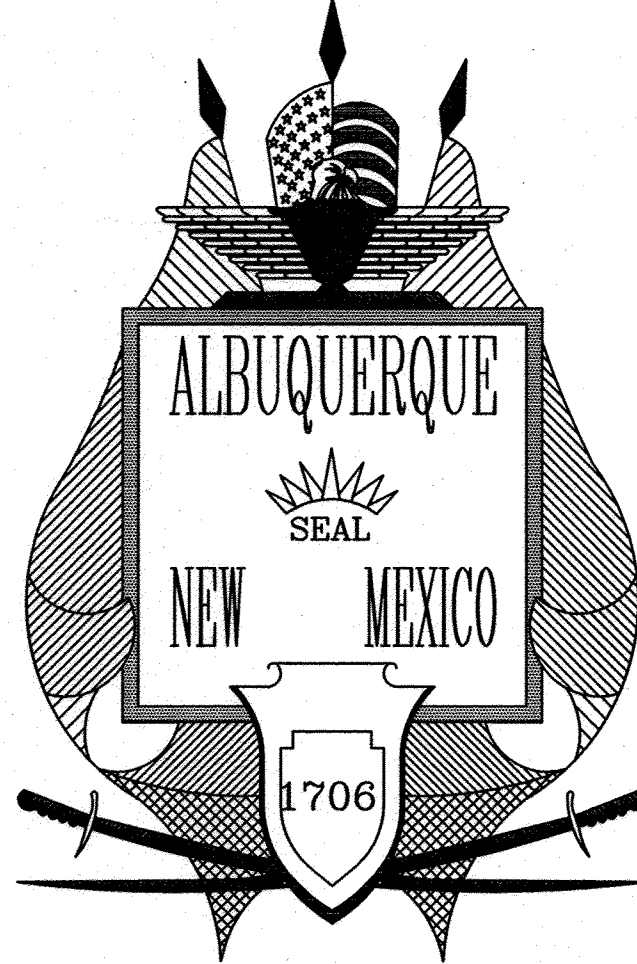


GENERAL NOTES:

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986 EDITION WITH UPDATE NO. 8.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE & VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, INC. @ 260-1990 FOR LOCATION OF EXISTING UTILITIES.
5. CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS, AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY, AND TO PROTECT THEM FROM DAMAGE, INJURY, OR LOSS. CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR SHALL ADHERE TO SECTION 19 OF THE GENERAL CONDITIONS OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, AS AMENDED WITH UPDATE NO. 8.
6. THE CONTRACTOR AGREES THAT HE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER & ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
7. TRAFFIC CONTROL: SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. SEE SECTION 19 OF THE SPECIFICATIONS. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR TO LOCATION AS EXISTING OR AS SHOWN IN THIS PLAN SET.
8. WHEN ABUTTING EXISTING PAVEMENT TO NEW, SAWCUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE FIELD ENGINEER. REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED. CUTS SHALL BE ORTHOGONAL TO TRAFFIC DIRECTION.
9. EXISTING CURB AND GUTTER NOT TO BE REMOVED UNDER THE CONTRACT WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
10. ALL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM 95% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2465.
11. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
12. ALL SANITARY SEWER LINE STATIONING REFERS TO CENTERLINE STATIONING.
13. ALL FITTINGS ON WATERLINES SHALL HAVE RESTRAINED JOINTS AS NOTED ON THE PLANS.
14. CONTRACTOR SHALL SUPPORT ALL EXISTING, UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND/OR SEWERLINE COSTS.
15. CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF RECORD DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
16. THE CONTRACTOR SHALL NOTIFY THE CITY SURVEYOR NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
17. PNM WILL PROVIDE AT NO COST TO THE CITY OR THE CONTRACTOR THE REQUIRED PERSONNEL FOR INSPECTION OBSERVATION DEEMED NECESSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
18. WARNING--EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES, IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.
19. ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES 24 HR. CONSTRUCTION.
20. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650 SUBPART P.
21. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
22. ROP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATIONS. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF PIPE. ROP JOINTS SHALL NOT BE GROUDED UNLESS DIRECTED BY THE ENGINEER AFTER CITY APPROVAL.
23. AN SO 19 PERMIT IS REQUIRED TO PLACE ANY MATERIAL ON OR AROUND A STORM DRAIN INLET IN THE CITY RIGHT-OF-WAY THAT WOULD INTERFERE WITH THE INLET RECEIVING STORM WATER PER THE ENGINEER'S DESIGN. CITY PERSONNEL MAY REMOVE THIS MATERIAL AT ANY TIME WITHOUT NOTICE. THE PREFERRED BMP IS TO REMOVE SEDIMENT/POLLUTANTS ON THE PROPERTY WHERE CONSTRUCTION ACTIVITY IS OCCURRING.
24. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING & MAINTAINING ALL CONSTRUCTION SIGNING UNTIL PROJECT HAS BEEN ACCEPTED BY THE COA.

# CITY OF ALBUQUERQUE PLANS FOR CONSTRUCTION



## LOTS 1-7, LANDS OF SIMPATICO SUBDIVISION

### INDEX OF SHEETS

SHEET #	DESCRIPTION
1	TITLE SHEET
2	PLAT
3	GRADING & DRAINAGE PLAN
4	PRIVATE PAVING PLAN & PROFILE
5	PUBLIC UTILITY PLAN & PROFILE
6	DETAILS

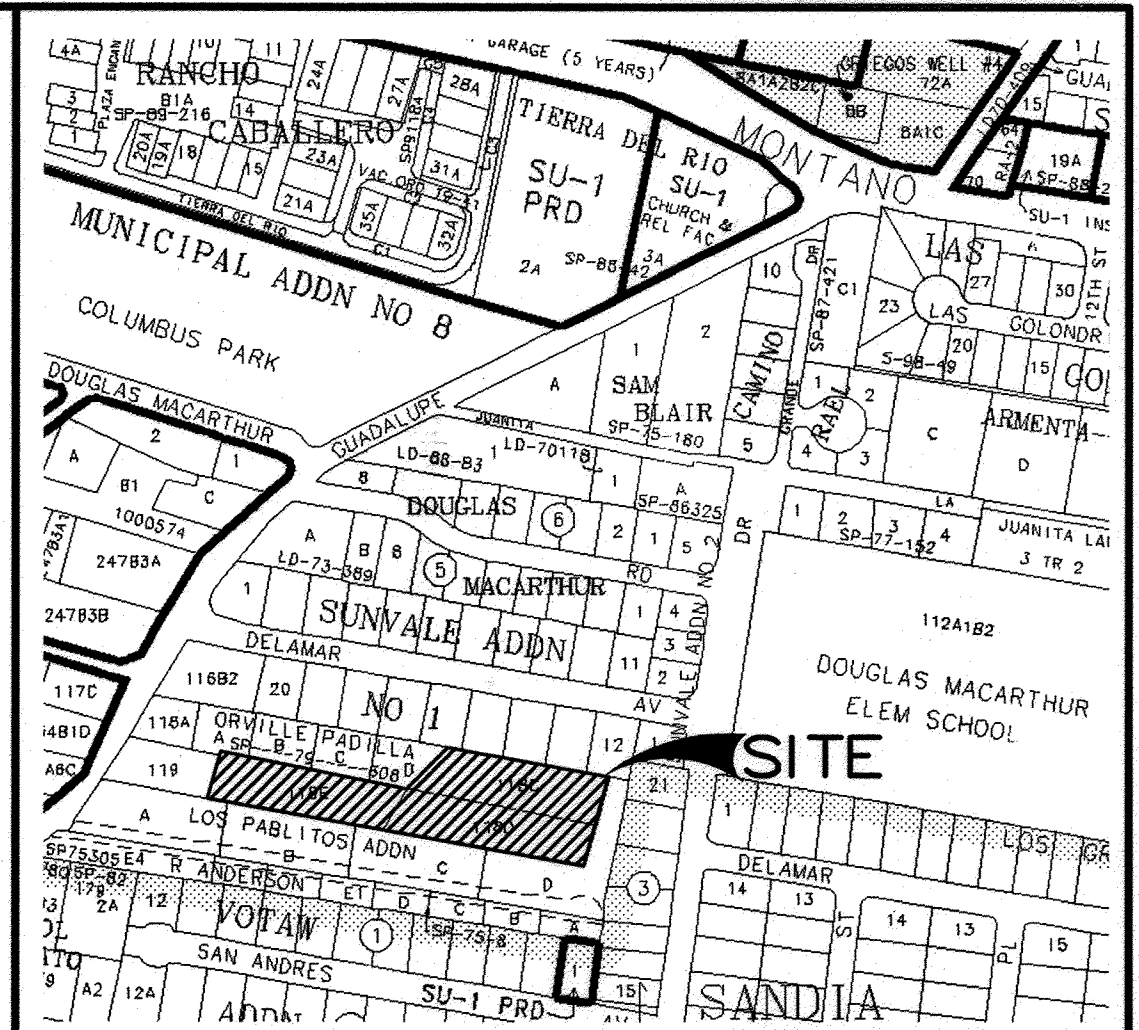
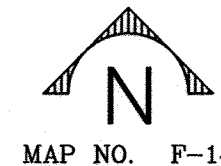
#### SURVEYOR'S CERTIFICATION

I, WILL PLOTNER JR., A DULY QUALIFIED, REGISTERED, PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE 'AS-BUILT' INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM FIELD CONSTRUCTION AND 'AS-BUILT' SURVEYS PERFORMED BY ME OR UNDER MY SUPERVISION, THAT THE 'AS-BUILT' INFORMATION SHOWN ON THESE DRAWINGS WAS ADDED BY ME OR UNDER MY SUPERVISION, AND THAT THIS 'AS-BUILT' INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. CARTESIAN SURVEYS IS NOT RESPONSIBLE FOR ANY OF THE DESIGN CONCEPTS, CALCULATIONS, ENGINEERING, OR INTENT OF THE RECORD DRAWINGS.

WILL PLOTNER JR., NMPS 14271

DRB NO. 1004906

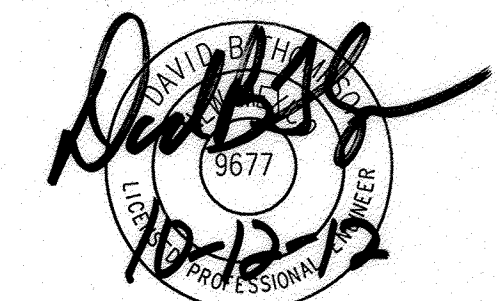
VICINITY  
MAP



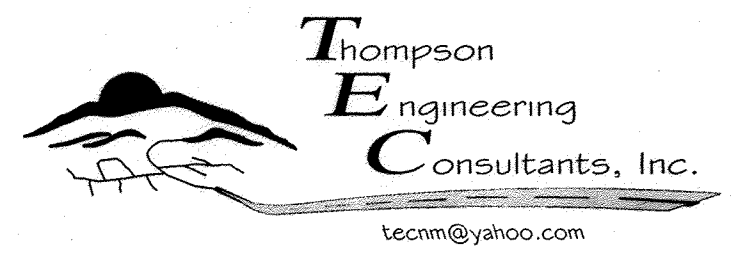
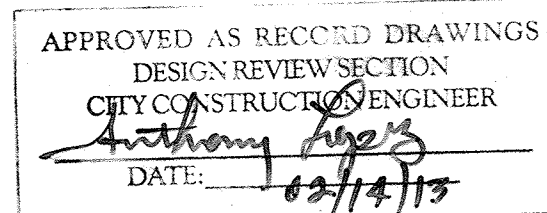
ZONE ATLAS MAP F-14-Z

#### RECORD DRAWINGS

I, DAVID B. THOMPSON OF THE FIRM THOMPSON ENGINEERING CONSULTANTS, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY STATE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THE INFRASTRUCTURE FOR THIS PROJECT AS SHOWN ON THE PLANS HAS BEEN CONSTRUCTED IN GENERAL ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (INCLUDING ALL UPDATES), AND THAT THE GENERAL INTENT OF THE PLANS HAS BEEN MET EXCEPT AS NOTED ON THE RECORD DRAWINGS. THE INFRASTRUCTURE CONSTRUCTION HAS BEEN OBSERVED BY A QUALIFIED PERSON FROM THOMPSON ENGINEERING CONSULTANTS AND THIS STATEMENT COVERS INFRASTRUCTURE INSTALLATION THAT WAS OBSERVED WHILE A REPRESENTATIVE FROM THOMPSON ENGINEERING CONSULTANTS WAS ON SITE. THIS STATEMENT IS BASED ON SITE OBSERVATIONS BY THOMPSON ENGINEERING CONSULTANTS, INC. PERSONNEL AND ON AS-BUILT INFORMATION PROVIDED TO THOMPSON ENGINEERING CONSULTANTS, INC. BY WILL PLOTNER (OF CARTESIAN SURVEYS INC.) NMPS NUMBER 14271(P.S.).

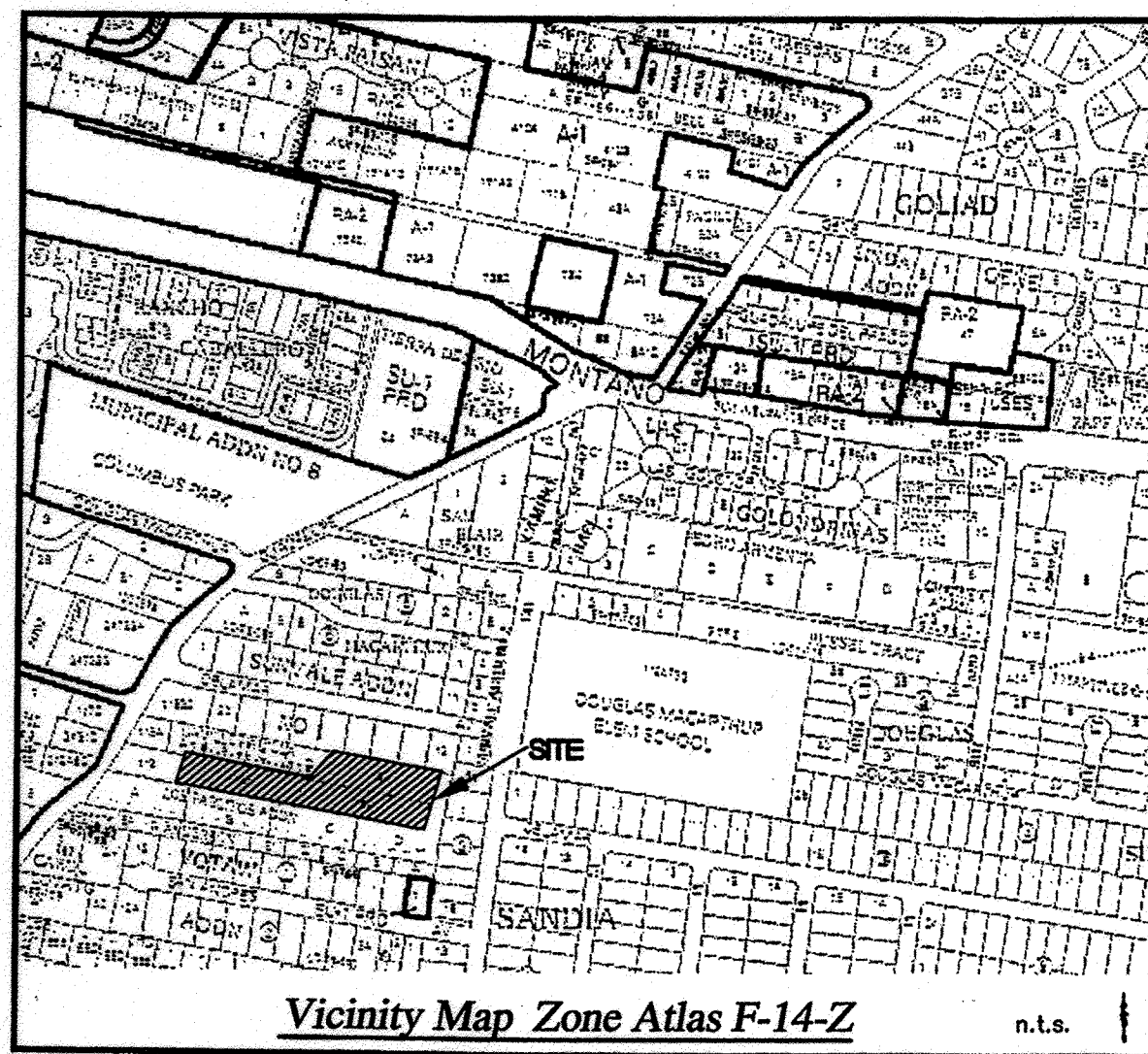


ALL SWPPP SHALL BE OUTSIDE OF ROW  
PRIOR TO COA ACCEPTANCE.



REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVED	ENGINEER	DATE	APPROVED FOR CONSTRUCTION		
		DRC Chairman	<i>S. W. Goddard</i>	2/23/12	<i>Will Plotner</i> 5-17-12		
		Transportation	<i>[Signature]</i>	3/29/12			
		Water/Wastewater	<i>[Signature]</i>	2-3-12			
		Hydrology	<i>[Signature]</i>	1/9/12			
		CIP					
AMAFCA					CITY ENGINEER		
Constr. Coord.					DATE		
PROJECT NUMBER		ZONE ATLAS MAP					
634382		F-14-Z		DRAWING NO. 1 OF 6			





### Subdivision Data

GROSS ACREAGE..... 2.0552 ACRES  
ZONE ATLAS PAGE NO..... F-14-Z  
NUMBER OF EXISTING LOTS..... 3  
NUMBER OF LOTS CREATED..... 7  
MILES OF FULL WIDTH STREETS..... 0.00  
MILES OF HALF WIDTH STREETS..... 0.00  
RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE..... 0 ACRES  
DATE OF SURVEY..... JUNE 2011

### Public Utility Easements:

Public utility easements shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM electric) for installation, maintenance and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Corp. d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

#### Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

### Indexing Information

Section 32, Township 11 North, Range 3 East, NMPM  
as Projected into the Elena Gallegos Grant  
Subdivision: MRGCD Map No. 32  
Owner: Thomas and Susan Slates - Tracts 118D and 118E  
Nancy Kinnemann & Mary K Porter - Tract 118C  
UPC #101406110819830938 - Tract 118D  
#101406107220530936 - Tract 118E  
#101406110920730935 - Tract 118C

### Purpose of Plat

- CREATE SEVEN NEW LOTS FROM THE EXISTING THREE MRGCD TRACTS.
- GRANT EASEMENTS AS SHOWN HEREON.

### Notes

- FIELD SURVEY PERFORMED IN NOVEMBER 2006 AND MAY 2011.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- THE BASIS OF BEARINGS REFERENCES THE NEW MEXICO STATE PLANE COORDINATES (NAD 83-GRID).

### Documents

- TITLE COMMITMENT PROVIDED BY FIRST AMERICAN TITLE, COMMITMENT NUMBER 1480106-AL01, WITH AN EFFECTIVE DATE OF JUNE 23, 2010.
- MIDDLE RIO GRANDE CONSERVANCY DISTRICT MAP NUMBER 32.

### Solar Collection Note

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE:

NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

### Legal

TRACTS 118C, 118D AND 118E, MRGCD MAP NUMBER 32, LOCATED WITHIN SECTION 32, TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM, AS PROJECTED INTO THE ELENA GALLEGOS GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE NORTHEASTERLY CORNER OF THE HEREIN DESCRIBED PARCEL, MARKED BY A BATHEY MARKER WITH CAP "LS 14271", WHENCE A TIE TO AN ACS MONUMENT "DOUGLAS" BEARS N 68°01'18" E, A DISTANCE OF 305.10 FEET;

THENCE, FROM THE POINT OF BEGINNING S 14°05'54" W, A DISTANCE OF 169.78 FEET TO AN ANGLE POINT MARKED BY A BATHEY MARKER WITH CAP "LS 14271";

THENCE, N 80°11'36" W A DISTANCE OF 718.00 FEET TO THE SOUTHWESTERLY CORNER OF THE HEREIN DESCRIBED PARCEL REFERENCED BY A 1" PIPE LOCATED N 15°32'05" E, A DISTANCE OF 0.40 FEET FROM THE CORNER;

THENCE, FROM THE SOUTHEAST CORNER, N 15°32'05" E A DISTANCE OF 90.05 FEET TO A 1/2" PIPE;

THENCE, S 79°08'29" E, A DISTANCE OF 357.81 FEET TO AN ANGLE POINT MARKED BY A 5/8" REBAR;

THENCE N 40°05'40" E, A DISTANCE 98.94 FEET TO AN ANGLE POINT MARKED BY A 5/8" REBAR;

THENCE, S 80°20'46" E, A DISTANCE 314.07 FEET TO THE POINT OF BEGINNING, CONTAINING 2.0552 ACRES (89,523 SQ FT) MORE OR LESS.

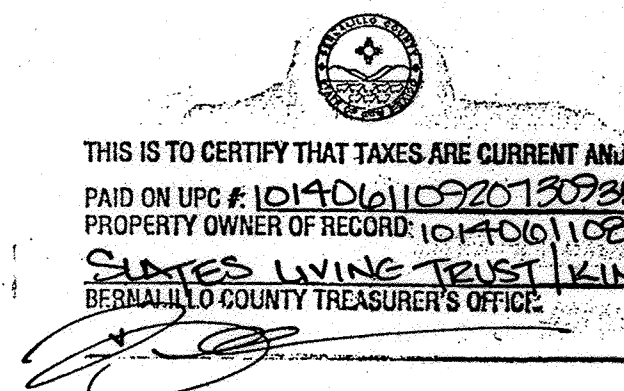
### Middle Rio Grande Conservancy District

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS OF WAY, ASSESSMENTS AND LIENS, ARE FULLY RESERVED TO SAID DISTRICT, AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION, OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

APPROVED BY [Signature] DATE 2-26-13

DOCH 2013024601

93/04/2013 04:35 PM Page: 1 of 3  
PLAT R: 225.00 B: 20130 P: 0017 M: Toulous Oliveira, Bernalillo Coor  
[Barcode]



## Plat of Lots 1-P2 thru 7-P2 Lands of Simpatico Comprising of Tracts 118-C, 118-D and 118-E MRGCD Map Number 32 City of Albuquerque Bernalillo County, New Mexico January 2013

### Approved and Accepted by:

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.

Project Number 1004906

Application Number 13-70421

### Plat approvals:

<u>[Signature]</u> PNM Electric Services	<u>2-18-13</u> Date
<u>[Signature]</u> New Mexico Gas Company	<u>2-18-2013</u> Date
<u>[Signature]</u> Qwest Corp. d/b/a CenturyLink QC	<u>2/20/13</u> Date
<u>[Signature]</u> Comcast	<u>2/18/13</u> Date
<u>[Signature]</u> City Surveyor	<u>1-28-13</u> Date
<u>[Signature]</u> Traffic Engineer	<u>02/13/13</u> Date
<u>[Signature]</u> Real Property Division	<u>02/13/13</u> Date
<u>[Signature]</u> ABCWA	<u>2-13-13</u> Date
<u>[Signature]</u> Parks and Recreation Department	<u>2-13-13</u> Date
<u>[Signature]</u> AMAFA	<u>2-13-13</u> Date
<u>[Signature]</u> City Engineer	<u>3-1-13</u> Date
<u>[Signature]</u> DBP Chairperson, Planning Department	<u>3-1-13</u> Date

### Surveyor's Certificate

"I, WILL PLOTNER JR., A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF."

[Signature] 1/24/13  
WILL PLOTNER JR. DATE  
N.M.R.P.S. No. 14271

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244



Sheet 1 of 3  
063969



### Free Consent

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AS SHOWN HEREON AND GRANT ALL, UTILITY EASEMENTS AS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Mary L. Porter 1-25-13  
MARY PORTER, CO-OWNER TRACT 118C DATE

### Acknowledgment

STATE OF New Mexico }  
COUNTY OF Bernalillo } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON January 25, 2013

BY: MARY PORTER

Wanda Smith  
NOTARY PUBLIC MY COMMISSION EXPIRES 2/18/14

OFFICIAL SEAL  
WANDA SMITH  
NOTARY PUBLIC State of New Mexico  
My Commission Expires 2/18/14

### Free Consent

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AS SHOWN HEREON AND GRANT ALL, UTILITY EASEMENTS AS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Nancy Kinnemann 1-25-13  
NANCY KINNEMANN, CO-OWNER TRACT 118C DATE

### Acknowledgment

STATE OF New Mexico }  
COUNTY OF Bernalillo } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON January 25, 2013

BY: NANCY KINNEMANN

Wanda Smith  
NOTARY PUBLIC MY COMMISSION EXPIRES 2/18/14

OFFICIAL SEAL  
WANDA SMITH  
NOTARY PUBLIC State of New Mexico  
My Commission Expires 2/18/14

### Free Consent

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AS SHOWN HEREON AND GRANT ALL, UTILITY EASEMENTS AS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Thomas Slates 1-25-2013  
THOMAS SLATES, TRUSTEE SLATES LIVING TRUST UTD AUGUST 7, 1998 DATE  
OWNER OF TRACT 118D AND 118E

Susan Slates 1-25-13  
SUSAN SLATES, TRUSTEE SLATES LIVING TRUST UTD AUGUST 7, 1998 DATE  
OWNER OF TRACT 118D AND 118E

### Acknowledgment

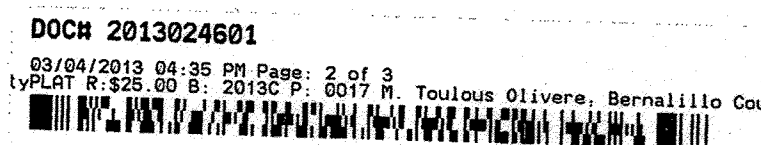
STATE OF NEW MEXICO }  
COUNTY OF BERNALILLO } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON January 25, 2013

BY: THOMAS SLATES AND SUSAN SLATES, HUSBAND AND WIFE

Wanda Smith  
NOTARY PUBLIC MY COMMISSION EXPIRES 2/18/14

OFFICIAL SEAL  
WANDA SMITH  
NOTARY PUBLIC State of New Mexico  
My Commission Expires 2/18/14



Plat of  
Lots 1-P2 thru 7-P2  
Lands of Simpatico  
Comprising of  
Tracts 118-C, 118-D and 118-E  
MRGCD Map Number 32  
City of Albuquerque  
Bernalillo County, New Mexico  
January 2013

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244

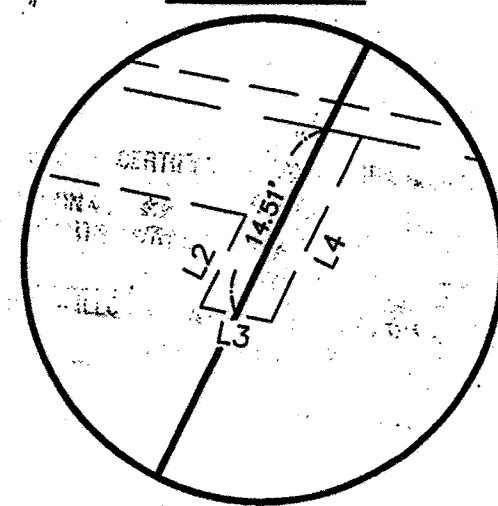
Sheet 2 of 3  
053869

## Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
●	FOUND MONUMENT AS INDICATED
○	SET BATHEY MARKER WITH CAP "LS 14271"
7	SEE EASEMENT NOTE 7.

SCANNED BY  
PLANNING

## Detail A

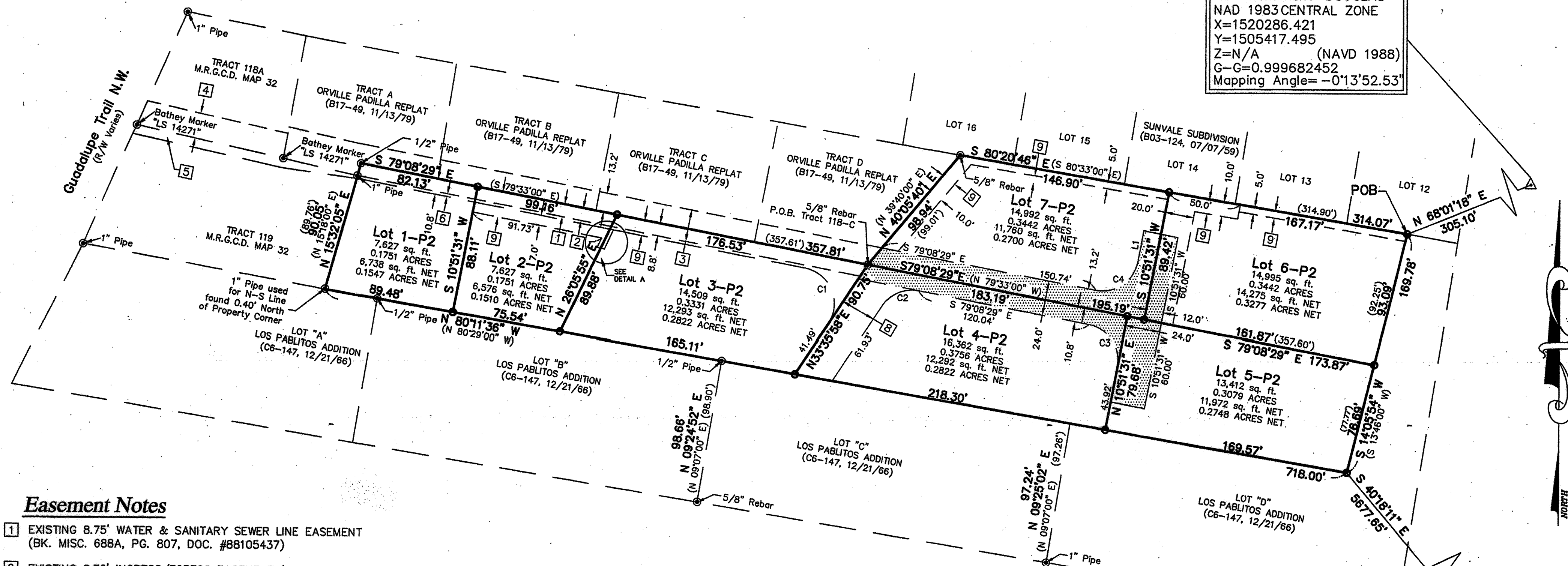


LINE	LENGTH	BEARING
L1	21.76'	S 10°51'31" W
L2	7.26'	N 26°5'55" E
L3	5.18'	S 79°8'29" E
L4	14.51'	N 26°5'55" E

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	49.19'	25.00'	112°44'27"	41.63'	N 22°46'16" W
C2	29.35'	25.00'	67°15'33"	27.69'	S 67°13'44" W
C3	39.27'	25.00'	90°00'00"	35.36'	N 34°08'29" W
C4	39.27'	25.00'	90°00'00"	35.36'	N 55°51'31" E

Plat of  
Lots 1-P2 thru 7-P2  
Lands of Simpatico  
Comprising of  
Tracts 118-C, 118-D and 118-E  
MRGCD Map Number 32  
City of Albuquerque  
Bernalillo County, New Mexico  
January 2012

ACS Monument "DOUGLAS"  
NAD 1983 CENTRAL ZONE  
X=1520286.421  
Y=1505417.495  
Z=N/A (NAVD 1988)  
G-G=0.999682452  
Mapping Angle=-0°13'52.53"



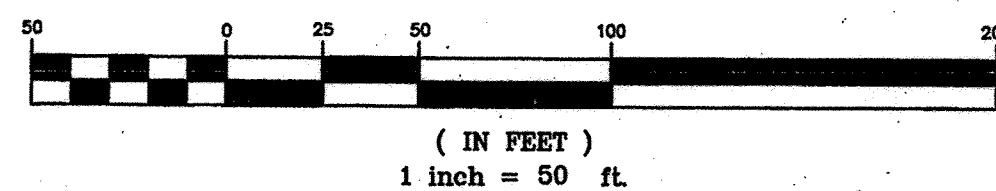
## Easement Notes

- EXISTING 8.75' WATER & SANITARY SEWER LINE EASEMENT (BK. MISC. 688A, PG. 807, DOC. #88105437)
- EXISTING 8.76' INGRESS/EGRESS EASEMENT (WARRANTY DEED FILED IN BOOK 90-5, PAGE 3628, DOC # 9021959) AND PRIVATE ROADWAY EASEMENT BENEFITING LOTS 1-P2 THRU 7-P2, AND TRACTS A-D, ORVILLE PADILLA REPLAT GRANTED WITH THE FILING OF THIS PLAT TO BE MAINTAINED BY THE INDIVIDUAL OWNERS.
- EXISTING 22' ROADWAY EASEMENT (ORVILLE PADILLA REPLAT, B17-49, 11/13/73)
- EXISTING 17.50 FOOT EASEMENT FOR INGRESS AND EGRESS (WARRANTY DEED 8/23/85, 248A, 564-565).
- EXISTING PRIVATE ROADWAY EASEMENT FILED ON 11/30/2011 AS DOCUMENT 2011109613
- 2' ADDITIONAL PRIVATE ROADWAY EASEMENT BENEFITING LOTS 1-P2 THRU 7-P2, AND TRACTS A-D, ORVILLE PADILLA REPLAT GRANTED WITH THE FILING OF THIS PLAT TO BE MAINTAINED BY THE INDIVIDUAL OWNERS.
- PRIVATE ROADWAY AND PUBLIC UTILITY, PUBLIC SEWER AND WATER EASEMENT BENEFITING LOTS 1-P2 THRU 7-P2, GRANTED WITH THE FILING OF THIS PLAT. THE PRIVATE ROADWAY EASEMENT TO BE MAINTAINED BY THE INDIVIDUAL OWNERS.
- 24' PRIVATE ACCESS AND PARKING EASEMENT BENEFITING LOTS 1-P2 THRU 7-P2 AND TO BE MAINTAINED BY THE OWNER OF LOT 4-P2 GRANTED WITH THE FILING OF THIS PLAT.
- P.U.E. GRANTED WITH THE FILING OF THIS PLAT.

## Grading Note

CERTIFICATION OF THE SUBDIVISION GRADING PLAN OR AN INDIVIDUAL LOT GRADING PLAN IS REQUIRED BEFORE A BUILDING PERMIT CAN BE APPROVED FOR THAT LOT.

## GRAPHIC SCALE



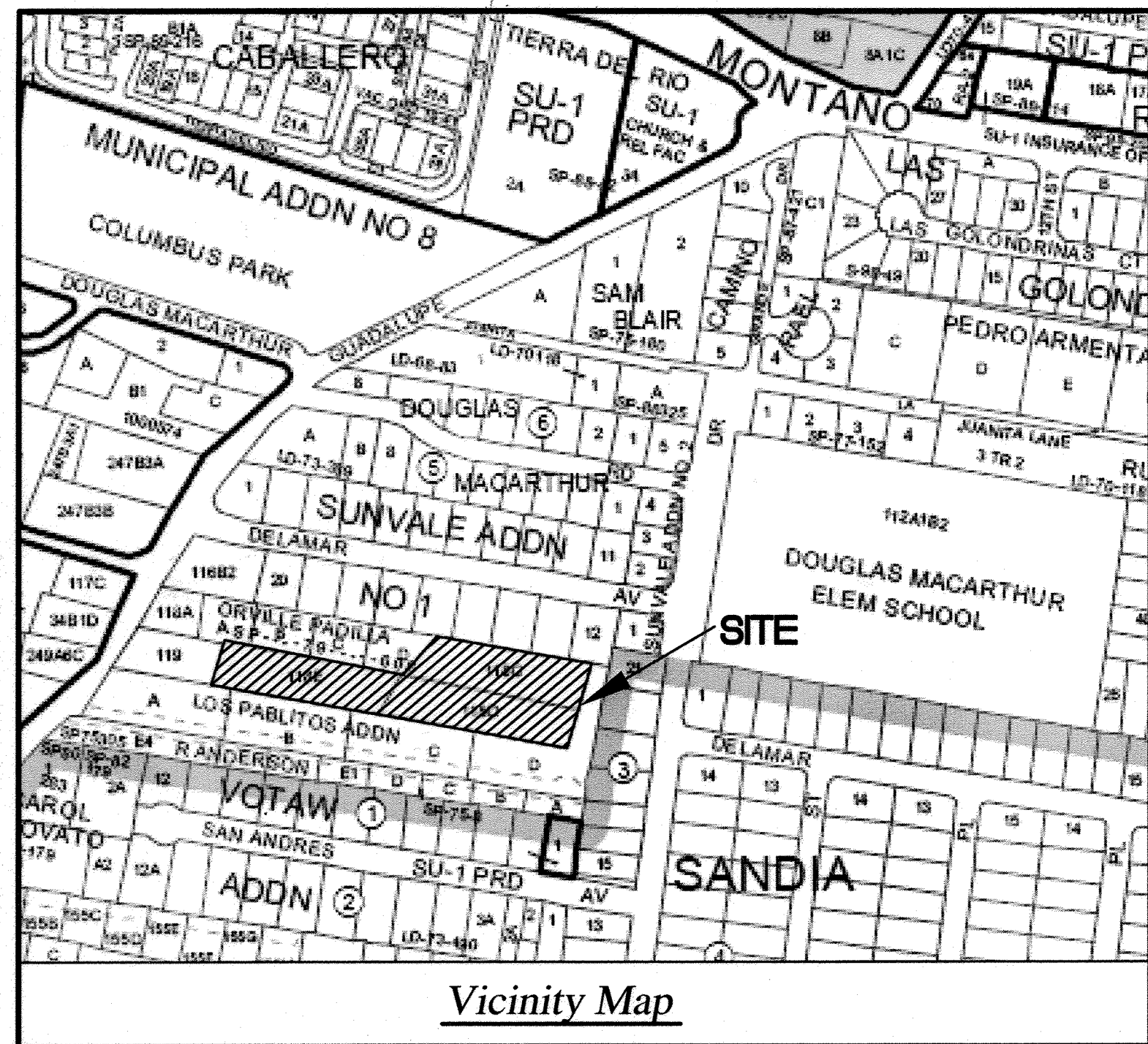
ACS Monument "NM\_47\_10"  
NAD 1983 CENTRAL ZONE  
X=1523633.488  
Y=1500810.208  
Z=4970.252 (NAVD 1988)  
G-G=0.999681770  
Mapping Angle=-0°13'28.96"

## CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244

Sheet 3 of 3  
063869





Vicinity Map

Easement Notes

- EXISTING 8.75' WATER & SANITARY SEWER LINE EASEMENT (BK. MISC. 688A, PG. 807, DOC. #88105437)
- EXISTING 8.76' ROADWAY EASEMENT (ORVILLE PADILLA REPLAT, B17-49, 11/13/73)
- EXISTING 22' ROADWAY EASEMENT (ORVILLE PADILLA REPLAT, B17-49, 11/13/73)
- EXISTING 17.50 FOOT EASEMENT FOR INGRESS AND EGRESS (WARRANTY DEED 8/23/85, 248A, 564-565).
- EXISTING ROADWAY EASEMENT FILED 11/30/2011 AS DOCUMENT 201109613
- 2' ADDITIONAL PRIVATE ROADWAY EASEMENT BENEFITING LOTS 1-7, GRANTED BY THIS PLAT TO BE MAINTAINED BY THE INDIVIDUAL OWNERS.
- PRIVATE ROADWAY AND PUBLIC UTILITY, PRIVATE SEWER AND PRIVATE WATER EASEMENT BENEFITING LOTS 1-7, GRANTED WITH THE FILING OF THIS PLAT TO BE MAINTAINED BY THE INDIVIDUAL OWNERS.

Disclosure Statement

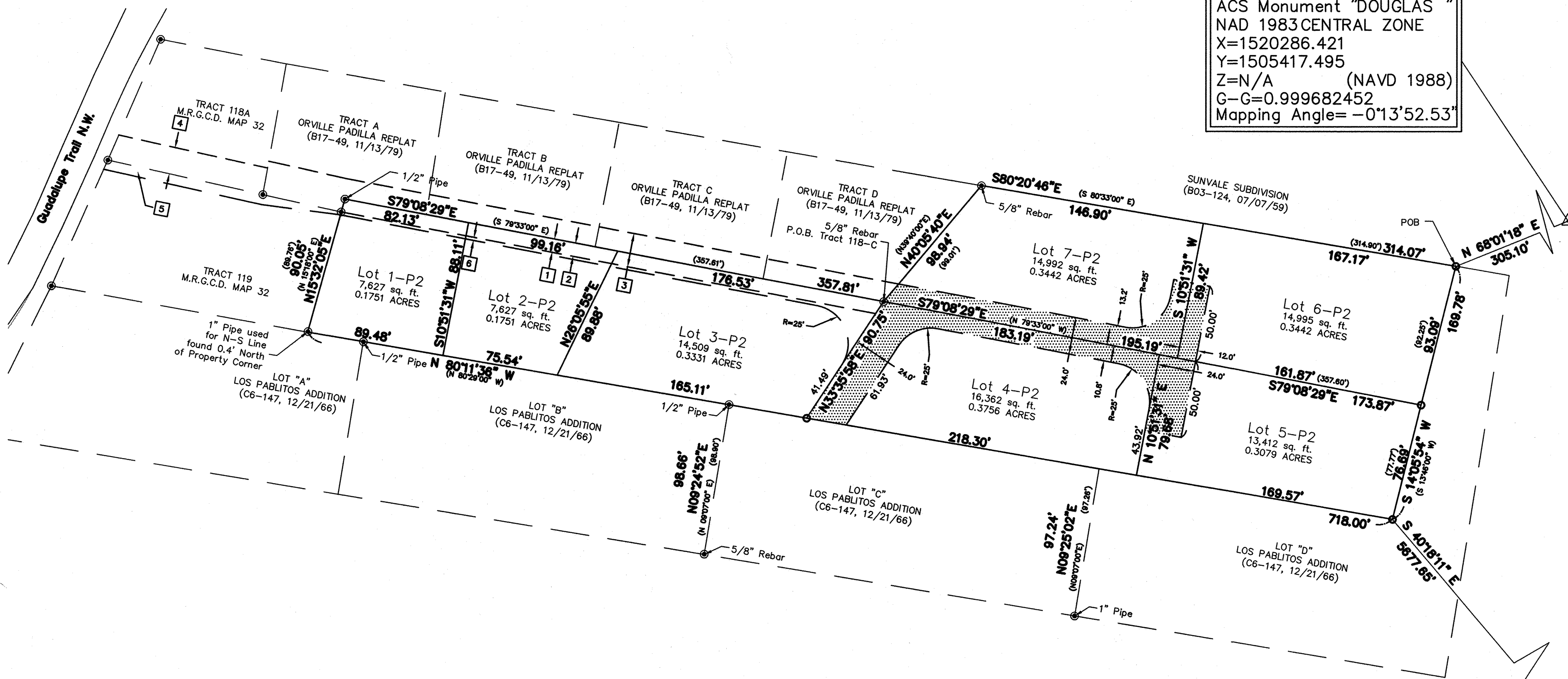
- THE PURPOSE OF THIS PLAT IS TO:
- CREATE 7 RESIDENTIAL LOTS.
  - GRANT EASEMENTS AS SHOWN HEREON.

Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
●	FOUND MONUMENT AS INDICATED
1-P2	LOT NUMBER
[Hatched Box]	7 SEE EASEMENT NOTE 7.

Notes

- FIELD SURVEY PERFORMED IN NOVEMBER 2006 AND MARCH 2011.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- TOTAL NUMBER OF EXISTING LOTS: 3
- TOTAL NUMBER OF LOTS CREATED: 7
- TOTAL NUMBER OF TRACTS CREATED: 0
- TOTAL MILEAGE OF FULL WIDTH STREETS CREATED: 0 MI.
- CITY OF ALBUQUERQUE ZONE ATLAS PAGE: F-14
- NUMBER OF LOT LINES BEING ELIMINATED: 3
- TOTAL AREA: 2.0552 ACRES
- PROPERTY CORNERS TO BE SET ARE AN 18" BATHEY MONUMENT WITH STEEL CAP "LS 14271".
- THE ZONING FOR THE LOT IS CURRENTLY: R-1.



ACS Monument "DOUGLAS"  
NAD 1983 CENTRAL ZONE  
X=1520286.421  
Y=1505417.495  
Z=N/A (NAVD 1988)  
G-G=0.999682452  
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Mapping Angle=-0°13'28.96"

MARY PORTER, CO-OWNER TRACT 118C \_\_\_\_\_ DATE \_\_\_\_\_

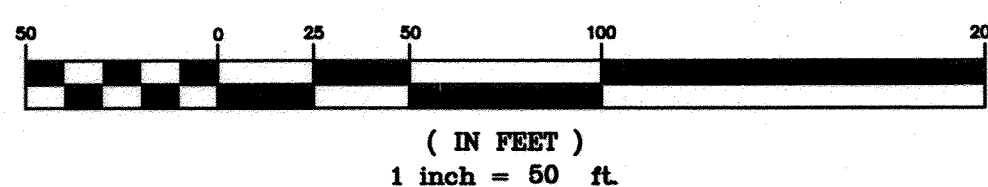
NANCY KINNEBANN, CO-OWNER TRACT 118C \_\_\_\_\_ DATE \_\_\_\_\_

THOMAS SLATES, TRUSTEE SLATES LIVING TRUST UTD AUGUST 7, 1998 DATE  
OWNER OF TRACT 118D AND 118E \_\_\_\_\_

SUSAN SLATES, TRUSTEE SLATES LIVING TRUST UTD AUGUST 7, 1998 DATE  
OWNER OF TRACT 118D AND 118E \_\_\_\_\_

CITY SURVEYOR, CITY OF ALBUQUERQUE \_\_\_\_\_ DATE \_\_\_\_\_  
GLEN HAIKIN P.S.

GRAPHIC SCALE



Preliminary Plat  
Lots 1-7  
Lands of Simpatico

Comprising  
Tracts 118-C, 118-D, and 118-E  
MRGCD Map 32

Projected Section 32, T11N, R3E, NMPM  
Albuquerque Grant  
City of Albuquerque, Bernalillo County, New Mexico  
April 2011

Legal

TRACTS 118C, 118D AND 118E, MRGCD MAP NUMBER 32, LOCATED WITH THE PROJECTED SECTION 32, TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM, ALBUQUERQUE GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE NORTHWESTERLY CORNER OF THE HEREIN DESCRIBED PARCEL, MARKED BY A BATHEY MARKER WITH CAP "LS 14271", WHENCE A TIE TO AN ACS MONUMENT "DOUGLAS" BEARS N 68°01'18" E, A DISTANCE OF 305.10 FEET;

THENCE, FROM THE POINT OF BEGINNING S 14°05'54" W, A DISTANCE OF 169.78 FEET TO AN ANGLE POINT MARKED BY A BATHEY MARKER WITH CAP "LS 14271";

THENCE, N 80°11'36" W A DISTANCE OF 718 FEET TO THE SOUTHWESTERLY CORNER OF THE HEREIN DESCRIBED PARCEL MARKED BY A BATHEY MARKER WITH CAP "LS 14271";

THENCE, N 15°32'05" E A DISTANCE OF 90.05 FEET;

THENCE, S 79°08'29" E, A DISTANCE OF 357.81 FEET TO AN ANGLE POINT MARKED BY A BATHEY MARKER WITH CAP "LS 14271";

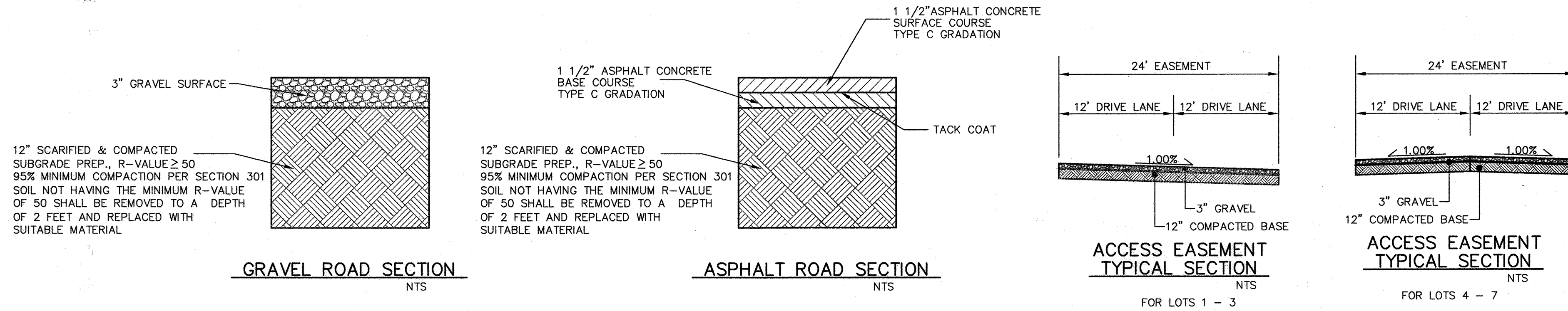
THENCE N 40°05'40" E, A DISTANCE 98.94 FEET TO AN ANGLE POINT MARKED BY A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 80°20'46" E, A DISTANCE 314.07 FEET TO THE POINT OF BEGINNING, CONTAINING 2.0552 ACRES (89,523 SQ FT) MORE OR LESS.

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
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100-YEAR HYDROLOGIC CALCULATIONS											
BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	100-YEAR PRECIPITATION				Q (cfs)
		A (%)	B (%)	C (%)	D (%)		V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V(10 day) (acre-ft)	V(10 day) (cu-ft)	
EXISTING CONDITIONS											
1	0.2003	100.00	0.00	0.00	0.00	0.53	0.01	385	0.01	385	0.31
2	0.2062	100.00	0.00	0.00	0.00	0.53	0.01	397	0.01	397	0.32
3	0.3795	0.00	46.00	34.00	20.00	1.17	0.04	1,608	0.05	2,048	1.16
4	0.3756	100.00	0.00	0.00	0.00	0.53	0.02	723	0.02	723	0.59
5	0.3079	100.00	0.00	0.00	0.00	0.53	0.01	592	0.01	592	0.48
6	0.3442	100.00	0.00	0.00	0.00	0.53	0.02	662	0.02	662	0.54
7	0.3442	100.00	0.00	0.00	0.00	0.53	0.02	662	0.02	662	0.54
TOTAL RUNOFF	2.16						0.12	5029	0.13	5470	3.93
PROPOSED CONDITIONS											
1	0.2003	0.00	41.00	26.50	32.50	1.31	0.02	951	0.03	1,329	0.66
2	0.2062	0.00	43.00	34.00	23.00	1.21	0.02	904	0.03	1,179	0.65
3	0.3795	0.00	46.00	34.00	20.00	1.17	0.04	1,608	0.05	2,048	1.16
4	0.3756	0.00	50.50	25.00	24.50	1.20	0.04	1,630	0.05	2,165	1.16
5	0.3079	0.00	54.00	9.00	36.00	1.29	0.03	1,437	0.05	2,081	0.99
6	0.3442	0.00	62.50	4.00	33.50	1.24	0.04	1,553	0.05	2,223	1.08
7	0.3442	0.00	52.70	21.00	26.30	1.21	0.03	1,507	0.05	2,032	1.07
TOTAL RUNOFF	2.16						0.22	9590	0.30	13058	6.75
EXCESS PRECIP.		0.53	0.78	1.13	2.12	E (in)					
PEAK DISCHARGE		1.56	2.28	3.14	4.7	Q (cfs)					
WEIGHTED E (in) = (E )(%)A + (E )(%)B + (E )(%)C + (E )(%)D V (acre-ft) = (WEIGHTED E)(AREA)/12 V (acre-ft) = V + (A )(P - P )/12 Q (cfs) = (Q )(A ) + (Q )(A ) + (Q )(A ) + (Q )(A )											
ZONE = 2 P (in.) = 2.35 P (in.) = 2.75 P (in.) = 3.95											

**DRAINAGE PLAN:**

LEGAL DESCRIPTION: TRACTS 118-C, 118-D, AND 118-E, MRCD MAP 32

SITE AREA: 2.06 ACRES

FLOOD HAZARD STATEMENT: F.E.M.A. FLOODWAY BOUNDARY AND FLOODWAY MAP DATED JULY 18, 2008 (PANEL NO. 35043C0119 G) INDICATES A FLOOD HAZARD ZONE X WHICH IS AN AREA PROTECTED BY LEVEES FROM THE 1% ANNUAL CHANCE FLOOD.

EXISTING DRAINAGE CONDITIONS:

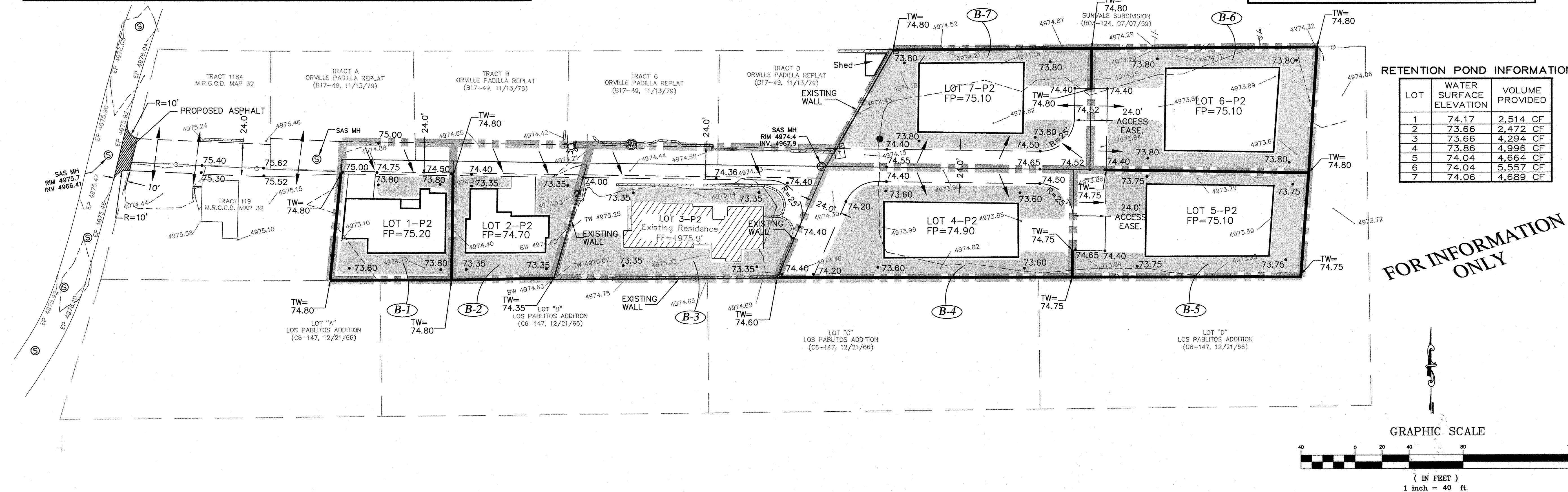
THIS PROJECT INVOLVES THE SUBDIVISION OF THREE EXISTING LOTS INTO SEVEN RESIDENTIAL LOTS TO BE CALLED LOTS 1-7, LANDS OF SIMPATICO. THERE IS ONE HOUSE THAT EXISTS ON PROPOSED LOT 3. THE SUBDIVISION IS LOCATED ON A CUL-DE-SAC EXTENSION OF GUADALUPE TRAIL. THE SUBDIVISION IS VIRTUALLY FLAT. THERE ARE NO OFFSITE FLOWS REACHING THE SITE. ALL RUNOFF CURRENTLY POUNDS ON SITE, AND THEREFORE PONDING AREAS WILL BE PLACED ON THE LOT TO CONTAIN THE 100-YEAR, 10-HOUR STORM RUNOFF AND ALLOW FOR PERCOLATION OR INFILTRATION INTO THE SOIL.

THE DRAINAGE ANALYSIS FOR THIS SITE IS IN ACCORDANCE WITH SETION 22 OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM), ENTITLED "DRAINAGE, FLOOD CONTROL, AND EROSION CONTROL." THE DESIGN STORM USED FOR BOTH UNDEVELOPED AND DEVELOPED CONDITIONS IS THE 100-YEAR, 10-DAY STORM EVENT FOR RUNOFF VOLUME COMPUTATIONS. THE SITE IS LOCATED IN ZONE 2 SO THE 100-YEAR, 10-DAY STORM EVENT IS 3.95 INCHES. UNDER EXISTING CONDITIONS THE LOTS INCLUDE LAND TREATMENTS A, B, C, & D.

DEVELOPED DRAINAGE CONDITIONS:

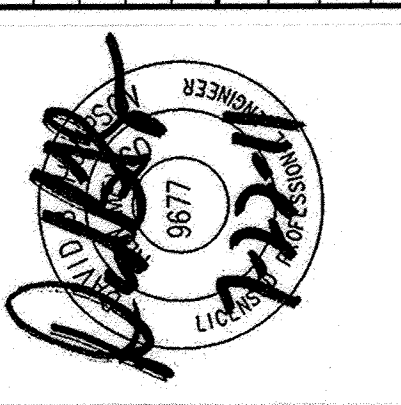
EACH LOT WILL BE A DRAINAGE BASIN SINCE THERE WILL BE SOLID WALLS AT THE PROPERTY LINES TO KEEP ALL RUNOFF ON EACH LOT. THE BUILDING PADS AND THE GRAVEL ROAD WILL BE RAISED ABOVE THE EXISTING GROUND TO ALLOW FOR PONDING OF RUNOFF ON THE LOTS AROUND THE HOMES. IT SHOULD BE NOTED THAT LOTS 1, 2, AND 3 INCLUDE RUNOFF FROM THE ENTIRE GRAVEL ROAD SINCE IT WILL HAVE A CONSTANT SLOPE FROM NORTH TO SOUTH.

THE RUNOFF FROM EACH INDIVIDUAL LOT WILL POND ON EACH LOT. THE GRAVEL SURFACE ACCESS ROAD WILL BE MINIMUM 4 INCHES ABOVE THE 100-YEAR, 10-DAY PONDING DEPTH. THE PAD ELEVATION FOR EACH HOME WILL BE 1 FOOT ABOVE THE 100-YEAR, 10-DAY PONDING DEPTH. A SOLID WALL WILL BE CONSTRUCTED ALONG EACH LOT LINE TO KEEP THE RUNOFF WITHIN EACH LOT. THERE WILL BE NO OBSTRUCTIONS BETWEEN THE FRONT AND BACK PART OF THE LOT TO ALLOW FOR EQUALIZATION OF THE PONDING WATER ON EACH LOT. LOT 1 WILL HAVE A POND DEPTH OF 0.37 FEET. LOT 2 WILL HAVE A POND DEPTH OF 0.31 FEET. LOT 3 WILL HAVE A POND DEPTH OF 0.31 FEET. LOT 4 WILL HAVE A POND DEPTH OF 0.26 FEET. LOT 5 WILL HAVE A POND DEPTH OF 0.29 FEET. LOT 6 WILL HAVE A POND DEPTH OF 0.24 FEET. AND LOT 7 WILL HAVE A POND DEPTH OF 0.26 FEET.



Tompson  
Engineering  
Consultants, Inc.  
P.O. BOX 5270  
ALBUQUERQUE, NM 87193  
PHONE: (505) 271-2199  
FAX: (505) 830-3246

DATE: \_\_\_\_\_  
BY: \_\_\_\_\_  
REVISION: \_\_\_\_\_  
NO: \_\_\_\_\_  
PROJECT: \_\_\_\_\_  
DRAWN BY: DEM  
CHECKED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
HORIZ. SCALE: \_\_\_\_\_  
VERT. SCALE: \_\_\_\_\_

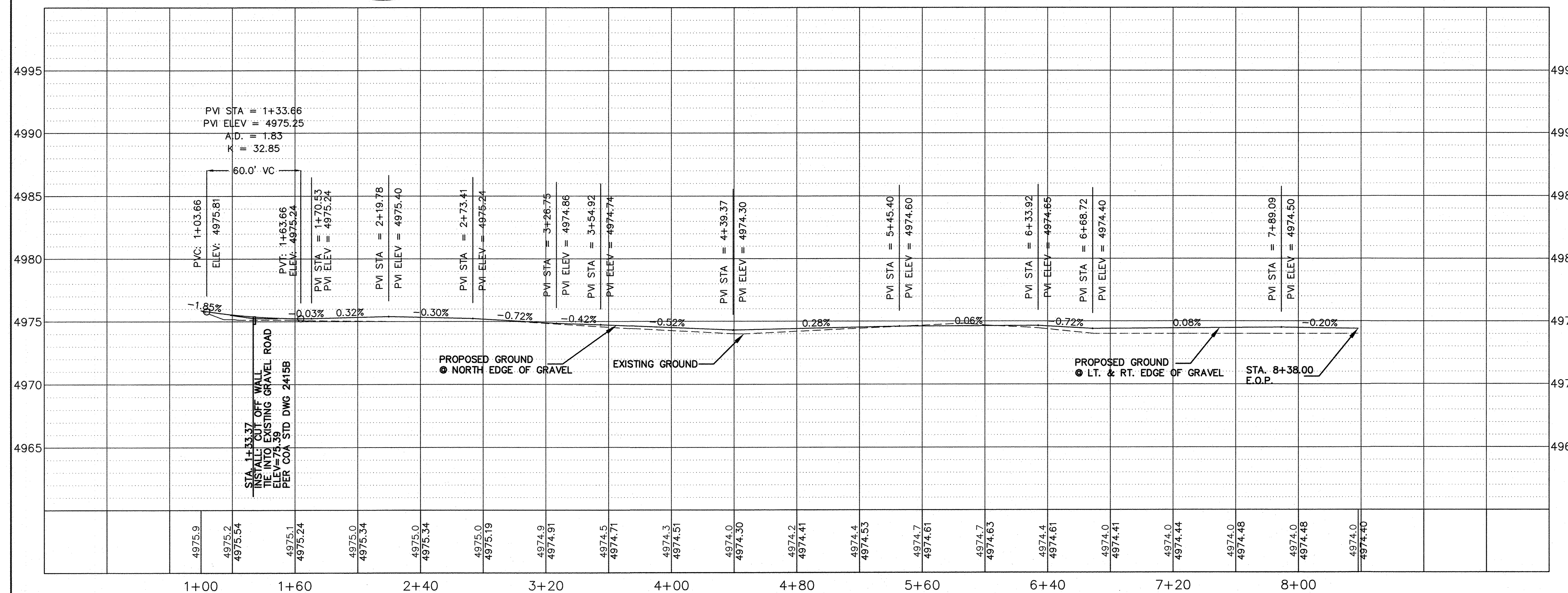
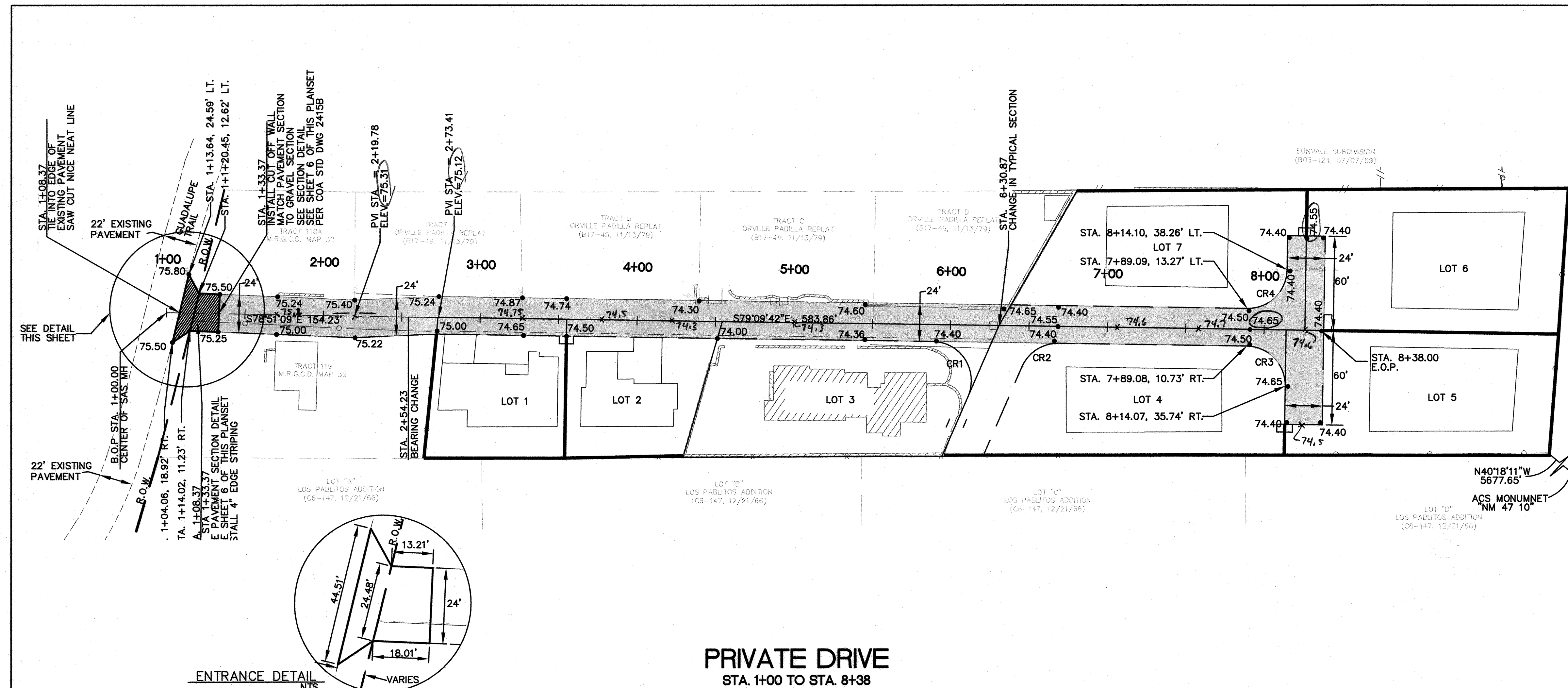


LOTS 1 - 7  
LANDS OF SIMPATICO  
GRADING AND DRAINAGE PLAN





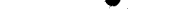



CITY/COUNTY REVIEW  
DEPARTMENT: \_\_\_\_\_  
SIGN-OFF: \_\_\_\_\_  
DATE: \_\_\_\_\_  
WATER SERVICES  
SUBDIVISION ENG.  
STREETS  
TRAFFIC

SHEET No.  
3 of 6





### LEGEND

- |   |                               |
|---|-------------------------------|
|  | EXISTING EDGE OF PAVEMENT     |
|  | EXISTING WALL                 |
|  | PROPOSED SPOT ELEVATION       |
|  | CENTERLINE OF STREET          |
|  | PROPOSED PROPERTY BOUNDARY    |
|  | PROPOSED WALL                 |
|  | PROPOSED GRAVEL ROAD SECTION  |
|  | PROPOSED ASPHALT ROAD SECTION |

NOTE:

1. FOR TYPICAL CROSS SECTIONS  
SEE SHEET 6 OF THIS PLANSET
2. USE ALL C.O.A. STANDARDS UNLESS  
OTHERWISE NOTED.
3. ALL EXISTING DRIVEWAYS SHOULD BE  
APPROPRIATELY GRADED TO AVOID  
IMPACTS TO DRAINAGE & VEHICLE TRAFFIC.


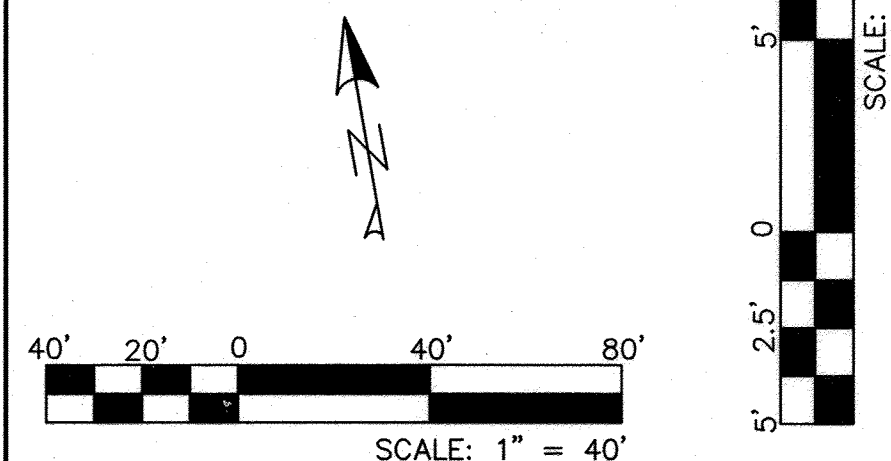
### CURVE DATA TABLE

<u>CURVE #</u>	<u>DELTA</u>	<u>RADIUS</u>	<u>TAN</u>	<u>LENGTH</u>
CR1	112°44'27"	25.00'	37.59'	49.19'
CR2	67°15'33"	25.00'	16.63'	29.35'
CR3	90°00'00"	25.00'	25.00'	39.27'
CR4	90°00'00"	25.00'	25.00'	39.27'

### Certification

**Certification**  
THE CHANGES SHOWN HEREON ARE BASED UPON A  
FIELD SURVEY CONDUCTED BY ME OR UNDER MY  
SUPERVISION AND REFLECT THE LOCATIONS  
(VERTICALLY AND HORIZONTALLY) TO THE BEST OF  
MY KNOWLEDGE AND BELIEF.

Will Plot J.:



**Thompson**  
**E**ngineering  
**C**onsultants, Inc.

[tecnm@yahoo.com](mailto:tecnm@yahoo.com)

P.O. BOX 65760      PHONE: (505) 271-2199  
ALBUQUERQUE, NM 87193      FAX: (505) 830-9248

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
TRANSPORTATION DEVELOPMENT

LANDS OF SIMPATICO  
PRIVATE DRIVE PAVING PLAN & PROFILE

DESIGN REVIEW COMMITTEE

**APPROVED**

FEB 23 2012

DESIGN  
REVIEW COMMITTEE

CITY ENGINEER APPROVAL

APPROVED

MAY 17 2012

CITY ENGINEER

MO./DAY/YR.	MO./DAY/YR.

**City Project No.**  
**634382**

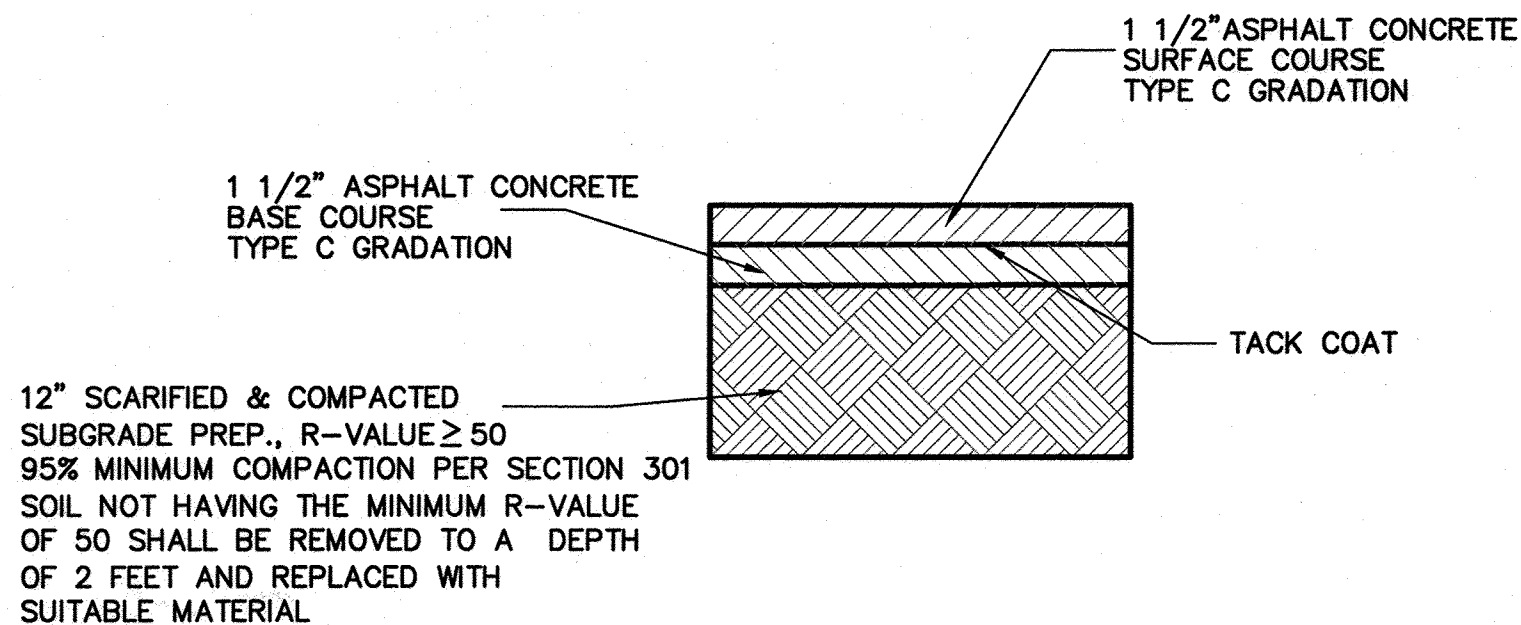
Zone Map No.  
F-14-Z

Sheet	Of
4	6

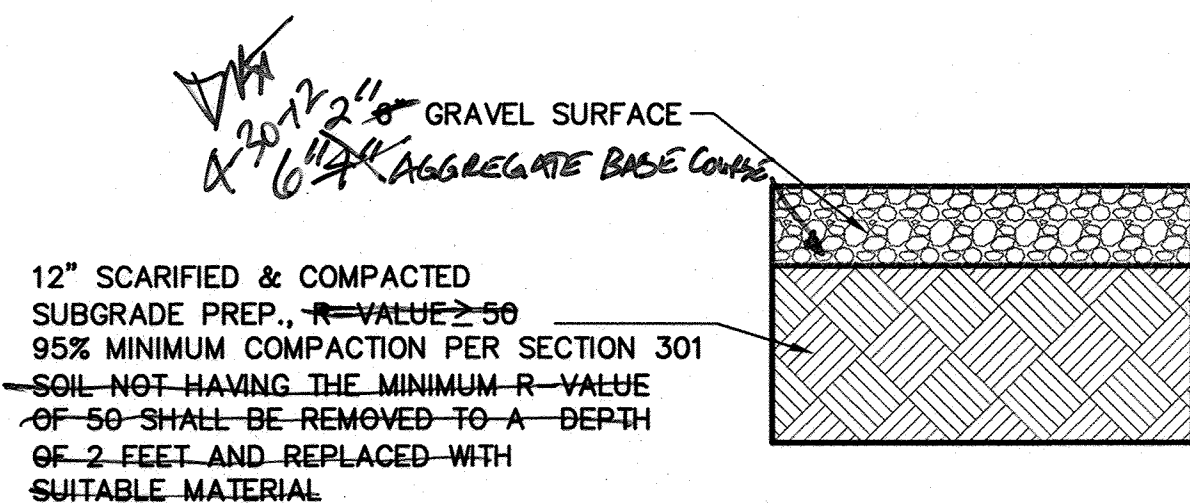




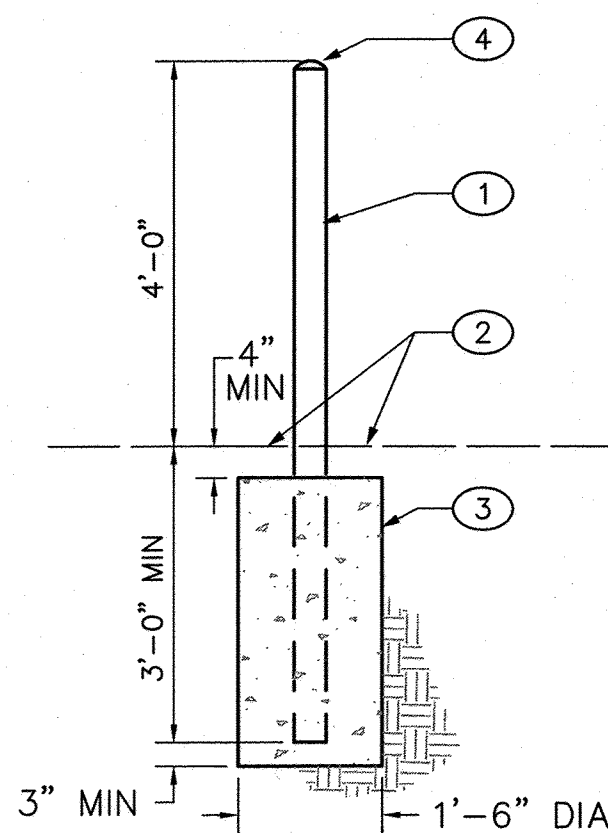




**ASPHALT ROAD SECTION**  
(COA STD DWG 2405A) NTS



**GRAVEL ROAD SECTION**  
NTS

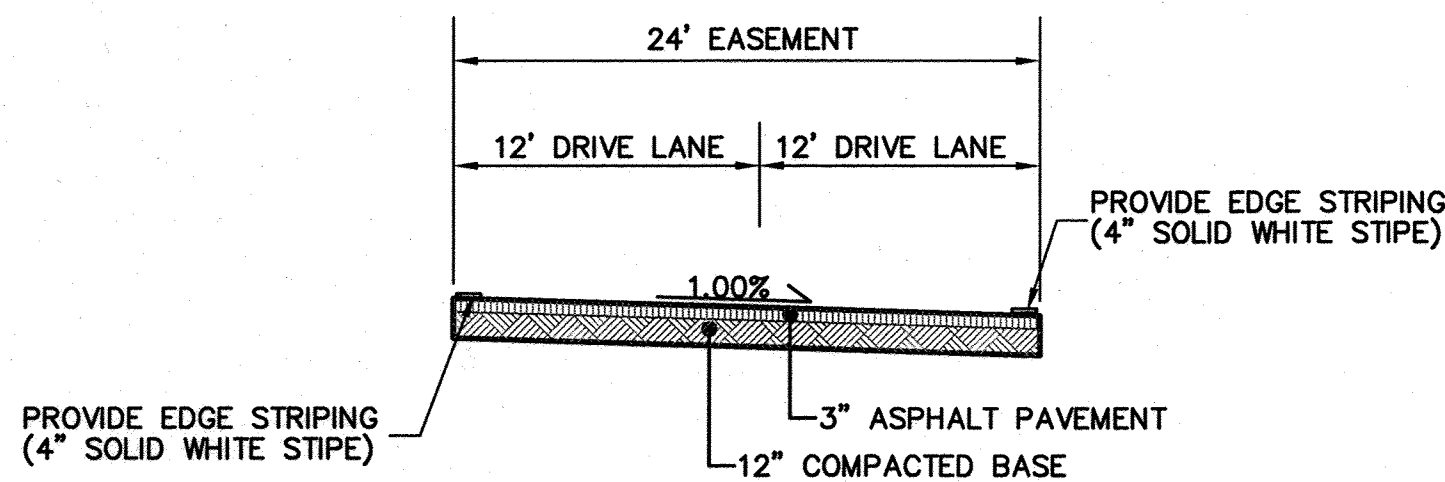


**4" BOLLARD**

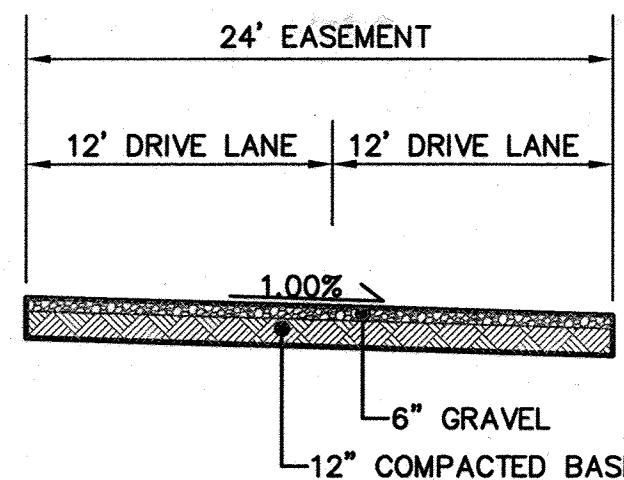
**TYPICAL BOLLARDS**  
NTS

**KEYED NOTES:**

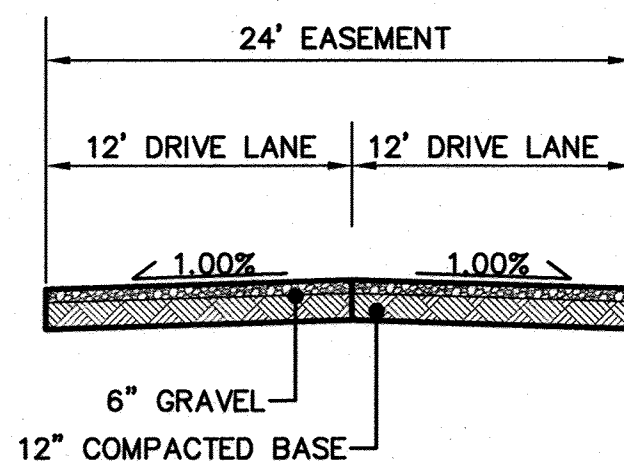
1. 4" dia. steel pipe w/ reflectorized yellow paint (conc. filled w/ smooth edges).
2. Finished grade or paving as per drawings & specs - see plans.
3. Concrete footing.
4. Rounded concrete.



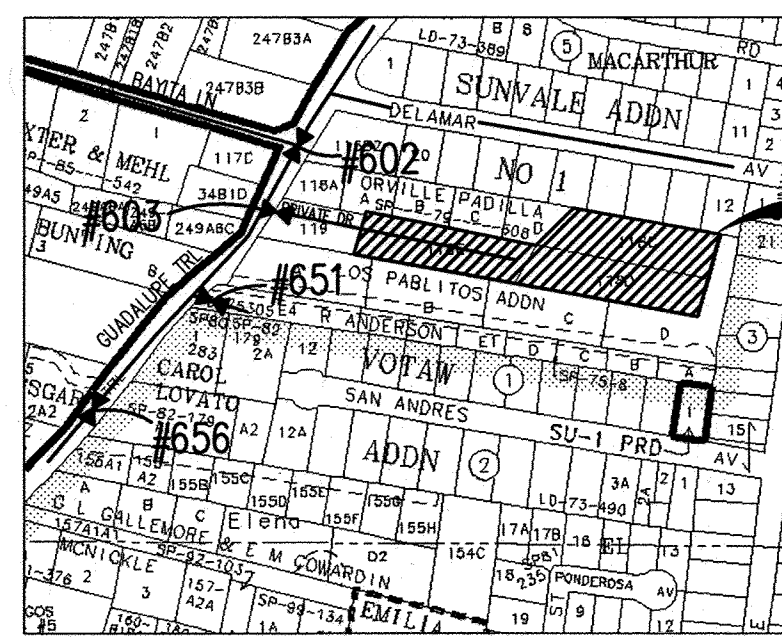
**STA. 1+00 TO STA. 1+33.37**  
NTS



**STA. 1+33.37 TO STA. 6+30.87**  
NTS

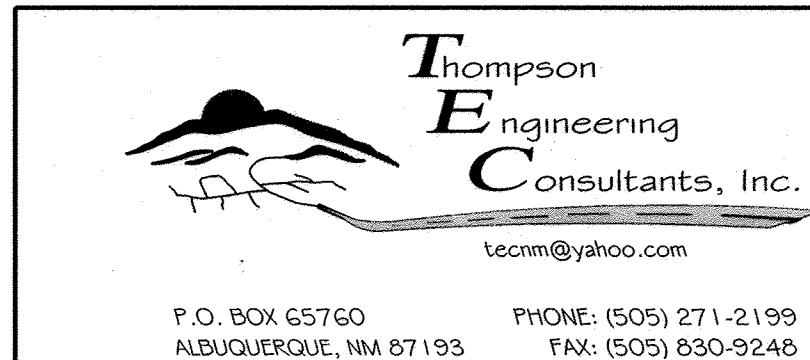


**STA. 6+30.87 TO STA. 8+38.00**  
NTS



**WATER SHUT OFF PLAN:**

1. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OR PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ON-LINE AT <http://abcqua.org/contnt/view/463/729>.
2. VALVES SHALL BE OPERATED BY ABCWUA ONLY.
3. MAKE A PRESSURE CONNECTION IN ENDEE RD AT NORTH BOUNDARY.
4. MAKE A NON-PRESSURE CONNECTION ON THE 6" WL IN PRIVATE ROAD AT END OF WATER LINE BY SHUTTING OFF EXISTING GATE VALVE 603.



**CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
TRANSPORTATION DEVELOPMENT**

**LANDS OF SIMPATICO  
DETAILS**



City Project No.  
634382

Zone Map No.  
F-14-Z

Sheet  
6 Of  
6

SURVEY INFORMATION		BENCH MARK		AS BUILT INFORMATION	
NO.	DATE	NO.	DATE	NO.	DATE
		ACS MONUMENT "NM 47 10"		CONTRACTOR	
		x = 1523633.488		INSPECTOR'S	
		y = 1500810.208		FIELD VERIFICATION BY	
		Ground to Grid Factor:		CONTRACTOR'S	
		0.999681770		DATE	
		Δα = -00' 13" 28.96"		DATE	
		NAD 1983 CENTRAL ZONE		DATE	
		ELEVATION=4970.252 (NAVD 88)		DATE	

