

2 3 4 5 6 7 8 9 10 11 12 13 14 15
16-17-18-19-20-21-22-23-24-25-26-27-28-29-30-31-32-33-34-35-36-37-38-39-40-41-42-43-44-45-46-47-48-49-50-51-52-53-54-55-56-57-58-59-60-61-62-63-64-65-66-67-68-69-70-71-72-73-74-75-76-77-78-79-80-81-82-83-84-85-86-87-88-89-90-91-92-93-94-95-96-97-98-99-100

SCANNED BY
PLANNING

PUBLIC IMPROVEMENT PLANS

FOR

PASADENA AVENUE

ALBUQUERQUE, NEW MEXICO

DECEMBER 2010

PREPARED FOR:
5454 PASADENA N.E., L.L.C.
8500 WASHINGTON ST. NE, STE A5
ALBUQUERQUE, NM 87113

PREPARED BY:
ISAACSON & ARFMAN, P.A.
128 MONROE ST. NE
ALBUQUERQUE, NM 87108

INDEX TO DRAWINGS

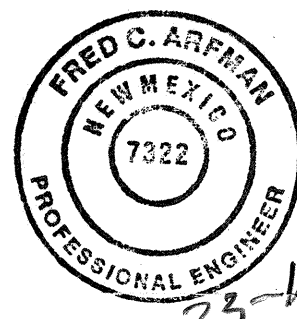
SHEET NO.	TITLE
1	COVER SHEET
2	PLAT
3-4	SITE DEVELOPMENT PLAN
5	TOPOGRAPHIC SURVEY
6-7	GRADING AND DRAINAGE PLAN
8	MASTER PAVING PLAN
9	PAVING AND STORM DRAIN PLAN & PROFILE SHEET
10	UTILITY MASTER PLAN
11	UTILITY PLAN & PROFILE SHEET
	PASADENA AVE

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY OF ALBUQUERQUE
DATE: 1/22/11

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Fred C. Arfman of the firm of Isaacson & Arfman, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by Cartesian Surveys, NMPS number 14271.

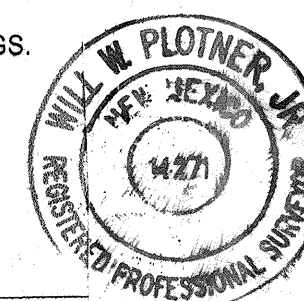
Fred C. Arfman
NMPE No. 7322



SURVEYOR'S CERTIFICATION

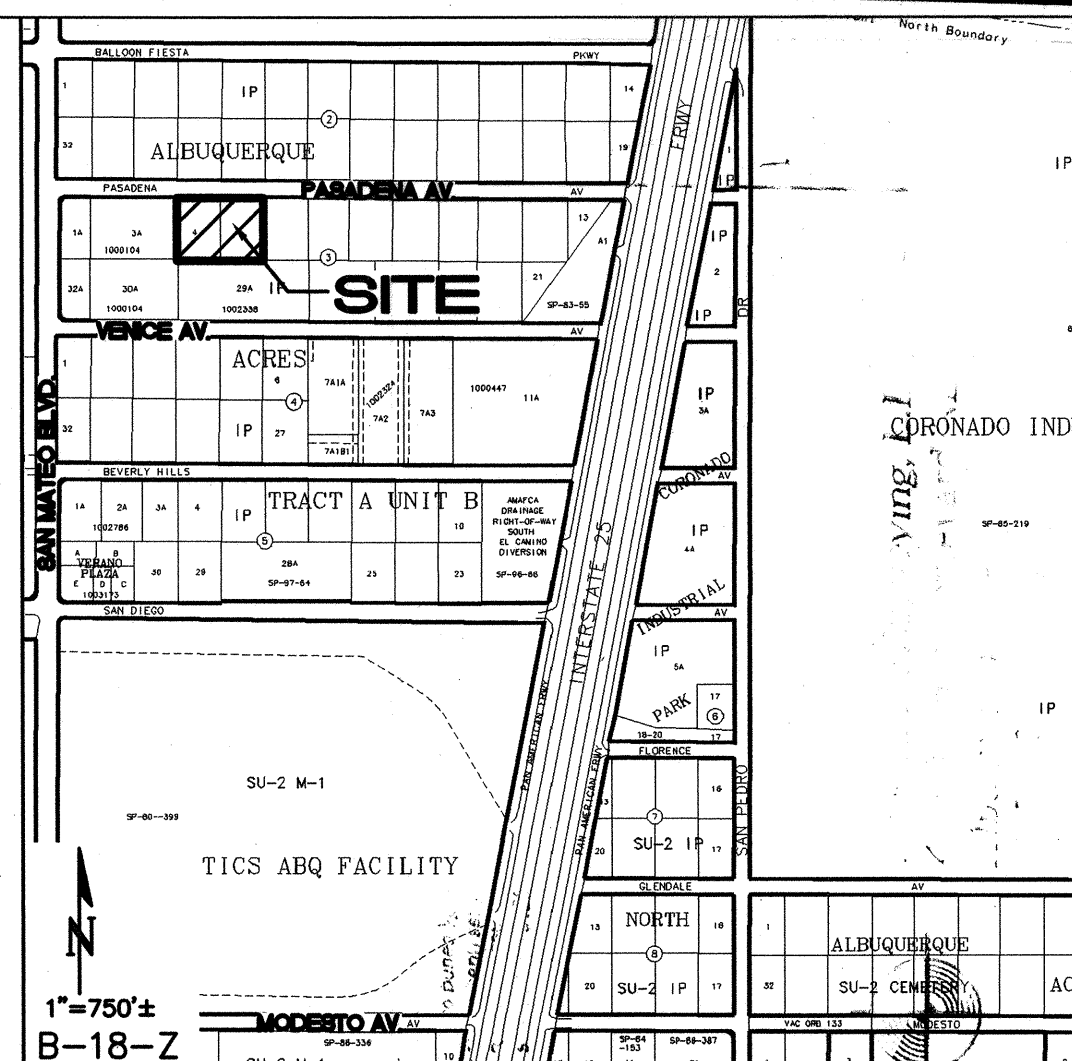
I, WILL PLOTNER JR, A DULY QUALIFIED, REGISTERED, PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE 'AS-BUILT' INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM FIELD CONSTRUCTION AND 'AS-BUILT' SURVEYS PERFORMED BY ME OR UNDER MY SUPERVISION, THAT THE 'AS-BUILT' INFORMATION SHOWN ON THESE DRAWINGS WAS ADDED BY ME OR UNDER MY SUPERVISION, AND THAT THIS 'AS-BUILT' INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. CARTESIAN SURVEYS IS NOT RESPONSIBLE FOR ANY OF THE DESIGN CONCEPTS, CALCULATIONS, ENGINEERING, OR INTENT OF THE RECORD DRAWINGS.

WILL PLOTNER JR, NMPS 14271
6/23/11



GENERAL NOTES

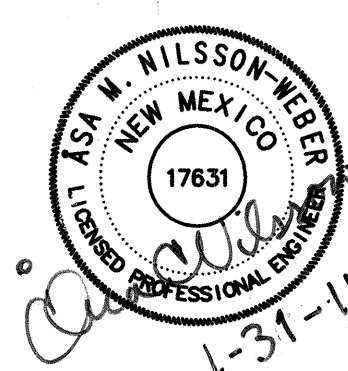
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986 EDITION AS AMENDED WITH UPDATE NO. 7, INCLUDING AMENDMENT 1.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE & VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, NM ONE CALL SYSTEMS, INC. @ 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS, AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY, AND TO PROTECT THEM FROM DAMAGE, INJURY, OR LOSS. CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR SHALL ADHERE TO SECTION 19 OF THE GENERAL CONDITIONS OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, AS AMENDED WITH UPDATE NO. 7.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER & ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- TRAFFIC CONTROL: SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADE PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. SEE SECTION 19 OF THE SPECIFICATIONS. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR TO LOCATION AS EXISTING OR AS SHOWN IN THIS PLAN SET.
- WHEN ABUTTING EXISTING PAVEMENT TO NEW, SAWCUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE FIELD ENGINEER. REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED.
- EXISTING CURB AND GUTTER NOT TO BE REMOVED UNDER THE CONTRACT WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT HIS EXPENSE PER COA STD DWG #2415A.
- SUPPLEMENTAL SPECIFICATION: ALL BACKFILL FOR WATER LINE AND SANITARY SEWER LINE TRENCHES SHALL BE COMPACTED TO A MINIMUM 95% MAXIMUM DENSITY PER ASTM D-1557.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
- PROPOSED WATERLINE MATERIALS SHALL BE EITHER PVC PIPE MEETING AWWA C900 DR-18 REQUIREMENTS (6"-12") OR DUCTILE IRON PIPE, THICKNESS CLASS 50 (6"-16").
- SANITARY SEWER LINE MATERIALS SHALL BE PVC SDR-35 PIPE.
- ALL FITTINGS ON WATERLINES SHALL HAVE RESTRAINED JOINTS AS NOTED ON THE PLANS.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS UPDATE #7.
- PNM WILL PROVIDE AT NO COST TO THE CITY OR THE CONTRACTOR THE REQUIRED PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
- WARNING--EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES, IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.
- ANY WORK OCCURRING WITHIN A FULLY DEVELOPED ARTERIAL ROADWAY REQUIRES 24 HR. CONSTRUCTION.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650 SUBPART P.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS, INCLUDING, BUT NOT LIMITED TO HAZARDOUS WASTE AT DISPOSAL SITES APPROVED BY GOVERNMENTAL AGENCIES REGULATING THE DISPOSAL OF SUCH MATERIALS.
- TACK COAT FOR SURFACE COURSE REQUIREMENTS WILL BE DETERMINED BY THE ENGINEER.
- PERMANENT PAVEMENT STRIPING AND MARKINGS WILL BE PLACED BY THE CONTRACTOR. THE ROAD SHALL NOT BE OPENED TO THE TRAFFIC UNTIL IT IS STRIPED. ALL STRIPING, PAVEMENT MARKINGS INCLUDING CROSSWALKS, ARROWS AND LINE MARKINGS ARE TO BE CONSTRUCTED OF PREFORMED THERMO-PLASTIC IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- ELECTRONIC MARKER SPHERES (EMS) WILL BE PLACED ACCORDING TO SECTION 170 OF THE CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7.
- ALL WATER VALVE BOXES AND MANHOLES IN THE STREET CONSTRUCTION ARE TO BE ADJUSTED TO FINISH GRADE AND WILL BE MEASURED AND PAID PER EACH.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE EXECUTION OF THE WATER VALVE SHUT-OFF PLAN WITH ABCWA. ALL WATER VALVES TO BE SHUT-OFF WILL BE OPERATED BY ABCWA. CONTRACTOR SHALL NOTIFY ABCWA AT 857-8200 TWENTY FOUR (24) HOURS PRIOR TO WATERLINE CONSTRUCTION AND SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK WHICH MAY AFFECT EXISTING PUBLIC WATER FACILITIES IN COMPLIANCE WITH SECTION 18 OF THE STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL SUPPORT ALL EXISTING UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND/OR SEWER LINE COSTS.
- CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF RECORD DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL PROJECT HAS BEEN ACCEPTED BY THE CITY.
- THE CONTRACTOR SHALL NOTIFY THE ALBUQUERQUE TRAFFIC ENGINEERING DIVISION THREE (3) WORKING DAYS IN ADVANCE OF ANY WORK THAT REMOVES, RELOCATES, OR REINSTALLS ANY EXISTING REGULATORY SIGNS.
- RCP PIPE JOINTS SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATIONS. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF PIPE. RCP JOINTS SHALL NOT BE GROUTED UNLESS DIRECTED BY THE ENGINEER AFTER CITY APPROVAL.
- IF A PAVEMENT DROP-OFF IS CREATED DURING CONSTRUCTION, THE CONTRACTOR SHALL INITIATE PROTECTIVE MEASURES TO PREVENT ABRUPT PAVEMENT CHANGES. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- RCP ELLIPTICAL PIPE SHALL HAVE GASKETED JOINTS MEETING ASTM C-443 REQUIREMENTS.



1"=750'±
B-18-Z

REV.	SHEETS	CITY ENGINEER	DATE	USER	DEPARTMENT	DATE	USER	DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE	APPROVALS	ENGINEER	DATE	*****					
	DRC Chairman	1-31-11							
	Transportation	1-31-11							
	Water/Wastewater	1-31-11							
	Hydrology	1-31-11							
	AMAFCA								
	Constr. Mngmt.								
	Constr. Coord.								
	City Project No.	630982							
	Sheet	1							
	Of	11							

DRB NO. 1008493
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1800 CC-001-COA.dwg Jan. 27, 2011



APPROVED FOR CONSTRUCTION
City Engineer
Date

Lot 5-A
Being a Replat of
Lots 4 & 5, Block 3
Tract A, Unit B
North Albuquerque Acres
Elena Gallegos Grant
Projected Section 13
T.11N., R.3E. N.M.P.M.
City of Albuquerque
Bernalillo County, New Mexico
October 2010

PROJECT NUMBER 10084493
Application Number 1020670289
The purpose of this plat is to consolidate Lots 4 & 5 into one lot and to dedicate the right-of-way of Pasadena Avenue NE.

PLAT APPROVAL

UNIV. APPROVALS:
PMA ELECTRIC SERVICES DATE
N/A
NEW MEXICO GAS COMPANY DATE
N/A
QWEST TELECOMMUNICATIONS DATE
N/A
COMCAST, INC. DATE
N/A

CITY APPROVAL:
FOR CITY SURVEYOR DATE
N/A
REAL PROPERTY DIVISION DATE
N/A
ENVIRONMENTAL HEALTH DEPARTMENT DATE
N/A
TRAFFIC ENGINEERING TRANSPORTATION DIVISION DATE
N/A
ABQVIA DATE
N/A
PARKS & RECREATION DEPARTMENT DATE
N/A
AMAFCA DATE
N/A
CITY ENGINEER DATE
N/A
DEPT. CHAIRPERSON, PLANNING DEPARTMENT DATE
N/A

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC #: 1535 065 014 25 5 0122 / 108050505299 20123
PROPERTY OWNER OF RECORD: NAC, LLC - Americanus, LLC

Forstbauer Surveying, L.L.C.
4116 Lomas Boulevard NE
Albuquerque, New Mexico 87110
(505) 268-2112 Fax 268-2032

Sheet 1 of 2

LEGAL DESCRIPTION
Lots numbered Four (4) and Five (5), in Block numbered Three (3), Tract lettered A, Unit lettered B, North Albuquerque Acres as the same are shown and designated on the Plat of said Addition filed in the office of the County Clerk of Bernalillo County, New Mexico on April 24, 1936 in Book D, Page 130 and being more particularly described by metes and bounds as follows:

BEGINNING at the northwest corner of said Lot 4 and the identical northwest corner of the parcel herein described, whence Albuquerque Control Survey Monument "CC_EG_11_12_11N_3E" bears N 21° 29' 35" W, a distance of 1337.89 feet;
Thence S 88° 32' 10" E, a distance of 329.86 feet to the northeast corner of the parcel herein described;
Thence S 00° 15' 01" W, a distance of 262.61 feet to the southeast corner of said Lot 5 and the identical northwest corner of the parcel herein described;
Thence N 88° 47' 12" W, a distance of 329.86 feet to the southwest corner of the parcel herein described;
Thence N 00° 13' 12" E, a distance of 264.04 feet to the northwest corner and point of beginning of the parcel herein described and containing 1.9936 acres, more or less.

FREE CONSENT AND DEDICATION

The platting of the land comprising Lot 5-A as shown hereon and all easements shown hereon are with the free consent of and in accordance with the wishes and desires of the undersigned owners and proprietors thereof. Said owners do hereby grant all easements shown hereon, including the right of ingress and egress and the right to trim interfering trees. Said owner does hereby dedicate the 30' right-of-way of Pasadena Avenue NE as shown hereon to the public. Said owners warrant that they hold among them complete and indefeasible title in fee simple to the land described.

AMERICANUS, LLC A NEW MEXICO LIMITED LIABILITY COMPANY

JOHN E. MECHENBER, MANAGING MEMBER

ACKNOWLEDGMENT

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on October 7, 2010,
My Commission Expires August 10, 2014
Notary Public

MAGMIKE, LLC A NEW MEXICO LIMITED LIABILITY COMPANY

MICHAEL D. LEACH, MANAGING MEMBER

ACKNOWLEDGMENT

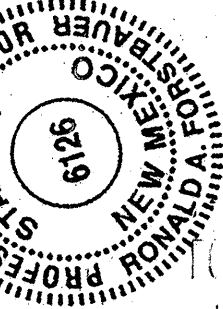
STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on October 7, 2010,
My Commission Expires August 10, 2014
Notary Public

SURVEYOR'S AFFIDAVIT

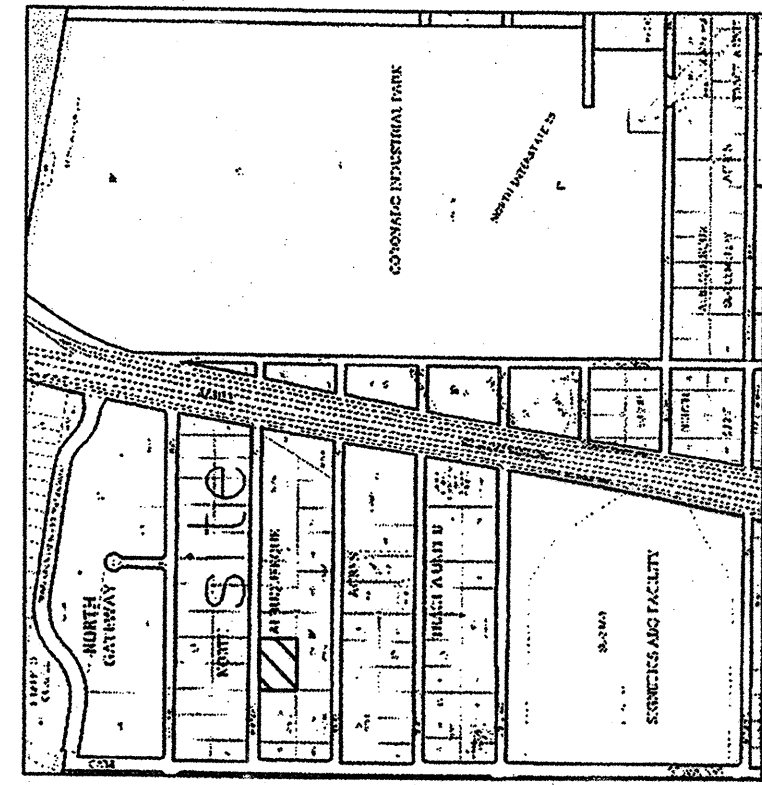
I, Ronald A. Forstbauer, registered New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for surveying and meets the Standards for Land Surveyors in New Mexico as adopted by the New Mexico Board of Licensure for Professional Engineers and Surveyors on May 12, 2010. I am duly sworn and qualified in the State of New Mexico and on Title Insurance Company, countersigned by Commonwealth Lawyers Title Company of New Mexico, and that the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer
N.M.P.S. No. 6126



Forstbauer Surveying, L.L.C.
4116 Lomas Boulevard NE
Albuquerque, New Mexico 87110
(505) 268-2112 Fax 268-2032

Sheet 1 of 2



Zone Atlas Page Number B-18

SUBDIVISION DATA

1. Total gross acreage: 1.9936 acres
2. Total number of existing lots: 2. No additional lots are being created by this plat.
3. Total mileage of streets created: 0.
4. The basis of bearings for this survey is the New Mexico State Plane Grid, Central Zone, NAD83.
5. Where measured distances differ from record, () indicates record distances. The plat filed April 24, 1936 contains no bearings.
6. The plat filed April 24, 1936 is set 1/2" return wrap LS 6126.
7. Date of field survey: August 2010.
8. Documents used in the preparation of this survey: Plat of Tract A, Unit B, North Albuquerque Acres, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936, in Plat Book D, page 130. Title Commitment issued by Commonwealth Land Title Insurance Company, File No. 8217001273 dated August 2, 2010 and documents referenced therein. Warranty Deed filed 4/01/2004, Document No. 2004043292.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

A. Public Service Company of New Mexico (PSCNM), a New Mexico corporation, (PSCNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.

B. New Mexico Gas Company, for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.

C. Qwest, for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.

D. Comcast, Inc., for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the easement area space for electric transformers with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

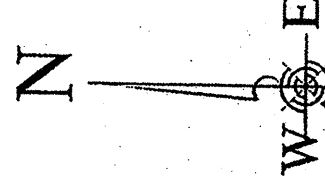
Easements for electric transformers, which shall, as installed, shall extend ten (10) feet in front of transformers and five (5) feet on each side.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PSCNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PSCNM and NMGC do not warrant or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

NOTE REGARDING INSTALLATION OF SOLAR COLLECTORS

Section 14-14-4-7(B) "No property within the area of this plat shall at any time be subject to a deed restriction, covenant or building agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of the proposed plat. The foregoing requirement shall be a condition to approval of this plat."

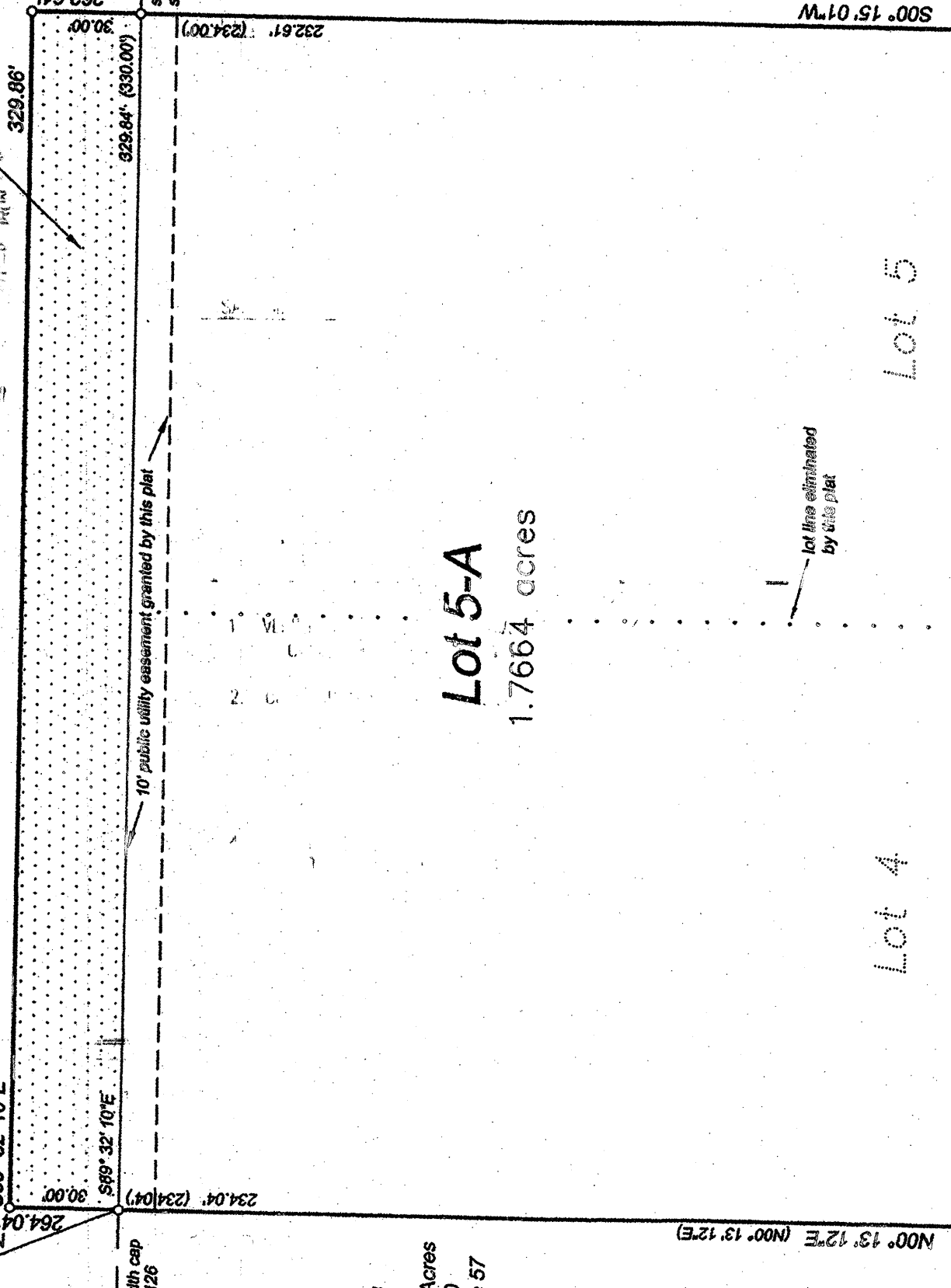


Lot 5-A
Being a Replat of
Lots 4 & 5, Block 3
Tract A, Unit B
North Albuquerque Acres
Elena Gallegos Grant
Projected Section 13
T.11N., R.3E. N.M.P.M.
City of Albuquerque
Bernalillo County, New Mexico
October 2010

DOCH: 2010106983
10/21/2010 01:52 PM Page 3 of 3
Forstbauer Surveying, L.L.C.
4116 Lomas Boulevard NE
Albuquerque, New Mexico 87110
(505) 268-2112 Fax 268-2032

stated area indicates right-of-way dedicated by this plat to the city of Albuquerque. The 30' right-of-way of Pasadena Avenue NE, 9,897 square feet, The right-of-way of Pasadena Avenue NE and hereby waives any further claim or interest to the property lying within said right-of-way.

Pasadena Avenue NE



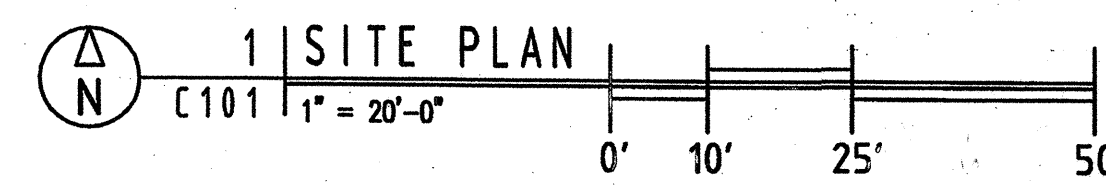
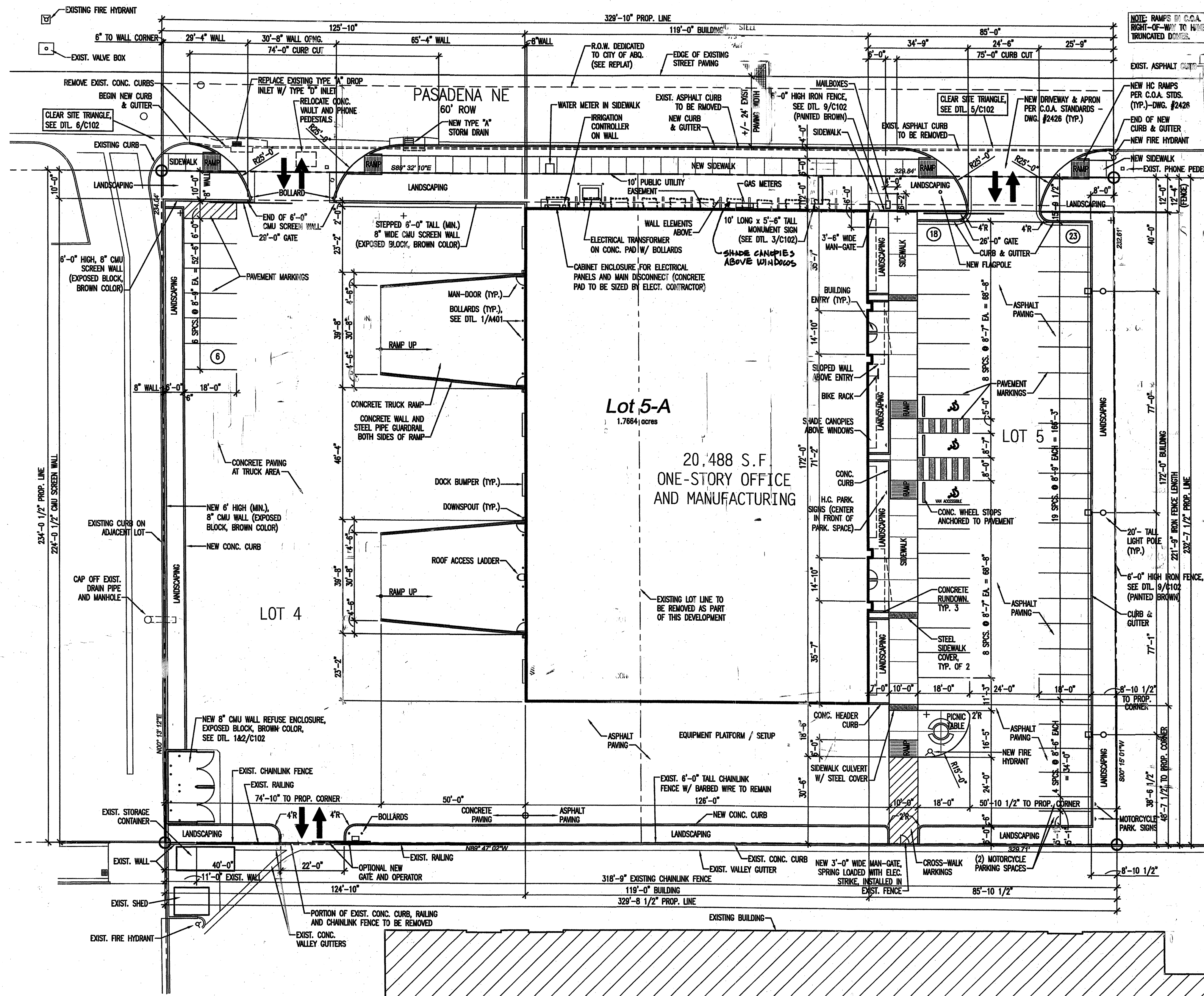
CPN 630982
SHEET 2 of 11

540. PS
ALBUQUERQUE

TON ST. NE, S. 11th
JUQUERQUE, N.M.

Forstbauer Surveying, L.L.C.
4116 Lomas Boulevard NE
Albuquerque, New Mexico 87110
(505) 268-2112 Fax 268-2032

Sheet 2 of 2



SIGNATURE BLOCK

PROJECT NUMBER **1008493**

APPLICATION NUMBER

Is an infrastructure list required? ☒ Yes ☐ No If yes, then a set of approved DRG plans with a work order is required for any construction within public right-of-way or for construction of public improvements.

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION **11/10/10**

UTILITIES DEVELOPMENT **11/10/10**

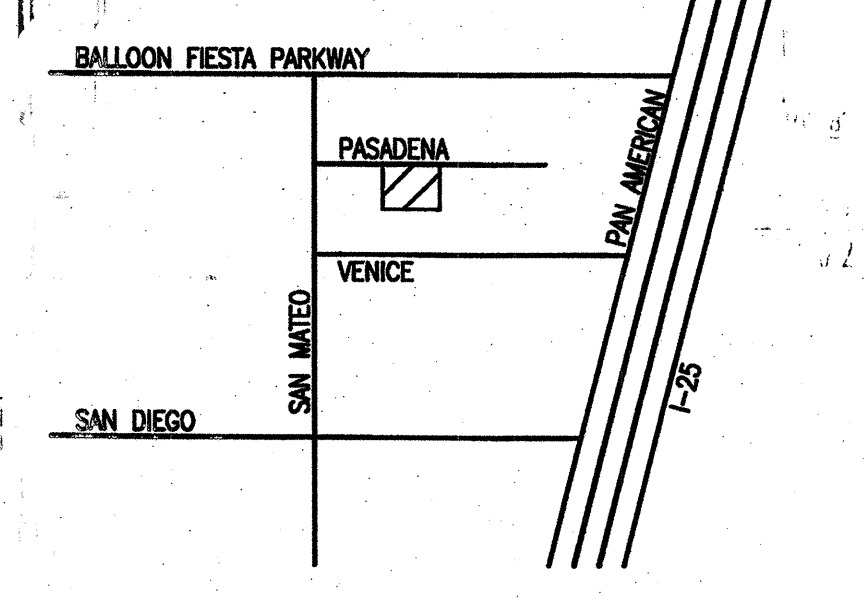
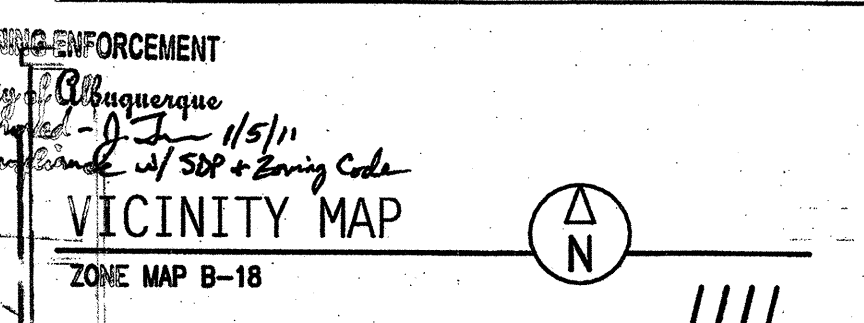
PARKS AND RECREATION **11/10/10**

CITY ENGINEER **11/10/10**

ENVIRONMENTAL HEALTH DEPT. (if required) **11/10/10**

SOLID WASTE MANAGEMENT **11/10/10**

DRG CHAIRPERSON, PLANNING DEPARTMENT **11/10/10**



GENERAL NOTES

1. VERIFY SITE UTILITY ROUTING AND NEW UTILITY CONNECTIONS WITH UTILITY PROVIDERS.
2. CURBS DIMENSIONED TO FACE OF CURB UNLESS NOTED.
3. PATCH & REPAIR OR REPLACE EXISTING CURB & GUTTER ALONG STREET FRONTS AS NECESSARY IN COORDINATION W/ DRIVEWAY CONSTRUCTION.
4. VERIFY ALL NEW DRIVEWAY REQ'S W/ CITY OF ALBUQUERQUE STANDARDS.
5. SITE LIGHTING: LIGHTING PROVIDED FROM BUILDING FACADES TO BE CUT-OFF TYPE ANGLED TO BE NON-INTRUSIVE TO ADJACENT PROPERTIES AND RIGHT-OF-WAYS.
6. MAX. SLOPE 1:12 FOR ALL NEW RAMPS.

DRB SUBMITTAL DRAWING INDEX

C101	SITE PLAN, VICINITY MAP AND SITE DATA
C102	SITE DETAILS
L101	LANDSCAPE PLAN
CG-101	GRADING AND DRAINAGE PLAN
U100	SITE UTILITY PLAN
A201	EXTERIOR BUILDING ELEVATIONS

SITE DATA

LOCATION: **5454 PASADENA AVE. NE**

OWNER: **MECHENBIER CONSTRUCTION, INC.**

LEGAL DESCRIPTION: **LOTS 4 AND 5, BLOCK 3, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES**

UPC #: **(LOT 4) 10180850928920123 (LOT 5) 10180850928920122**

CURRENT ZONING: **IP**

ZONE ATLAS PAGE: **B-18**

CONSTRUCTION TYPE: **2-B, SPRINKLERED**

APPLICABLE CODE: **2006 IBC**

TOTAL LOT AREA: **(1.78 AC) 76,945 S.F.**

BUILDING FOOTPRINT AREA: **20,488 S.F.**

NET LOT AREA: **56,457 S.F.**

LANDSCAPE AREA: **8,513 S.F.**

LANDSCAPE % OF NET LOT AREA: **15.08 %**

REQUIRED PARKING: **41 SPACES**

OFFICE (33%): **6,829 SF / 200 = 34 SPACES**

WAREHOUSE (66%): **13,659 SF / 2000 = 7 SPACES**

PARKING PROVIDED: **47 SPACES**

H.C. PARKING PROVIDED (3 REQUIRED): **3 SPACES**

REQUIRED BICYCLE PARKING (3 REQUIRED): **3 SPACES**

MOTORCYCLE PARKING PROVIDED (2 REQUIRED): **2 SPACES**

MECHENBIER CONSTRUCTION INC.

OFFICE/WAREHOUSE DEVELOPMENT AT

5454 PASADENA AVE. NE

Architects

1600 Rio Grande NW

Albuquerque

New Mexico 87104

505.246.0437

505.246.0437

505.246.0437

SITE PLAN AND SITE DATA

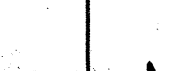
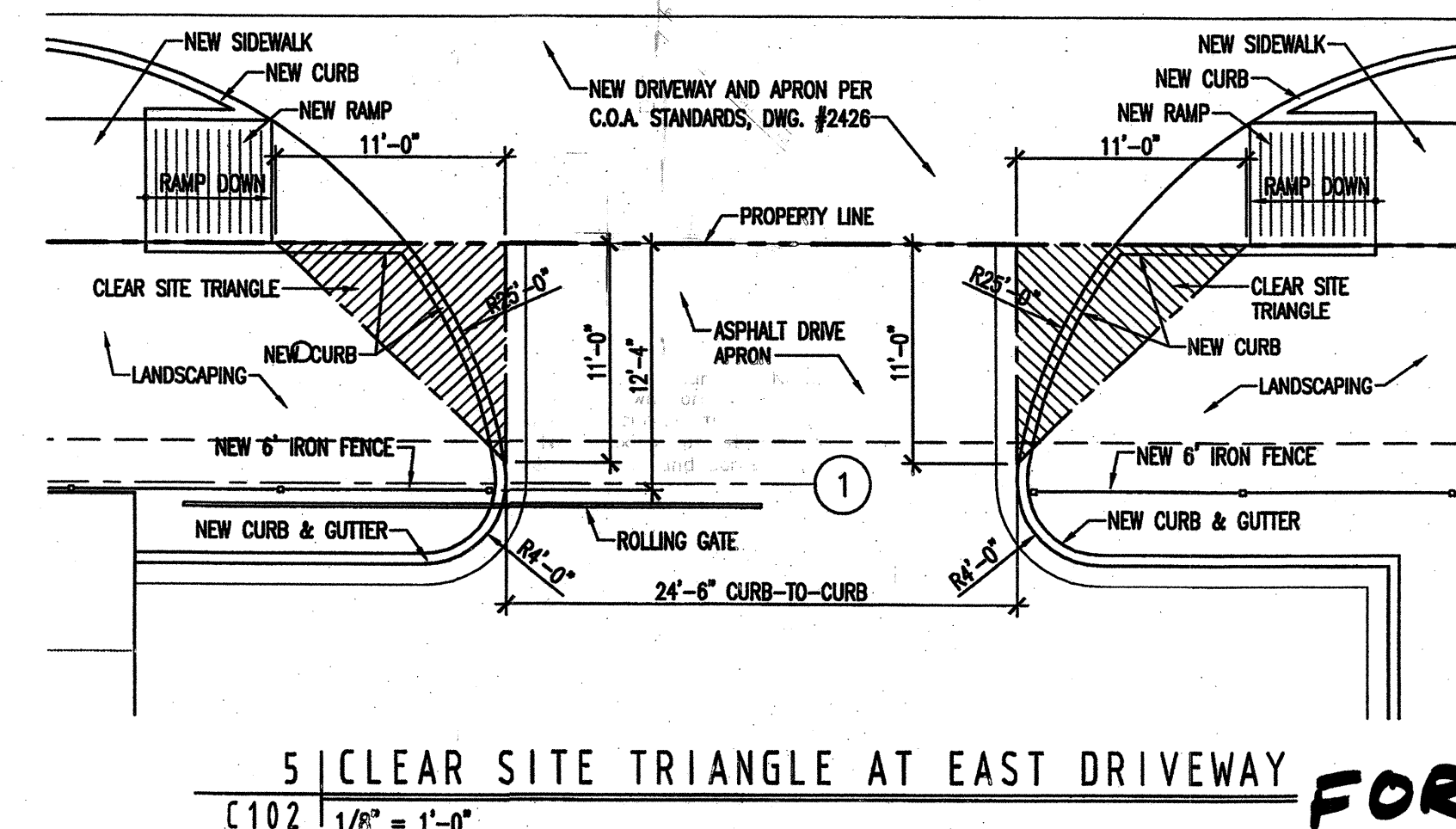
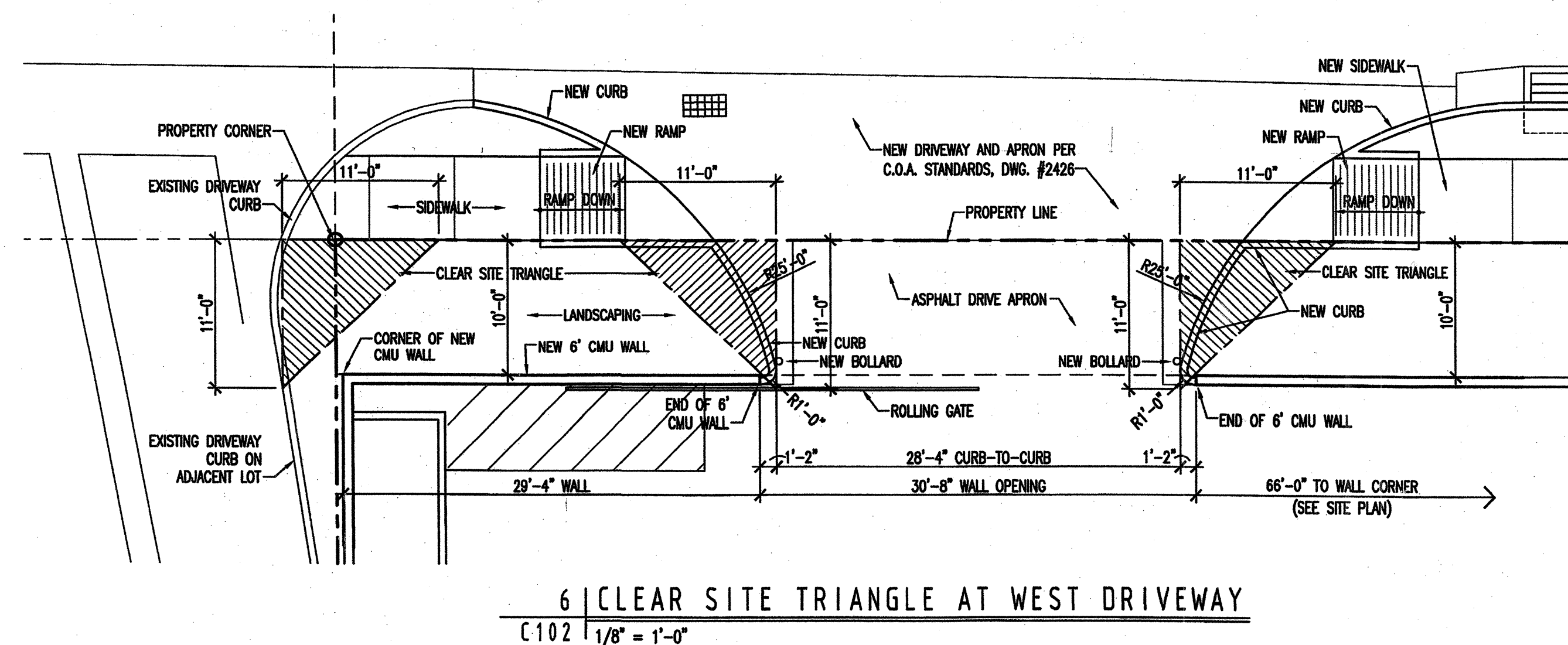
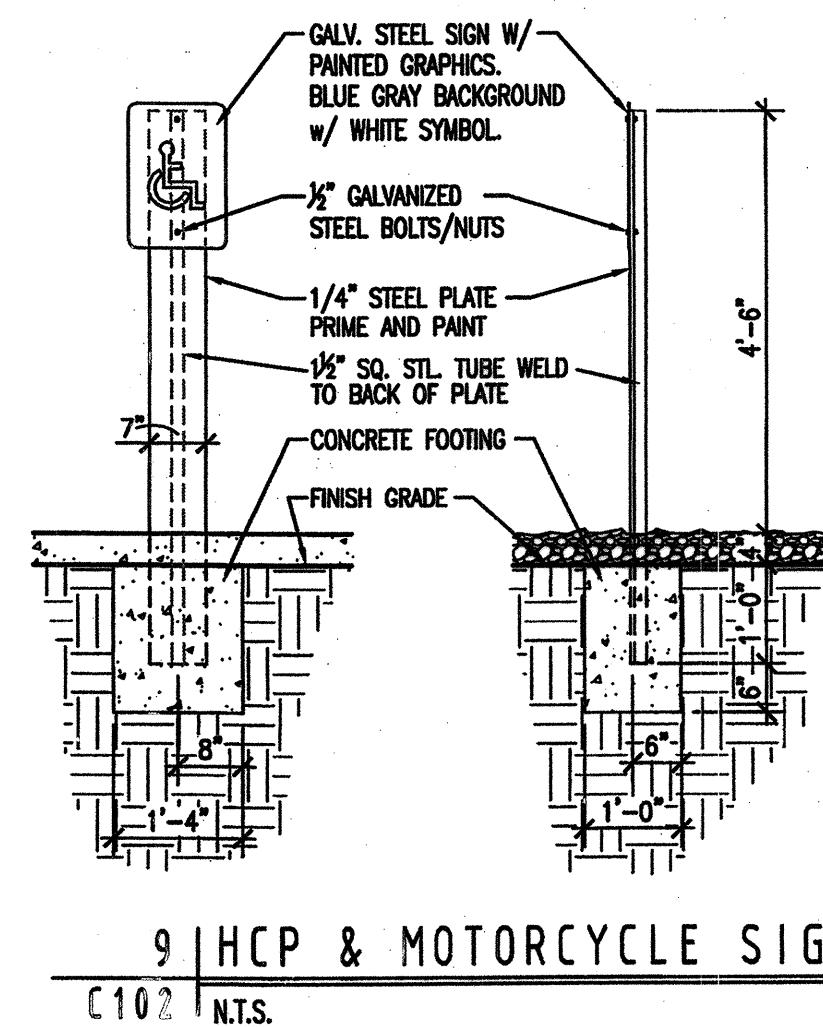
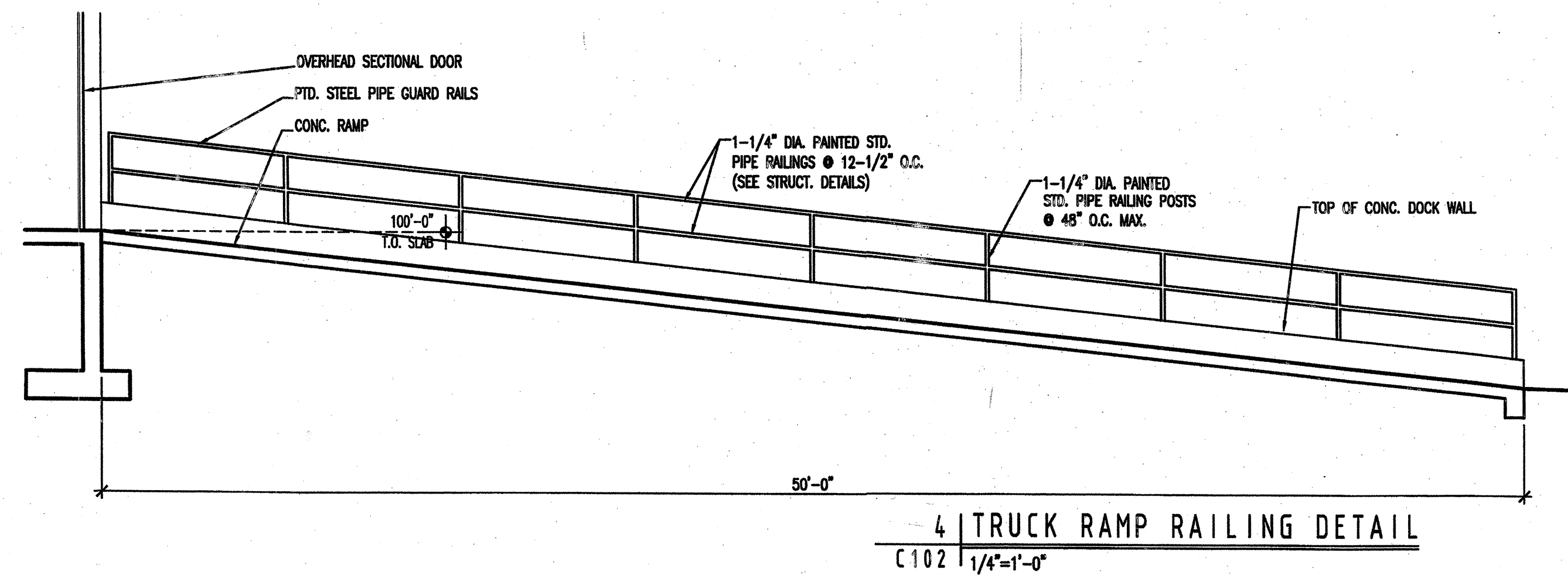
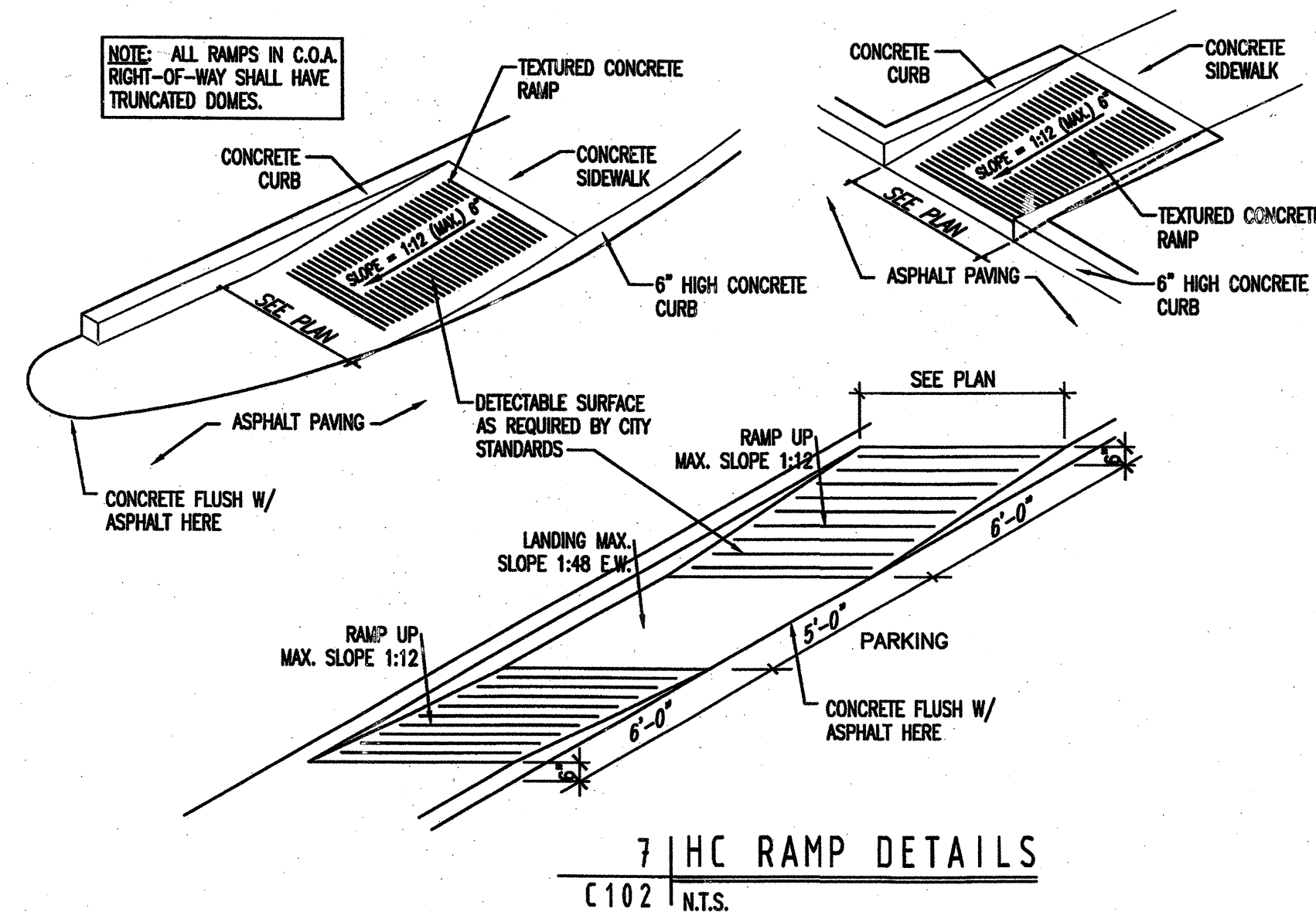
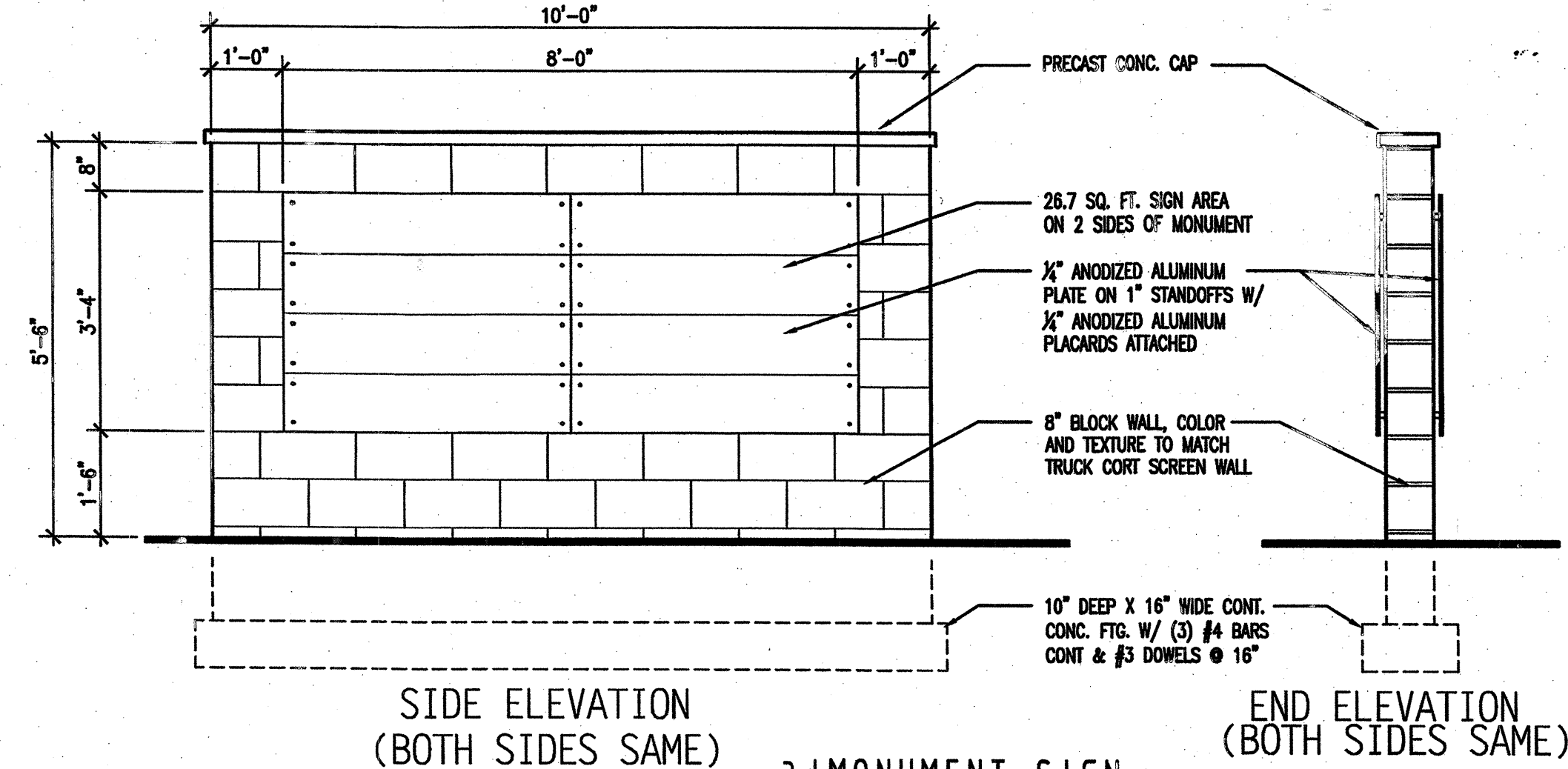
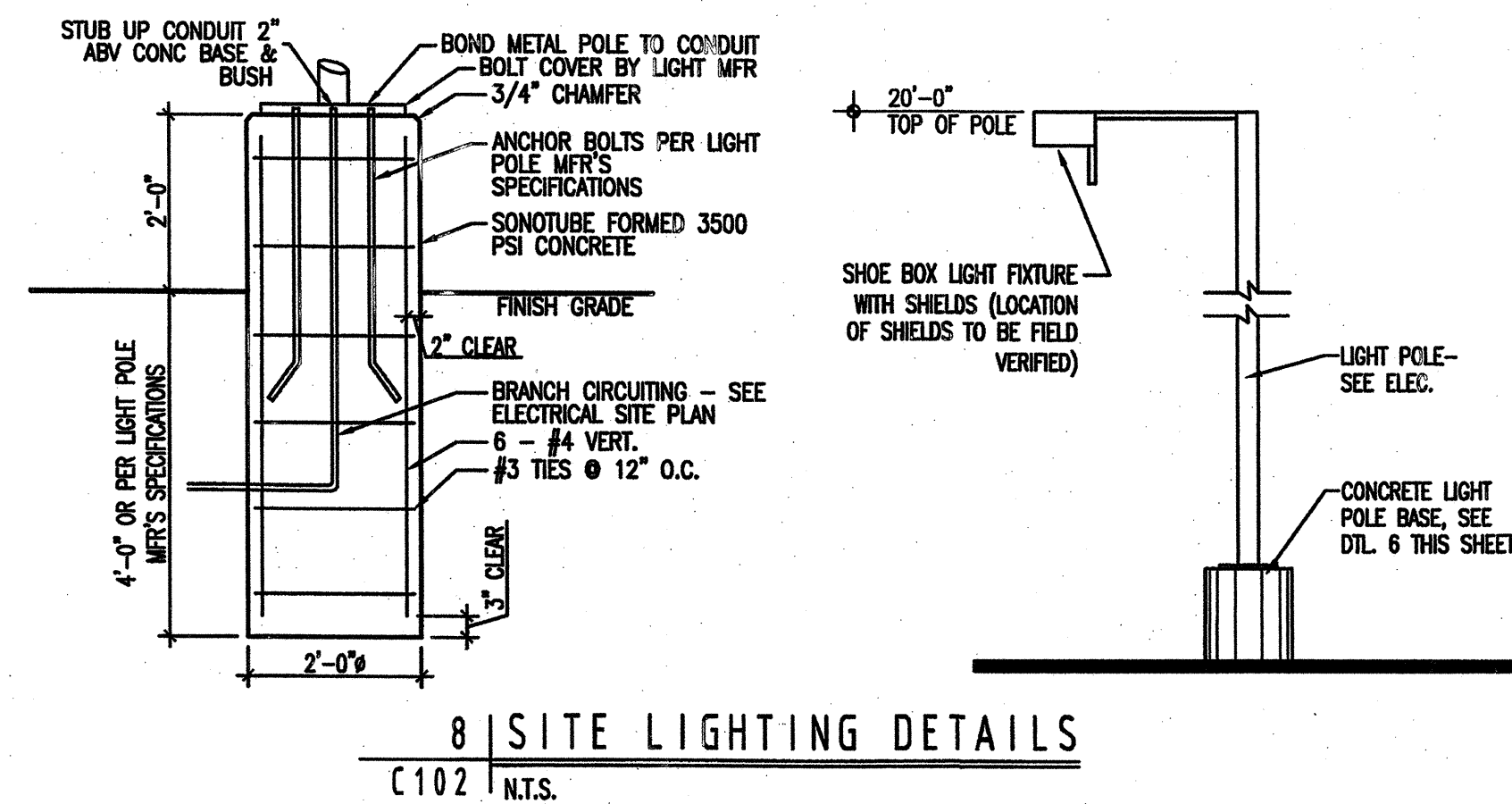
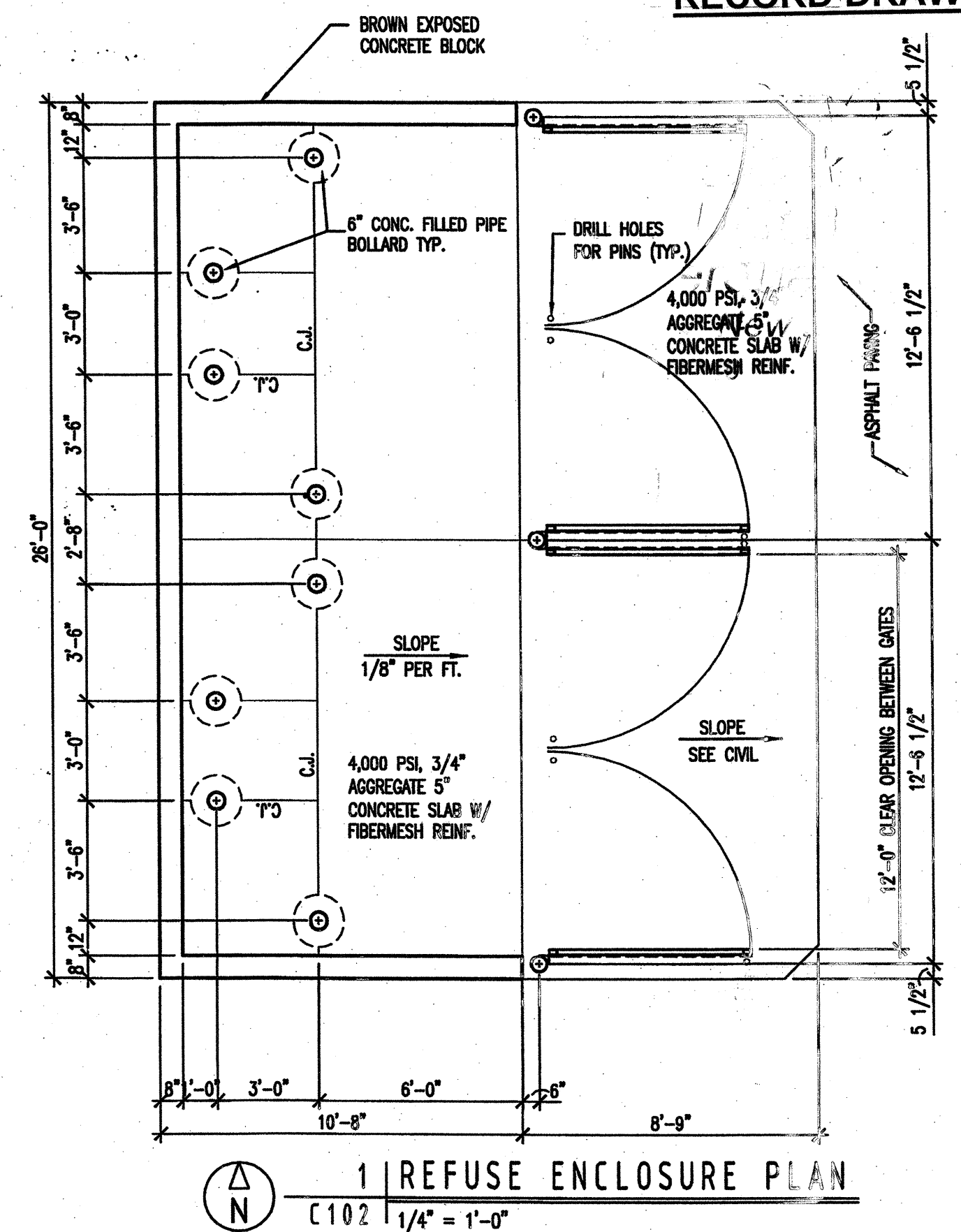
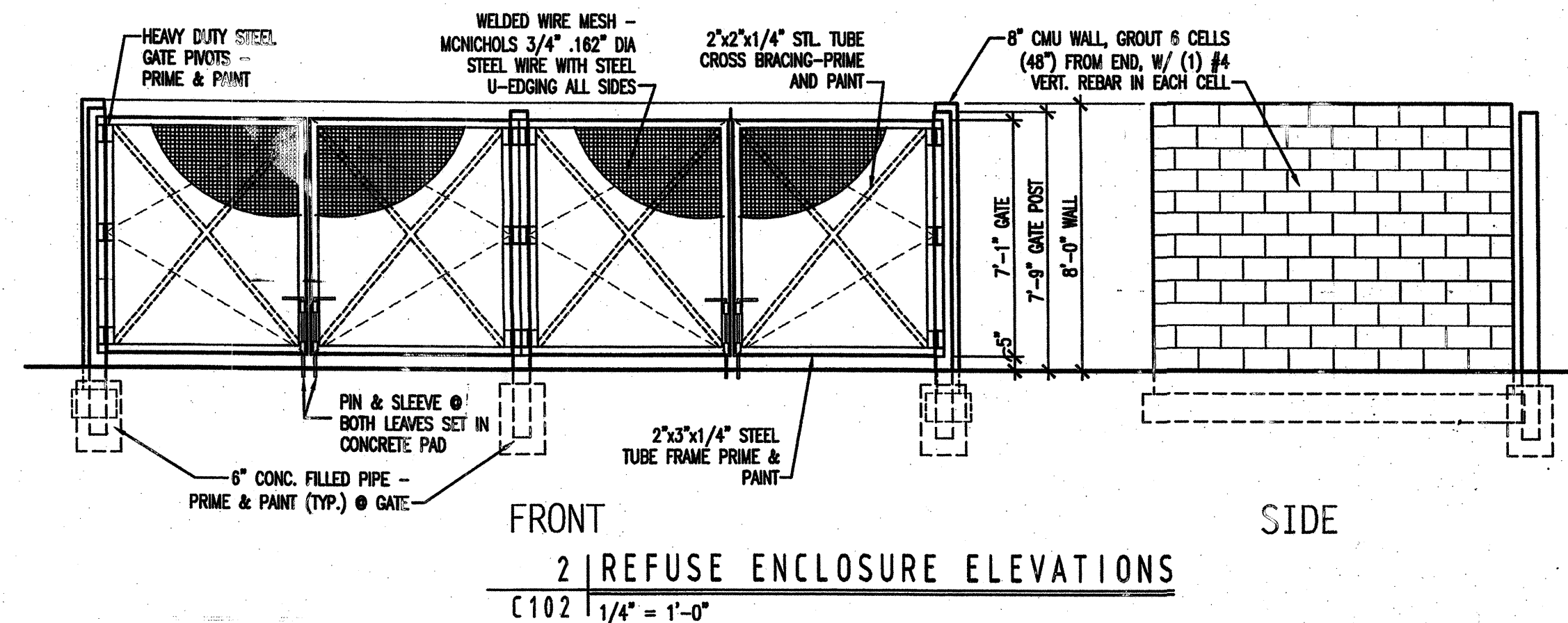
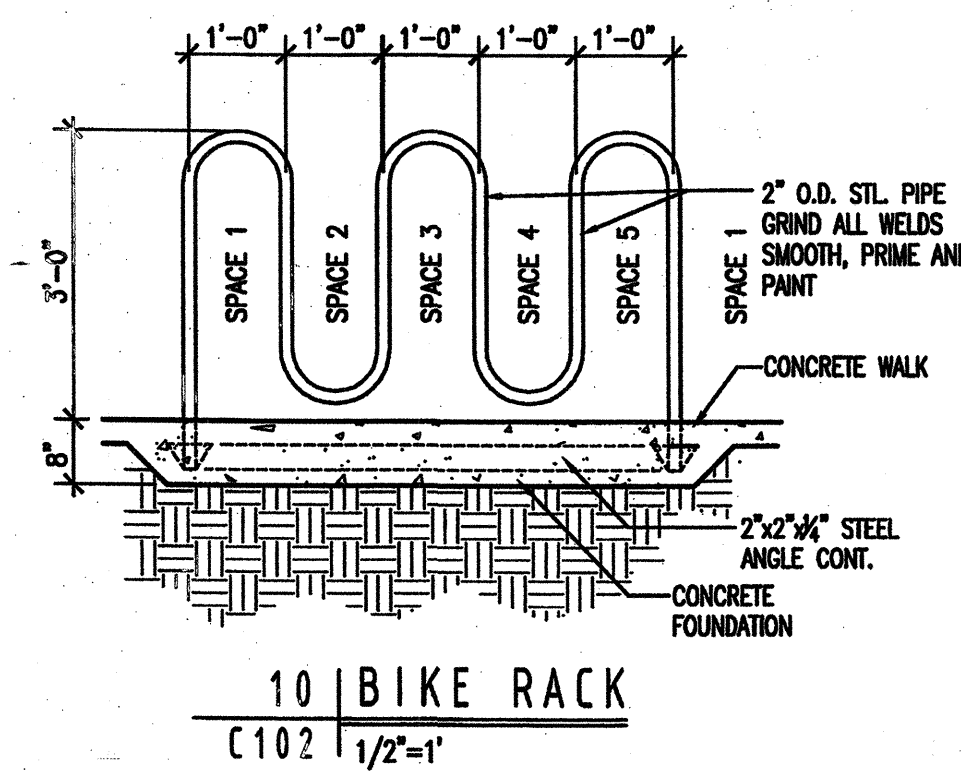
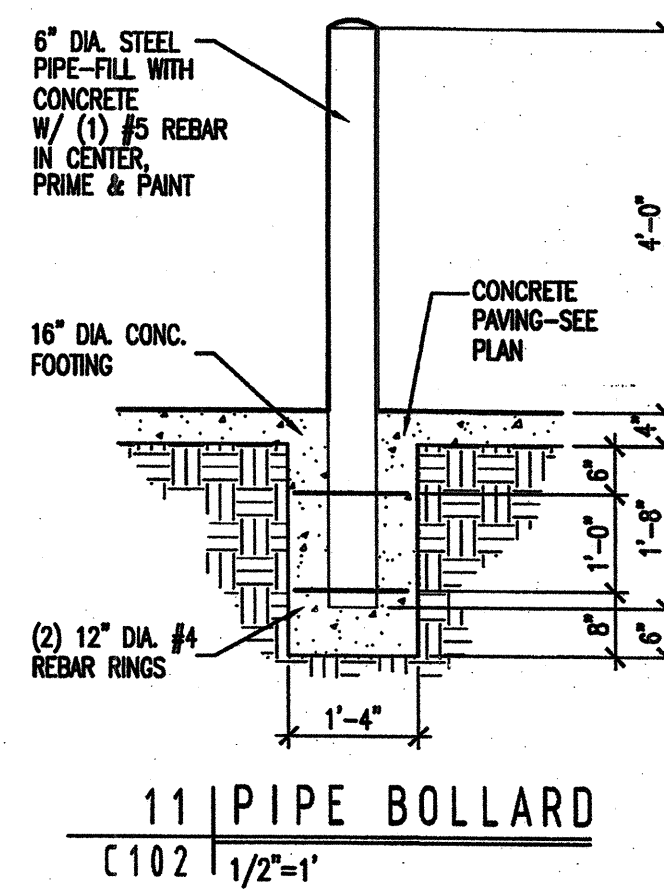
PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

revisions:

FOR INFO. ONLY
CAPN 630982

date: **10/22/10**

sheet: **10 of 11**



MECHENBIER
CONSTRUCTION INC.

OFFICE/ WAREHOUSE
DEVELOPMENT AT
5454 PASADENA N.E.

HERBALS

A r c H i t e c t S
1600 rio grande nw
albuquerque
new mexico 87104
505 246 0870
fax 505 246 0431
slag@earthlink.net

SITE DETAILS

A circular stamp with the text "PRELIMINARY DESIGN" on the top half and "NOT FOR CONSTRUCTION" on the bottom half, oriented diagonally.

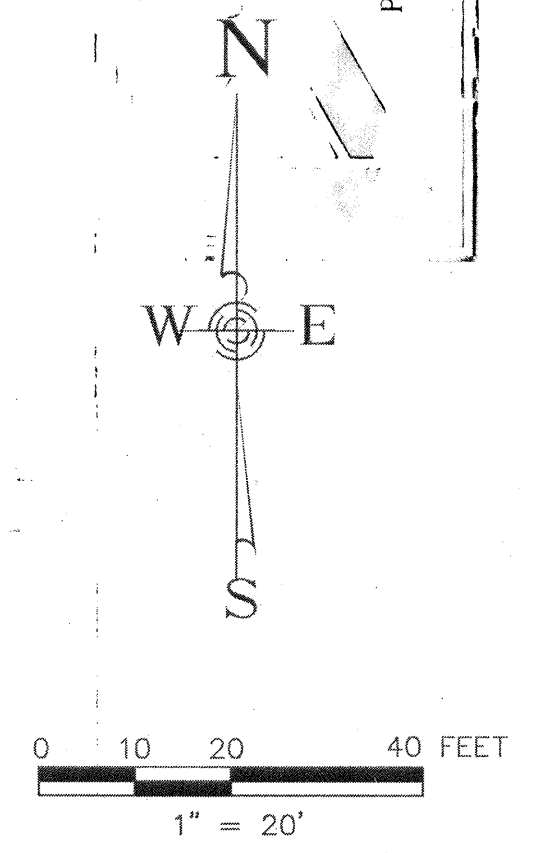
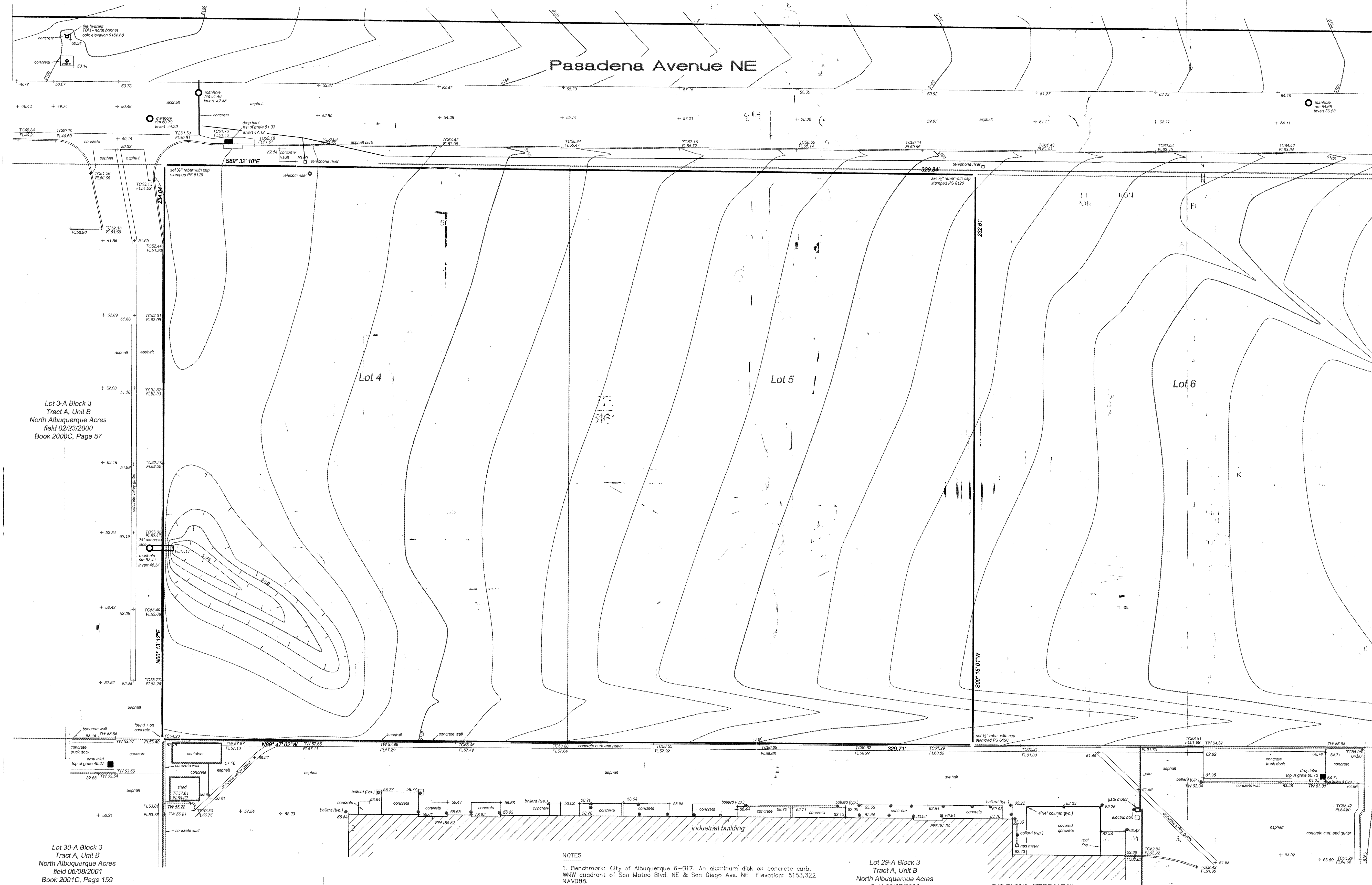
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CPN 630982

SCANNED BY
PLANNING

Topographic Survey
Lots 4 & 5, Block 3
Tract A, Unit B
North Albuquerque Acres
Bernalillo County, New Mexico
August 2010



Legend	
Object Symbols and Abbreviations	
	A - asphalt
	B - bollard
	C - concrete
	CB - control box
	CBW - concrete block wall
	CE - covered entry
	CO - clean-out
	CR - control riser
	DI - drop inlet
	DS - downspout
	DW - driveway
	FH - fire hydrant
	FL - flow line
	GM - gas meter
	GP - gasoline pump
	IV - irrigation valve
	L - landscaped
	LP - light pole
	MH - manhole
	MW - monitoring well
	PM - parking meter
	PP - power pole
	PR - propane pump
	RD - roof drain, canal
	RM - ramp
	SC - scupper
	SP - service pole
	SE - spot elevation
	SW - concrete sidewalk
	TBM - temporary bench mark
	TC - top of curb
	TR - telephone riser
	TW - top of wall
	TD - tree (deciduous), trunk diameter
	TP - tree (pine), trunk diameter
	V - valve
	WM - water meter
Line Symbols	
	UC - underground cable tv
	UE - underground electric
	EL - effluent line
	F - fence
	UG - underground gas
	GR - guard rail
	OU - overhead utilities
	SS - sanitary sewer
	ST - storm sewer
	UT - underground telephone
	WL - water line

NOTES

1. Benchmark: City of Albuquerque 6-B17. An aluminum disk on concrete curb, WNW quadrant of San Mateo Blvd. NE & San Diego Ave. NE. Elevation: 5153.322 NAVD83.
2. Any underground structures affecting this property, including but not limited to utilities, are not a part of this survey. Title Commitment file no. 6217001273 effective August 2, 2010 issued by Commonwealth Land Title Insurance Company disclosed that there are no easements affecting the subject property.
3. Date of fieldwork: August, 2010.
4. Bearings and distances shown hereon are based on the Plat of Lot 29-A, Block 3, Tract A, Unit B, North Albuquerque Acres filed in the office of the County Clerk of Bernalillo County, New Mexico on February 27, 2003 in Book 2003C, Page 43.

Lot 29-A Block 3
Tract A, Unit B
North Albuquerque Acres
field 02/27/2003
Book 2003C, Page 43

SURVEYOR'S CERTIFICATION

I, Ronald A. Forstbauer, New Mexico Professional Surveyor Number 6126, do hereby certify that the survey shown hereon was prepared by me or under my direct supervision from an actual field survey, that it meets the Minimum Standards for Surveying in New Mexico effective May 1, 2007 and that the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer
NMPS No. 6126

Date

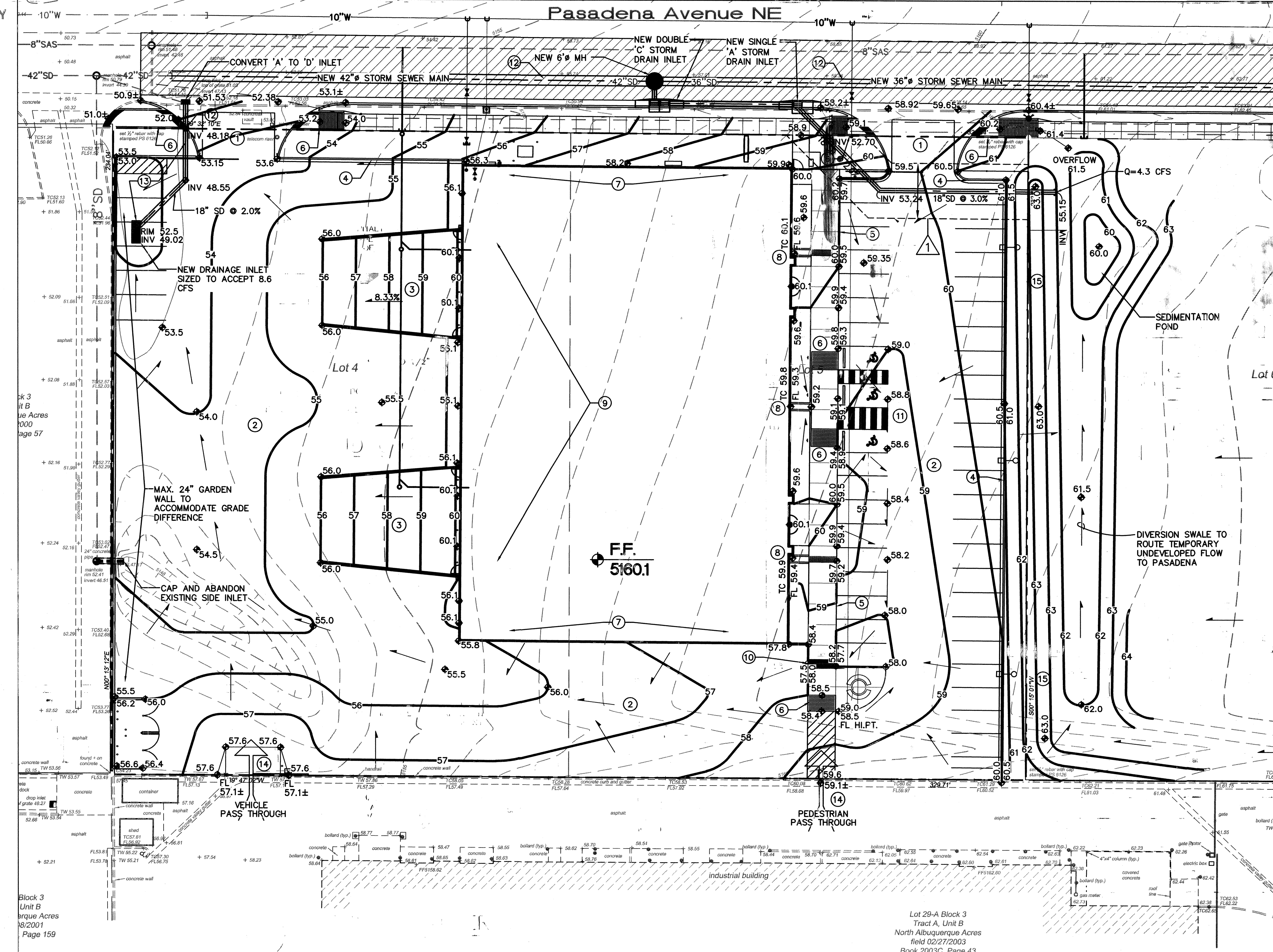
LEGAL DESCRIPTION

Lots numbered Four (4), and Five (5) in Block numbered Three (3), of Tract A, Unit B, North Albuquerque Acres, Bernalillo County, New Mexico, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on April 24, 1936 in Plat Book D, folio 130.

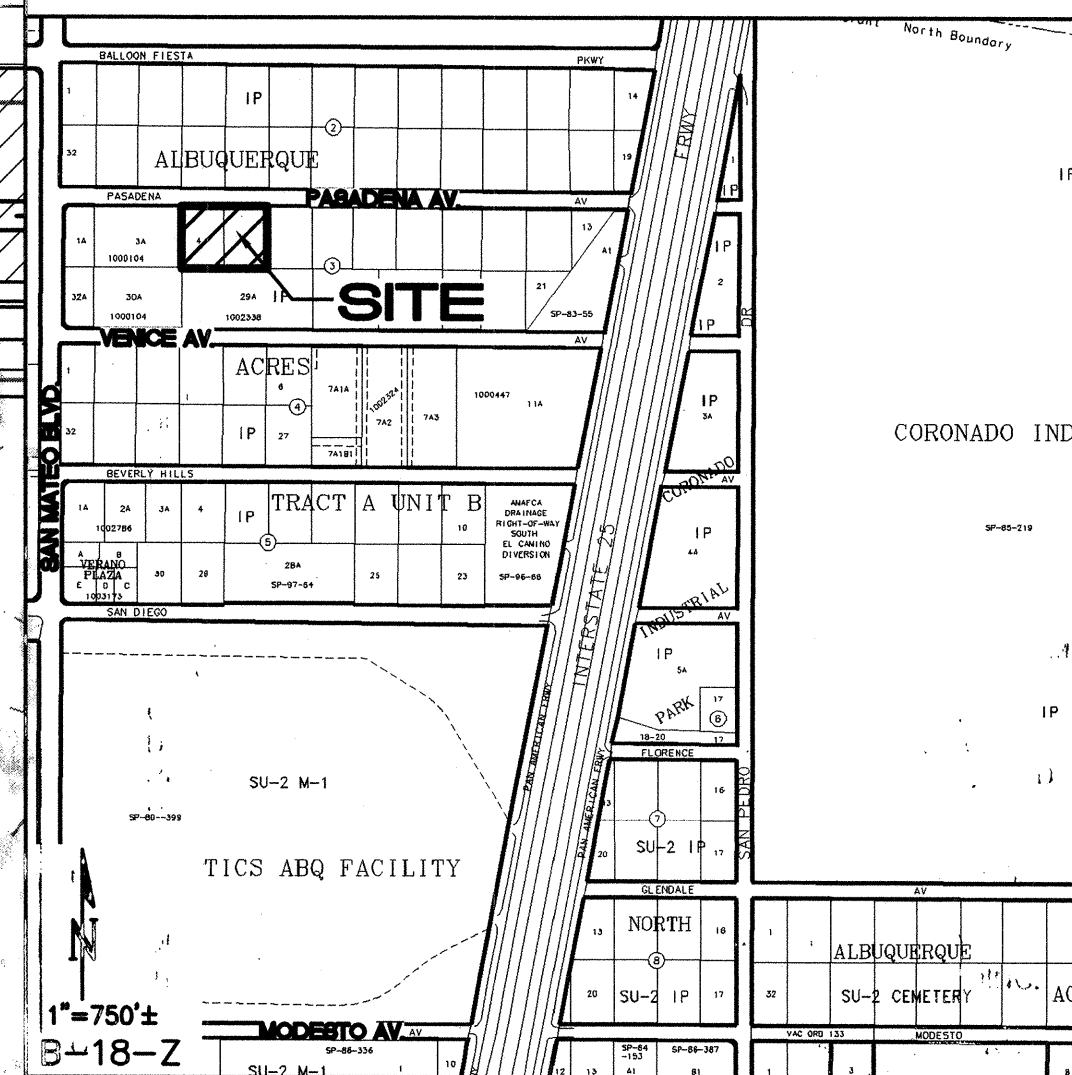
FOR INFORMATION ONLY
CPN 630982

Forstbauer Surveying, L.L.C.
4116 Lomas Boulevard NE
Albuquerque, New Mexico 87110
(505) 268-2112 Fax 268-2032

SCANNED BY
PLANNING



VICINITY MAP B-18-Z



KEYED NOTES

1. CONSTRUCT SITE ENTRANCE PER C.O.A. STD DWG #2425 & 2426. MATCH EXISTING FLOWLINE ELEVATIONS TO PROVIDE A SMOOTH RIDING TRANSITION. CONSTRUCT CONCRETE VALLEY GUTTER / HANDICAP RAMPS (PER C.O.A. STD. DWG. 2426) MATCHING EXISTING TOP OF WALK / FLOWLINE ELEVATIONS. TRANSITION CURB HEIGHT FROM 8" TO 6" OVER LENGTH OF RADIUS. SEE ARCHITECTURAL FOR DIMENSIONS / DETAILS / DEMOLITION OF EXISTING CURBS.
2. PROPOSED ASPHALT PAVING. SEE ARCHITECTURAL FOR SECTIONS, PARKING LAYOUT, DIMENSIONS, STRIPING, ETC.
3. PROPOSED CONCRETE PAVING. SEE ARCHITECTURAL FOR JOINT INFORMATION, DIMENSIONS, ETC.
4. CONSTRUCT 6" HIGH MEDIAN CURB AND GUTTER AT ALL ON-SITE LOCATIONS. SEE SHEET CG-102 FOR DETAIL.
5. CONSTRUCT TURNED DOWN CONCRETE WALK THIS AREA. SEE ARCHITECTURAL FOR DETAIL.
6. CONSTRUCT ADA ACCESS RAMP. SEE ARCHITECTURAL FOR RAMP LOCATIONS / DIMENSIONS AND ADDITIONAL INFORMATION.
7. CONSTRUCT STEM WALL TRANSITIONS AS REQUIRED TO ACHIEVE GRADE DIFFERENCES SHOWN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION (DESIGN BY OTHERS).
8. ROOF FLOW TO EAST TO BE PASSED TO ASPHALT PAVEMENT VIA RAMP OR 'U' SHAPED CONCRETE CHANNEL WITH COVERED SIDEWALK CULVERT. FLOWLINE ELEVATION (FL) AND TOP OF CHANNEL CURB (TC) AT BUILDING SHOWN. MINIMUM SLOPE = 1% TO ASPHALT.
9. ROOF FLOW TO WEST SIDE TO BE COLLECTED AND RELEASED DIRECTLY TO PAVEMENT. SEE ARCHITECTURAL FOR SPECIFIC OUTFALL POINTS.
10. CONSTRUCT 2' WIDE (BOTTOM WIDTH) SIDEWALK CULVERT WITH 'U' SHAPED CONCRETE RUNDOWN WITH 2' CURB RADI TO PASS FLOW. SEE SHEET CG-102 FOR DETAIL.
11. CONSTRUCT HC PARKING PAVEMENT TO ADA STANDARDS. MAX. 2% SLOPE IN ANY DIRECTION.
12. ALL IMPROVEMENTS IN THE CITY R.O.W. WILL BE CONSTRUCTED BY SEPARATE WORK ORDER. STUBS TO BE PROVIDED TO THE PROPERTY LINE WHERE NECESSARY.
13. CONSTRUCT TYPE DOUBLE 'D' STORM DRAIN INLET AT RIM=52.5, INV=49.0, EXTEND 18" ADS N-12 WATERTIGHT PIPE TO STUB PROVIDED AT PROPERTY LINE.
14. AT PEDESTRIAN AND VEHICLE TRANSITIONS TO EXISTING PROPERTY TO SOUTH, MAINTAIN GRADES SHOWN TO KEEP LOT 29-A FLOWS FROM ENTERING SITE.
15. TEMPORARY COMPACTED EARTH BERM. TOP OF BERM = 63.0 TYP.

PROJECT DATA

LEGAL DESCRIPTION: LOT 5-A, BLOCK 3 TRACT A, UNIT B NORTH ALBUQUERQUE ACRES BERNALILLO COUNTY, NEW MEXICO

ADDRESS: 5454 PASADENA AVE. NE, ALBUQ., NM 87113

SITE AREA: 1.766 AC

FLOOD ZONE: 100 YEAR FLOOD ZONE DESIGNATION: ZONE X, AS SHOWN ON F.I.R.M. PANEL 35001C0129C, DATED SEPTEMBER 26, 2008. THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN.

ENGINEER: FRED C. ARFMAN, PE #7322
ISAACSON & ARFMAN, P.A.
128 MONROE ST NE, ABQ. NM 87108
PHONE: (505) 268-8828

SURVEYOR: RONALD A. FORSTBAUER: NMPS NO. 6126
FORSTBAUER SURVEYING, L.L.C.
4116 LOMAS BOULEVARD NE
ALBUQUERQUE, NEW MEXICO 87110
PHONE: (505) 268-2112

BENCHMARK: CITY OF ALBUQUERQUE 6-B17. AN ALUMINUM DISK ON CONCRETE CURB, WNW QUADRANT OF SAN MATEO BLVD. NE & SAN DIEGO AVE. NE ELEVATION: 5153.322 NAVD88.

LEGEND

- EXISTING CONTOUR
- PROPOSED 1' CONTOUR
- ◆11.9 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FL FLOWLINE
- F.F. FINISH FLOOR ELEVATION

EASEMENT NOTES

1. 20' CROSS-LOT DRAINAGE EASEMENT.
- DOC# _____
- FILED: _____

DRAINAGE CONCEPT

PROPERTY: THE SITE IS BOUND TO THE EAST BY UNDEVELOPED COMMERCIAL, TO THE WEST AND SOUTH BY DEVELOPED COMMERCIAL AND TO THE NORTH BY PASADENA BLVD.

THE PROPOSED IMPROVEMENTS INCLUDE APPROX. 20,500 SF COMMERCIAL BUILDING WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

OFF-SITE: APPROXIMATELY 2 ACRES (UNDEVELOPED COMMERCIAL PROPERTY) EAST OF THE PROPERTY CURRENTLY DRAINS TOWARDS THE PROPERTY. AN EARTHEN BERM AND ASSOCIATED SWALE WILL BE CONSTRUCTED WITHIN THE ADJACENT PROPERTY (SAME OWNER) TO THE EAST TO DIVERT THESE FLOWS TO PASADENA AVE. TO CONTINUE ALONG THEIR HISTORIC FLOWPATH.

DRAINAGE PLAN CONCEPT: ALL SITE FLOW WILL BE CAPTURED ON-SITE WITHIN A NEW STORM DRAIN INLET LOCATED NEAR THE NORTHWEST CORNER OF LOT 4. THIS WILL FREE DISCHARGE TO THE PASADENA AVE. STORM SEWER SYSTEM WHICH WILL BE EXTENDED TO THE EAST END OF LOT 5. A SINGLE 'A' AND DOUBLE 'C' INLET WILL BE INSTALLED IN PASADENA AVE. PER THE APPROVED 'SAN MATEO BUSINESS PARK' DRAINAGE REPORT PREPARED BY C.L. WEISS ENGINEERING - DATED 9/22/99. DRAINAGE IMPROVEMENTS WITHIN THE R.O.W. WILL BE CONSTRUCTED BY SEPARATE WORK ORDER.

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street NE
Albuquerque, New Mexico 87108
Ph: 505-268-8828 Fax: 505-268-2112
www.isaacson-arfman.com

MECHENBIE
CONSTRUCTION INC
OFFICE/WAREHOUSE
DEVELOPMENT AT
5454 PASADENA AVE.

slagle
HERB

1600 rio grande nw
albuquerque
new mexico 87104
fax 505 246 0437

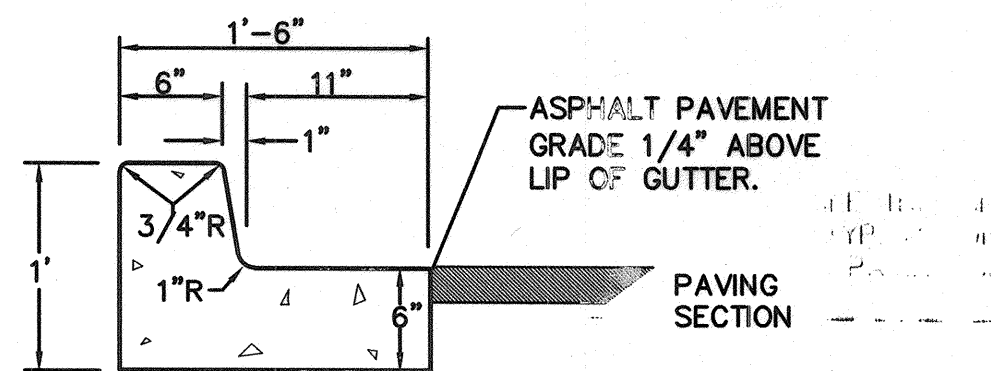
DRAINAGE AND
GRADING PLAN

FOR INFORMATION ONLY

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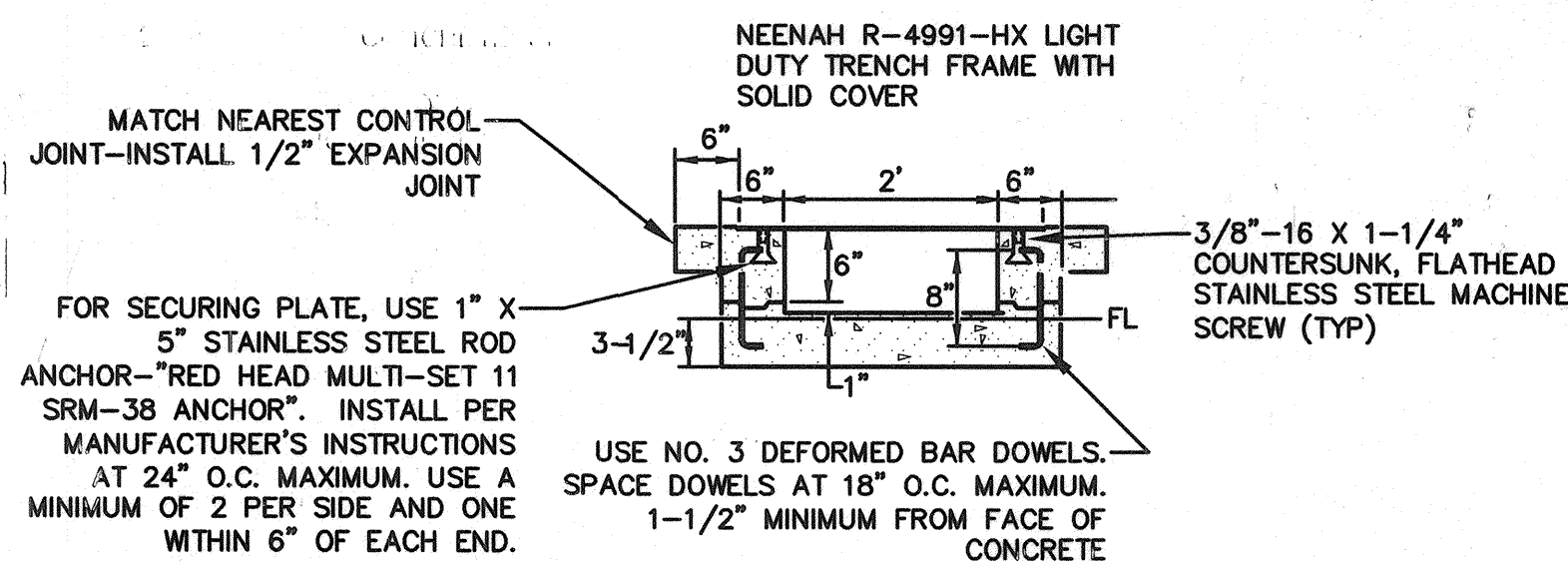
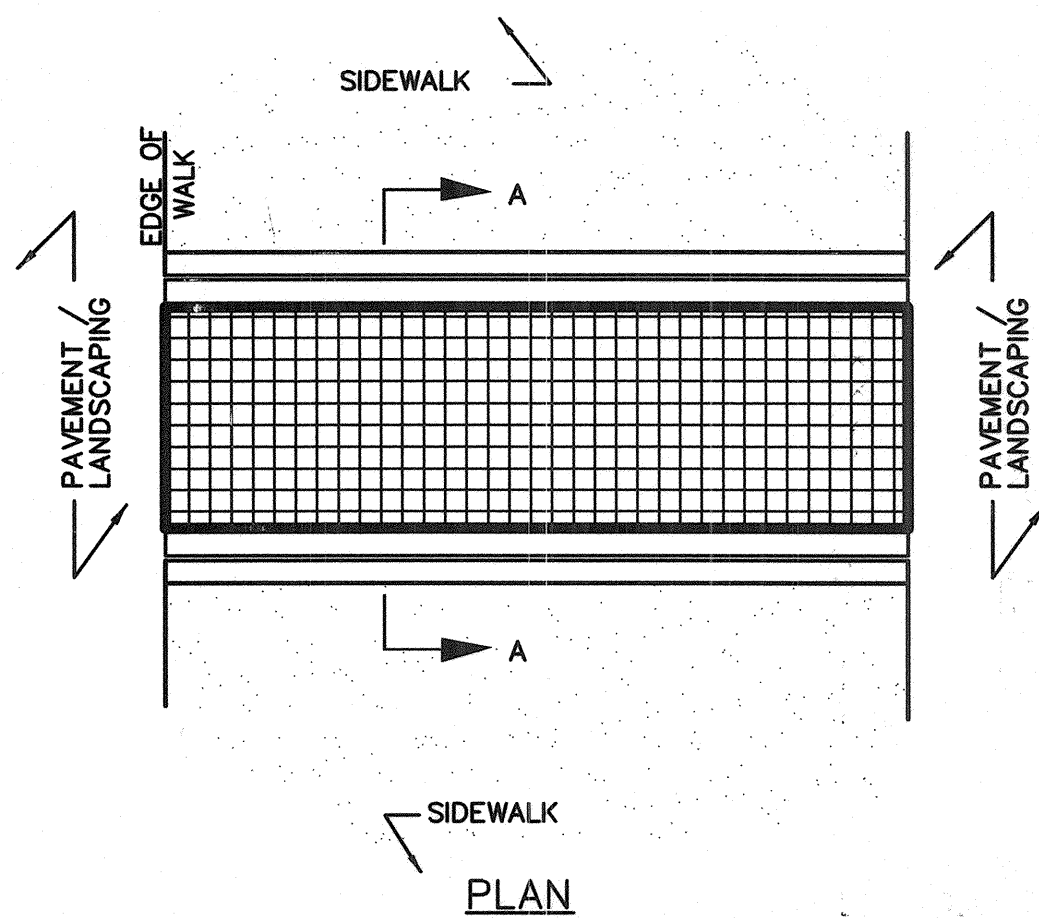


GENERAL NOTES

1. PROVIDE CONST. CONTROL JOINTS @ 6' O.C. MAX. AND 1/2" EXPANSION JOINTS @ 48' O.C. MAX
2. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL
3. MEDIAN C & G REQUIRE FULL FORM ON ALL FACES

1 MEDIAN CURB AND GUTTER

N.T.S.



SECTION A-A

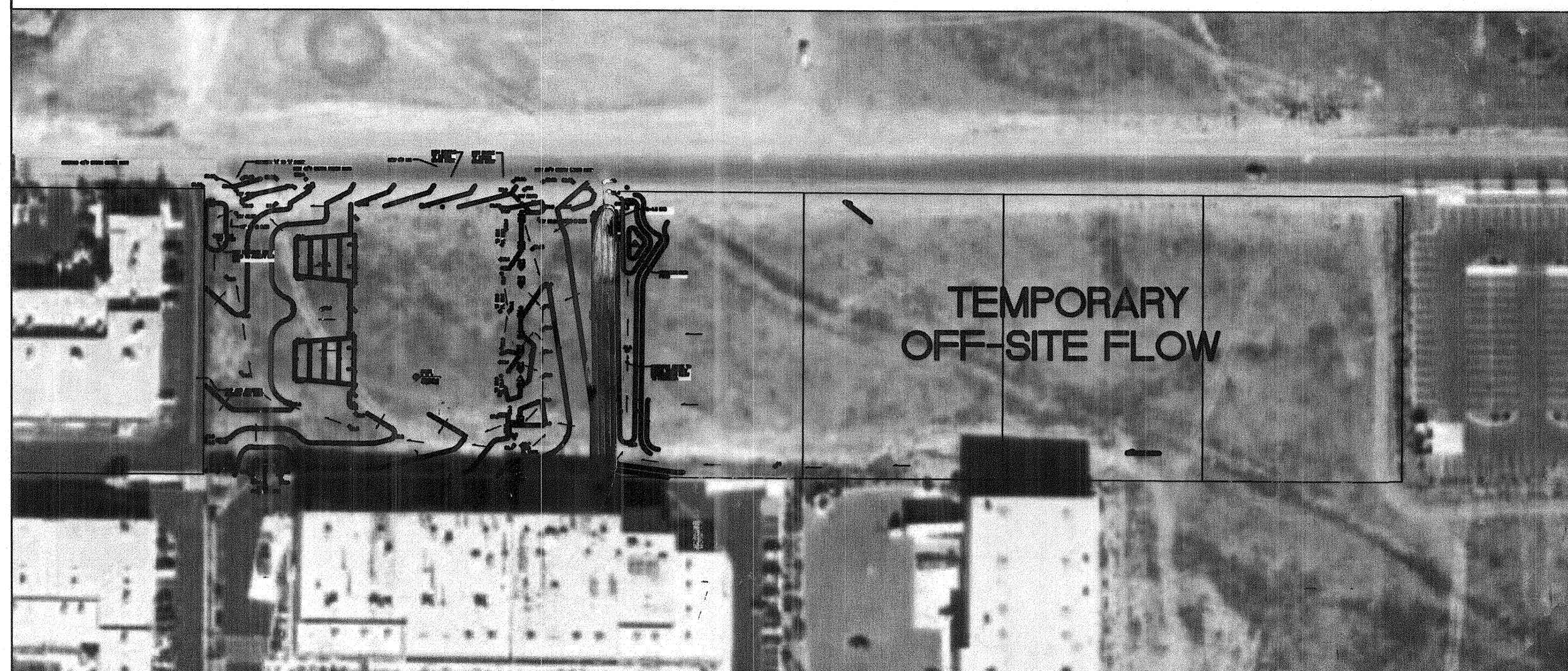
2 SIDEWALK CULVERT

N.T.S.

Hydraflow Storm Sewers Extension for AutoCAD® Civil 3D® 2009 Plan



OFF-SITE BASIN



CALCULATIONS

CALCULATIONS: Mechenbier Office / Warehouse : August 23, 2010									
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993									
ON-SITE									
AREA OF SITE:	76945	SF	=	1.8					
100-year, 6-hour									
DEVELOPED FLOWS:									
Treatment SF	%	Treatment SF	%	Excess Precip.	Zone				
Area A = 0	0%	Area A = 0	0%	E _A = 0.66					
Area B = 0	0%	Area B = 1924	3%	E _B = 0.92					
Area C = 76945	100%	Area C = 3847	5%	E _C = 1.29					
Area D = 0	0%	Area D = 71174	93%	E _D = 2.36					
Total Area = 76945	100%	Total Area = 76945	100%						
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)									
Weighted E = $\frac{E_A A + E_B B + E_C C + E_D D}{A + B + C + D}$									
Historic E = 1.29 in.		Developed E = 2.27 in.							
On-Site Volume of Runoff: V ₃₆₀ = E _A / 12									
Historic V ₃₆₀ = 8272 CF		Developed V ₃₆₀ = 14559 CF							
On-Site Peak Discharge Rate: Q _p = Q _{pA} A + Q _{pB} B + Q _{pC} C + Q _{pD} D / 43,560									
For Precipitation Zone 3									
Q _{pA} = 1.87		Q _{pC} = 3.45							
Q _{pB} = 2.60		Q _{pD} = 5.02							
Historic Q _p = 6.1 CFS		Developed Q _p = 8.6 CFS							

ALL SITE DISCHARGE WILL
FREE DISCHARGE TO TO
PASADENA AVE. TO ENTER
THE EXISTING PUBLIC STORM
DRAIN SYSTEM.

ORIFICE EQUATION:

$$Q = CA(2gh)^{1/2}$$

Where:
C = 0.67
A = 2.35 ft²
g = 32.2 ft/sec²
h = height of the water surface above the grate

CAPACITY CALCULATIONS:

INLET #		LOCATION:	
h = 0.5 ft		REQUIRED Q = 17.2 cfs	
Q _{capacity} = 8.917478 cfs			
NUMBER OF GRATES REQUIRED =		2	

GENERAL NOTES

- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.
- MAXIMUM SLOPES SHALL BE 3:1 AND MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
- FIVE (5) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT / ENGINEER AND VERIFY THE ARCHITECT / ENGINEER'S INTENT BEFORE PROCEEDING.
- OWNER HAS ESTABLISHED PROPERTY BOUNDARY CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE.
- OWNER WILL PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND INSPECTION. CONTRACTOR SHALL COMPLY WITH THE BEST MANAGEMENT PRACTICES (BMP'S) AS SPECIFIED IN THE SWPPP, AND WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN AND LANDSCAPE PLAN.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
- ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS TO DRAIN TOWARD EXISTING AND / OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS MATCH OR "A", TRANSITIONS SHALL BE SMOOTH AND LEVEL. ANY NEW PAVING SURFACE HOLDING WATER (BIRDBATH) SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S SOLE EXPENSE.
- ALL AREAS REFERENCING EROSION PROTECTION SHALL BE 6" AVG. DIA. FRACTURED FACE ROCK (F.F. ROCK) PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE.
- SIDESLOPES STEEPER THAN 3:1 BUT LESS THAN 2:1 MUST HAVE PERMANENT EROSION CONTROL (FRACTURED FACE ROCK [F.F. ROCK] INSTALLED. NO SLOPE SHALL BE STEEPER THAN 2:1.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESEED WITH NATIVE GRASS PER C.O.A. SPECIFICATIONS SECTION 1012 (FOR SANDY SOILS) OR AS SPECIFIED ON THE LANDSCAPE PLAN.
- OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

EROSION CONTROL NOTES

- ALL COBBLE EROSION PROTECTION TO BE 6" AVG. DIA. ANGULAR FACED ROCK OVER PERMANENT EROSION CONTROL MATERIAL.
- OWNER SHALL INSPECT AND MAINTAIN DRAINAGE AND WATER HARVESTING IMPROVEMENTS ON AN ON-GOING BASIS. IN ADDITION, OWNER SHALL INSTALL / MAINTAIN ADDITIONAL EROSION PROTECTION ELEMENTS BASED ON ACTUAL EROSION PATTERNS WHICH DEVELOP OVER TIME.
- ALL DRAINAGE IMPROVEMENTS SHOWN ON THE APPROVED GRADING AND DRAINAGE PLAN MUST BE COMPLETED BEFORE AN ENGINEER'S CERTIFICATION CAN BE ISSUED.

F.I.R.M. 35001C0129G

MAP REVISED SEPT 26, 2008



DRAINAGE AND
GRADING PLAN

FOR INFORMATION ONLY

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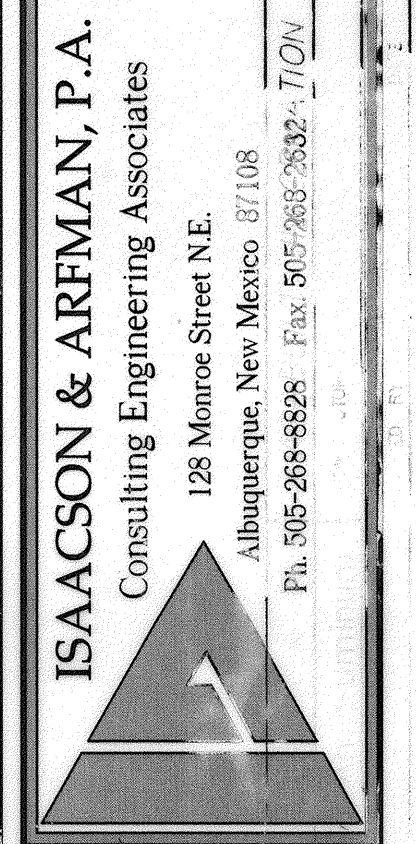
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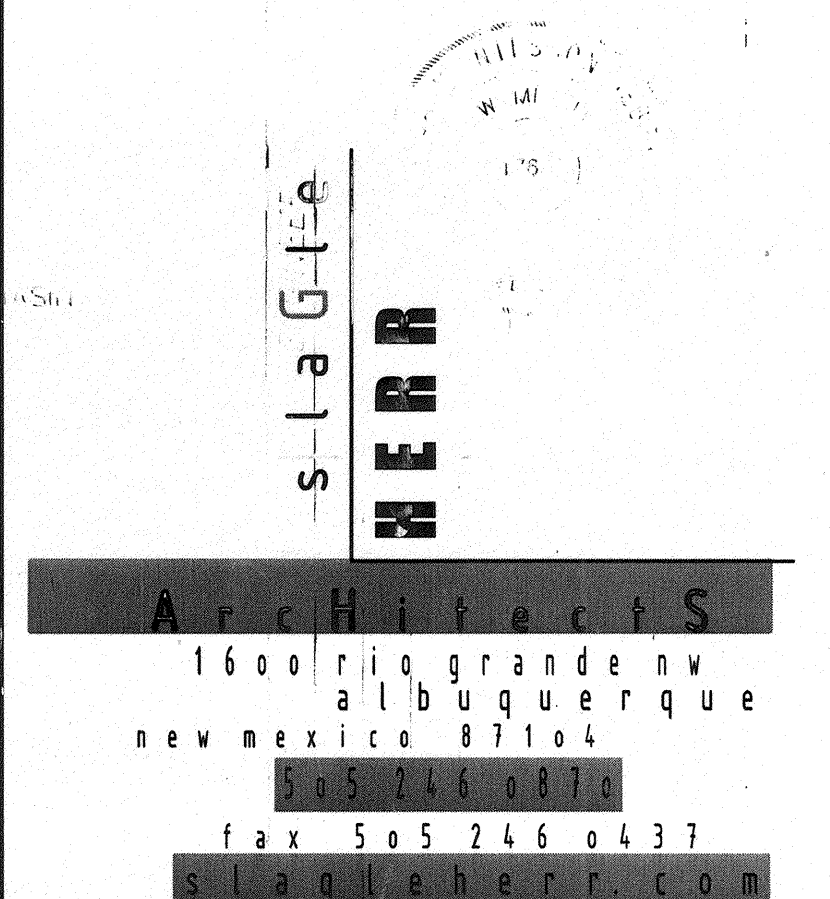
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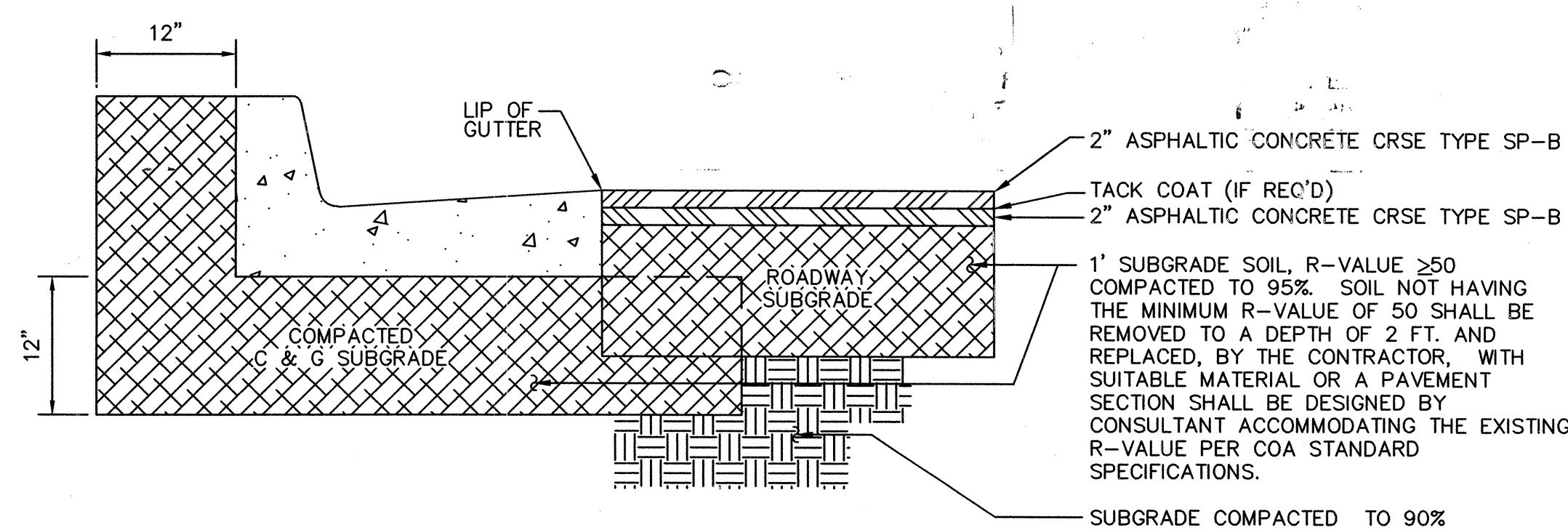
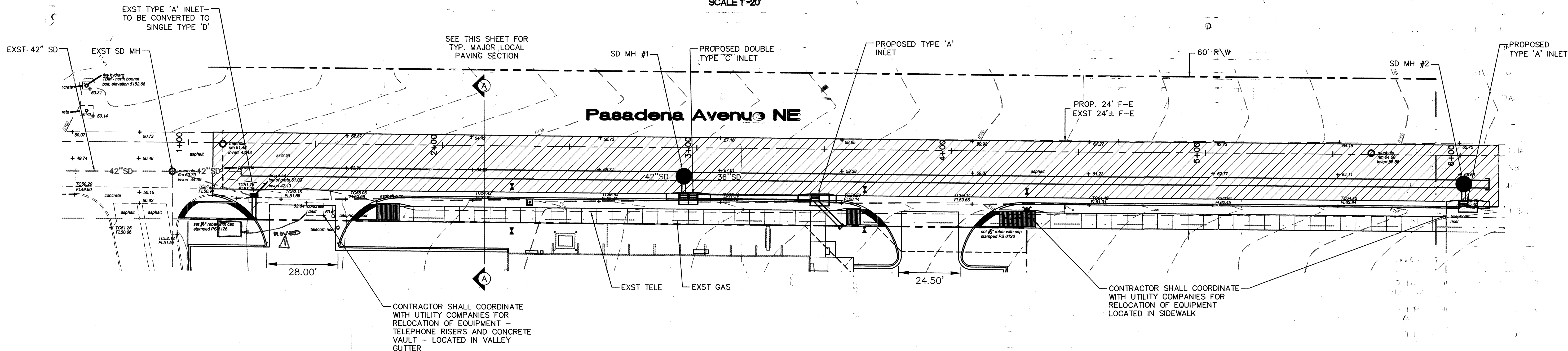
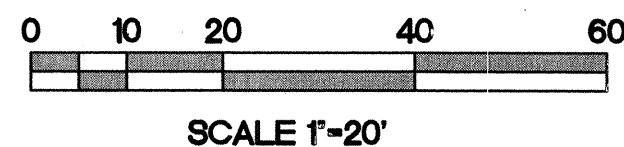


MECHENBIER
CONSTRUCTION INC

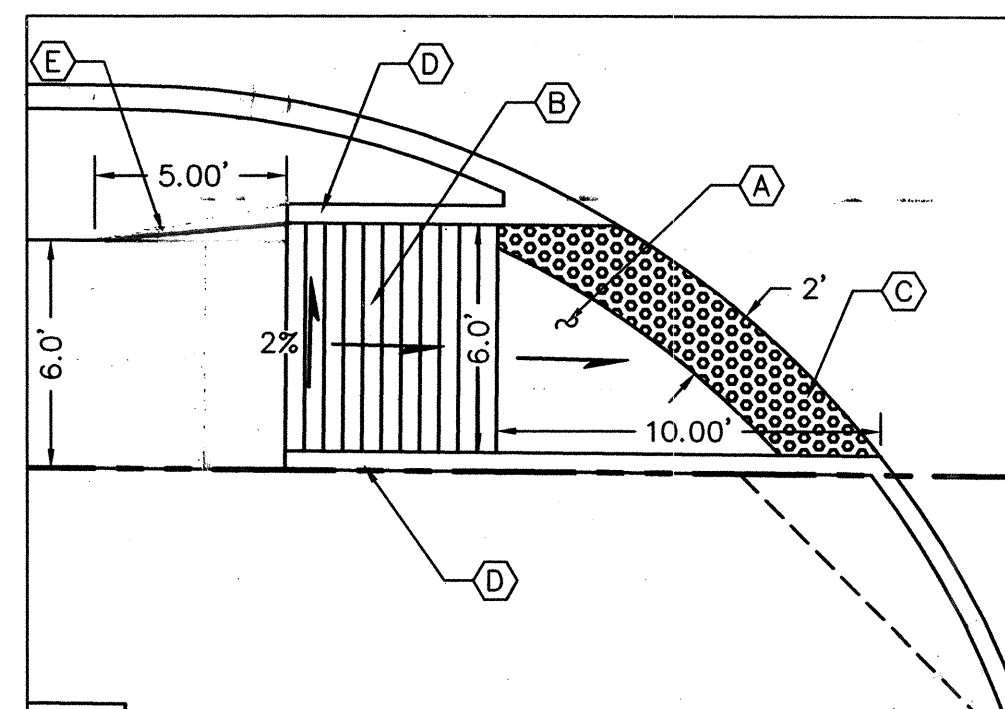
OFFICE/WAREHOUSE
1 DEVELOPMENT AT
5454 PASADENA N.E.



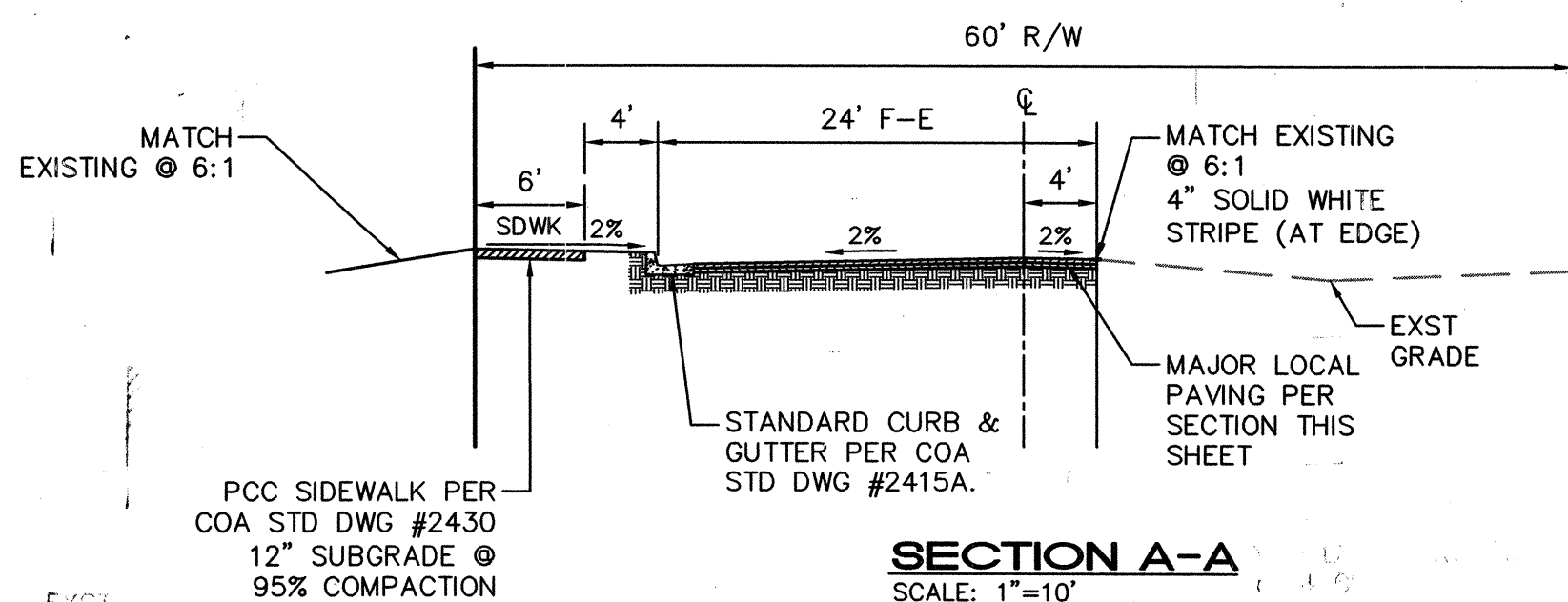
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PLANNING



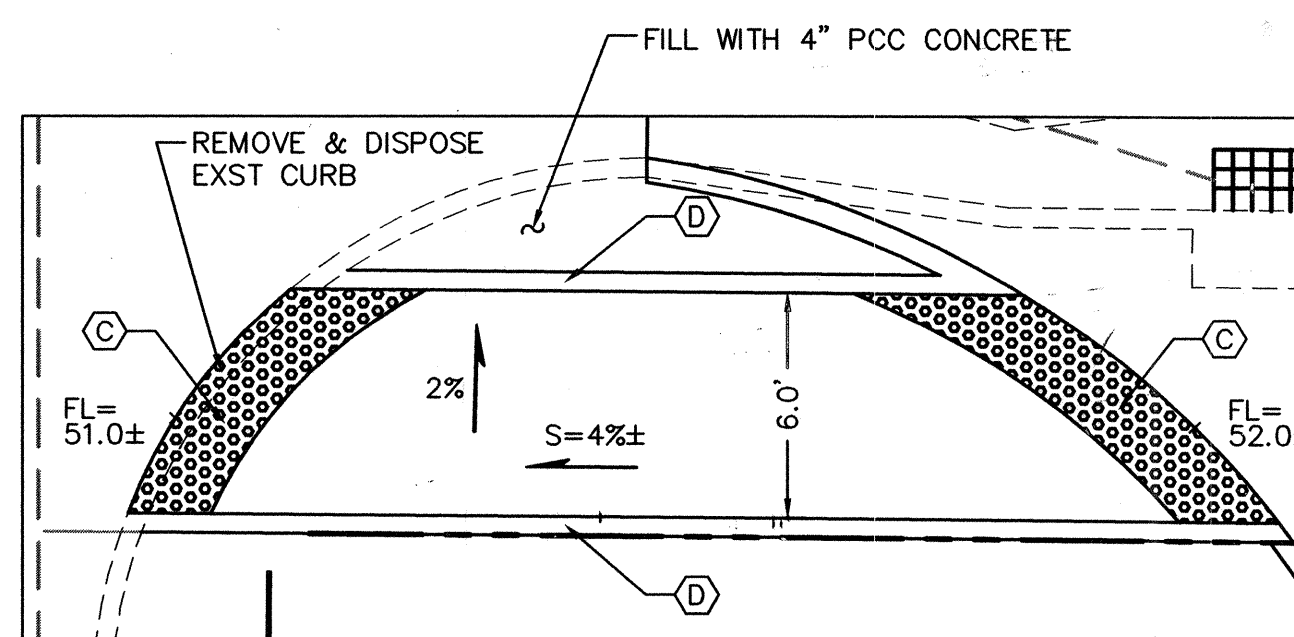
MAJOR LOCAL PAVING SECTION
SCALE: 1"=1'-0"
(PER COA STD DWG # 2405B) PAVING DESIGN FROM CPN 741082



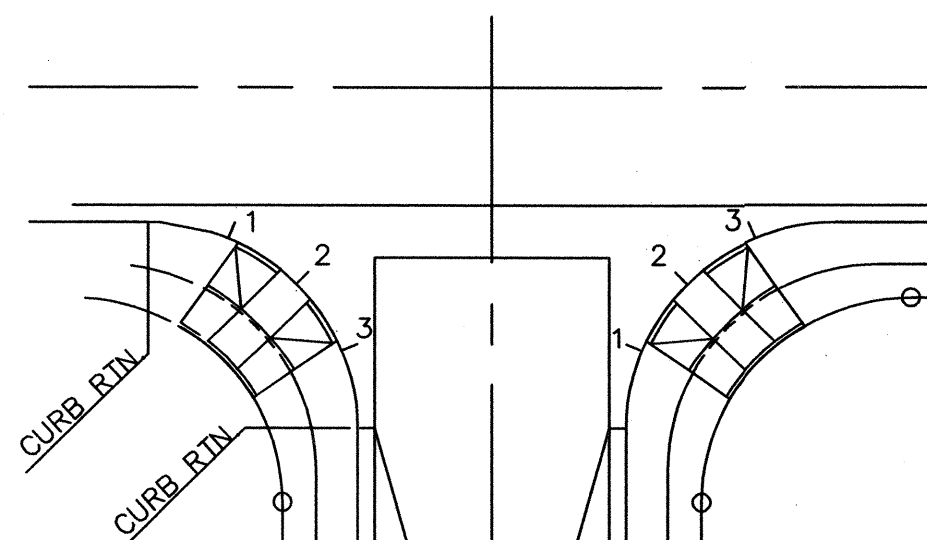
ADA RAMP DETAIL 'A' UNIDIRECTIONAL
1"=5'



SECTION A-A
SCALE: 1"=10'



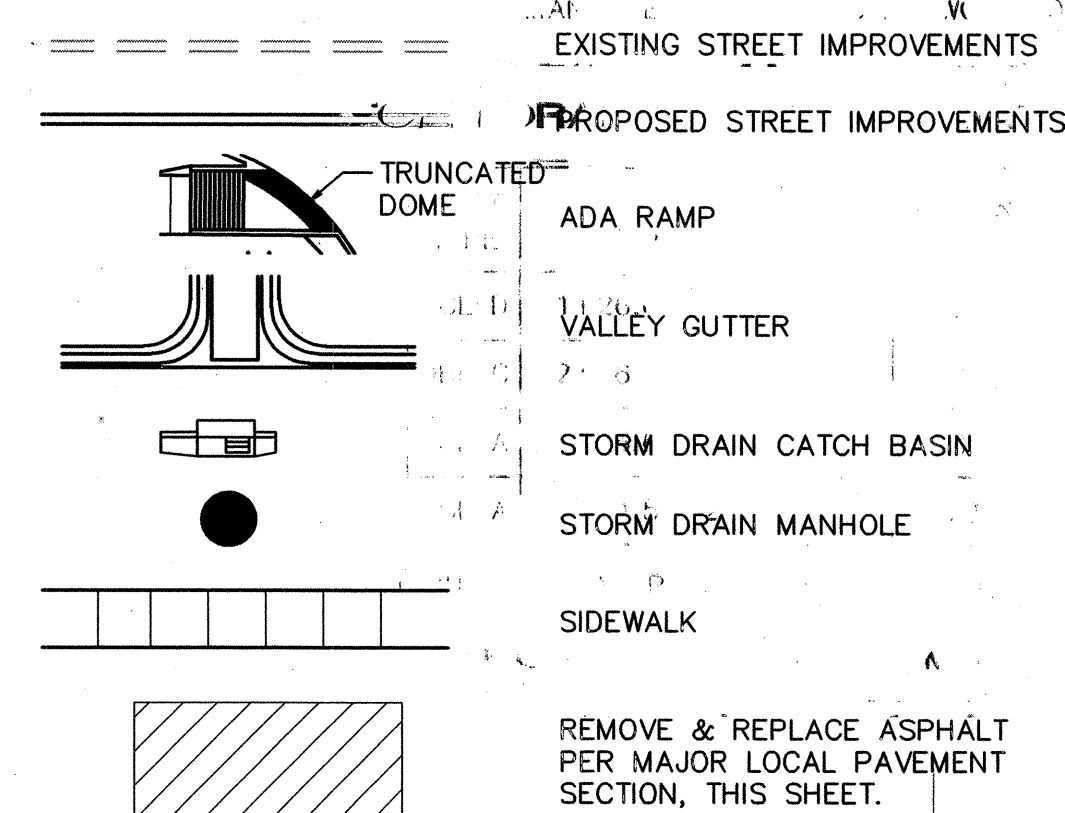
ADA RAMP DETAIL 'B' UNIDIRECTIONAL RAMP
1"=5'



NOTE:
QUARTER POINT GRADES ARE REFERENCED AS 1, 2 & 3
ALONG THE FACE OF CURB IN A CLOCKWISE DIRECTION.

QUARTER POINT DETAIL
NTS

LEGEND



KEYED NOTES

- 6' WIDE LANDING AREA AT 50:1 SLOPE (MAX.)
- RAMP AT 12:1 SLOPE (MAX.) WITH 6' BOTTOM WIDTH (MIN).
- 2' DETECTABLE WARNING SURFACE (TRUNCATED DOMES).
- 6" HEADER CURB PER COA STD DWG #2415B.
- TRANSITION SIDEWALK 6" OVER 5' BACK FROM HEADER CURB TO PROVIDE 6' WIDE RAMP.

TRUNCATED DOMES NOTE

- DESIGN PER ADA ACCESSIBILITY GUIDELINES (ADAAG).
- PAYMENT FOR TRUNCATED DOMES IS INCIDENTAL TO HANDICAP RAMP PAYMENT ITEM.
- SUBMIT TO CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.

GENERAL NOTES

- SEE COA STD DWG #2426 FOR CONSTRUCTION NOTES.
- CONTRACTOR SHALL NOTIFY ENGINEER FOR INSPECTION OF FORMWORK 24 HOURS PRIOR TO PLACEMENT OF CONCRETE FOR HANDICAP RAMPS.

RECORD DRAWING

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1800 CP-101-COA.dwg Jan 31, 2011

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP			
TITLE: PASADENA AVE IMPROVEMENTS MASTER PAVING PLAN			
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	
APPROVED JAN 31 2011 DESIGN REVIEW COMMITTEE	APPROVED MAR 16 2011 CITY ENGINEER	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
630982	B-18-N	8	11

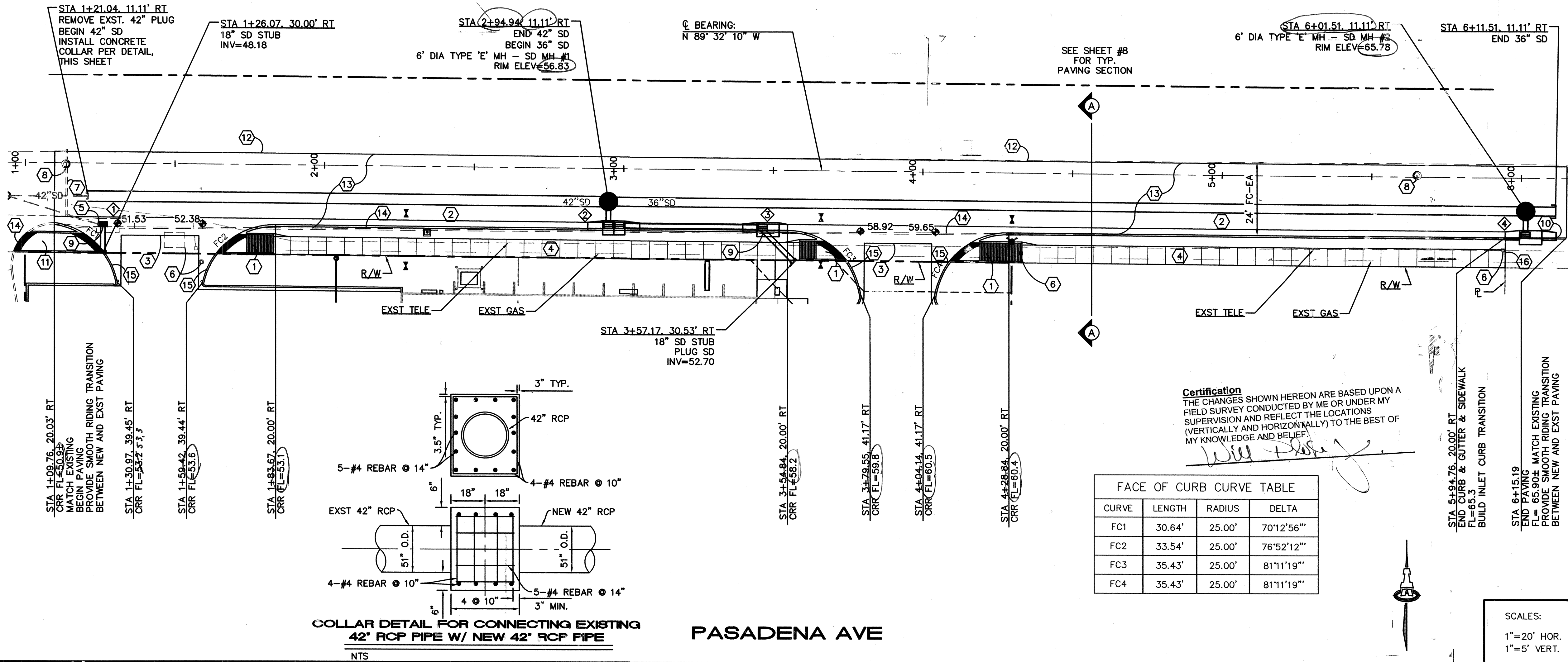
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FC1	TC	FL
1	52.15	51.48
2	---	(52.05)
3	53.10	52.60

FC2	TC	FL
1	53.85	(53.35)
2	---	(53.10)
3	53.67	(53.00)

FC3	TC	FL
1	59.27	58.60
2	---	59.00
3	59.75	59.25

FC4	TC	FL
1	60.80	60.30
2	---	60.10
3	60.92	60.25



FACE OF CURB CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
FC1	30.64'	25.00'	70°12'56"
FC2	33.54'	25.00'	76°52'12"
FC3	35.43'	25.00'	81°11'19"
FC4	35.43'	25.00'	81°11'19"

COLLAR DETAIL FOR CONNECTING EXISTING 42" RCP PIPE W/ NEW 42" RCP PIPE

PASADENA AVE

SCALES:
1"=20' HOR.
1"=5' VERT.

KEYED CONSTRUCTION NOTES

1. CONSTRUCT ADA RAMP PER DETAIL 'A' ON SHEET 8.
2. STANDARD CURB & GUTTER PER COA STD DWG #2415A.
3. CONSTRUCT PCC VALLEY GUTTER 6' WIDE, 1 1/2" INVERT PER COA STD DWG #2420.
4. 6' WIDE PCC SIDEWALK PER COA STD DWG #2430.
5. EXISTING TYPE 'A' INLET - TO BE CONVERTED TO SINGLE TYPE 'D' INLET. ADJUST GRATE TO NEW ELEVATION.
6. EXISTING CONCRETE VAULT & TELE. EQUIPMENT TO BE RELOCATED BY UTILITY COMPANIES.
7. REMOVE & DISPOSE EXISTING CUT-OFF WALL.
8. ADJUST EXISTING SAS MH TO GRADE.
9. CONNECT 18" SD TO BACK OF INLET PER COA STD DWG #2237.
10. MATCH EXISTING CURB AT END OF INLET CURB TRANSITION.
11. CONSTRUCT ADA RAMP PER DETAIL 'B' ON SHEET 8.
12. INSTALL 4" WHITE SOLID STRIPE - HOT THERMO PLASTIC.
13. REMOVE & DISPOSE EXISTING ASPHALT.
14. REMOVE & DISPOSE EXISTING CURB.
15. TRANSITION FROM 8" CURB HEIGHT TO 6" CURB THRU RETURN.
16. PROVIDE 6:1 TIE-IN GRADE FROM END OF SIDEWALK TO EXISTING.

STORM DRAIN NOTES

1. BUILD TYPE A INLETS PER COA STD DWG #S 2201, 2202, & 2207.
2. BUILD TYPE C INLETS PER COA STD DWG #S 2205 & 2207.
3. BUILD TYPE D INLET PER COA STD DWG # 2206.
4. BUILD GRATE PER COA STD DWG #2220.
5. BUILD MANHOLES PER COA STD DWG #2102.

STORM DRAIN INLET INFORMATION

INLET NO.	INLET TYPE	STATION* & OFFSET	TOP GR. EL.	INV. OUT
1	SGL D	1+26.02, 21.23' RT	51.4	47.13±
2	DBL C	2+96.79, 20.00' RT	58.6	51.30
3	SGL A	3+46.64, 20.00' RT	58.9	52.30
4	SGL A	6+01.51, 20.00' RT	65.3	61.00±

*STATIONING IS TO MIDPOINT OF GRATE @ FACE OF CURB

CONNECTOR PIPE INFORMATION

FROM INLET NO.	DIA. (IN)	LENGTH (FT)	SLOPE (FT/FT)
1	18	EXST	EXST
2	18	6.89	2.00%
3	18	45.00	2.00%
4	18	6.89	2.00%

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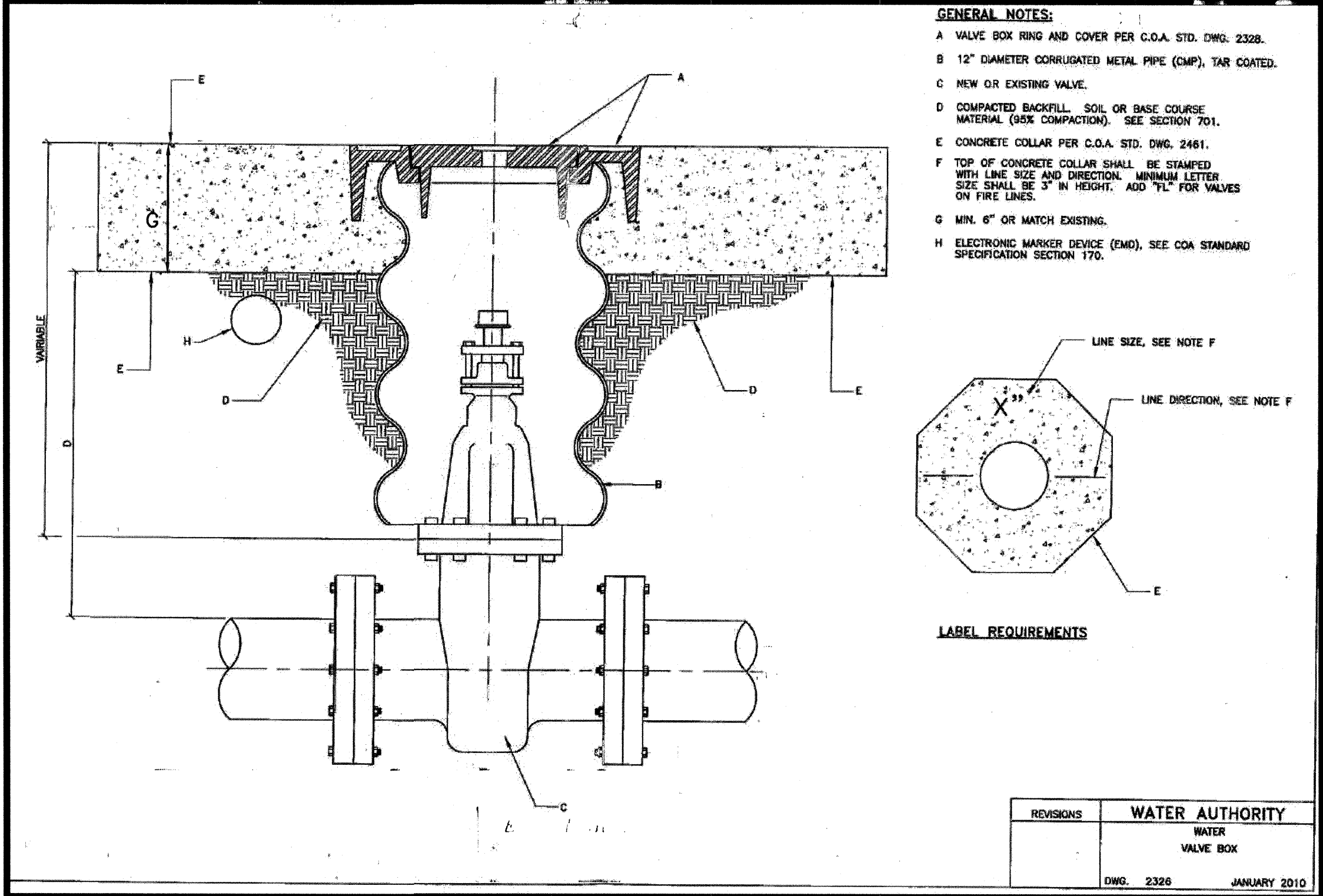
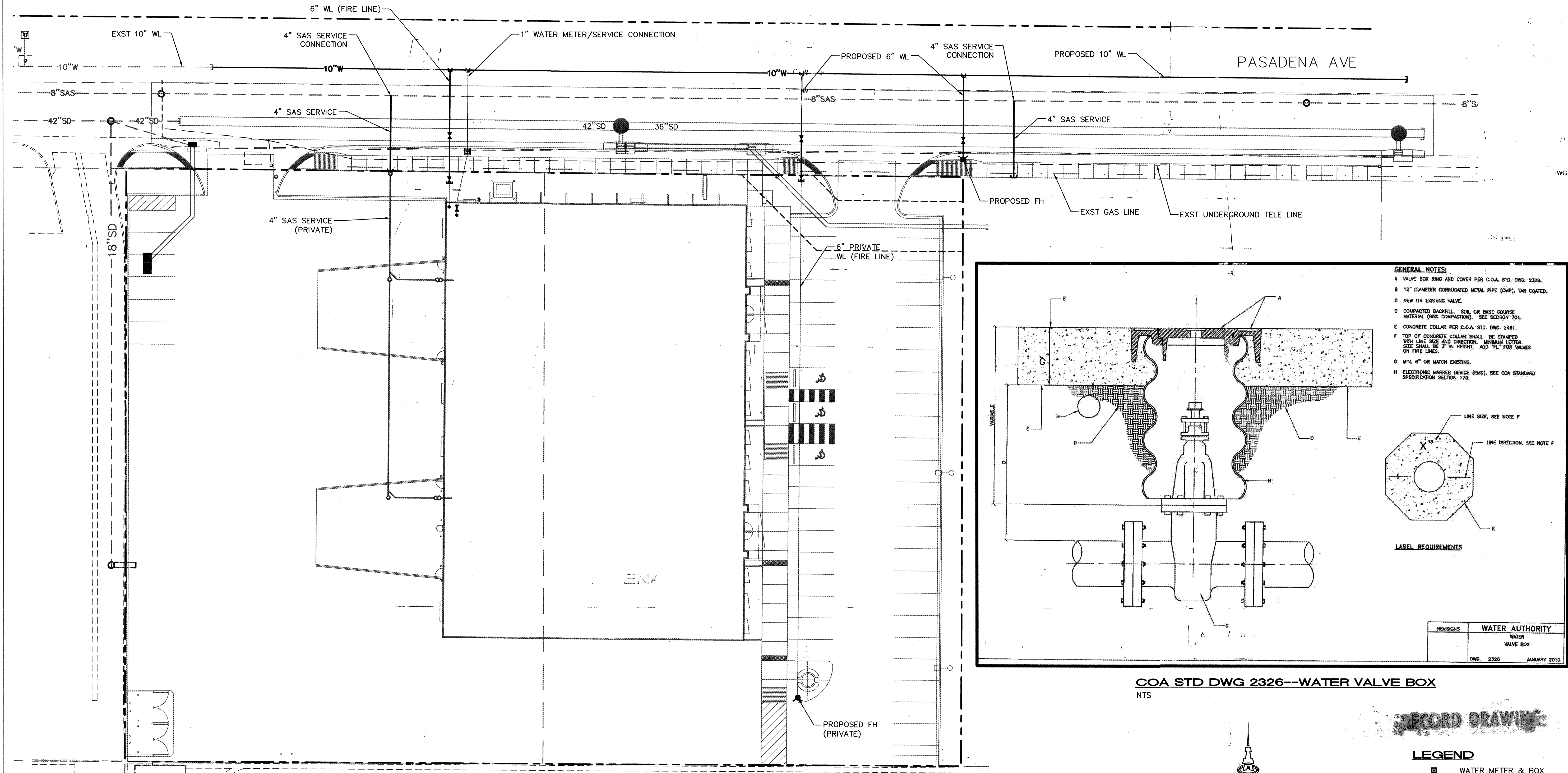
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: PASADENA AVE IMPROVEMENTS
PAVING AND STORM DRAIN PLAN AND PROFILE

Design Review Committee	City Engineer Approval
APPROVED JAN 31 2011 DESIGN REVIEW COMMITTEE	APPROVED MAR 16 2011 CITY ENGINEER

City Project No. 630982 Zone/Map No. B-18-Z

Sheet 9 Of 11



COA STD DWG 2326--WATER VALVE BOX
NTS

RESTRAINED JOINT LENGTHS
FOR WATERLINE FITTINGS

NOTES:

- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ON THIS SHEET.
- THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

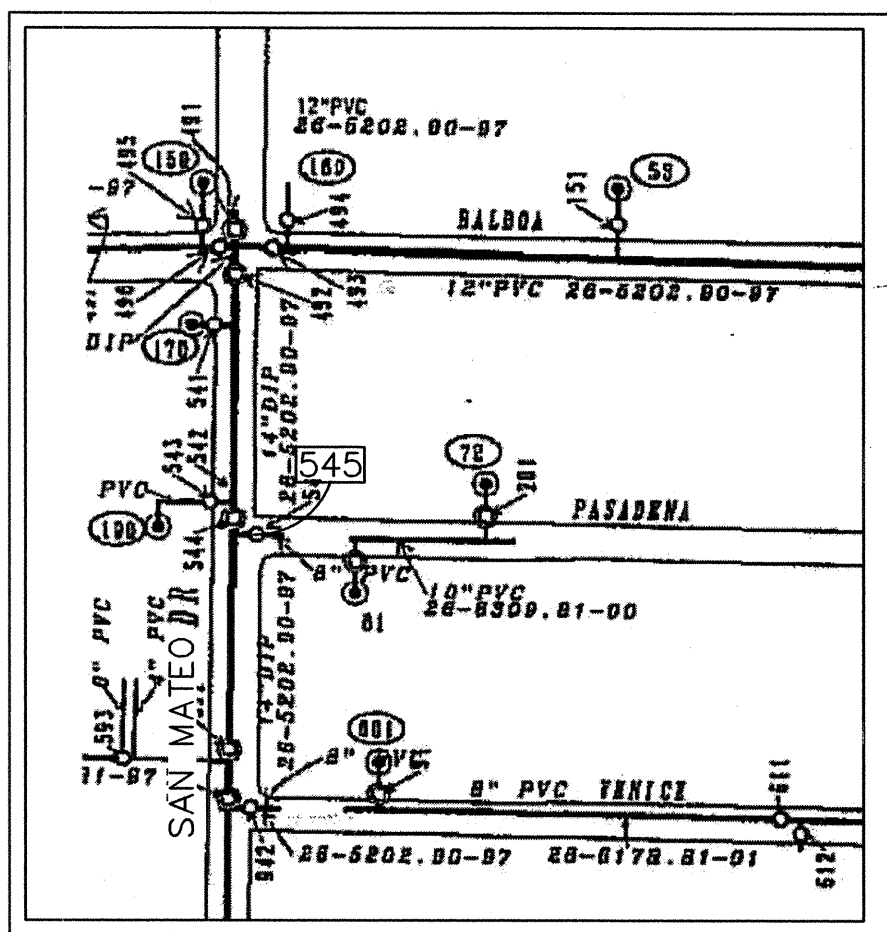
RESTRAINED JOINT LENGTHS, L _T , FOR TEES, (FT.) ALL JOINTS AT THE TEE MUST BE RESTRAINED.		
SIZE	RUN	BRANCH
12x12x12	15	17
12x12x10	10	18
12x12x8	6	19
12x12x6	3	19
12x12x4	1	19
10x10x10	12	18
10x10x8	8	15
10x10x6	4	16
10x10x4	2	4
8x8x8	9	20
8x8x6	5	17
8x8x4	2	15
6x6x6	6	20
6x6x4	2	20

THIS TABLE IS BASED UPON THE FOLLOWING CRITERIA:
DEPTH OF BURY: 3.0 FT. MINIMUM
FACTOR OF SAFETY: 1.25
MATERIAL: PVC PIPE
SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.
TEST PRESSURE: 150 PSI
TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

DIFFERENT CRITERIA, E.G., DUCTILE IRON PIPE, GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY THE ABCWA.

RESTRAINED JOINT LENGTHS, L _T , FOR REDUCERS, STRAIGHT-RUN LENGTH: RESTRAIN EITHER LARGE PIPE, OR SMALL PIPE.					
SIZE	HORIZ. BENDS				VALVES & DEAD ENDS
	90°	45°	22 1/2°	11 1/4°	
12	30	12	6	3	85
10	26	11	5	3	72
8	22	9	4	2	60
6	17	7	3	2	46
4	12	5	2	1	32

RESTRAINED JOINT LENGTHS, L _T , FOR REDUCERS, (FT.) MINIMUM UNOBSTRUCTED, STRAIGHT-RUN LENGTH: RESTRAIN EITHER LARGE PIPE, OR SMALL PIPE.					
SIZE	LARGE SIDE	SMALL SIDE	SIZE	LARGE SIDE	SMALL SIDE
12x10	25	30	10x6	44	73
12x8	45	68	10x4	58	141
12x6	62	121	8x6	25	33
12x4	74	213	8x4	43	83
10x8	24	30	6x4	24	35



WATER SHUT-OFF PLAN

SHUT-OFF VALVE 549 TO PROVIDE NON-PRESSURE CONNECTION. THE CONTRACTOR SHALL CONTACT ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY (857-8200) 7 WORKING DAYS PRIOR TO SHUT-OFF OR TURN-ON AT VALVES. ONLY ABCWA PERSONNEL ARE ALLOWED TO OPERATE VALVES.

GENERAL NOTES

- CONSTRUCT SAS SERVICES PER COA STD DWG #2125.
- CONSTRUCT ALL SINGLE & DOUBLE WATER SERVICES PER COA STD DWG #2361, #2362, & #2363.
- SEE THIS SHEET FOR WATER SHUT-OFF PLAN.
- SEE THIS SHEET FOR RESTRAINED JOINT LENGTHS FOR WATER LINE FITTINGS.
- CONSTRUCT FIRE HYDRANTS PER DESIGNATED DEPTHS & LENGTHS PER COA STD DWG #2340.
- SEE COA STD DWG #2328 FOR VALVE RING & COVER DETAIL. SEE COA STD DWG #2326 FOR VALVE BOX DETAIL.
- INSERT NEW GATE VALVES ON EXISTING WATERLINES PER COA STD DWG #2333.

RECORD DRAWING

LEGEND

- WATER METER & BOX
- GATE VALVE W/ VALVE BOX
- FIRE HYDRANT
- WATER LINE W/ FITTING
- SAS SERVICE LINE

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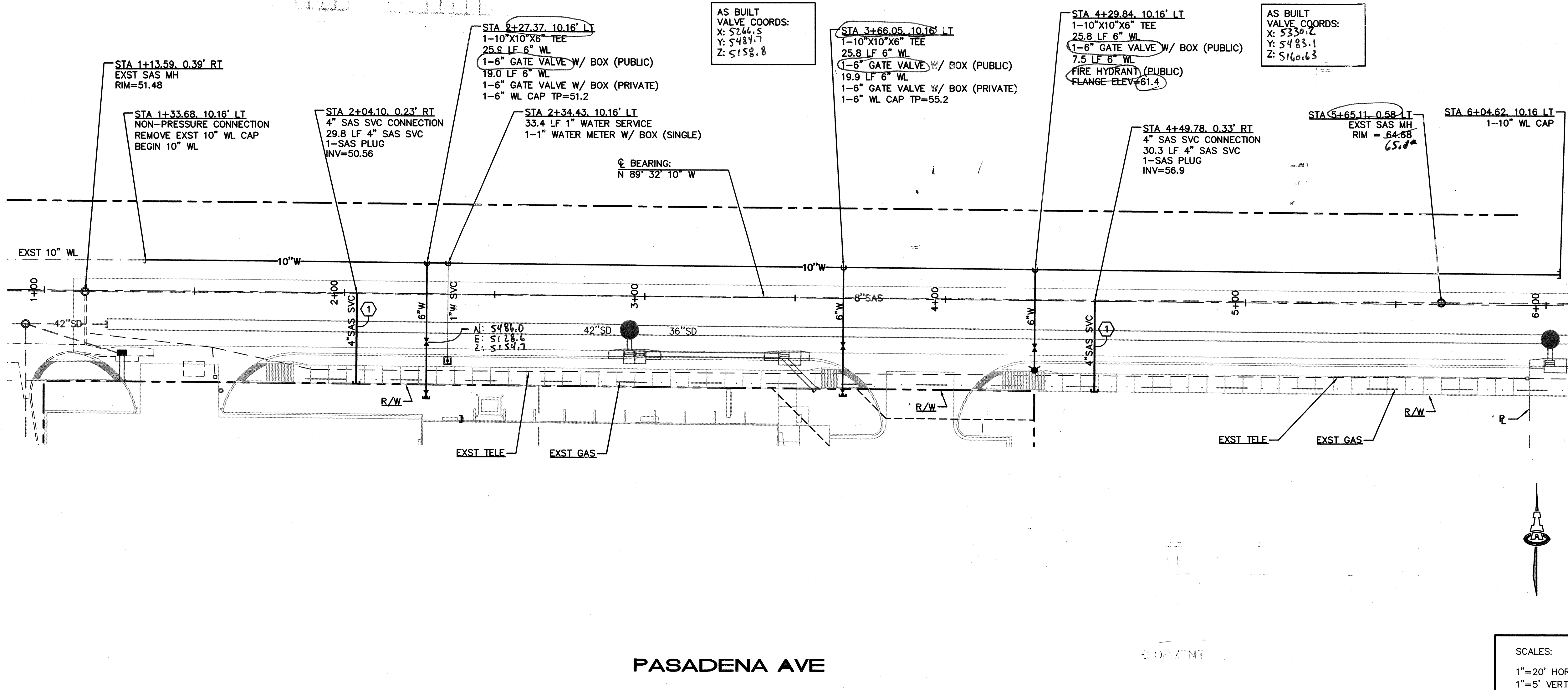
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: PASADENA AVE IMPROVEMENTS
MASTER UTILITY PLAN

Design Review Committee: APPROVED JAN 31 2011
City Engineer Approval: APPROVED MAR 16 2011

City Project No. 630982
Zone, Map No. E-18-Z
Sheet 10 Of 11

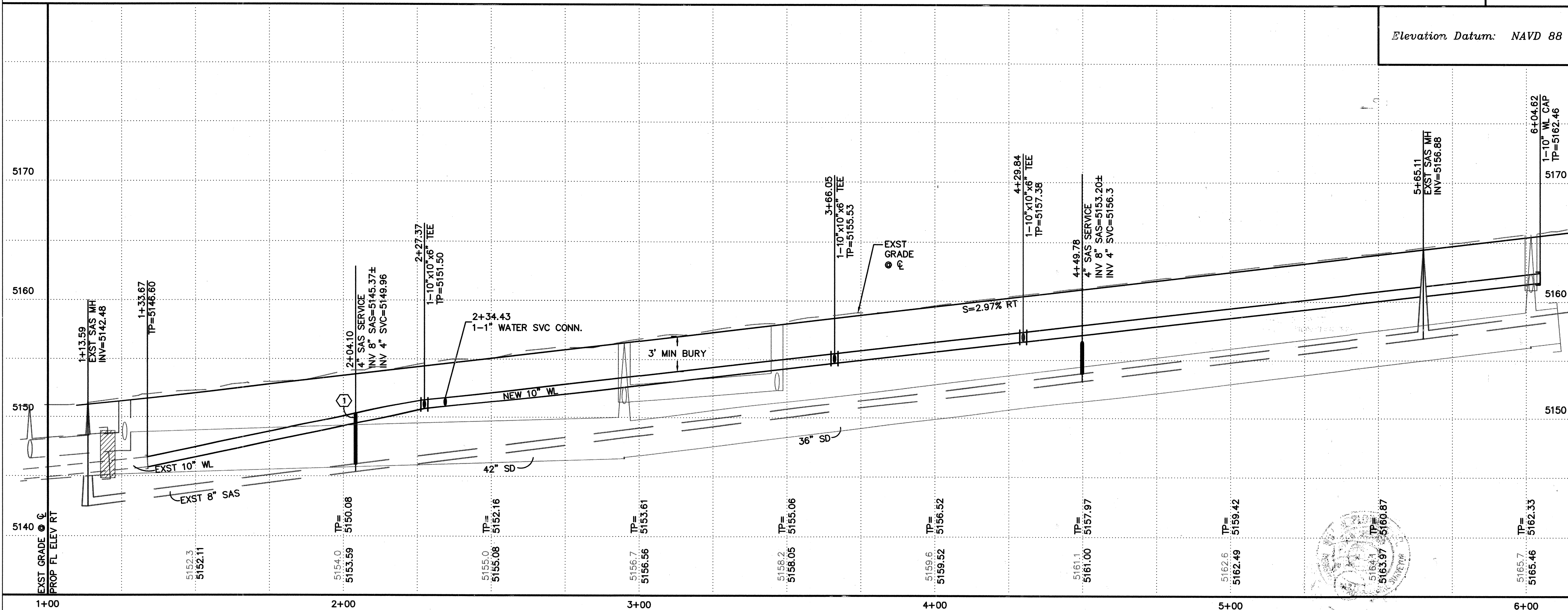
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PLANNING



PASADENA AVE

SCALES:
1"=20' HOR.
1"=5' VERT.

Elevation Datum: NAVD 88



GENERAL NOTES

1. CONSTRUCT SAS SERVICES PER COA STD DWG #2125.
2. CONSTRUCT ALL SINGLE & DOUBLE WATER SERVICES PER COA STD DWG #2361, #2362, & #2363.
3. SEE SHEET #10 FOR WATER SHUT-OFF PLAN.
4. SEE SHEET #10 FOR RESTRAINED JOINT LENGTHS FOR WATER LINE FITTINGS.
5. CONSTRUCT FIRE HYDRANTS PER DESIGNATED DEPTHS & LENGTHS PER COA STD DWG #2340.
6. SEE COA STD DWG #2328 FOR VALVE RING & COVER DETAIL. SEE COA STD DWG #2326 ON SHEET 10 FOR VALVE BOX DETAIL.

KEYED CONSTRUCTION NOTES

1. 4" SAS / 42" SD CLEARANCE=0.5'. PLACE LEAN FILL BETWEEN PIPES. INCIDENTAL TO STORM DRAIN CONSTRUCTION.

Certification
THE CHANGES SHOWN HEREON ARE BASED UPON A FIELD SURVEY CONDUCTED BY ME OR UNDER MY SUPERVISION AND REFLECT THE LOCATIONS (VERTICALLY AND HORIZONTALLY) TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Will P. H. [Signature]

RECORD DRAWING

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1800 CU-301-302-COA.dwg 28,2011

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
TITLE: PASADENA AVE IMPROVEMENTS PASADENA AVE UTILITY PLAN AND PROFILE	
Design Review Committee	City Engineer Approval
APPROVED JAN 31 2011	APPROVED MAR 18 2011
DESIGN REVIEW COMMITTEE	CITY ENGINEER
City Project No. 630932	Zone Map No. B-18-Z
Sheet 11	Of 11