

Oso Park Condominiums

TRACT C-1-A, CIELO VISTA SUBDIVISION, ALBUQUERQUE, NEW MEXICO

Public Improvements

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Notice to Contractor

GENERAL NOTES:

- ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITION OF CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION, ETC.).
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE TRAFFIC ENGINEERING DEPARTMENT PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.

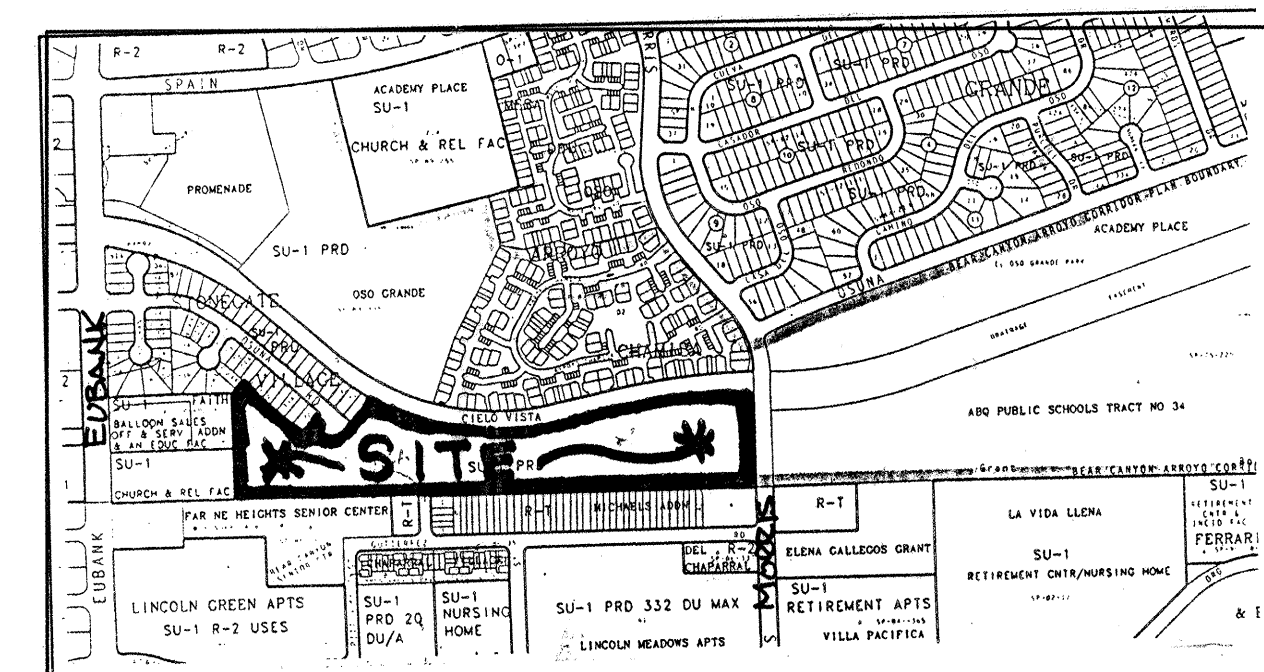
- FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. THE CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- THE WATER SYSTEMS DIVISION (857-8200) SHALL BE NOTIFIED FIVE (5) WORKING DAYS IN ADVANCE OF ANY WORK WHICH MAY AFFECT EXISTING PUBLIC WATER FACILITIES. THE CONTRACTOR SHALL ALSO COORDINATE FOR VALVE OPERATION FOR WATER SHUTOFF.
- THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL SYSTEM, PHONE: 260-1990, TO LOCATE UNDERGROUND UTILITIES TWO (2) WORK DAYS PRIOR TO BEGINNING EXCAVATION.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION SHALL BE COORDINATED WITH THAT UTILITY COMPANY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- FOR PURPOSES OF THIS PROJECT THE TERM ENGINEER SHALL REFER TO EITHER THE OWNER'S EMPLOYEE OR THE CONSTRUCTION OBSERVER RESPONSIBLE FOR CONSTRUCTION INSPECTION OF THE PROJECT.
- ALL EXISTING IMPROVEMENTS ARE TO REMAIN, UNLESS SPECIFICALLY NOTED TO BE REMOVED. CONTRACTOR SHALL REPAIR ANY CONTRACTOR-CAUSED DAMAGE, AS DETERMINED BY THE ENGINEER TO EXISTING IMPROVEMENTS TO THE SATISFACTION OF THE OWNER AT THE CONTRACTOR'S EXPENSE.

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CHECK ALL DIMENSIONS, HORIZONTAL AND VERTICAL, AND SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CONFLICT CAN BE RESOLVED WITH THE MINIMUM AMOUNT OF DELAY.
- ALL REFERENCES TO COMPACTED BACKFILL OR COMPACTED SUBGRADE SHALL MEAN SOIL COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557 UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK, IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY OF ALBUQUERQUE SURVEY SECTION. WHEN A CHANGE IS MADE IN THE FINISH ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO NEW GRADE, UNLESS OTHERWISE SPECIFIED.
- PAVING NOTES:
 - ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY THE CONTRACTOR TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED IN THIS PLAN.
 - ANY WORK AFFECTING AN ARTERIAL ROADWAY REQUIRES TWENTY-FOUR (24) HOUR CONSTRUCTION.
 - ALL PAVEMENT TO BE REMOVED SHALL BE SAW CUT, HAVE A UNIFORM EDGE AND BE SPRAYED WITH TACK.

- WHEN ABUTTING NEW CURB AND GUTTER TO EXISTING PAVEMENT, A 1'-WIDE SECTION OF EXISTING PAVEMENT ADJACENT TO THE CURB AND GUTTER SHALL BE NEATLY SAW CUT, REMOVED AND REPLACED.
- PAVING AND ROADWAY GRADES SHALL BE $\pm 0.05'$ FROM ELEVATIONS SHOWN ON PLANS.
- GRADING NOTES:
 - THE CONTRACTOR MUST CONFORM TO ALL COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS, PERMITS AND APPROVALS. THE COST FOR REQUIRED MEASURES SHALL BE INCIDENTAL TO THE PROJECT COSTS.
 - THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO PREVENT WIND EROSION.
 - A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE CONSTRUCTION OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASURE-MENT OR PAYMENT SHALL BE MADE.
- TRAFFIC CONTROL NOTE:
 - THE CONTRACTOR SHALL CONTACT TRAFFIC ENGINEERING OPERATIONS AT 857-8000 FOR REMOVAL AND REPLACEMENT OF TRAFFIC SIGNS.

Parks and Recreation Department Notes:

- Contractor must contact Park Management Division at 857-8650 prior to starting any construction in the trail area.
- Contractor will maintain trail in a safe and passable condition.
- Trail will not be used for construction access.
- Contractor will repair any damage to the trail.
- Contractor will reseed any disturbed areas of the trail per City specifications for native grass seeding.
- Contractor shall provide advance warning to the trail users regarding any construction activities or hazards affecting the trail.
- If the trail needs to be closed during any phase of construction, Contractor shall provide an adequate detour.



VICINITY MAP F-21-Z
1" = 800'

THE FOLLOWING NOTES APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☒ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- ☐ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEPRESSED FOR A DRIVE PAD, THE DRIVE PAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.



C.L. WEISS ENGINEERING, INC.
POST OFFICE BOX 97 SANDIA PARK, N.M. 87047 - (505) 281-1800
100 ALVARADO DR. NE ALBUQUERQUE, N.M. 87102 - (505) 295-3444

DRB No. 97-5

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS	ENGINEER	DATE	*****		
		DRC Chairman	<i>[Signature]</i>	5-10-00	APPROVED FOR CONSTRUCTION		
		Transportation	<i>[Signature]</i>	3-21-00			
		Water/Wastewater	<i>[Signature]</i>	3/21/00			
		Hydrology	<i>[Signature]</i>	3-21-00			
		C.I.P.					
		Constr. Mngmt.	<i>[Signature]</i>	5-10-00			
		Constr. Coord.	<i>[Signature]</i>	5-10-00			
		City Project No.	632981		Sheet	Of	
					1	8	

Plat of
Tract C-1-A-1, Cielo Vista
Being a Replat of
Tract C-1-A, Cielo Vista
Albuquerque, Bernalillo County, New Mexico
January 2000

Vicinity Map
no scale

Zone Atlas Page Number F-21
Talos Log Number 00010510570284

Subdivision Data

1. Total mileage of streets created by this plat is 0.00000
2. Total number of lots created by this plat is 0.
3. Bearings are based on the New Mexico State Plane Grid, Central Zone and distances are ground distances.
4. The purpose of this plat is to dedicate additional right-of-way, and grant new easements as shown hereon.
5. The area shown hereon is identical to measured bearings and distances.
6. Unless otherwise indicated all corners are set 1/2" rebar w/cap L/S 61
7. Total area of the parcel shown hereon is 15,519'± acres.

LEGAL DESCRIPTION

Tract C-1-A of CIELO VISTA, an Addition to the City of Albuquerque being a replat of Tracts C-1 and C-2, OSO GRANDE SUBDIVISION, as the same is shown and designated on the Plat thereof filed in the Office of the County Clerk of Bernalillo County, New Mexico, on August 15, 1985, in Plat Book C28, Folio 19.

FREE CONSENT AND DEDICATION

The platting of the land comprising Tract C-1-A-1 as shown hereon and all easements shown hereon are with the free consent of and in accordance with the wishes and desires of the undersigned owners and proprietors thereof. Said owners do hereby dedicate, in fee simple, with warranty covenants, the additional right-of-way shown hereon to the City of Albuquerque and said owners do hereby grant all easements shown hereon, including the right of ingress and egress and the right to trim interfering trees.

Steve Abraham

Mike Abraham

ACKNOWLEDGMENT

STATE OF NEW MEXICO }
COUNTY OF BERNILLO }

This instrument was acknowledged before me this _____ day of _____, 2000 by
Steve Abraham.

Notary Public _____ My Commission expires _____

ACKNOWLEDGMENT

State of New Mexico)
County of Bernalillo) SS

Notary Public _____ My Commission expires _____

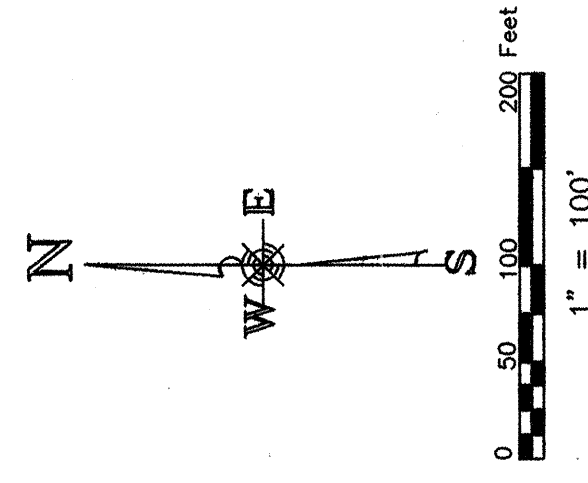
SURVEYOR'S AFFIDAVIT

I, Ronald A. Forstbauer, registered New Mexico Land Surveyor No. 6126, do hereby certify that the plot shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and meets the Standards for New Mexico Land Surveyors as adopted by the New Mexico Board of Registration for Professional Engineers and Professional Land Surveyors effective February 2, 1994 and shows easements of record as indicated on Title Commitment No. 56057 RAD issued by Fidelity National Title Insurance Company, on August 15, 1997, and that the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer
P.S. No. 6126

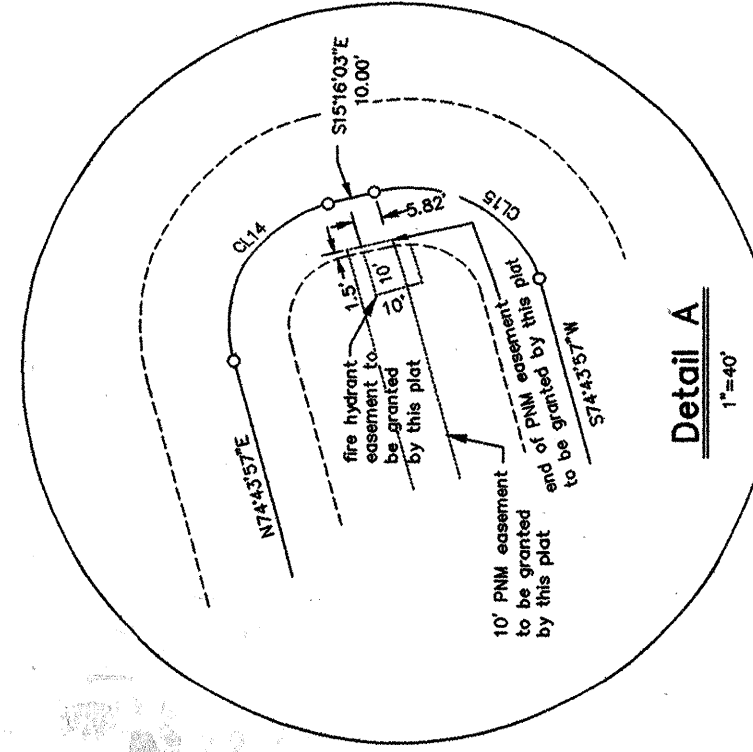
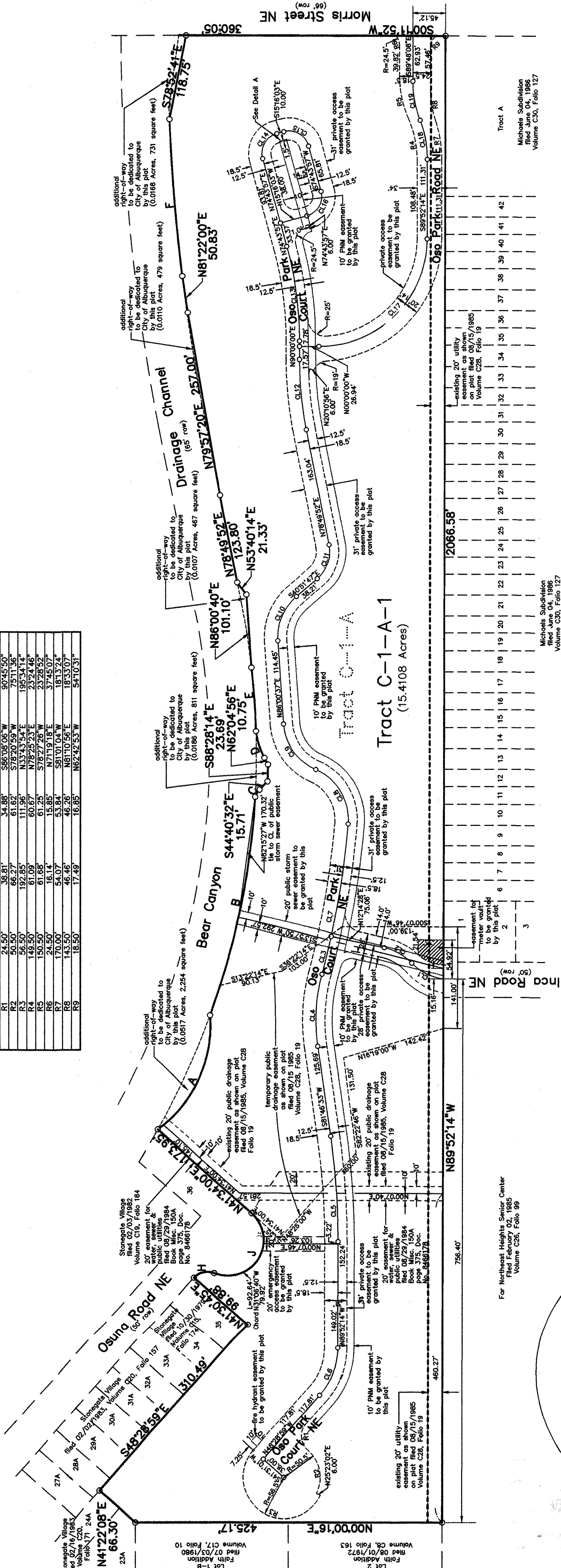
Forstbauer Surveying, L.L.C.
1100 Alvarado Drive NE, Suite C
Albuquerque, New Mexico 87110
(505) 268-2112

Sheet 1 of 2



Plat of
Tract C-1-A-1, Cielo Vista
Being a Replat of
Tract C-1-A, Cielo Vista
Albuquerque, Bernalillo County, New Mexico
January 2000

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
A	176.00	181.73	173.34	S85.21°W	89.78°E
B	176.00	181.73	173.34	S85.21°W	89.78°E
C	23.00	31.72	31.13	S87.32°E	25.43°E
D	107.00	38.74	38.57	N17.27°E	20.44°W
E	270.00	218.66	218.69	N85.14°E	0.33°E
F	270.00	218.66	218.69	N85.14°E	0.33°E
H	43.00	133.82	128.88	N31.35°W	10.33°SE
I	43.00	133.82	128.88	N31.35°W	10.33°SE
G1	75.00	56.25	49.50	N26.43°E	38.73°E
G2	119.00	44.42	44.17	S79.37°E	0.33°W
G3	119.00	44.42	44.17	S79.37°E	0.33°W
G4	250.00	150.73	150.05	N86.49°E	23.05°E
G5	150.00	72.25	72.07	N86.49°E	23.05°E
G6	150.00	72.25	72.07	S89.70°E	47.21°E
G7	119.66	158.80	158.78	S81.34°E	0.37°E
G8	43.00	86.81	77.84	N4.50°E	62.24°E
G10	75.00	69.14	67.98	S7.92°SE	53.07°SE
G11	60.00	57.17	57.31	N84.24°E	11.10°E
G12	60.00	57.17	57.31	N84.24°E	11.10°E
G13	20.00	133.58	132.80	S86.03°E	15.70°E
G14	20.00	133.58	132.80	S86.03°E	15.70°E
G15	28.00	43.86	38.60	S29.43°W	80.00°W
G16	28.00	43.86	38.60	S29.43°W	80.00°W
G17	150.00	233.38	231.89	S44.18°W	89.73°W
G18	150.00	233.38	231.89	S44.18°W	89.73°W
G19	24.00	55.97	55.06	S79.53°W	79.53°E
H1	24.00	55.97	55.06	S79.53°W	79.53°E
H2	24.00	38.91	34.88	S88.06°E	60.43°E
H3	50.00	66.77	61.62	S76.90°W	17.51°SE
H4	50.00	66.77	61.62	S76.90°W	17.51°SE
H5	143.50	61.69	60.97	N78.29°E	2.24°E
H6	143.50	61.68	61.26	S75.77°W	2.52°SE
H7	170.00	44.07	43.94	S81.01°E	18.12°E
H8	170.00	44.07	43.94	S81.01°E	18.12°E
H9	143.50	17.48	16.85	N88.19°SE	54.33°E
H10	143.50	17.48	16.85	N88.19°SE	54.33°E



SURVEYOR'S AFFIDAVIT

SURVEYOR'S CERTIFICATE
I, Ronald A. Forthauer, registered New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico Board of Registration for Professional Engineers and Professional Land Surveyors effective February 2, 1994 and shows easements of record as indicated on Title Commitment No. 565037 RAD issued by Fidelity National Title Insurance Company, on August 15, 1997, and that the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer
P.S. No. 6126

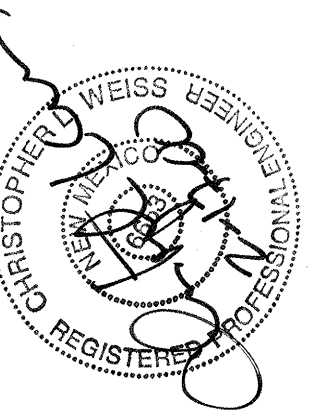
Forstbauer Surveying, L.L.C.
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(505) 268-2112

Sheet 2 of 2



City Project No.	Zone Map No.	Sheet	Of
632981	F-21	3	8

SURVEY INFORMATION		BENCH MARKS	AS-BUILT INFORMATION	
FIELD NOTES	DATE		CONTRACTOR	
			BY <u>FORSTER</u>	<u>SUNDANCE</u>
			INSPECTOR'S FIELD VERIFICATION	DATE <u>5/00</u>
			BY <u>R. OBAYER</u>	DATE <u>3/01</u>
			CONNECTED BY <u>R. OBAYER</u>	DATE <u>3/01</u>
			BY <u>FORSTER</u>	DATE <u>3-01</u>
			<u>MICRO-FILM INFORMATION</u>	
			RECORDED BY	DATE
			NO.	

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SCANNED BY
MESA REPRO

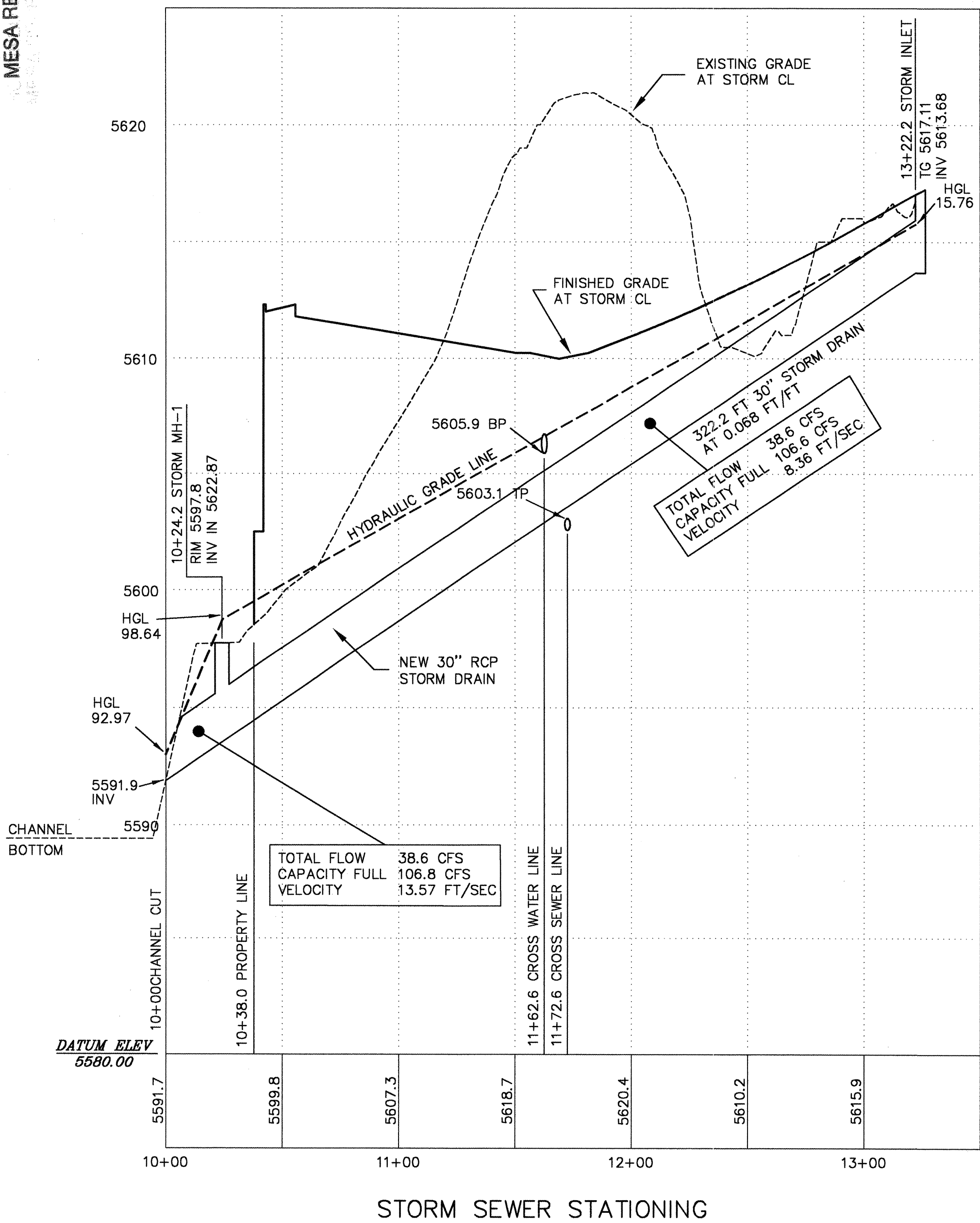
LEGEND

APPLIES TO ALL SHEETS

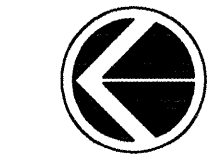
- 10"W NEW WATER LINE AND GATE VALVE
- 24"SD NEW STORM SEWER LINE
- EXISTING ELEVATION CONTOUR
- 5612--- PROPOSED FINISHED CONTOUR
- EXISTING PAVEMENT/CURB & GUTTER
- PROPOSED CURB & GUTTER
- PROPOSED SAW CUT LINE
- NEW PAVEMENT
- NO-CROWN AREA
- PAVEMENT REPLACEMENT

INCA ROAD NE STORM SEWER PROFILE

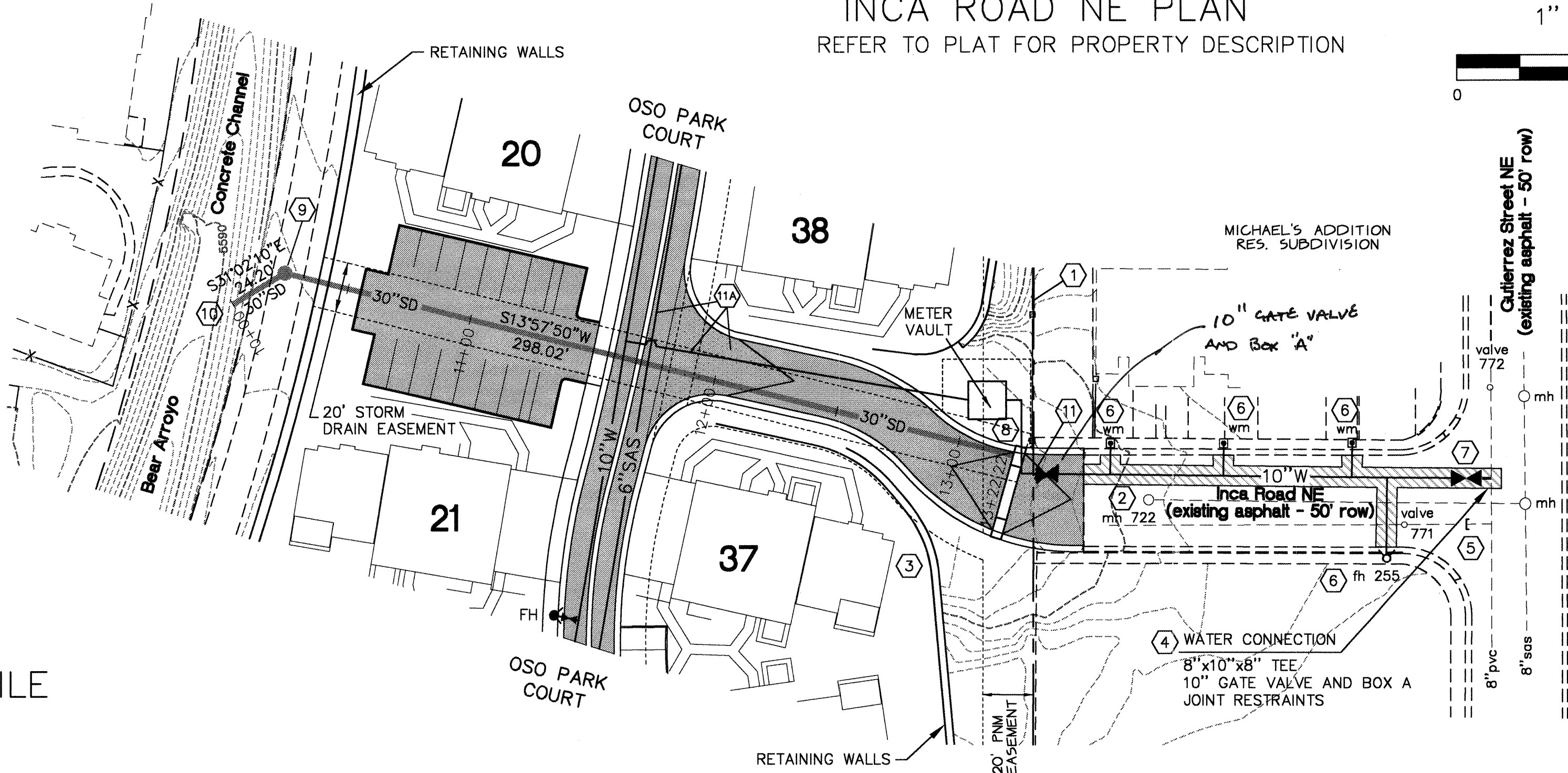
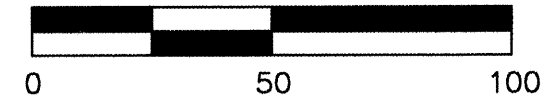
1" = 40' HORIZONTAL
1" = 4' VERTICAL



INCA ROAD NE PLAN REFER TO PLAT FOR PROPERTY DESCRIPTION



1" = 40'



RESTRAINED JOINT TABLE

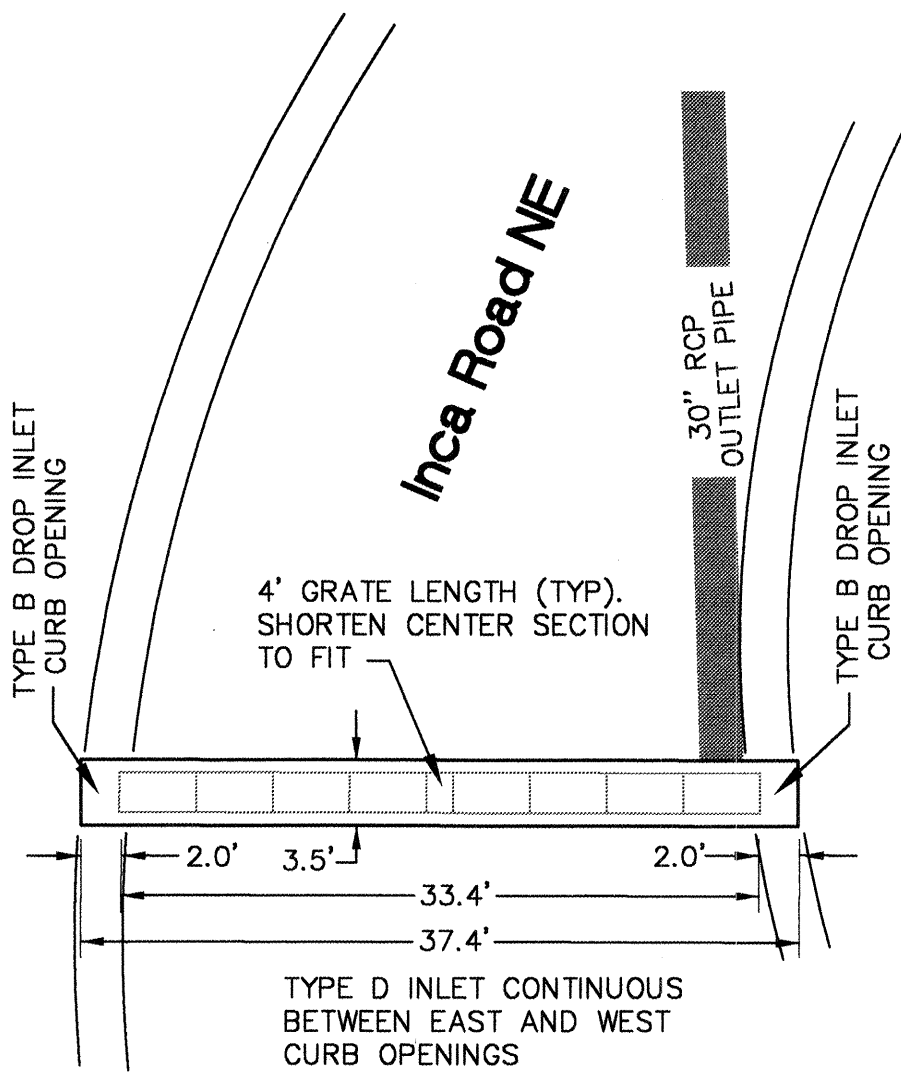
FITTING LENGTH OF RESTRAINED JOINT EACH SIDE OF FITTING

8"x10"x8" TEE	9' (8' Lr)
10"x6"x10" TEE	1' (8' Lr)

- ALL FITTINGS TO BE RESTRAINED AT EACH FLANGE.
- CONTRACTOR SHALL PROVIDE MINIMUM PIPE LENGTHS OF 18' WITHIN RESTRAINED LENGTH OF FITTINGS. ALL PIPE JOINTS WITHIN 20' OF A FITTING SHALL BE RESTRAINED AT CONTRACTOR'S EXPENSE.

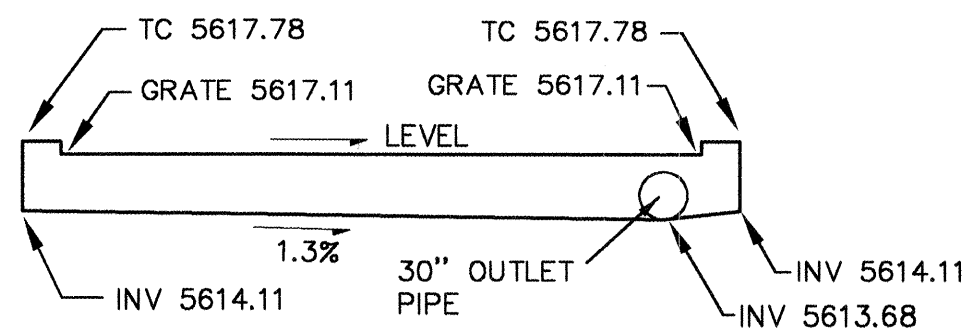
RESTRAINT TABLE ASSUMPTIONS:

ASTM SOIL CLASSIFICATION SM (SAND/SILT MIXTURE)
AWWA TRENCH TYPE 5
DEPTH OF BURY 3' TO TOP OF PIPE
WORKING PRESSURE 100 PSI
TEST PRESSURE 150 PSI
FACTOR OF SAFETY = 1.5 TO 1



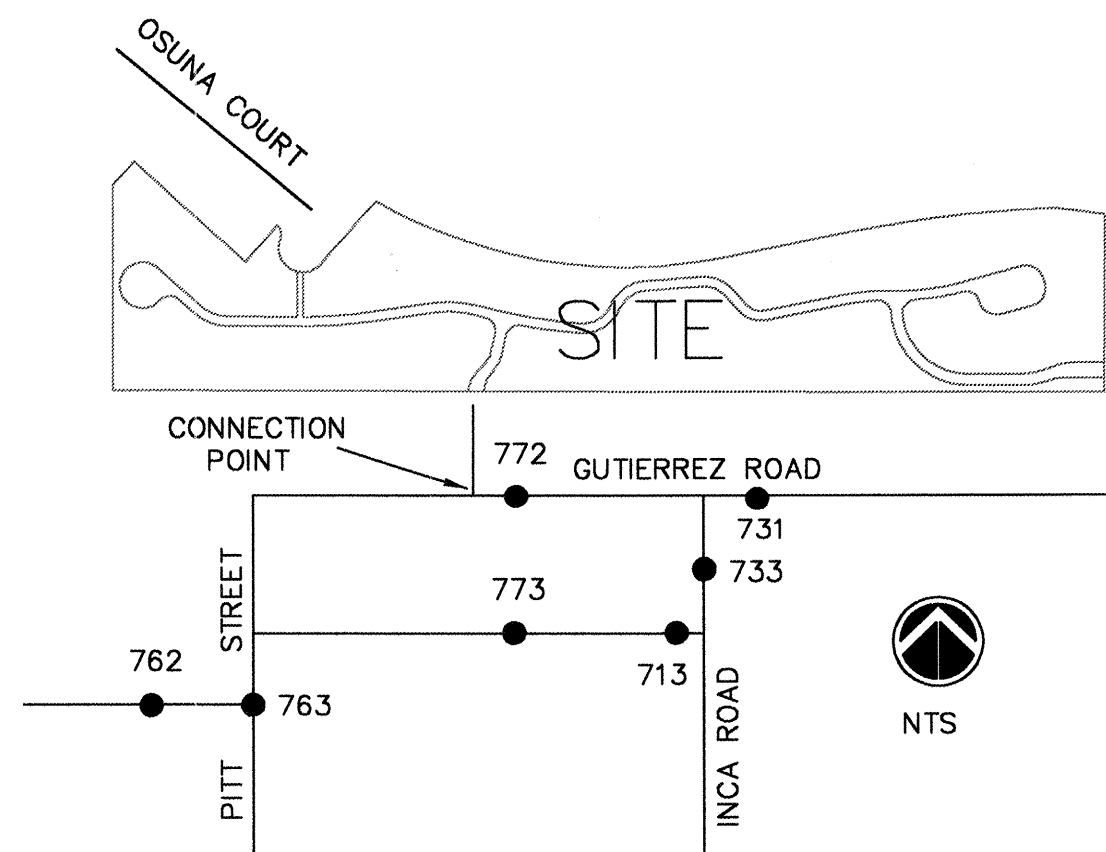
NOTE: REFERENCE DOUBLE D CONSTRUCTION GUIDELINES (DWG. 2206) FOR DIMENSIONS, WALL THICKNESS AND SUPPORT DETAILS ENTIRE LENGTH OF AREA DRAIN (37.4'). NO ENDWALLS ENTIRE WIDTH - CONTINUOUS CHANNEL. REFERENCE DWG. 2203 FOR DETAILS OF TYPE B CURB OPENINGS (ADJUST TO FIT DWG. 2206 DIMENSIONS).

PLAN VIEW



PROFILE VIEW

INSET A
AREA DRAIN CONFIGURATION
NTS



SHUT OFF VALVES 772, 763 AND 773 PRIOR TO CONNECTING NEW 10" TEE TO EXISTING 8" LINE IN GUTIERREZ ROAD.

WATER VALVE SHUT OFF PLAN

KEYED NOTES

- PROJECT BASIS OF BEARINGS IS SOUTH PROPERTY LINE (REFER TO PLAT).
- TEMPORARY BENCHMARK IS CENTER OF MANHOLE RIM (COA MH 722) LOCATED APPROXIMATELY 46 FT. SOUTH OF SOUTH PROPERTY LINE IN INCA ROAD NE. ELEVATION 5620.85. NOTE: CONTRACTOR TO RE-ESTABLISH CONSTRUCTION BENCHMARKS AS REQUIRED.
- STORM SEWER STATION 13+22.22 (END OF PIPE) IS LOCATED AT INCA ROAD NE CENTERLINE STA 11+56.81, L-14.98'. REFER TO PLAT AND PRIVATE STREET CONSTRUCTION PLANS FOR ADDITIONAL ALIGNMENT INFORMATION AND NEW STREET CONSTRUCTION DETAILS.
- LOCATE EXISTING 8" WATER LINE AND CONNECT NEW 10" WATER LINE AT NEW TEE. SEE COA STD. DWGS. 2301, 2315, 2325 AND 2333.
- LOCATE, CUT AND CAP EXISTING 6" WATER LINE. ABANDON EXISTING LINE IN PLACE. SEE COA STD. DWG. 2301. NOTE: RETURN EXISTING 6" GATE VALVE 771 TO CITY WATER DEPARTMENT.
- PROVIDE SERVICE LATERALS FROM NEW 10" WATER LINE TO EXISTING FIRE HYDRANT AND WATER METERS AS SHOWN. SEE COA STD. DWGS. 2315, 2340 AND 2361.
- SAWCUT, REMOVE AND REPLACE 1620 SF RESIDENTIAL PAVEMENT AND 32 LF CONCRETE CURB/GUTTER. SEE COA STD. DWGS. 2415 AND 2465.
- CONSTRUCT AREA DRAIN ACROSS NEW STREET AT INCA ROAD STA 11+59.5 RADIAL TO STREET CENTERLINE. REFER TO INSET A, THIS SHEET, AND INCA PRIVATE ROAD PLANS. SEE COA STD. DWGS. 2203 AND 2206. PROVIDE 30" CLASS 3 RCP DISCHARGE PIPE FROM NORTH END OF EAST INLET.
- INSTALL 6"-DIA. TYPE E MANHOLE AT STA 10+24.2. SEE COA STD. DWG. 2102. NOTE: MANHOLE LID TO BE BOLTED IN PLACE.
- CONNECT NEW 30" STORM DRAIN TO EXISTING BEAR ARROYO DRAINAGE CHANNEL AT STA 10+00±. INVERT AT CONNECTION POINT IS 5591.7± AND SHALL BE FIELD ADJUSTED TO 2.5' ABOVE CHANNEL BOTTOM. SEE CONNECTION DETAIL, SHEET 6.
- PUBLIC WATER IMPROVEMENTS END AT PROPERTY LINE.
- SEE PRIVATE STREET/UTILITY PLANS FOR INFORMATION ON CONSTRUCTION WITHIN NEW DEVELOPMENT.

AS-BUILT INFORMATION				BENCH MARKS				SURVEY INFORMATION				ENGINEER'S SEAL			
CONTRACTOR	DATE	BY	DATE	MARK	DATE	BY	DATE	DATE	BY	DATE	BY	DATE	BY	DATE	BY
SANDACE	5/00	BY	5/00	CITY OF ALBUQUERQUE	12-F21	BY	12-F21								
STATIONED	DATE	BY	DATE	POWER POLE	DATE	BY	DATE								
INVESTIGATED	DATE	BY	DATE	LINE	DATE	BY	DATE								
FIELD	DATE	BY	DATE	ALONG THE SOUTH BOUNDARY OF THE ELENA	DATE	BY	DATE								
ADJUSTED	DATE	BY	DATE	GALLEGO'S GRANT, 0.4 MILES EAST OF EUBANK BLVD.	DATE	BY	DATE								
CORRECTED	DATE	BY	DATE	ELEVATION: 5640.67	DATE	BY	DATE								
RECORDED	DATE	BY	DATE		DATE	BY	DATE								
NO															



C.L. WEISS ENGINEERING, INC.

POST OFFICE BOX 97 SANDIA PARK, N.M. 87047 - (505) 281-1800
100 ALVARADO DR. NE ALBUQUERQUE, N.M. 87102 - (505) 266-3444

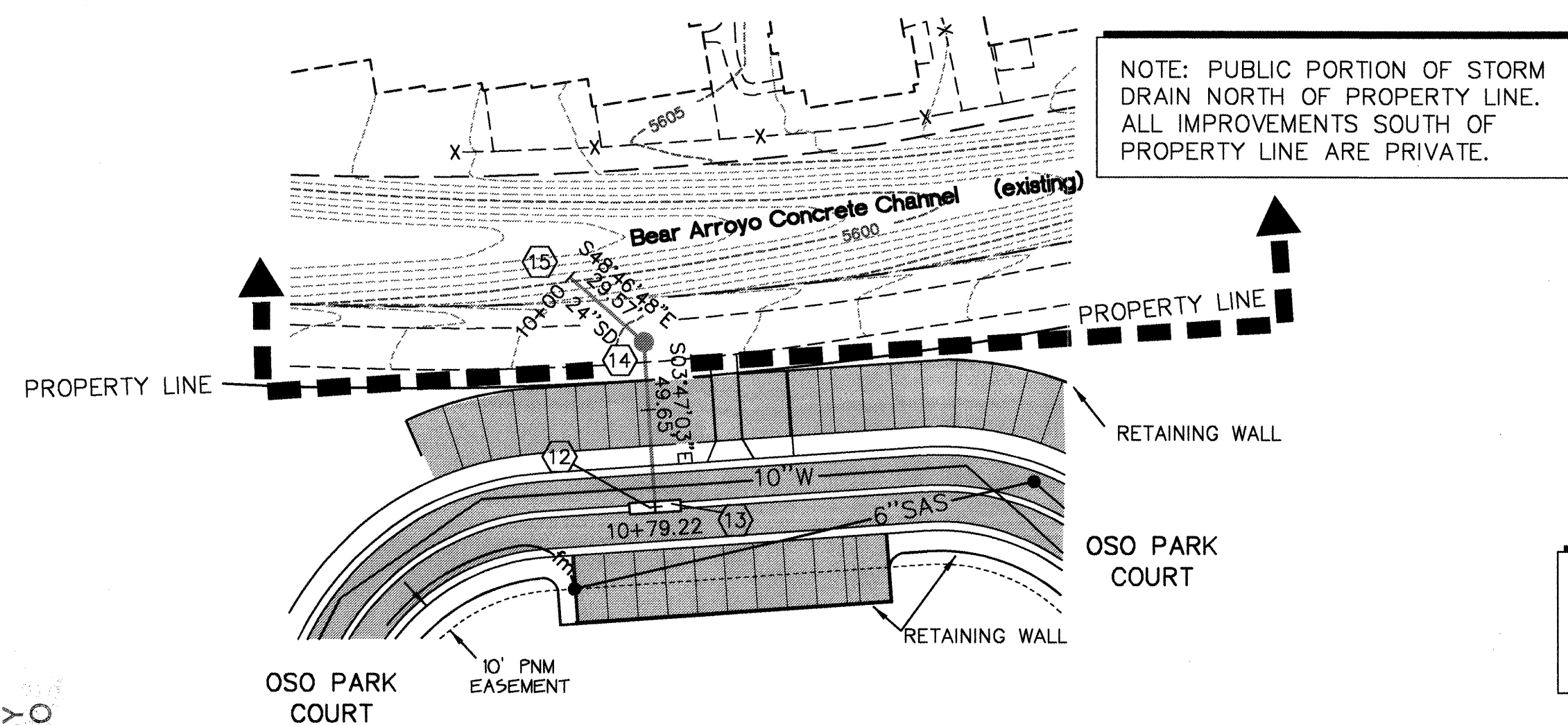
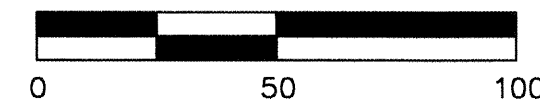
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **OSO PARK CONDOMINIUMS
INCA ROAD NE IMPROVEMENTS**

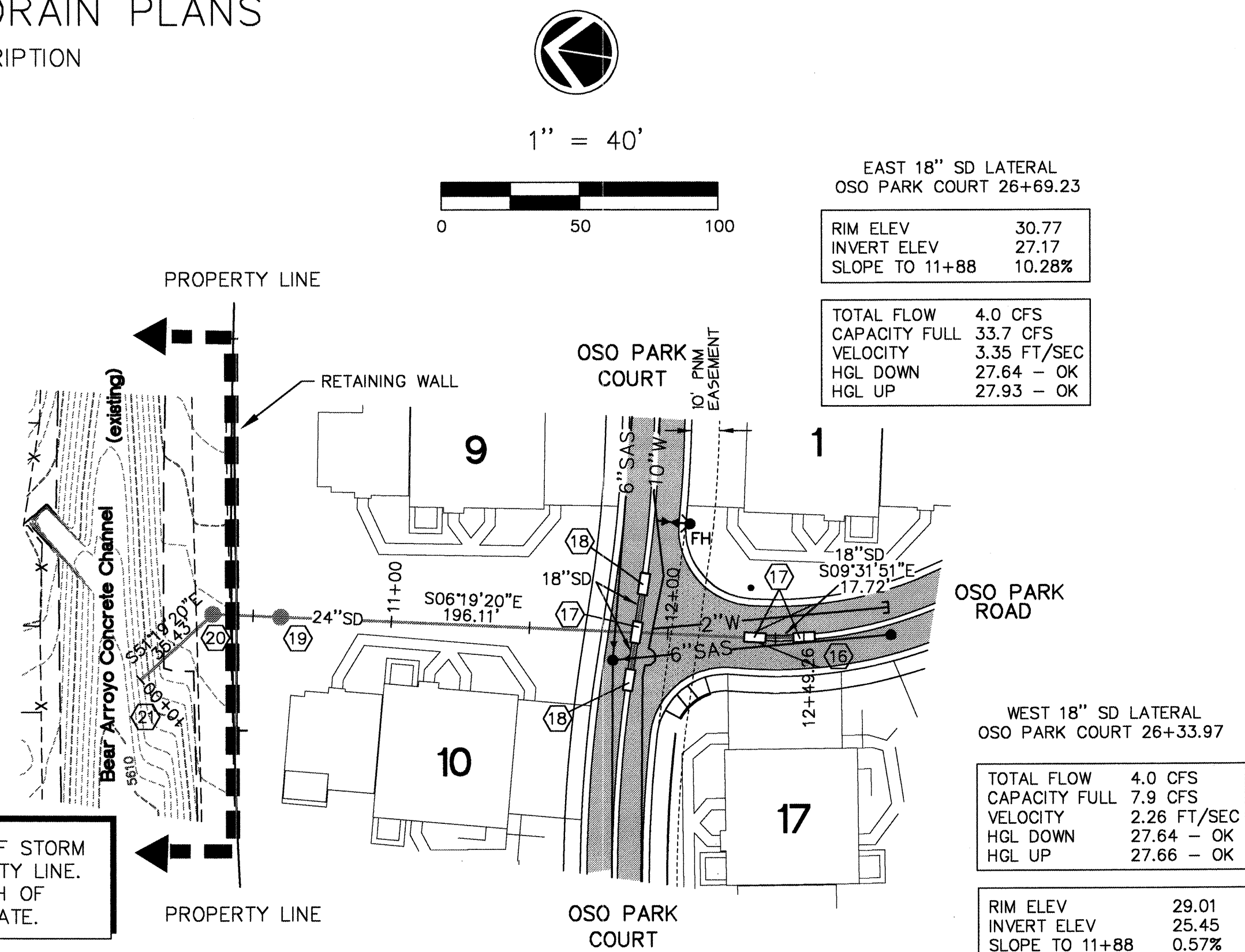
Design/Review Committee	City Engineer Approval	Month / Day / Year	Month / Day / Year
APPROVED MAY 10 2000 DESIGN REVIEW COMMITTEE	APPROVED MAY 22 2000 CITY ENGINEER		

City Project No.	Zone Map No.	Sheet	Of
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REFER TO PLAT FOR PROPERTY DESCRIPTION

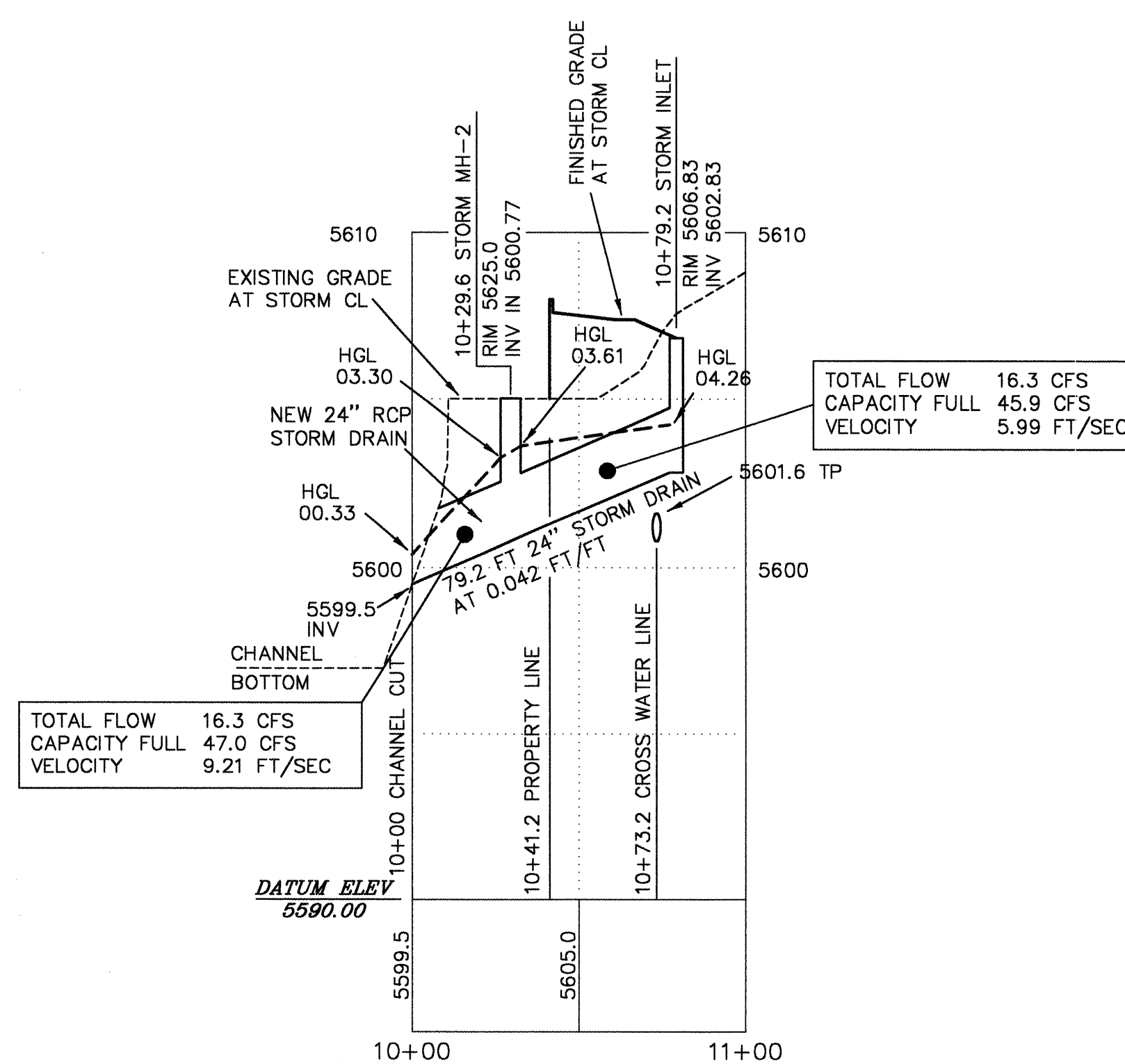


NOTE: PUBLIC PORTION OF STORM
DRAIN NORTH OF PROPERTY LINE.
ALL IMPROVEMENTS SOUTH OF
PROPERTY LINE ARE PRIVATE.

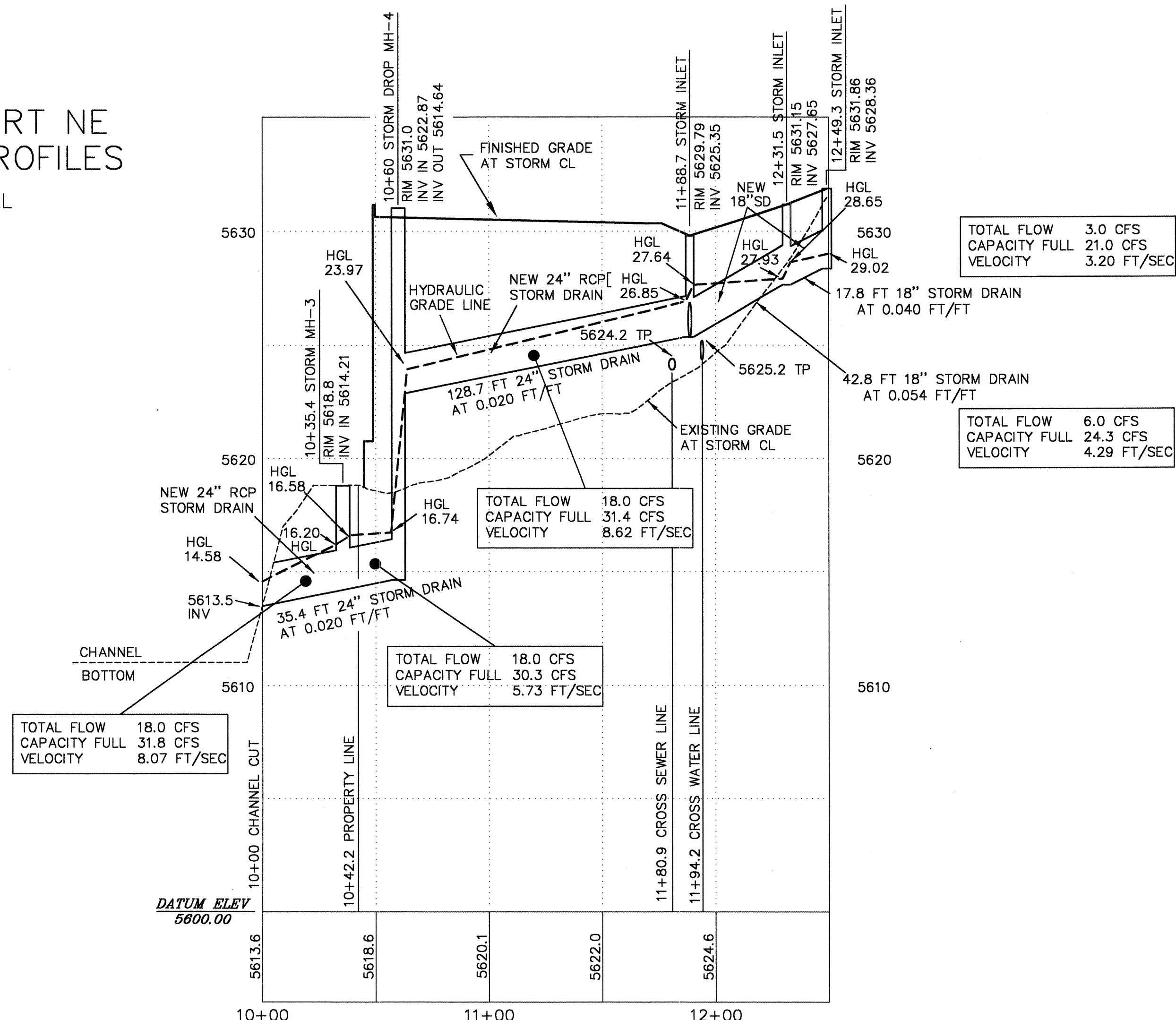


NOTE: PUBLIC PORTION OF STORM
DRAIN NORTH OF PROPERTY LINE.
ALL IMPROVEMENTS SOUTH OF
PROPERTY LINE ARE PRIVATE.

1" = 40' HORIZONTAL
1" = 4' VERTICAL



STORM SEWER STATIONING

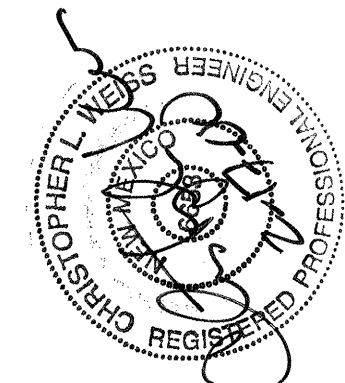


STORM SEWER STATIONING

- 12 STORM SEWER STA 10+79.22 IS LOCATED AT OSO PARK COURT STA 21+36.20. REFER TO PRIVATE PLANS SHEET C-5.
- 13 CONSTRUCT 2"-DOUBLE D DROP INLETS AT STA 10+79.2 WITH 24" DIA CLASS 3 RCP DISCHARGE LINE FROM NORTH SIDE. REFER TO COA STD. DWG. 2206.
- 14 INSTALL 6"-DIA. TYPE E MANHOLE AT STA 10+29.6. SEE COA STD. DWG. 2102.
- 15 CONNECT NEW 24" STORM DRAIN TO EXISTING BEAR ARROYO DRAINAGE CHANNEL AT STA 10+00±. INVERT AT CONNECTION POINT IS 5599.5± AND SHALL BE FIELD ADJUSTED TO 2.5' ABOVE CHANNEL BOTTOM. SEE CONNECTION DETAIL, SHEET 6.
- 16 STORM SEWER STA 12+49.26 IS LOCATED AT OSO PARK ROAD STA 10+60.33. REFER TO PRIVATE PLANS SHEET C-7.
- 17 CONSTRUCT DOUBLE D STYLE DROP INLETS WITH NEE-NAH R-3382 FRAMES AND GRATES AT STAS 11+88.72, 12+31.54 AND 12+49.26. PROVIDE 18" DIA. CLASS 3 RCP DISCHARGE PIPES CONNECTING 12+49 AND 12+31 TO 11+88. PROVIDE 24" DIA. CLASS 3 RCP DISCHARGE PIPE NORTH OUT OF 11+88. SEE COA STD. DWG. 2206 FOR CONSTRUCTION GUIDELINES FOR DROP INLET BOXES.
- 18 CONSTRUCT DOUBLE D STYLE DROP INLETS WITH NEE-NAH R-3382 FRAMES AND GRATES AT OSO PARK COURT STAS 26+33.97 AND 26+69.23. PROVIDE 18" DIA. CLASS 3 RCP DISCHARGE PIPES CONNECTING TO STORM STA 11+88. SEE COA STD. DWG. 2206 FOR CONSTRUCTION GUIDELINES FOR DROP INLET BOXES.
- 19 CONSTRUCT 6"-DIA. TYPE E DROP MANHOLE AT STA 10+60. SEE COA STD. DWG. 2102.
- 20 INSTALL 6"-DIA. TYPE E MANHOLE AT STA 10+35.4. SEE COA STD. DWG. 2102.
- 21 CONNECT NEW 24" STORM DRAIN TO EXISTING BEAR ARROYO DRAINAGE CHANNEL AT STA 10+00±. INVERT AT CONNECTION POINT IS 5613.5± AND SHALL FIELD BE ADJUSTED TO 2.5' ABOVE CHANNEL BOTTOM. SEE CONNECTION DETAIL, SHEET 6.

SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
FIELD NOTES	BY	DATE		CONTRACTOR	
				WORK STARTED BY <u>SUNDANCE</u>	DATE <u>5/09</u>
				ACCEPTANCE BY <u>ROBERTA</u>	DATE <u>3-01</u>
				FIELD CATCHER BY <u>ROBERTA</u>	DATE <u>3-01</u>
				DRAWINGS CORRECTED BY <u>ROBERTA</u>	DATE <u>3-01</u>
				MICRO-FILM INFORMATION	
				RECORDED BY	DATE
				NO.	

ENGINEER'S SEAL

[illegible]

C.L.WEISS ENGINEERING, INC.

POST OFFICE BOX 97 SANDIA PARK, N.M. 87047 - (505) 281-1800
1100 ALVARADO DR. NE ALBUQUERQUE, N.M. 87110 - (505) 266-3444

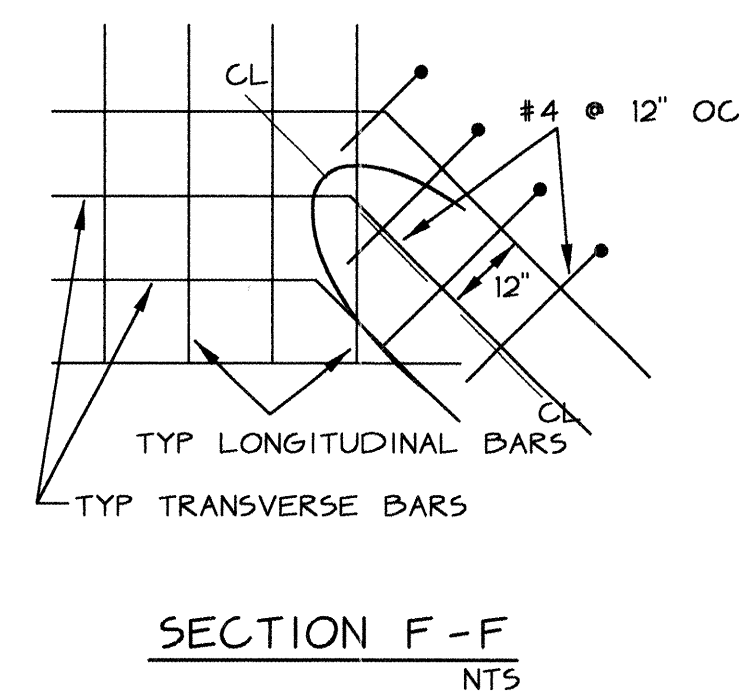
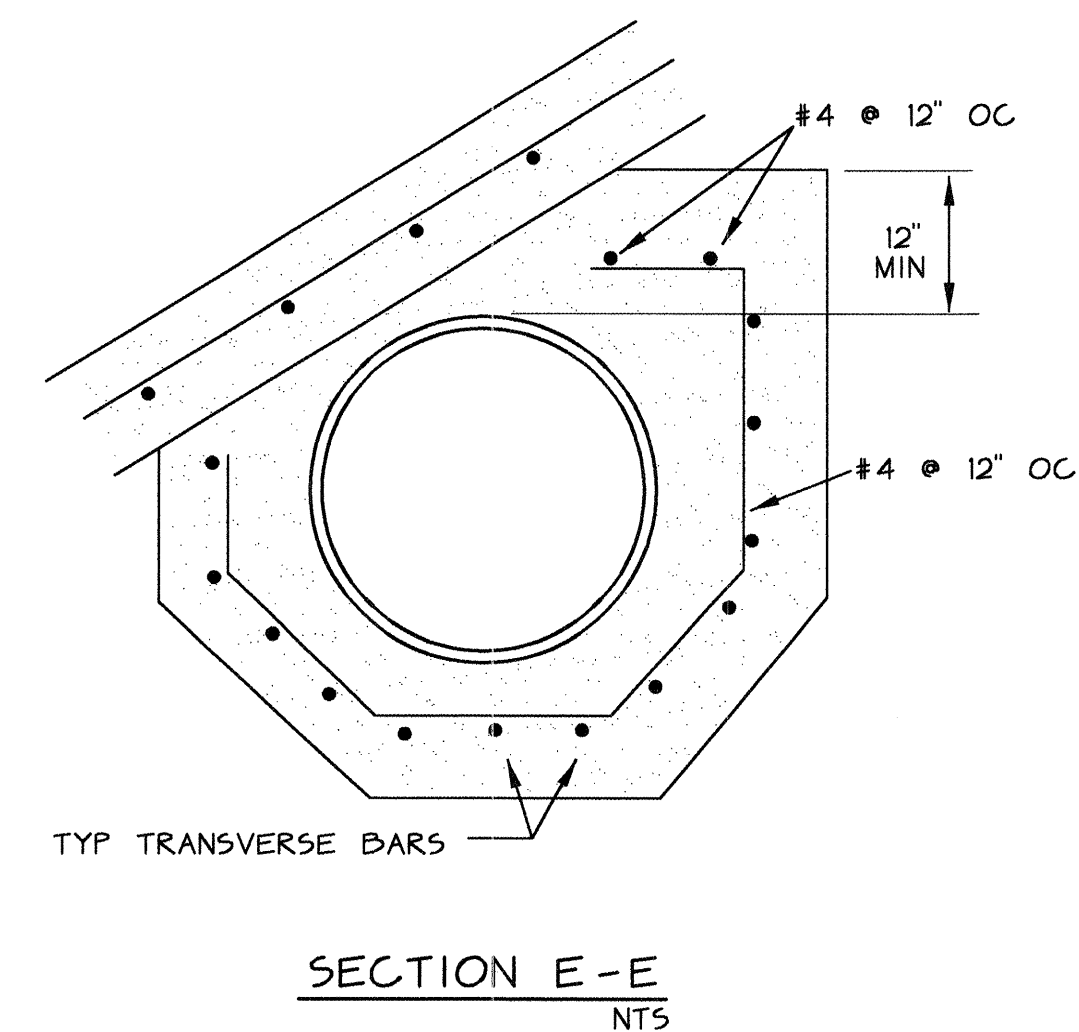
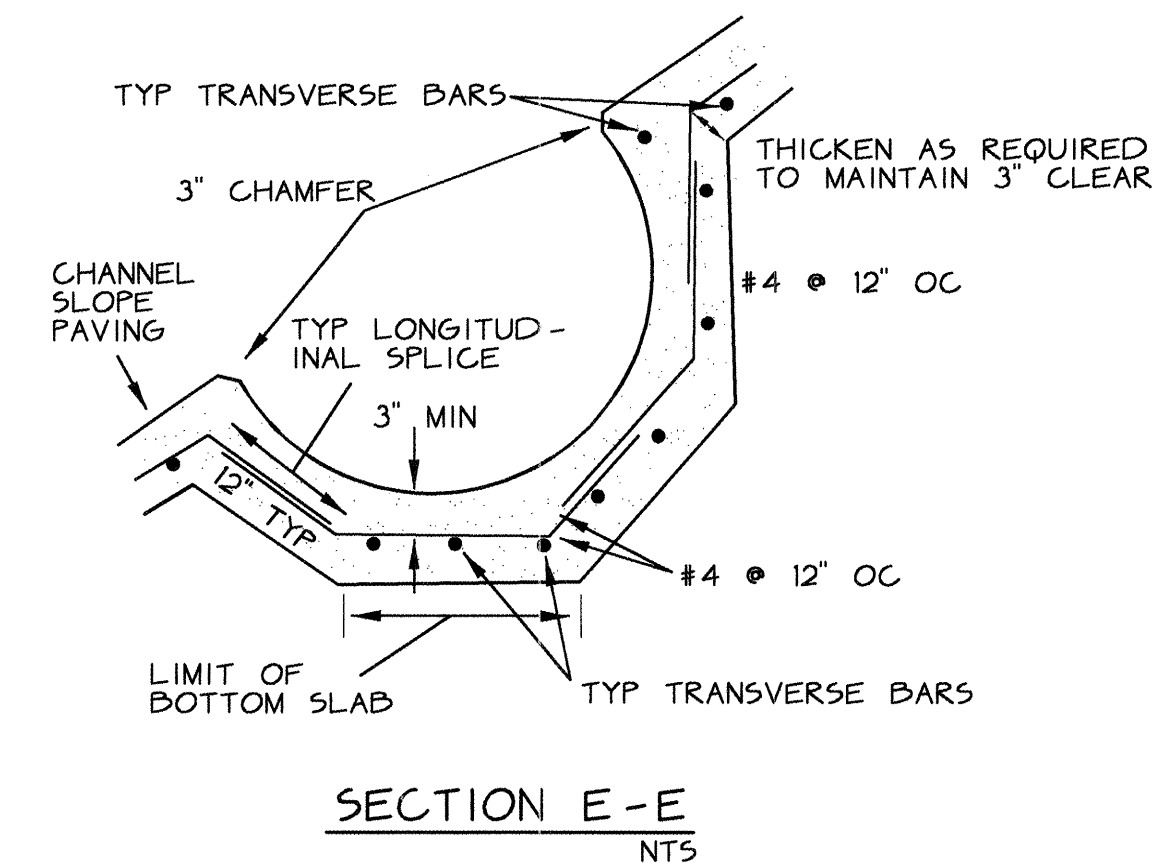
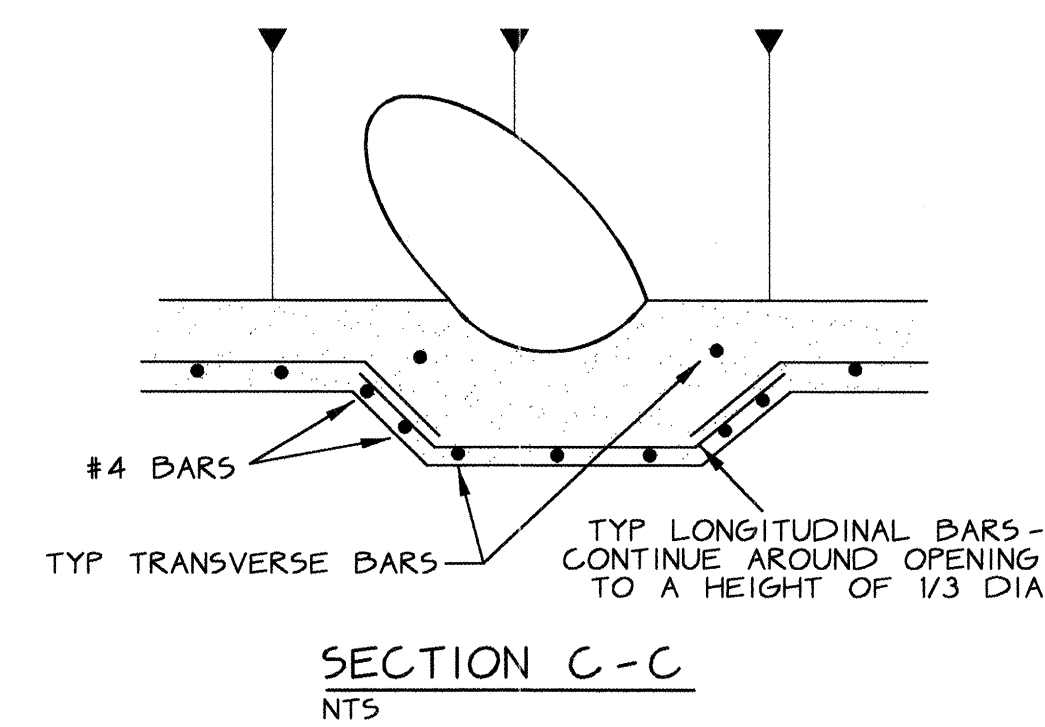
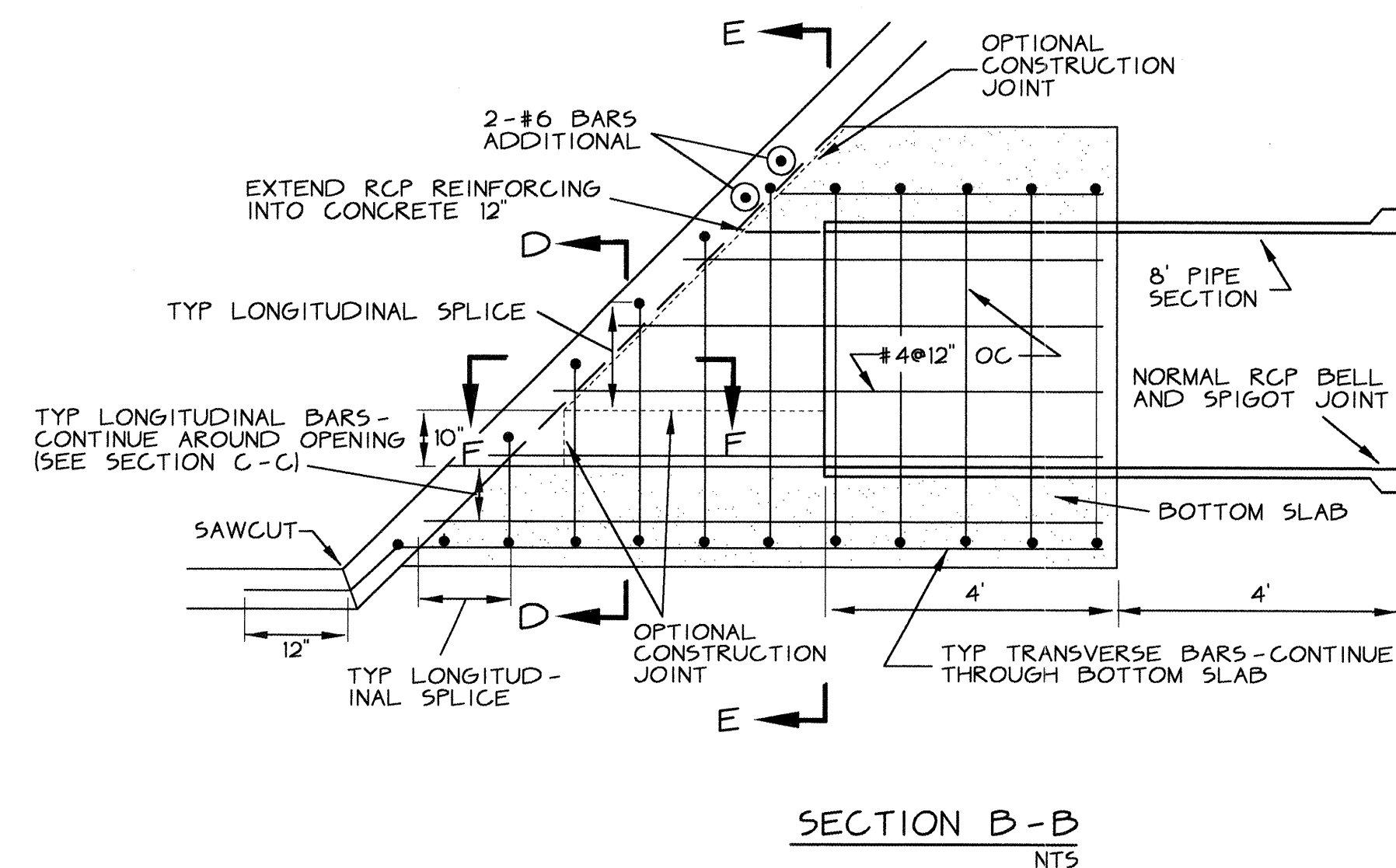
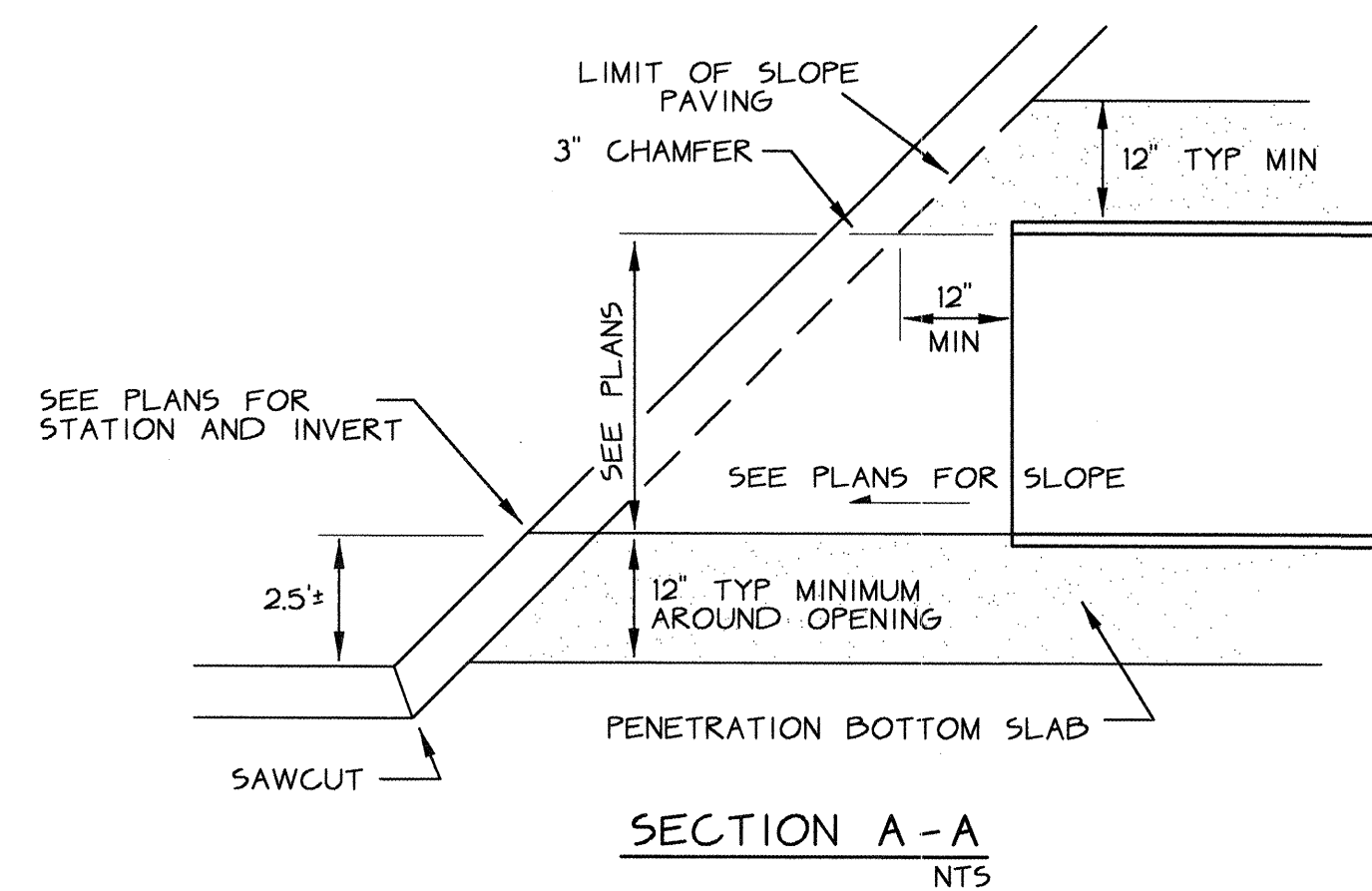
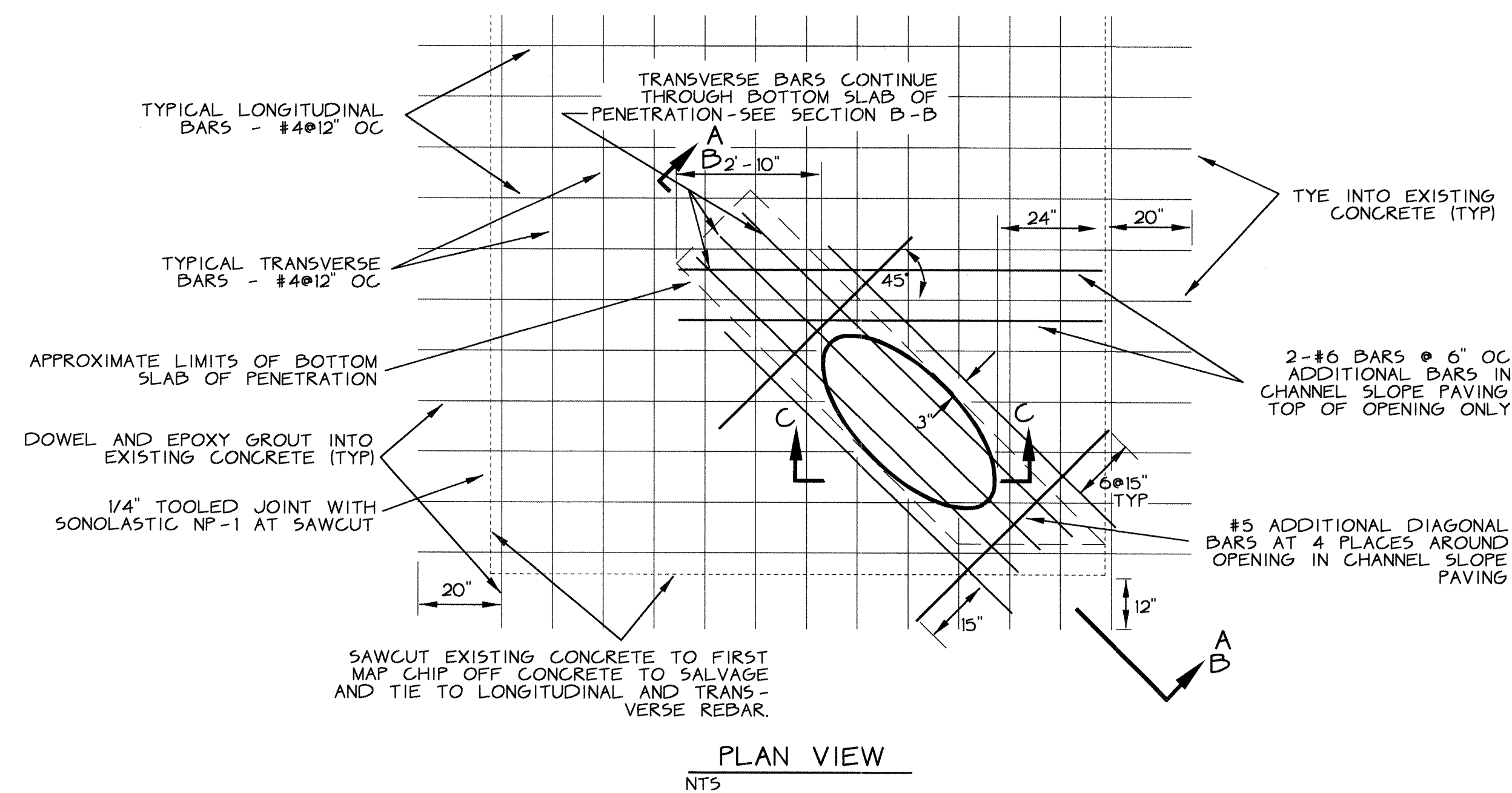
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **OSO PARK CONDOMINIUMS**
OSO PARK COURT STORM SEWER PLAN/PROFILES

[illegible]

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CHANNEL CONNECTION DETAILS - 45° PENETRATION

CHANNEL CONNECTION DETAILS PROVIDED BY CITY
OF ALBUQUERQUE AND SHOWN FOR INFORMATION ONLY

KEYED NOTES

[illegible]

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **OSO PARK CONDOMINIUMS
CHANNEL CONNECTION DETAILS**

Design Review Committee

MAY 10 2000

DESIGN
REVIEW COMMITTEE

City Engineer Approval

MAY 22 2000

CITY ENGINEER

Month / Day / Year

City Project No.

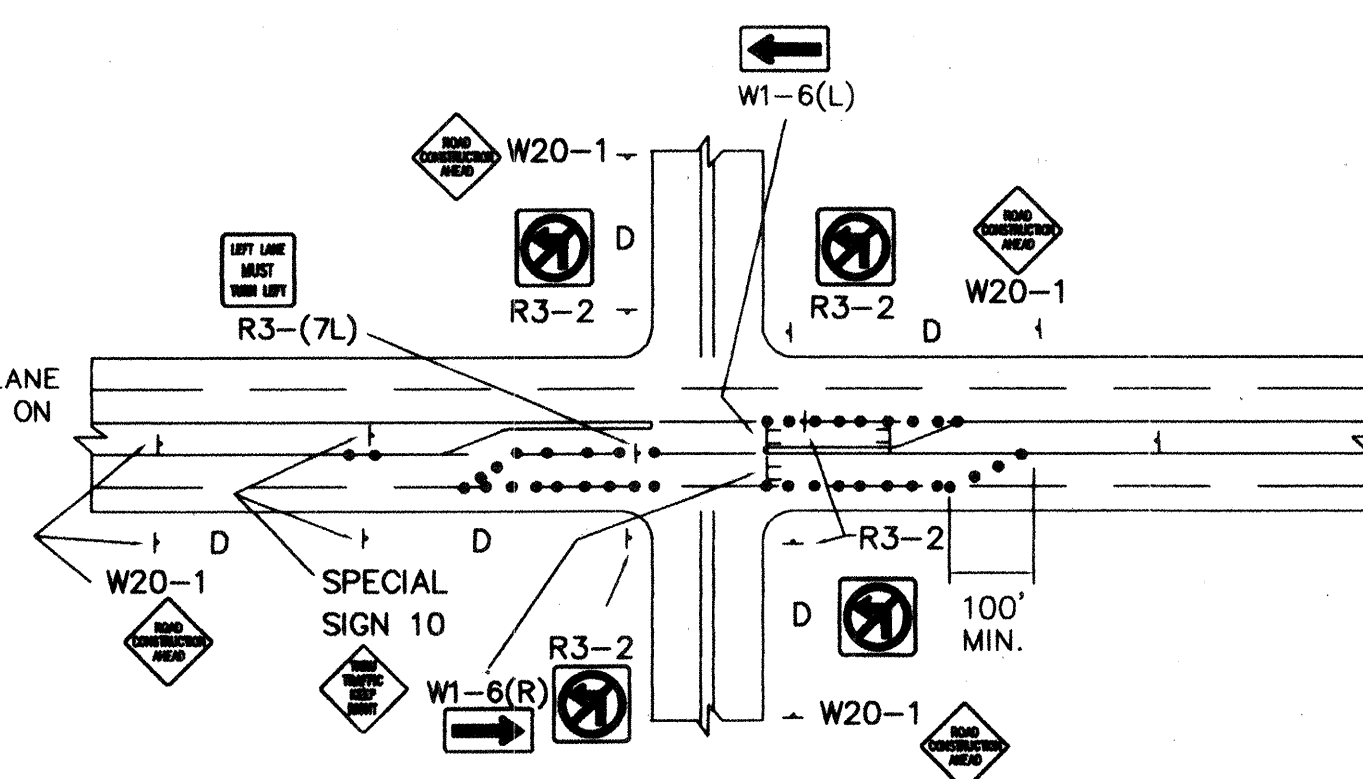
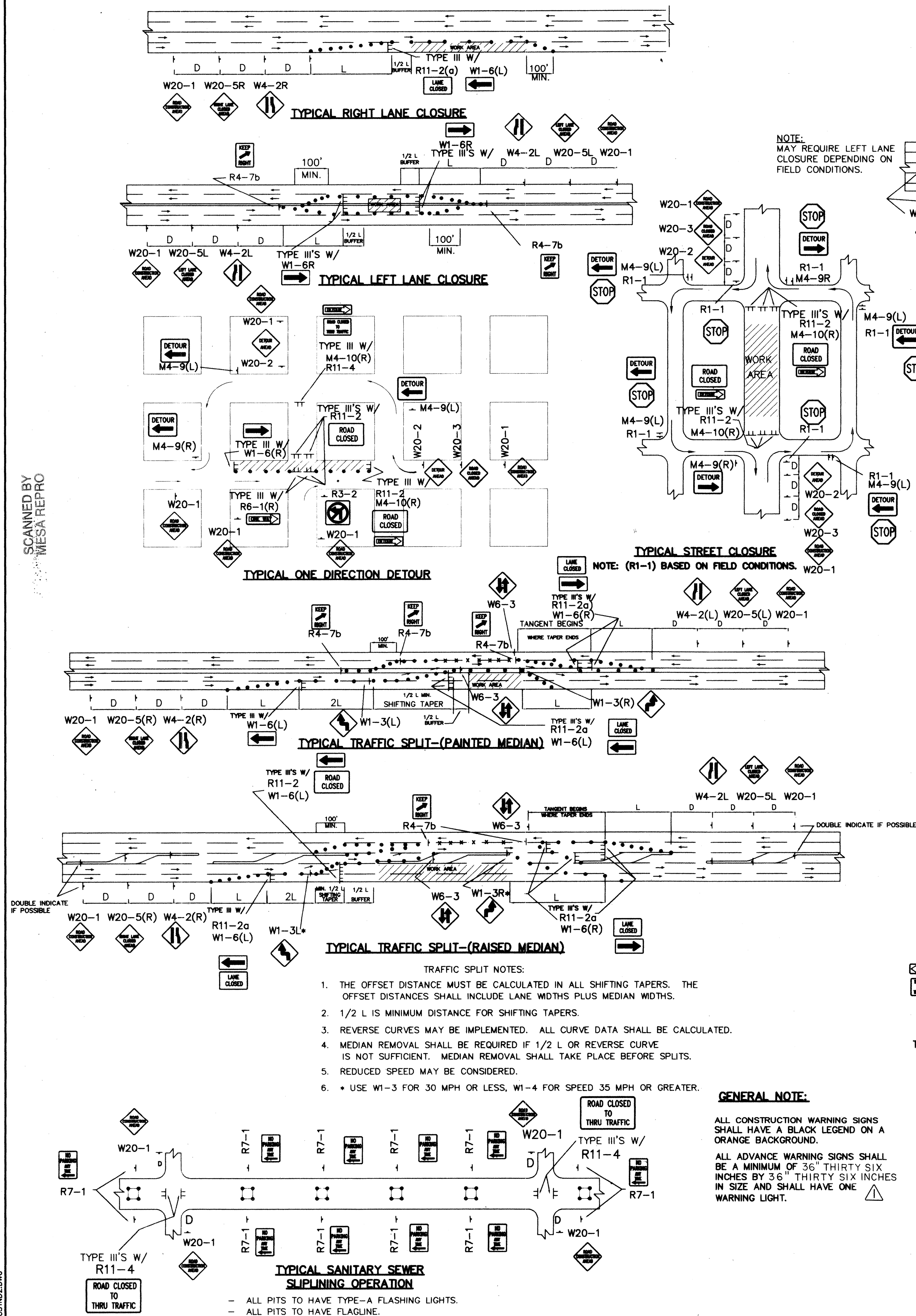
632981

Zone Map No.	
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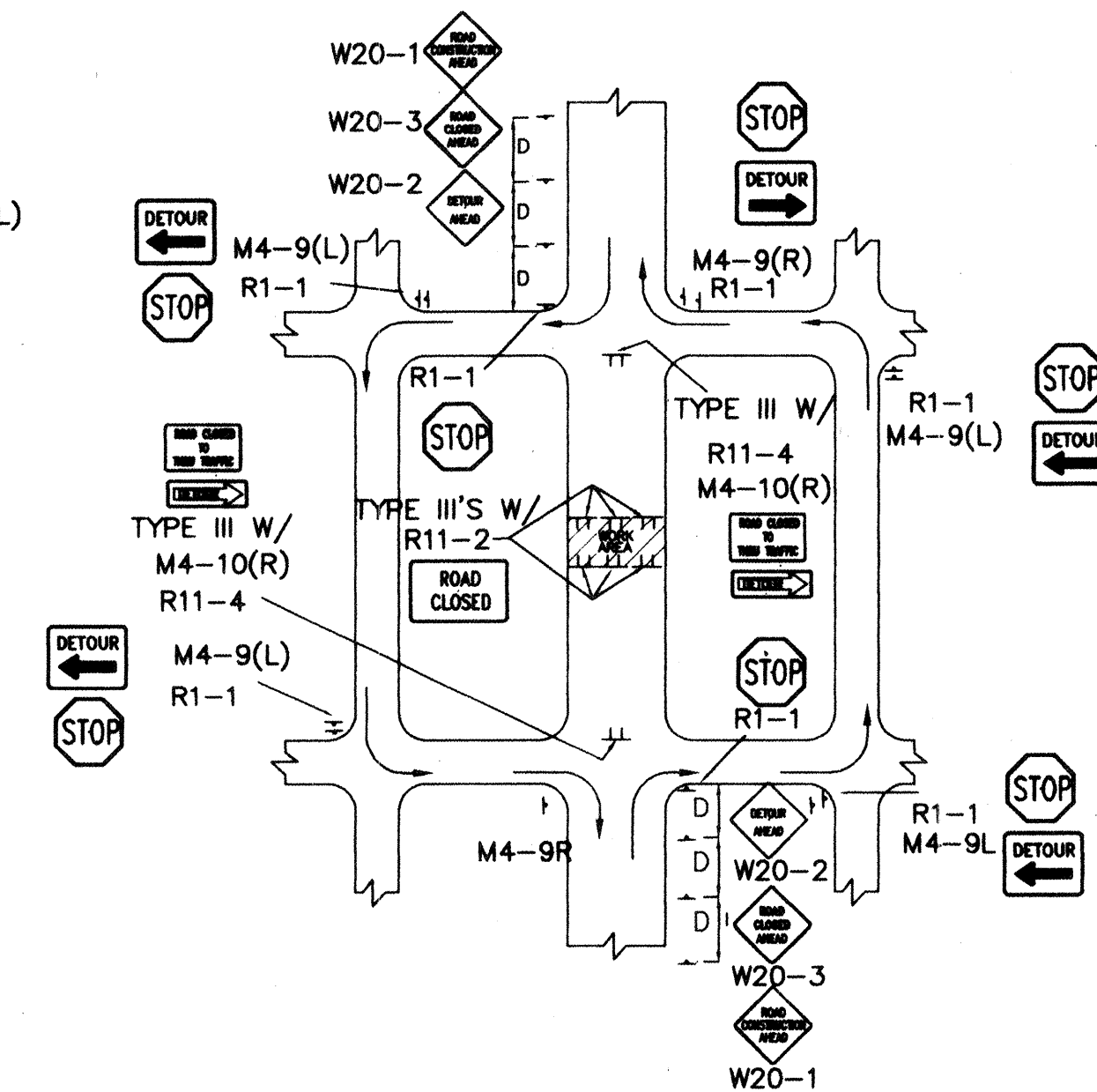
F-21

Sheet

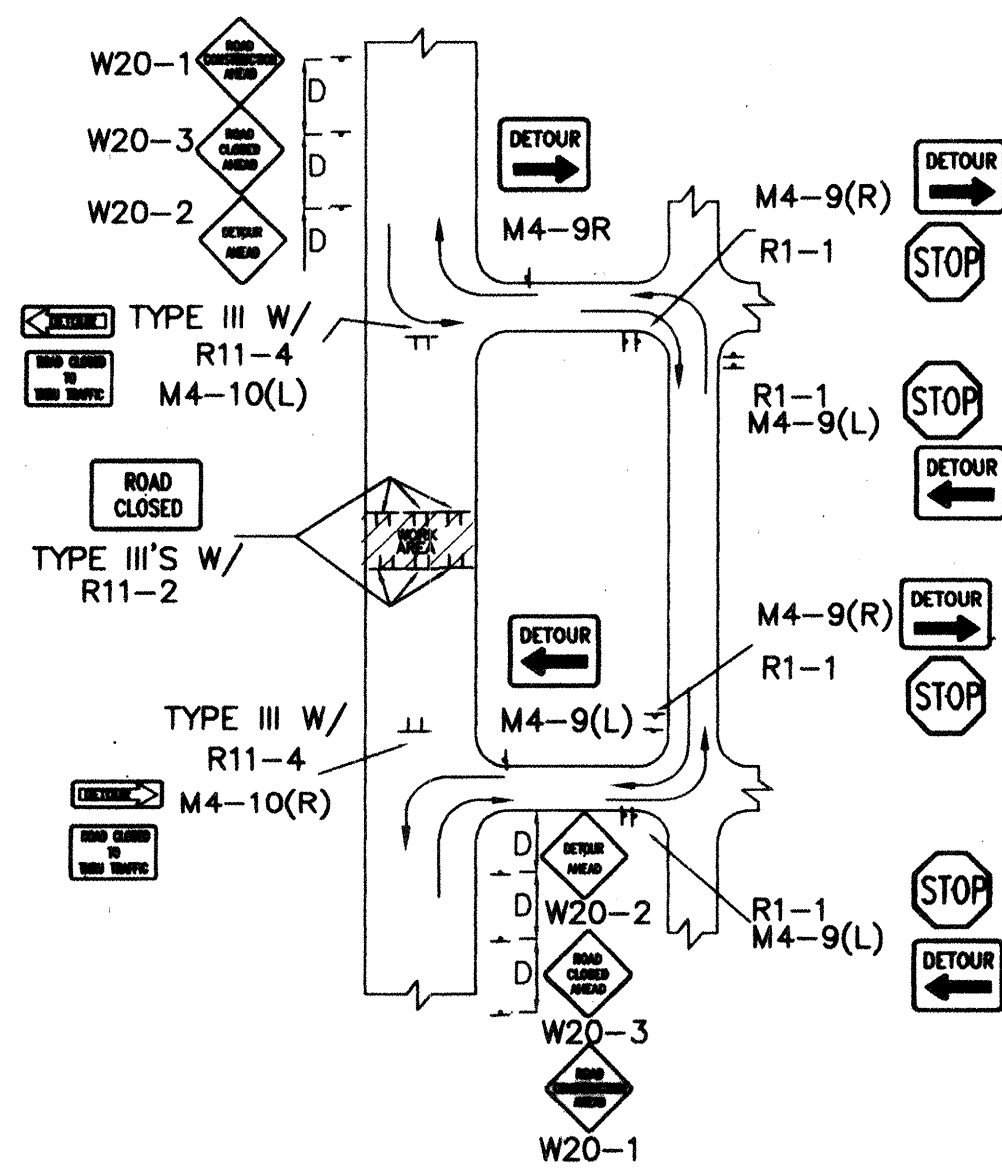
6 Of 8



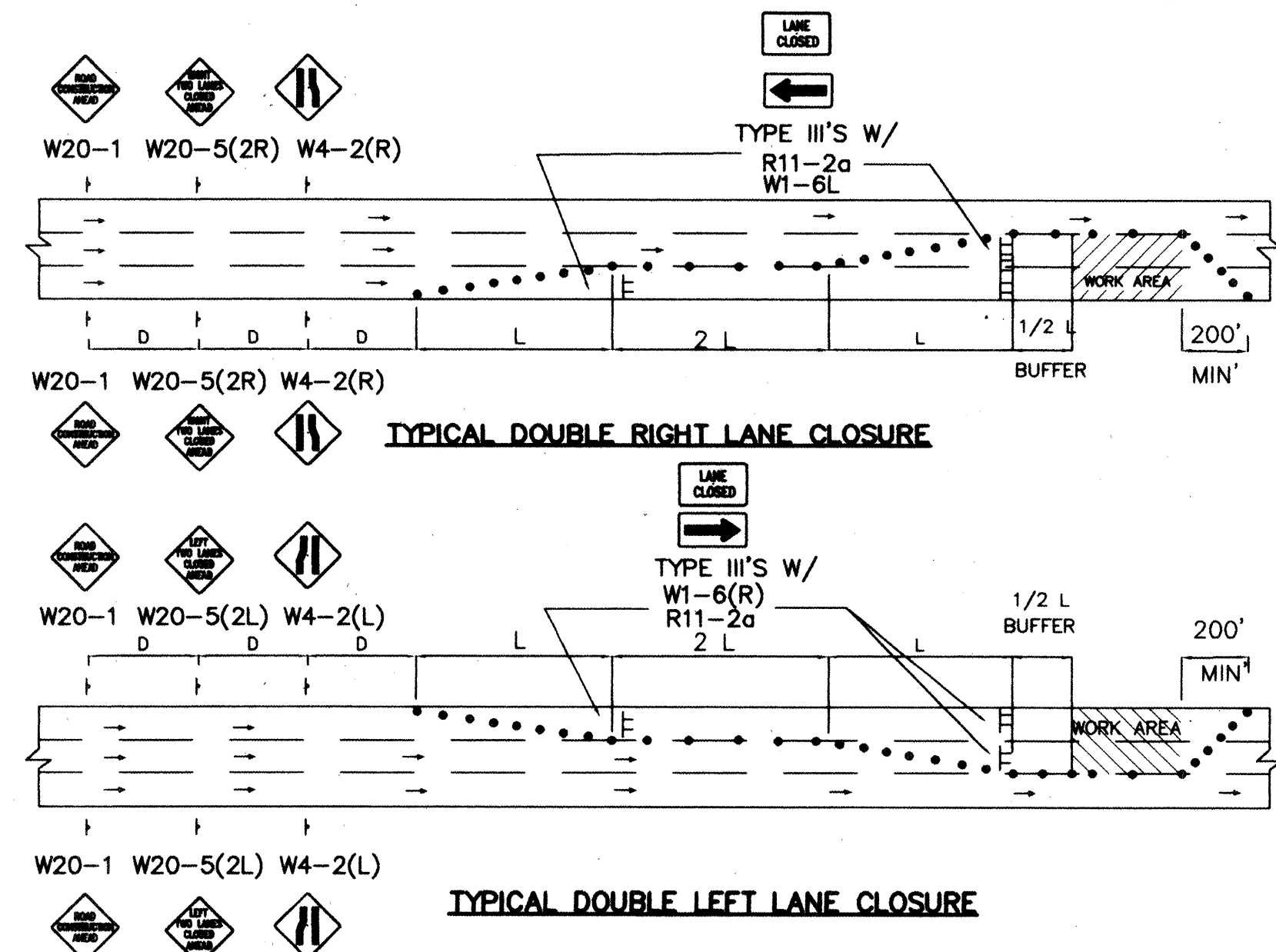
TYPICAL LANE CLOSURE AT INTERSECTION
NOTE: DEPENDING ON WORK ZONE LOCATION



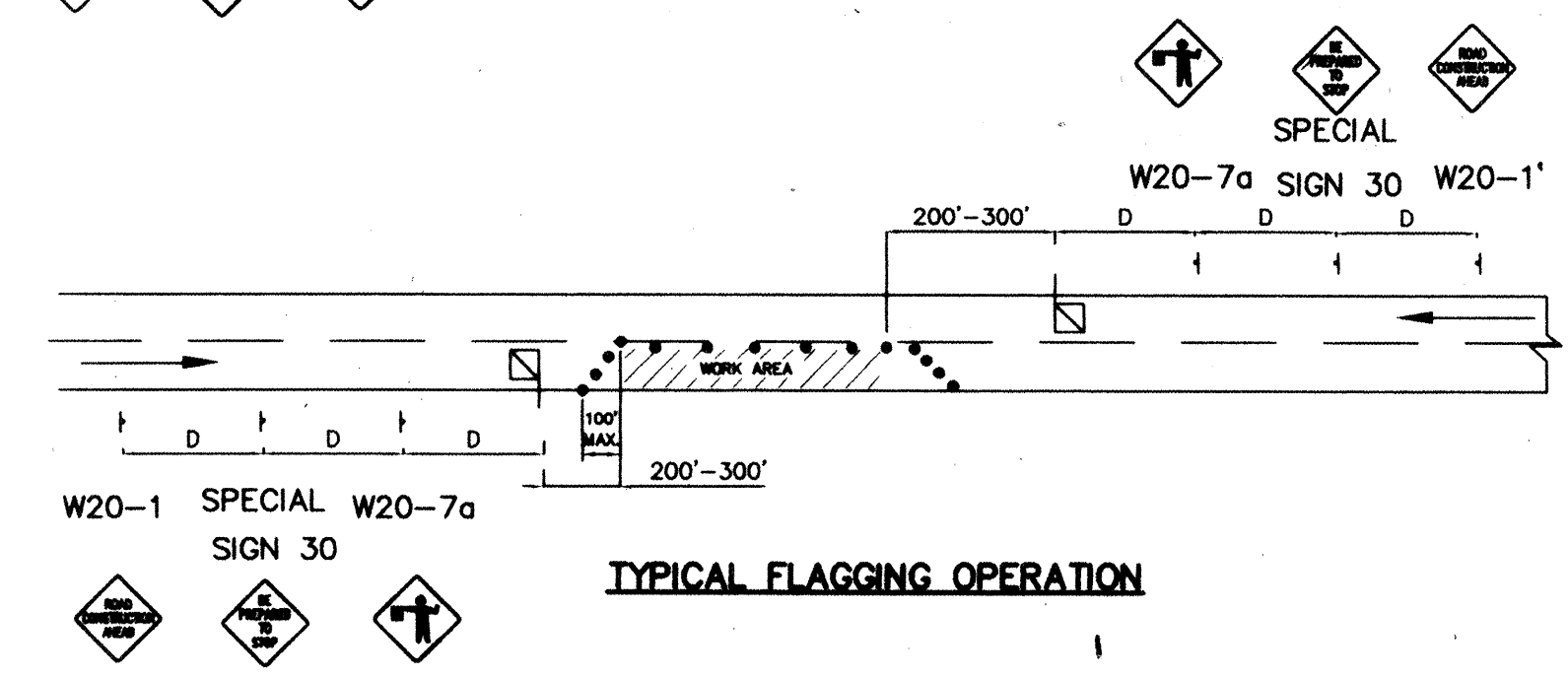
TYPICAL MID-BLOCK CLOSURE
NOTE: (R1-1) BASED ON FIELD CONDITIONS.



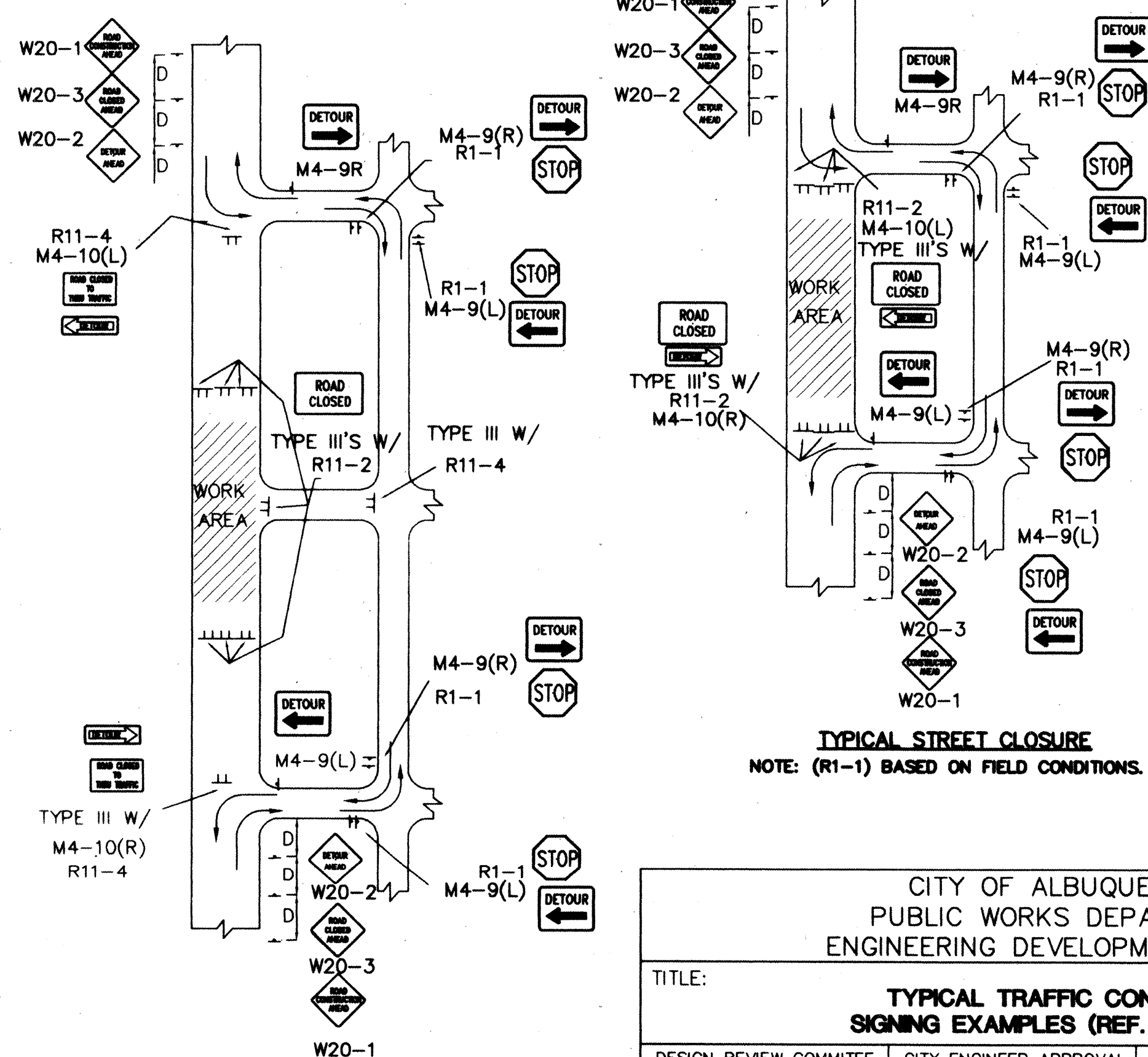
TYPICAL STREET CLOSURE
NOTE: (R1-1) BASED ON FIELD CONDITIONS



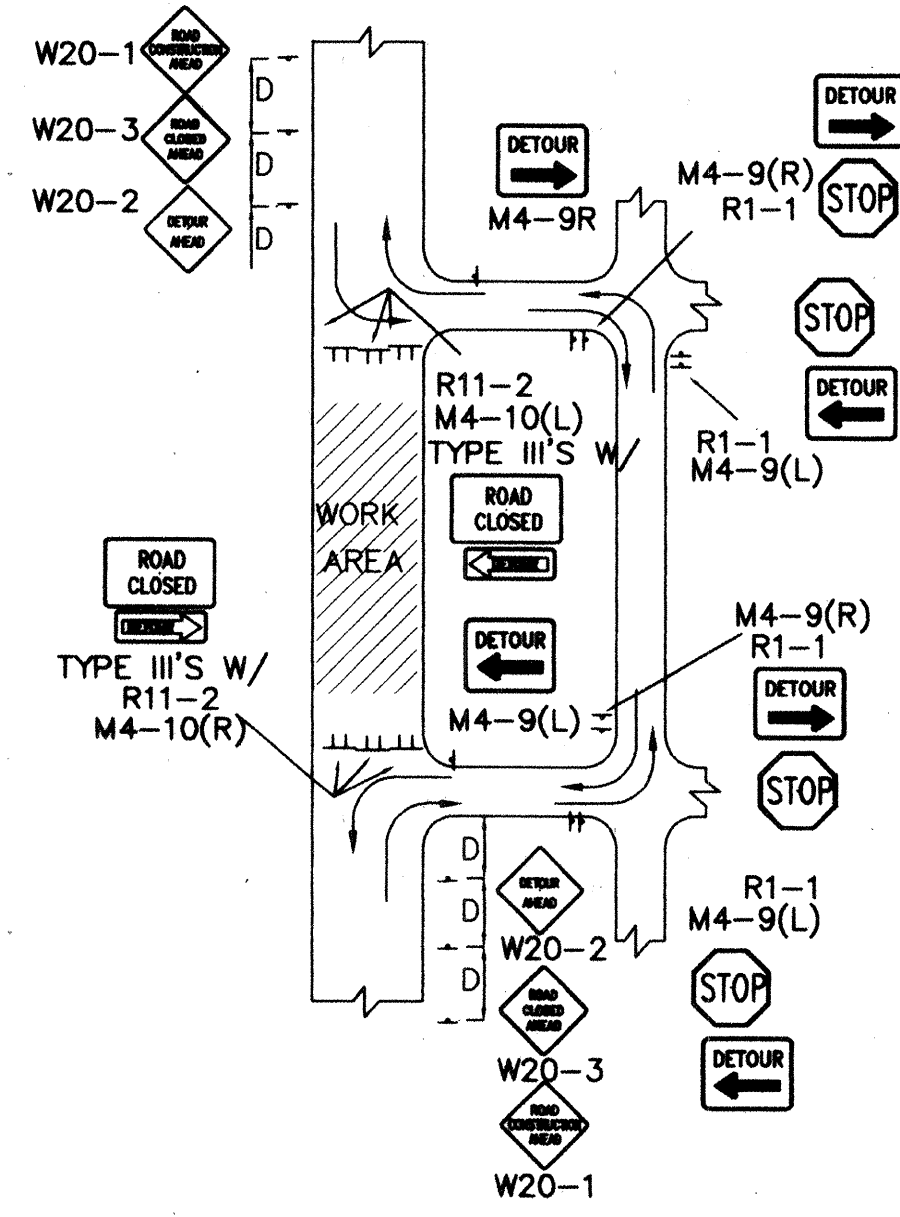
TYPICAL DOUBLE LEFT LANE CLOSURE



TYPICAL FLAGGING OPERATION



TYPICAL STREET CLOSURE
NOTE: (R1-1) BASED ON FIELD CONDITIONS.

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