE NE. ELEVATION = 5144.48.

A circular professional engineer seal for Christopher L. Weiss, New Mexico, No. 8653, Expires 1.12.00. The seal is stamped in black ink on a white background. The text "CHRISTOPHER L. WEISS" is at the top, "NEW MEXICO" is in the middle, "8653" is below that, and "EXPIRES 1.12.00" is at the bottom. The words "REGISTERED PROFESSIONAL ENGINEER" are written around the perimeter of the seal. A signature is written across the seal.

E ENT GROUP	
PARK ARM DRAIN	
Month / Day / Year	Month / Day / Year

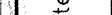


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 1100 ALVARADO DR. NE ALBUQUERQUE, NM. 87110 - (505) 266-3444

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **SAN MATEO BUSINESS PARK
PASADENA AVENUE NE STORM DRAIN**

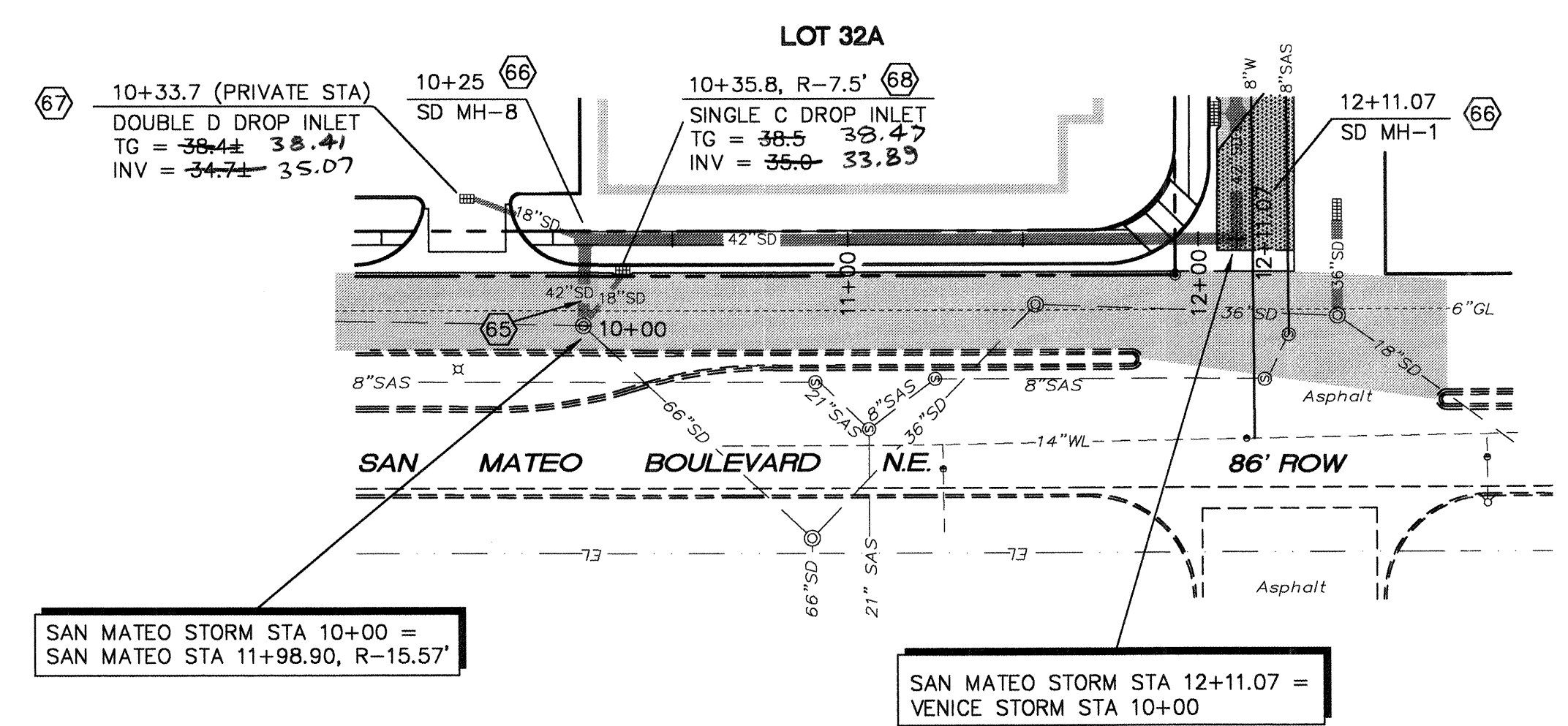
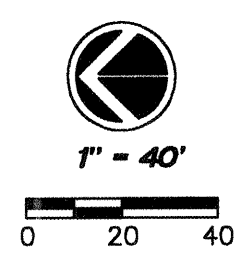
APPROVED  FEB 11 - 3 2000 DESIGN REVIEW COMMITTEE	APPROVED  FEB 16 2000 CITY ENGINEER	APPROVED  FEB 16 2000 CITY ENGINEER	APPROVED  FEB 16 2000 CITY ENGINEER	APPROVED  FEB 16 2000 CITY ENGINEER	APPROVED  FEB 16 2000 CITY ENGINEER	APPROVED  FEB 16 2000 CITY ENGINEER	APPROVED FEB 16 2000 CITY ENGINEER	APPROVED FEB 16 2000 CITY ENGINEER	APPROVED FEB 16 2000 CITY ENGINEER	APPROVED FEB 16 2000 CITY ENGINEER	APPROVED FEB 16 2000 CITY ENGINEER	APPROVED FEB 16 2000 CITY ENGINEER	APPROVED FEB 16 2000 CITY ENGINEER	APPROVED FEB 16 2000 CITY ENGINEER	APPROVED FEB 16 2000 CITY ENGINEER	APPROVED FEB 16 2000 CITY ENGINEER	APPROVED FEB 16 2000 CITY ENGINEER	APPROVED FEB 16 2000 CITY ENGINEER	APPROVED FEB 16 2000 CITY ENGINEER	APPROVED FEB 16 2000 CITY ENGINEER	APPROVED FEB 16 2000 CITY ENGINEER	APPROVED FEB 16 2000 CITY ENGINEER	APPROVED FEB 16 2000 CITY ENGINEER	APPROVED FEB 16 2000 CITY ENGINEER	APPROVED FEB 16 2000 CITY ENGINEER	APPROVED FEB 16 2000 CITY ENGINEER	APPROVED
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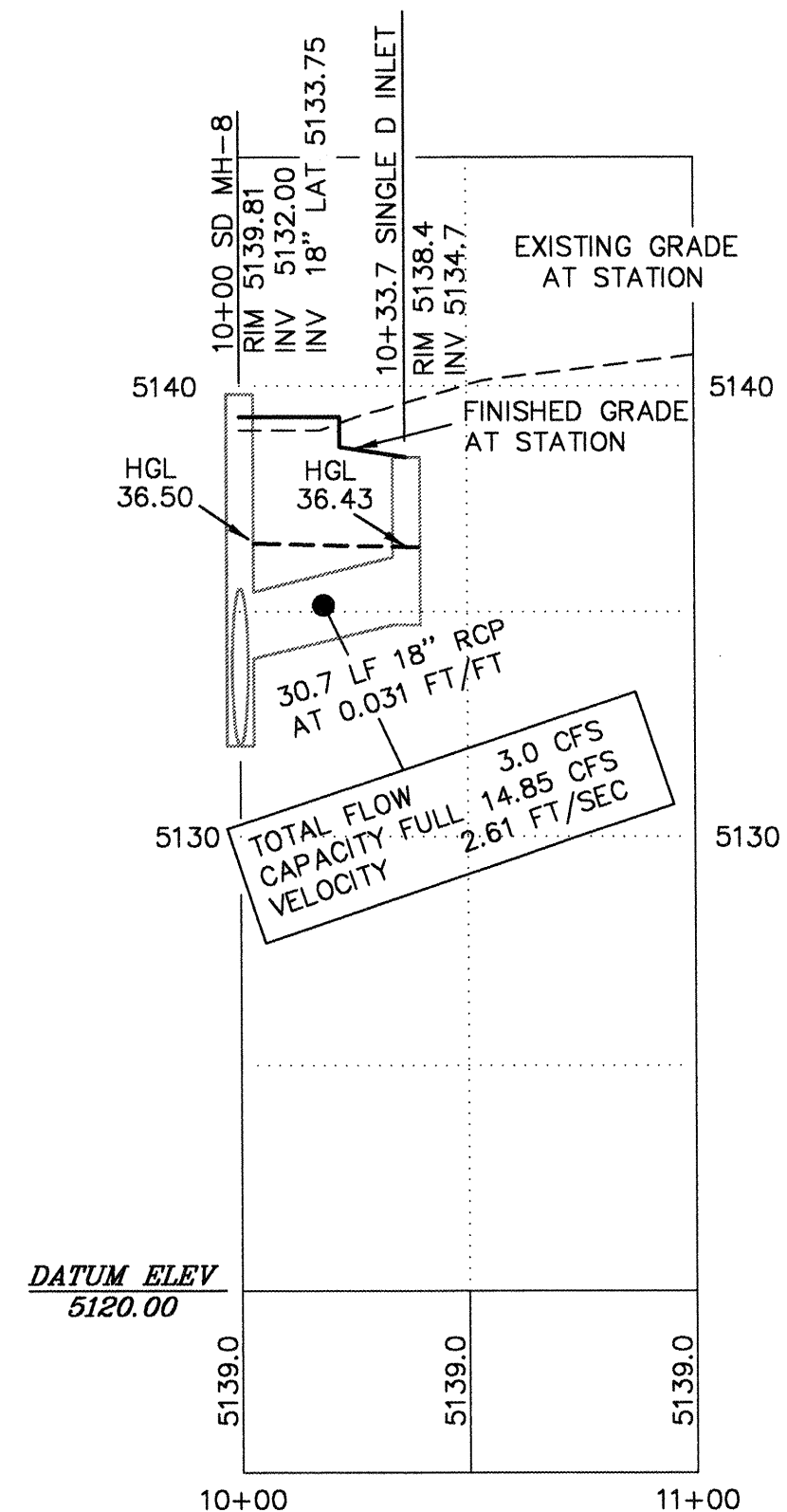
SAN MATEO BOULEVARD NE STORM DRAIN PLAN
REFER TO PLAT FOR PROPERTY DESCRIPTION



SAN MATEO STORM STA 10+00 =
SAN MATEO STA 11+98.90, R=15.57'

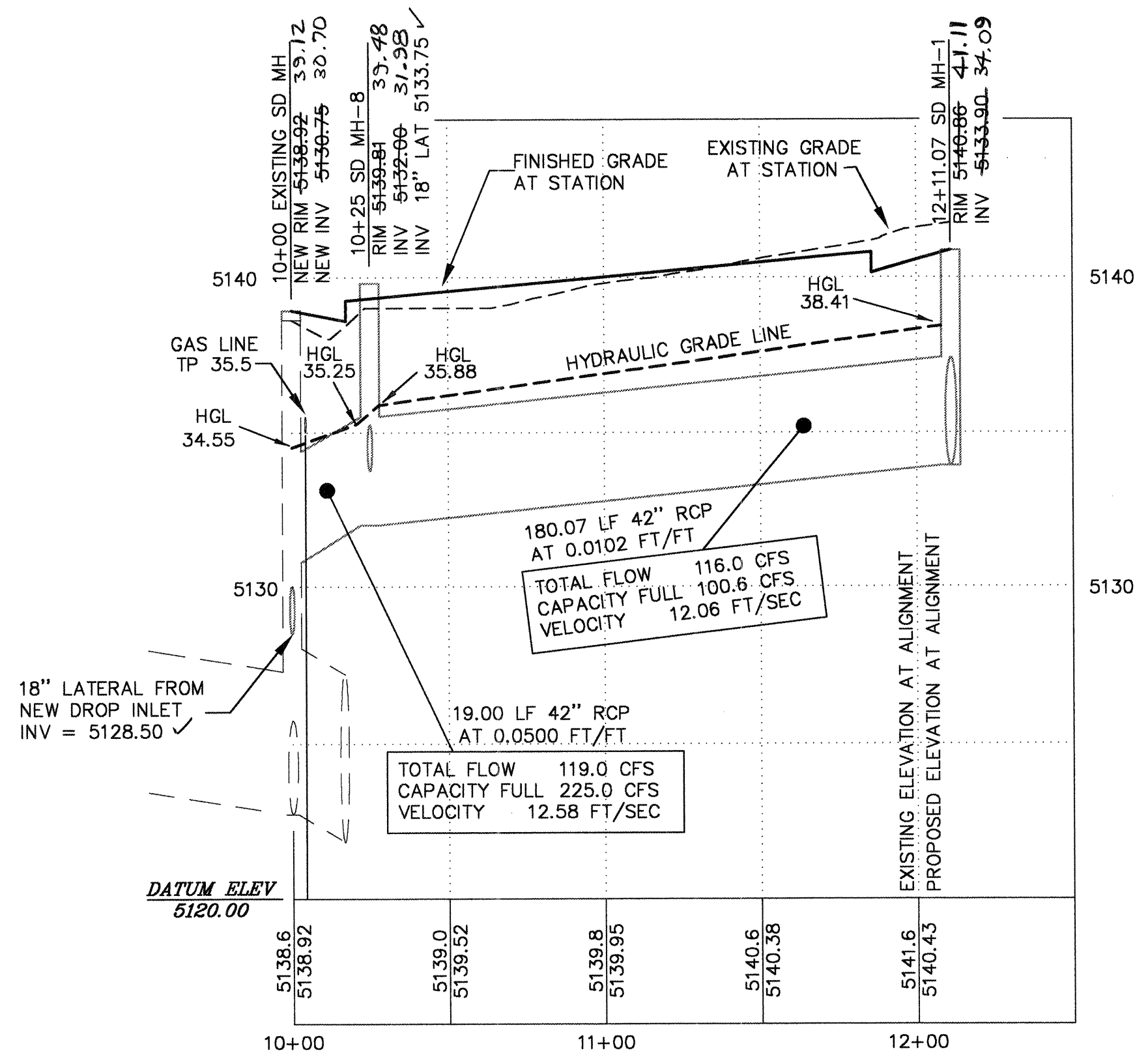
SAN MATEO STORM STA 12+11.07 =
VENICE STORM STA 10+00

PRIVATE STORM DRAIN PROFILE
1" = 40' HORIZONTAL
1" = 4' VERTICAL



STORM DRAIN STATIONING

SAN MATEO BOULEVARD NE STORM DRAIN PROFILE
1" = 40' HORIZONTAL
1" = 4' VERTICAL



CENTERLINE STATIONING

- KEYED NOTES
- 65 REMOVE AND DISPOSE OF EXISTING 36" STORM DRAIN STUB. REPLACE WITH 25 LF NEW 42" RCP.
 - 66 CONSTRUCT TYPE C 6'-DIA. STORM MANHOLE. SEE COA STD. DWG. 2101.
 - 67 CONSTRUCT TYPE SINGLE D DROP INLET WITH 31 LF 18" RCP LATERAL CONNECTING TO SD MH-8. SEE SHEET 5 FOR MORE INFORMATION AND COA STD. DWG. 2206.
 - 68 CONSTRUCT TYPE SINGLE C DROP INLET WITH 16 LF 18" RCP LATERAL CONNECTING TO EXISTING STORM DRAIN MANHOLE AS SHOWN. SEE COA STD. DWG. 2205.

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION	
CONTRACTOR	BY	ALBUQUERQUE BENCHMARK "10-B17", LOCATED AT	DATE	FIELD NOTES	BY
INSPECTOR	DATE	SOUTHWEST INTERSECTION OF SAN MATEO BLVD NE AND			
ACCEPTANCE BY	DATE	VENICE AVE NE. ELEVATION = 5144.48.			
REVISION	DATE				
DRAWINGS	DATE				
MODIFICATION	DATE				
BY	DATE				
RECORDED BY	DATE				
NO.					

ENGINEER'S SEAL		REVISIONS	
		NO.	DATE
		BY	DATE
		REMARKS	DATE
		DESIGN	12/99
		CHECKED BY	12/99

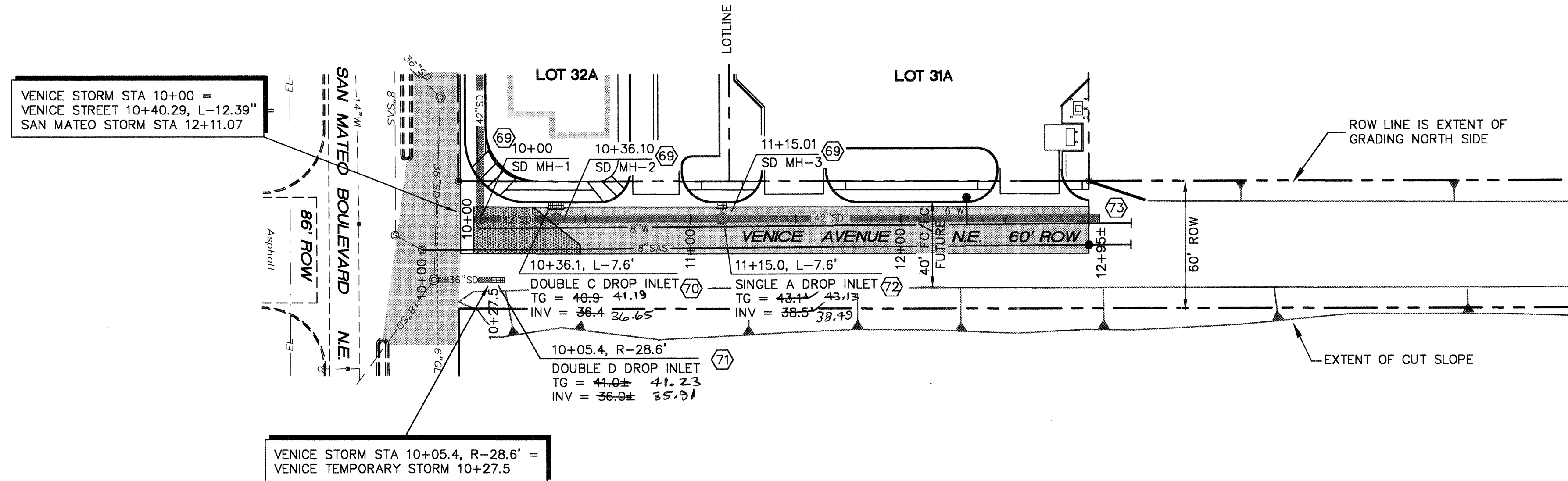
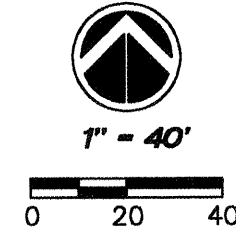
C.L. WEISS ENGINEERING, INC.
POST OFFICE BOX 97 SANDIA PARK, N.M. 87047 - (505) 281-1800
1100 ALVARADO DR. NE ALBUQUERQUE, N.M. 87110 - (505) 266-3444

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **SAN MATEO BUSINESS PARK
SAN MATEO BOULEVARD NE STORM DRAIN**

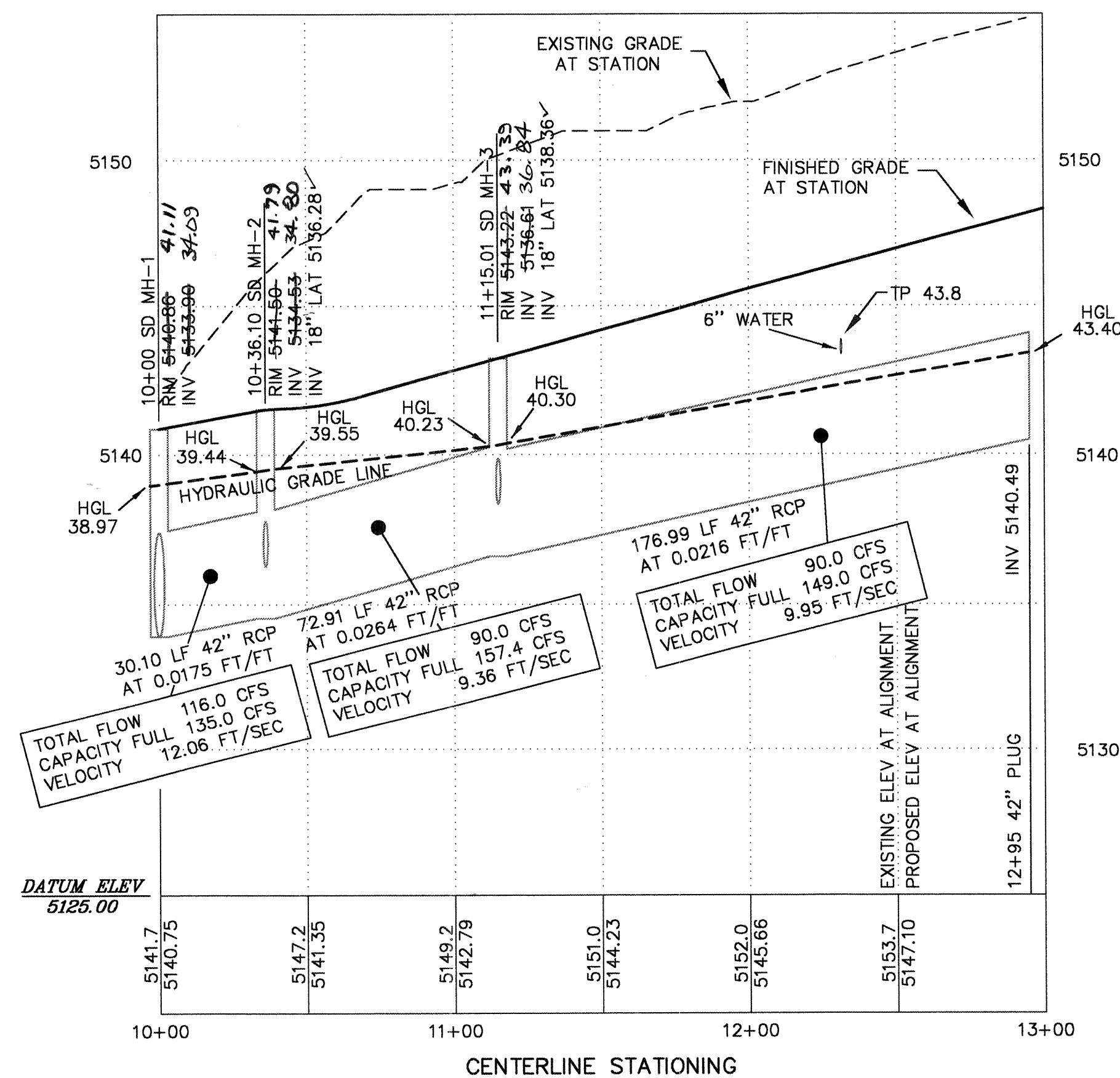
Design Review Committee	City Engineer Approval	Month / Day / Year	Month / Day / Year
DESIGN REVIEW COMMITTEE	CITY ENGINEER		

VENICE AVENUE NE STORM DRAIN PLAN
REFER TO PLAT FOR PROPERTY DESCRIPTION



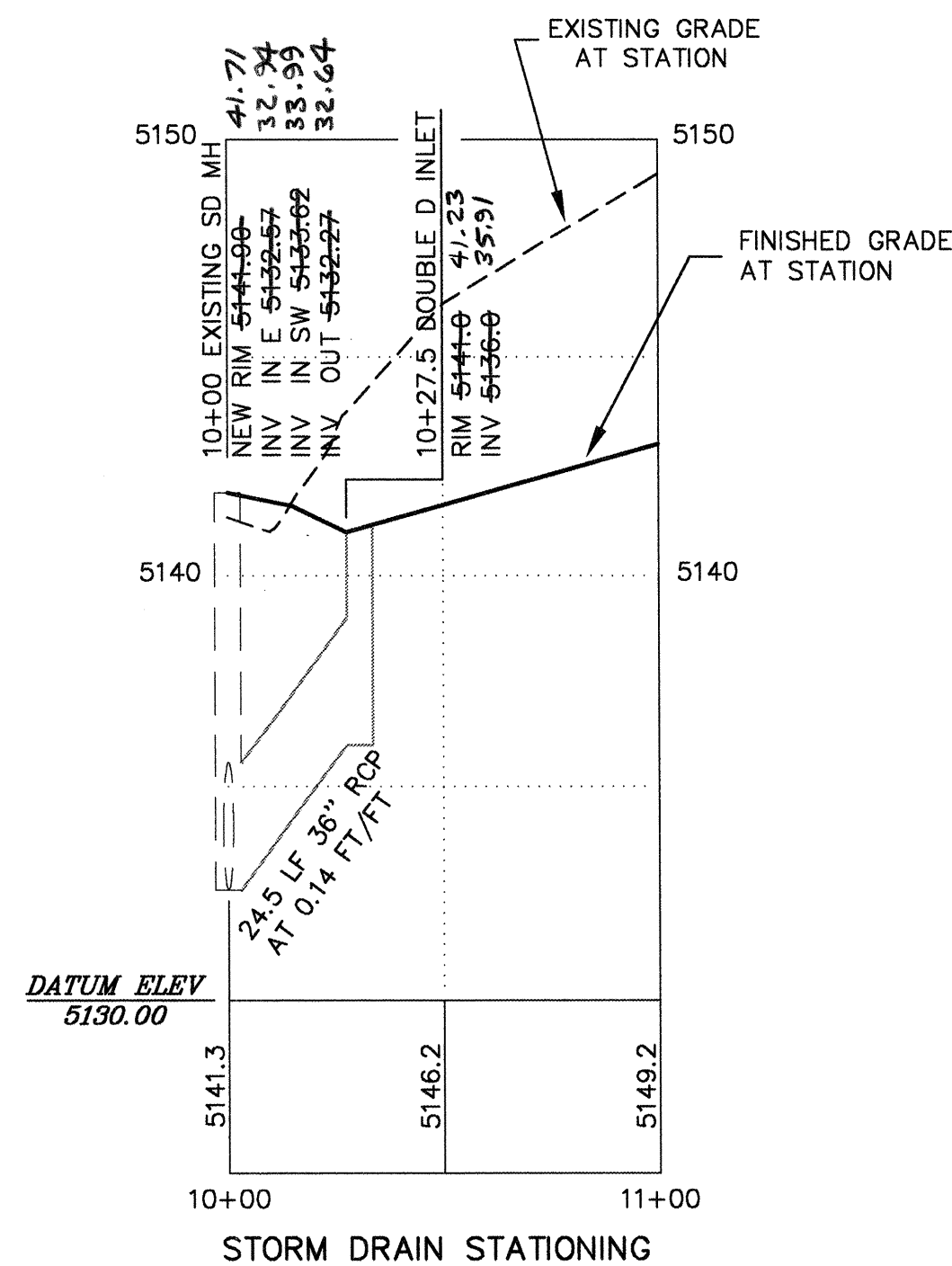
VENICE AVENUE NE STORM DRAIN PROFILE

1" = 40' HORIZONTAL
1" = 4' VERTICAL



VENICE AVENUE NE TEMPORARY
STORM DRAIN PROFILE

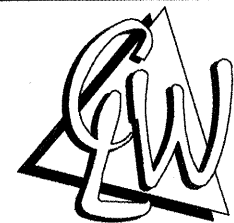
1" = 40' HORIZONTAL
1" = 4' VERTICAL



KEYED NOTES

- 69 CONSTRUCT TYPE C 6"-DIA. STORM MANHOLE. SEE COA STD. DWG. 2101.
- 70 CONSTRUCT TYPE DOUBLE C DROP INLET WITH 18"-DIA. LATERAL CONNECTED TO STORM SEWER MAIN. SEE COA STD. DWG. 2205.
- 71 REMOVE AND DISPOSE OF EXISTING 20 LF 36" STORM DRAIN STUB. CONSTRUCT TYPE DOUBLE D DROP INLET WITH 24.5 LF 36" RCP LATERAL CONNECTING TO EXISTING STORM MANHOLE AS SHOWN. SEE SHEET 5 FOR INFORMATION REGARDING FINAL GRADES IN THIS AREA.
- 72 CONSTRUCT TYPE SINGLE A DROP INLET WITH 18"-DIA. LATERAL CONNECTED TO STORM SEWER MAIN. SEE COA STD. DWGS. 2201 AND 2202.
- 73 AT STA 12+95 OR NEAREST BELL JOINT, FIELD FABRICATE 42" PLUG WITH 1" MARINE-GRADE PLY-WOOD CUT TO FIT IN BELL. CROSS BRACE WITH PRESSURE-TREATED LUMBER. COVER AND SECURE END WITH PLASTIC VAPOR BARRIER.

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	ALBUQUERQUE BENCHMARK "10-B17", LOCATED AT	FIELD NOTES	DATE	BY	REVISIONS	DESIGN
CONSTRUCTED BY	DATE	SOUTHWEST INTERSECTION OF SAN MATEO BLVD NE AND				NO.	DATE
INSPECTED BY	DATE	VENICE AVE NE. ELEVATION = 5144.48.				DESIGNED BY	DATE
ACCEPTANCE BY	DATE					DRAWN BY	DATE
VERIFICATION BY	DATE					CHECKED BY	DATE
CONNECTED BY	DATE						
MICRO-FILM INFORMATION							



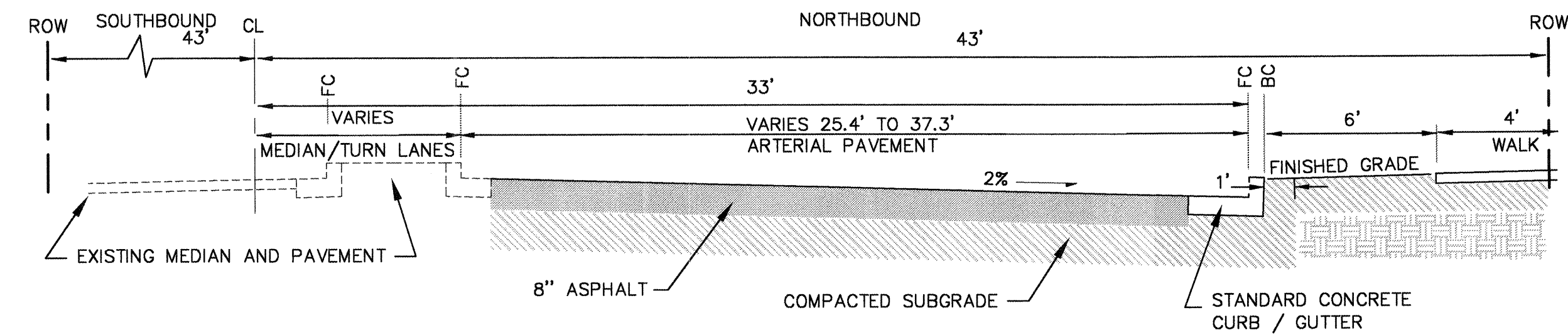
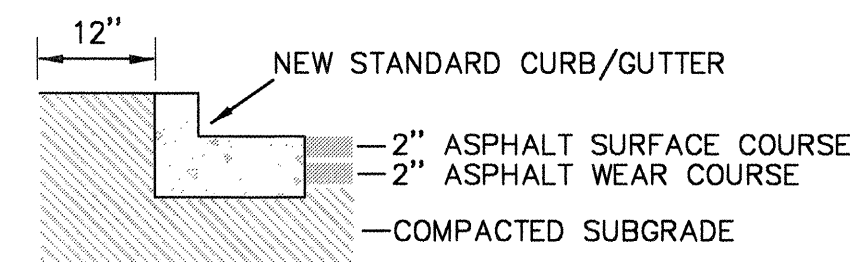
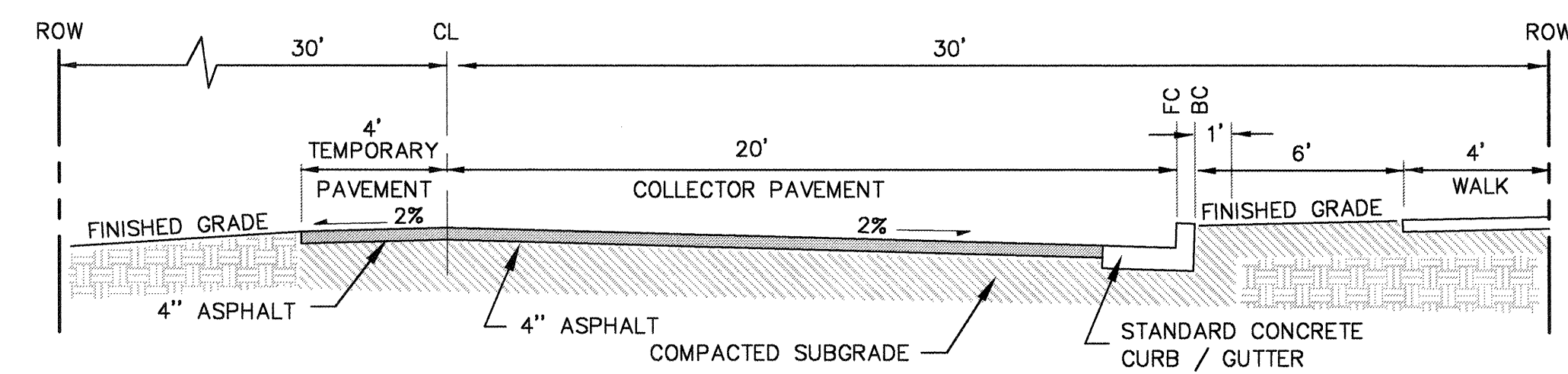
C.L. WEISS ENGINEERING, INC.

POST OFFICE BOX 87 SANDIA PARK, N.M. 87047 - (505) 281-1800
100 ALVARADO DR. NE ALBUQUERQUE, N.M. 87102 - (505) 286-3444

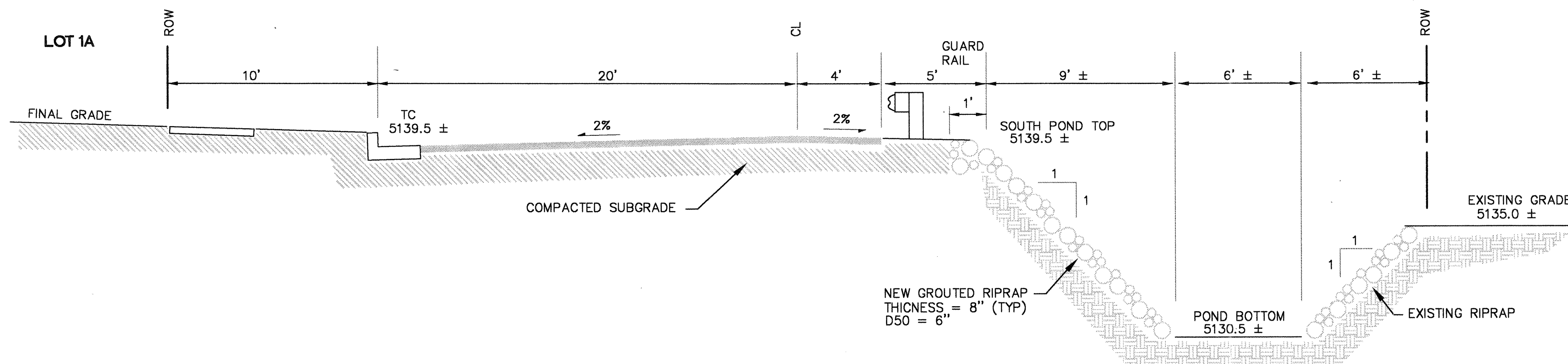
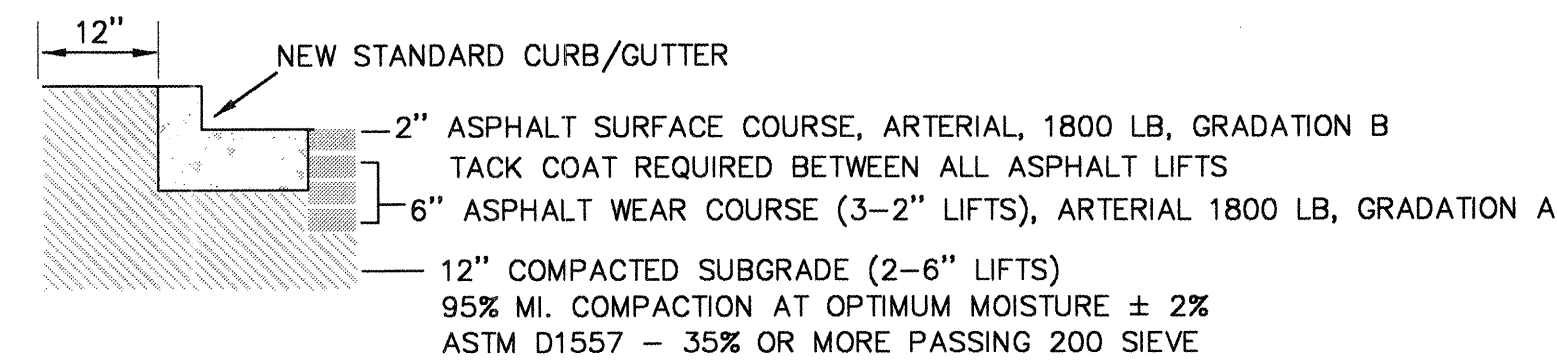
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **SAN MATEO BUSINESS PARK
VENICE AVENUE NE STORM DRAIN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER	Month / Day / Year	Month / Day / Year
APPROVED	APPROVED		
DESIGN REVIEW COMMITTEE	CITY ENGINEER		



SOURCE: WEST SAN MATEO AS-BUILT PROJECT NO. 5202.90
DESIGN R-VALUE = 55. MATERIAL WITH R-VALUE
LESS THAN 55 SHALL NOT BE ALLOWED WITHIN THE
TOP 2 FEET OF THE FINISHED SUBGRADE.



SECTION C
RETENTION POND

SURVEY INFORMATION		FIELD NOTES		BENCH MARKS		AS-BUILT INFORMATION	
		BY	DATE				
				ALBUQUERQUE BENCHMARK "10-B17" LOCATED AT		CONTRACTOR	SU/NO AXA-E MECH
				SOUTHWEST INTERSECTION OF SAN MATEO BLVD NE AND		STAKED BY	ALCJ, INC
				VENICE AVE NE. ELEVATION = 5144.48.		ACCEPTANCE BY	J. Archibute 10/20
						FIELD MEASUREMENT	DATE
						DRAWINGS	DATE
						CORRECTED BY	ALCJ, INC 05/02
						MICRO-FILM INFORMATION	
						RECORDED BY	DATE
						NO.	

A circular professional engineer seal for Christopher L. Weiss, New Mexico. The seal contains the text "CHRISTOPHER L. WEISS", "NEW MEXICO", "8653", and "1.12.00". The words "REGISTERED PROFESSIONAL ENGINEER" are written around the bottom half of the seal. A signature is written across the seal.

[illegible]

C.L. WEISS ENGINEERING, INC.

POST OFFICE BOX 97 SANDIA PARK, N.M. 87047 - (505) 281-1800
1100 ALVARADO DR. NE ALBUQUERQUE, N.M. 87110 - (505) 266-3444

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **SAN MATEO BUSINESS PARK
DETAILS**

DESIGN REVIEW COMMITTEE

City Engineer Approval

APPROVED

FEB 16 2000

CITY ENGINEER

Last Design Update

Month / Day / Year	Month / Day / Year

City Project No.	Zone Map No.	Sheet	Of
630981	B-18	13	15

