

SCANNED BY
PLANNING

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26-6424-12-07

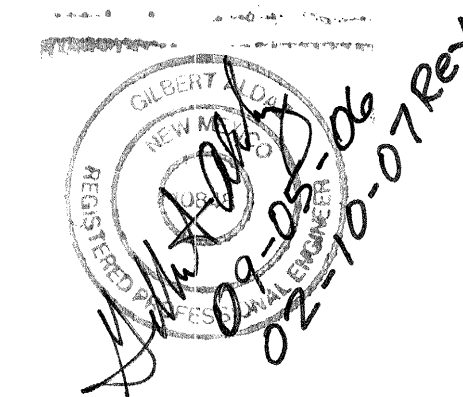
CONSTRUCTION PLANS FOR VILLA PLAZA VIEJA SUBDIVISION ALBUQUERQUE, NEW MEXICO

INDEX

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RECORD DRAWINGS

I, Gilbert Aldaz of the firm of Applied Engineering & Surveying, Inc., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer, that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This certification is based on site inspections by me or personnel under my direction.



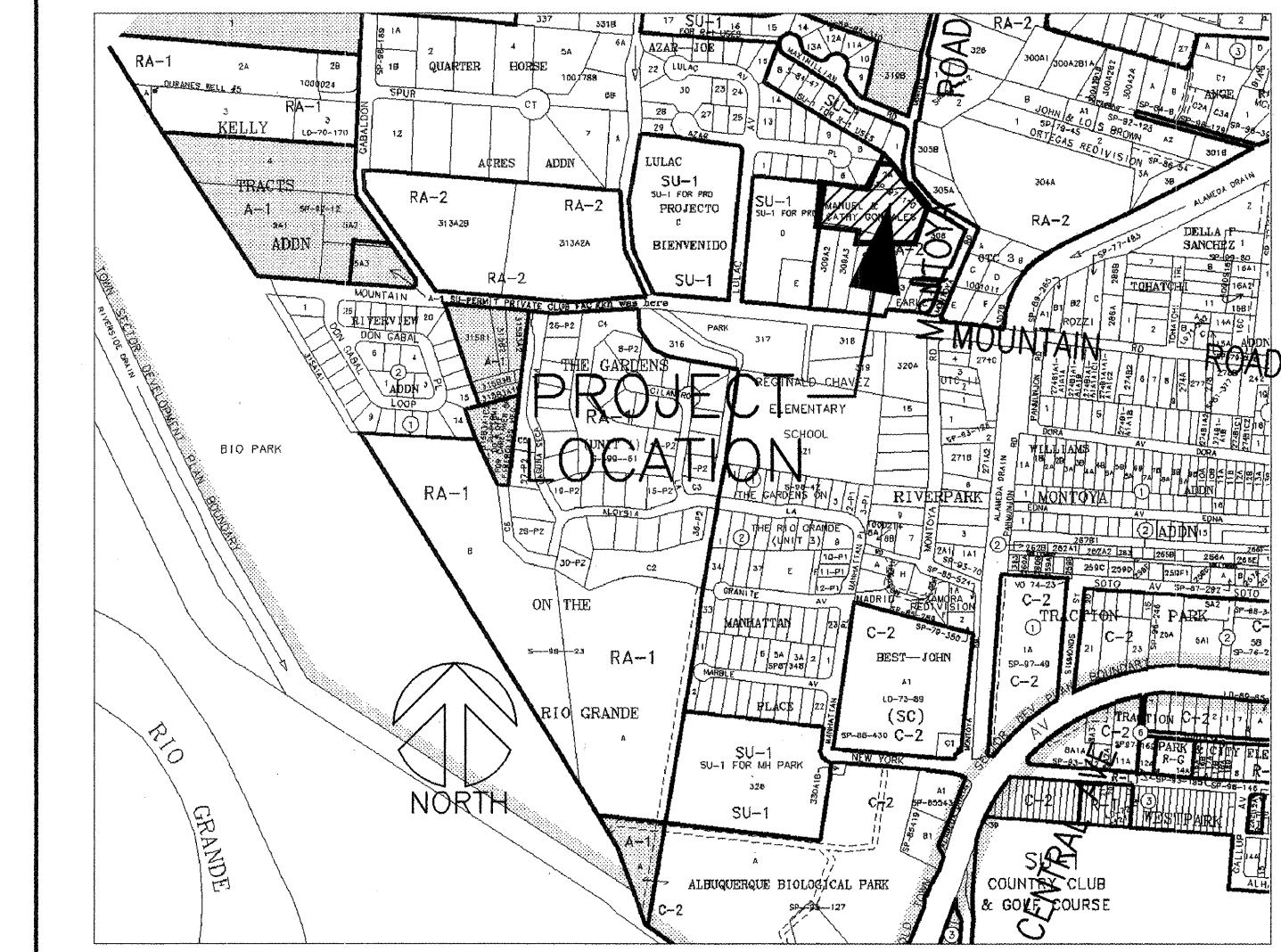
THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- ☐ SIDEWALK AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED
- ☐ IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☐ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- ☐ THE REQUESTOR OR DEVELOPER SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ALL CURB AND GUTTER OR SIDEWALK DAMAGE AFTER APPROVAL BY THE CITY ENGINEER OR WORK COMPLETED BY THE CONTRACTOR.

CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY CONSTRUCTION ENGINEER
Deanna W. Rife
DATE: 3/29/2007

VICINITY MAP (J - 12)



GENERAL NOTES NOTICE TO CONTRACTORS

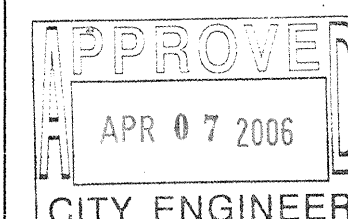
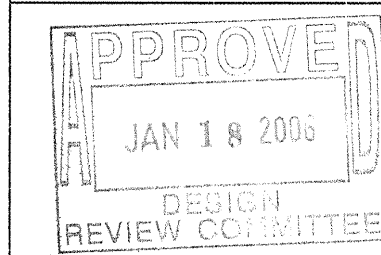
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARDSPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) AND DETERMINE LOCATION OF EXISTING UTILITIES.
- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTION. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR THE SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITHOUT DELAY.
- ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC. WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION; CONTRACTOR SHALL NOTIFY THE CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- THE WATER SYSTEMS DIVISION (857-8200) WILL BE NOTIFIED BY THE CONTRACTOR SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK WHICH MAY AFFECT THE EXISTING PUBLIC WATER FACILITIES. REFER TO SECTION 18 OF THE STANDARD SPECIFICATIONS.
- ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29CFR 1926.650 SUBPART P.
- CORTE MIRABAL IS A PRIVATE STREET AND REQUIRES STREET NAME SIGNS, STOP SIGNS AND ANY NECESSARY STRIPING TO BE PROVIDED.

APPLIED Engineering & Suveying, Inc.
1605 BLAIR DRIVE NE
ALBUQUERQUE, NEW MEXICO 87112
PHONE (505)237-1456

REV.	5	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER	DATE	*****	
		DRC Chairman		<u>K. A. J.</u>	1/18/06	APPROVED FOR CONSTRUCTION <u>R. L. D.</u> 4-07-06 City Engineer Date	
		Transportation		<u>Mike H.</u>	1/11/06		
		Water/Wastewater		<u>William G. Hales</u>	1/11/06		
		Hydrology		<u>Bradford R. Jones</u>	1/13/06		
		Parks					
Constr. Mngmt.		<u>K. A. J.</u>	1/18/06				
CITY PROJECT No.				6424812	Sheet 1 of 5		

DRB - 1000565

TITLE: VILLA PLAZA VIEJA SUBDIVISION
SURVEY PLAT MAPS

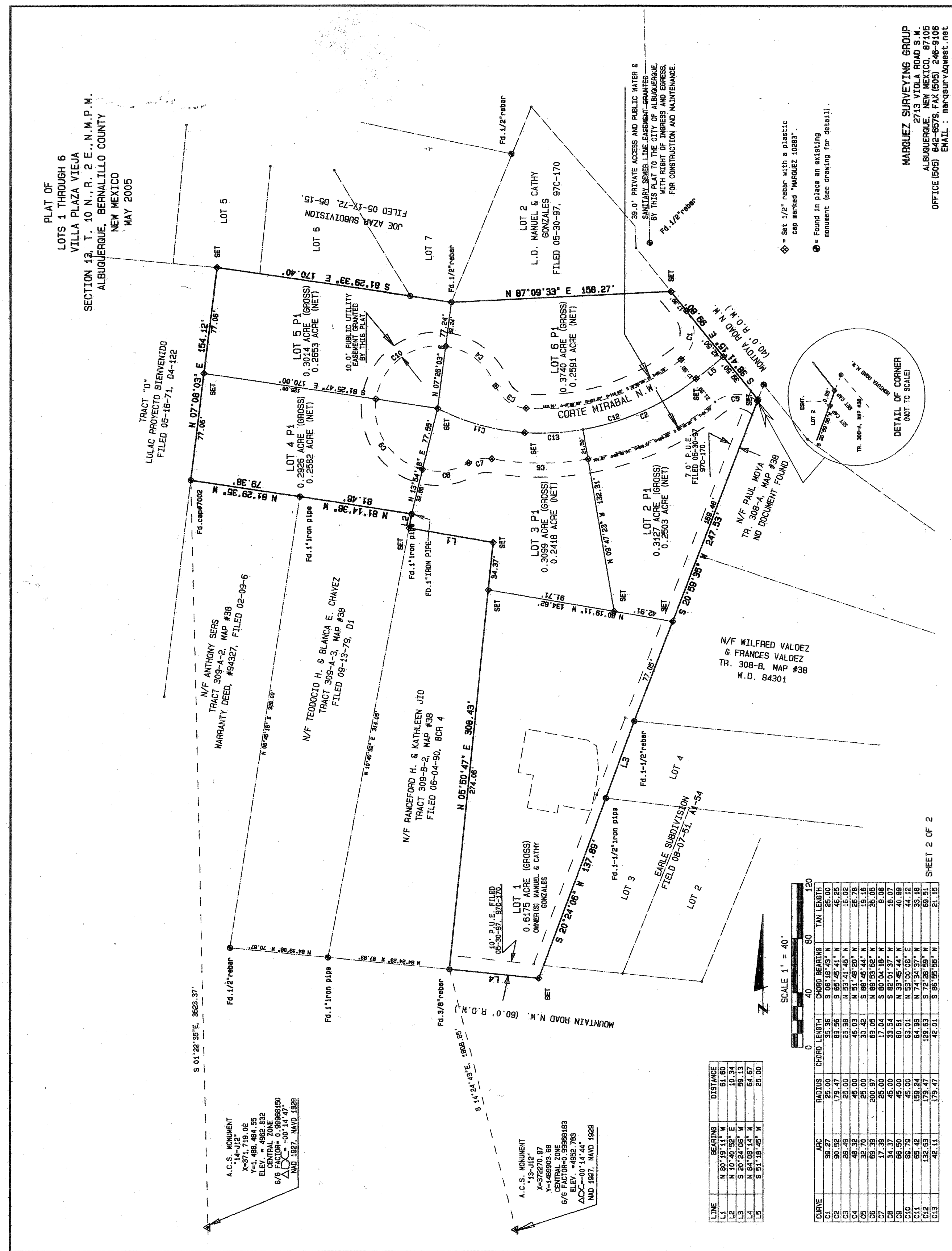


City Project No

6424812

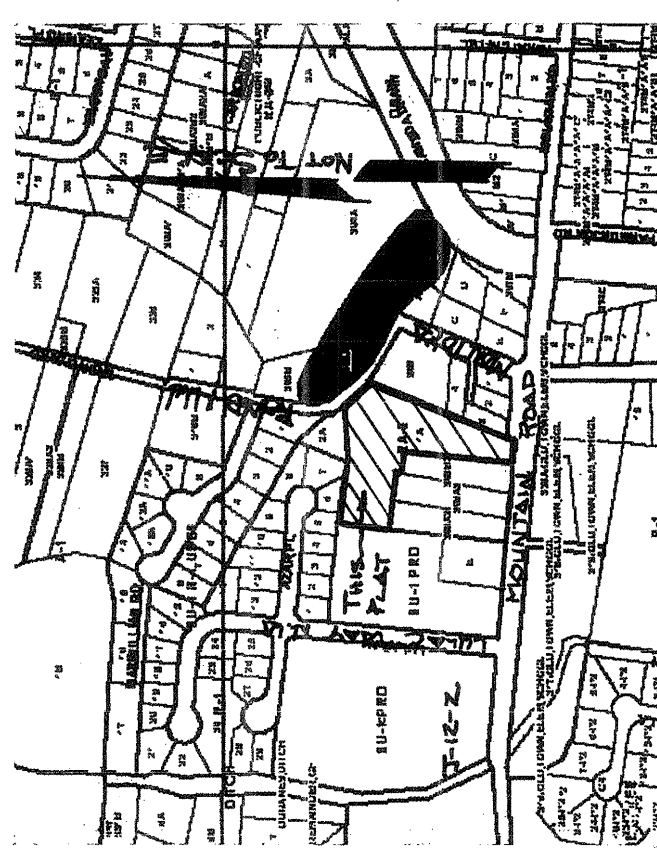
Zone Map No.	
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Sheet	Of
2	5



MARQUEZ SURVEYING GROUP
2713 VIOLA ROAD S.W.
ALBUQUERQUE, NEW MEXICO, 87105
OFFICE (505) 842-6579, FAX (505) 246-9106
EMAIL: marqsurv@qwest.net

TALOS LOG NO. 2005-204447



- [illegible]

PUBLIC UTILITY EASEMENTS SHALL BE 10 FEET WIDE AND ARE GRANTED FOR THE FOLLOWING PURPOSES:

1. PUBLIC SERVICE ELECTRIC COMPANY OF NEW HAMPSHIRE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FITTINGS, STRUCTURES AND RELATED ACCESSORIES.
2. PUBLIC SERVICE GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE GAS SERVICE.
3. BEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL TELEPHONE, CABLE, RADIO, AND TELEVISION TRANSMISSION LINES AND FACILITIES REASONABLY NECESSARY FOR COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY FOR TELEPHONE AND CLOSURES.
4. COMCAST INTERACTIVE FOR THE INSTALLATION , MAINTENANCE, AND SERVICE OF SUCH FACILITIES AS MAY BE REQUIRED TO DELIVER BROADCAST AND FACILITATED PROGRAMS REGARDING PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, ENLARGE, ALTER, CHANGE, REMOVE, MODIFY, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSE DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID ELEMENT, INCLUDING THE RIGHT TO TRAVEL THEREON, AND TO PRIVILEGE TO TRIP AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDINGS, SIGN, POLLUTANTS OR OBSTRUCTIONS OF ANY KIND SHALL BE PLACED ON OR ADJACENT TO THE EASEMENT. IF ANY PART OF THE EASEMENT IS NOT CONSTRUCTED AS AN EASEMENT, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREIN. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATION OF THIS EASEMENT. IN THE EVENT OF ANY VIOLATION OF THIS EASEMENT, THE EASEMENT SHALL REMAIN IN FULL FORCE AND EFFECT. IN ANY CASE WHERE DAMAGES ARE INCURRED BY THE EASEMENT, THE EASEMENT SHALL REMAIN IN FULL FORCE AND EFFECT. DAMAGES ADDITIONAL TO, WITHIN OR BEYOND EASEMENTS SHOWN ON THIS PLAN.

THE FIRST HALF AND/OR SECOND HALF OF THE YEAR 200__ PROPERTY TAX FOR THIS PROPERTY SHOWN
HEREON ARE PAID IN FULL.

TREASURER OF THE
SHEET 1 OF 2[illegible]

OWNERS : GARY L. MIRABAL / DATE 5/23/05
LEONA J. MIRABAL / DATE
OWNERS OF LOTS 2 THROUGH 6

STATE OF New Mexico) SS
COUNTY OF Bernalillo

BY Ray A. Muehl and Christy Muehl
(MAYORS)
 NOTARY PUBLIC Marlo Torres
 MY COMMISSION EXPIRES January 31, 2007

OWNERS OF LOT 60 MANUEL GONZALES / DATE 5-24-05
CATHY GONZALES / DATE 5-24-05
Manuel G. Gonzales 5-24-05 Cathy Gonzales 5-24-05

STATE OF New Mexico)
COUNTY OF Bernalillo) SS
ON THIS 27th DAY OF March 2018 THIS INSTRUMENT WAS ACKNOWLEDGED BY Miriam Gonzalez & John Gonzalez

M. L. Torres
NOTARY PUBLIC M. L. Torres
MY COMMISSION EXPIRES 11/11/2011

THE PURPOSE OF THIS IS TO CREATE FIVE(5) BUILDABLE LOTS AND ONE(1) LOT AROUND THE EXISTING BUILDING, PROVIDE AND CREATE A 38 FOOT PRIVATE ACCESS AND PUBLIC SANITARY SEWER AND WATERLINE EASEMENT.

SURVEYOR'S CERTIFICATE

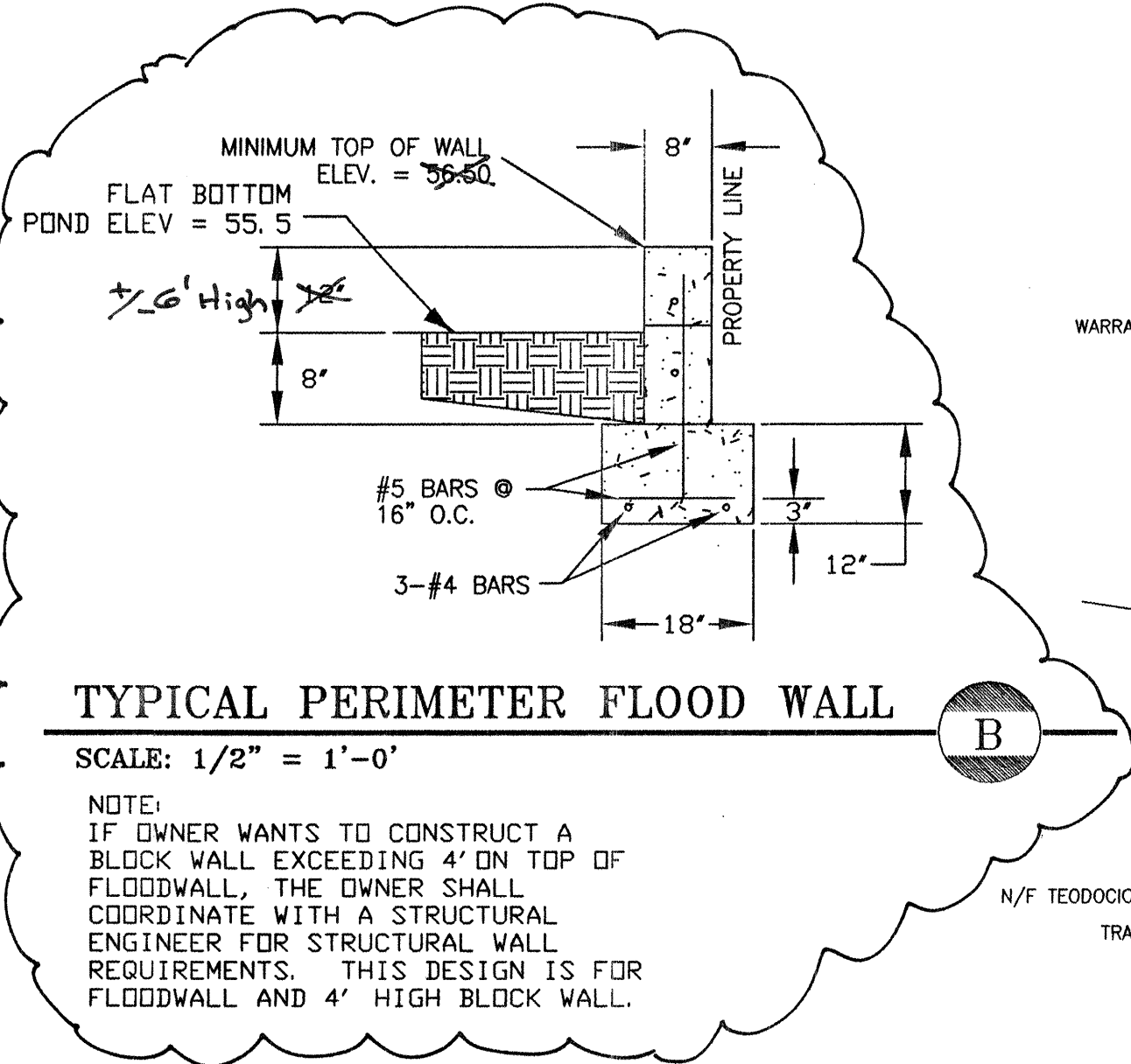
I, GEORGE J. MAQUEZ, JR., A REGISTERED PROFESSIONAL LAND SURVEYOR NUMBER 10293, CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND AM RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. I HAVE REVIEWED THE SURVEY AND THE SURVEYOR'S STATEMENT OF WORK AND CONCLUDE THAT THE SURVEY COMPLETES THE REQUIREMENTS OF THE SURVEY STATUTES AND STANDARDS FOR NEW MEXICO SURVEYS AS ESTABLISHED BY THE STATE BOARD OF SURVEYING AND MAPPING. THE SURVEY IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

NEW MEXICO
JAN 10 2005
RECEIVED
F. 10283
MAY 27 2005
DAY

MARQUEZ SURVEYING GROUP
2713 VIOLA ROAD S.W.
ALBUQUERQUE, NEW MEXICO, 87105
OFFICE (505) 842-6579, FAX (505) 246-9106
EMAIL: marqsurv@aolwest.net

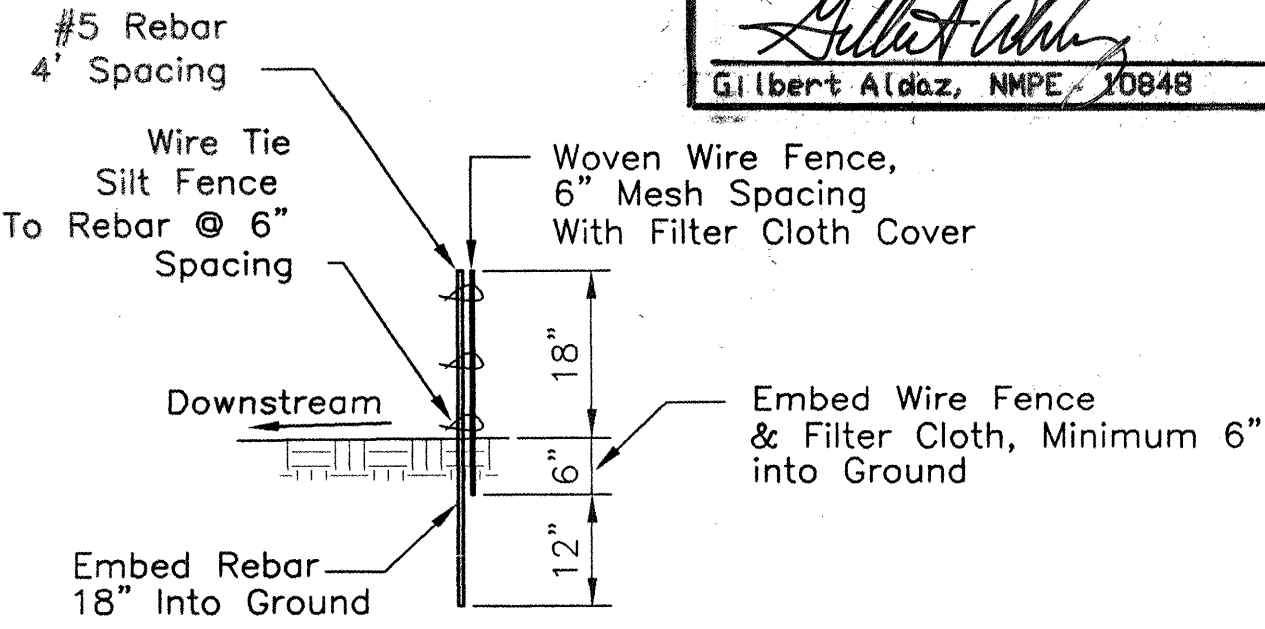
CONSTRUCTION NOTES:

- 1 PROVIDE SILT FENCE PER DETAIL "A" SHOWN ALONG THE FRONTAGE OF MONTOYA ROAD PRIOR TO BEGINNING CONSTRUCTION. SILT FENCE SHALL BE MAINTAINED DURING ENTIRE STAGE OF CONSTRUCTION UNTIL PERMANENT EROSION IMPROVEMENTS IN PLACE. CONTRACTOR SHALL CLEAN ANY SEDIMENT RUNOFF IMMEDIATELY INTO ADJACENT PROPERTIES OR CITY PUBLIC STREETS.
- 2 CONSTRUCT 12" HIGH FLOODWALL PER DETAIL "B" AROUND ENTIRE PERIMETER, EXCEPT ALONG FRONTAGE OF MONTOYA ROAD NW.
- 3 CONSTRUCT 4' WIDE MODIFIED ESTATE CURB AROUND ENTIRE CUL-DE-SAC.
- 4 CONSTRUCT 4" THICK AGGREGATE BASE COURSE IN CUL-DE-SAC.
- 5 PROVIDE ROOF DRAINS WITH CANALES AND SPLASH BLOCKS AT LOCATIONS SHOWN.
- 6 CONSTRUCT STANDARD ESTATE CURB ALONG MONTOYA ROAD NW.
- 7 CONSTRUCT 3" THICK TYPE "B" ASPHALT PAVING WITH 12" SUBGRADE PREPARATION PER CITY STANDARDS.

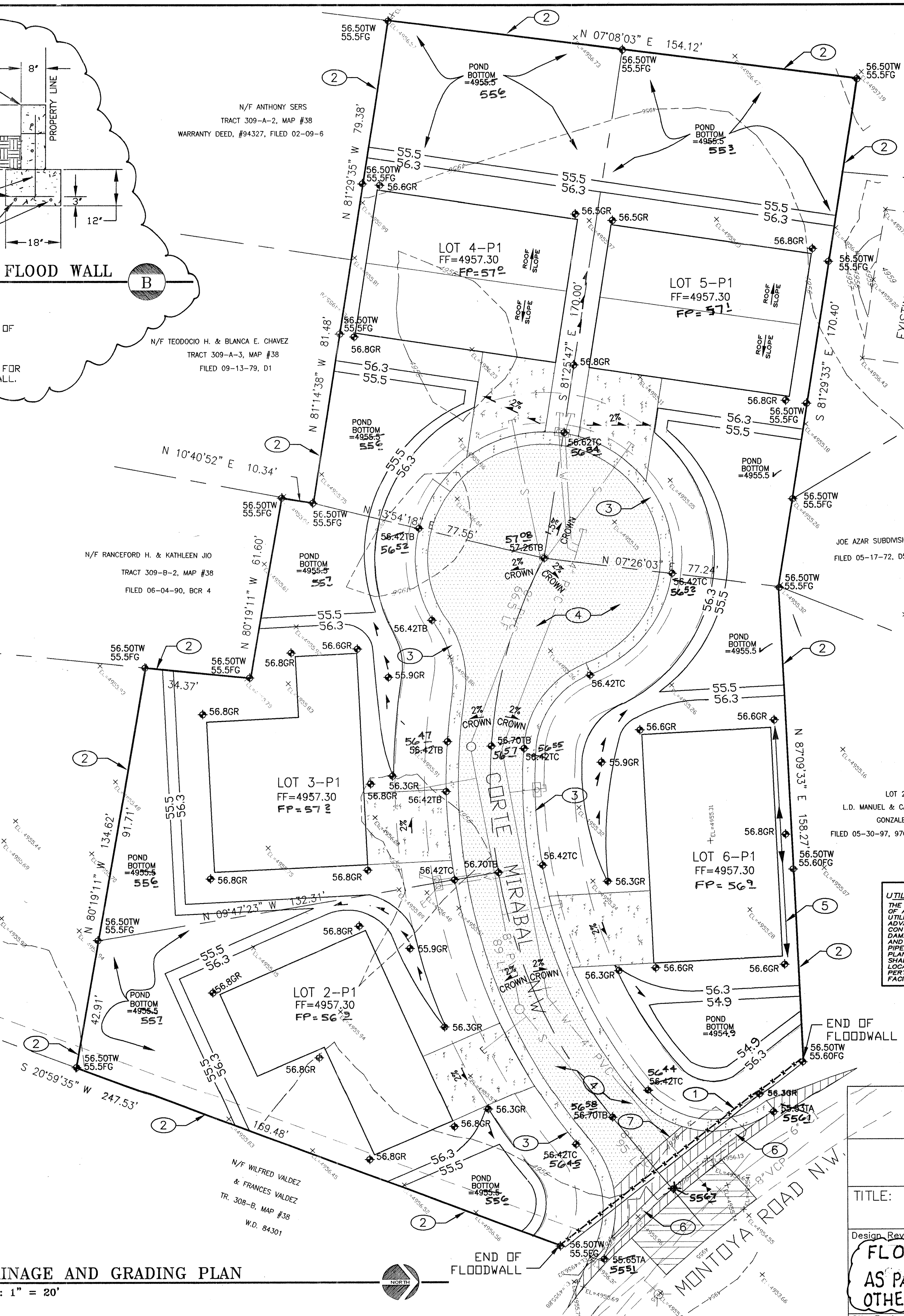


LEGEND	
56.3	NEW TOP OF POND ELEVATION
55.5	NEW BOTTOM OF POND ELEVATION
56.50TW	NEW TOP OF WALL ELEVATION
56.42TC	NEW TOP OF CONCRETE ELEVATION
56.40TB	NEW TOP OF BASECOURSE ELEVATION
56.8GR	NEW TOP OF GRADE ELEVATION
55.5FG	NEW BOTTOM OF WALL ELEVATION
53.62	EXISTING CONTOUR GRADE
55.5FG	EXISTING GRADE ELEVATION
FP=56.2	AS-BUILT PAD ELEV.
AS-BUILT	

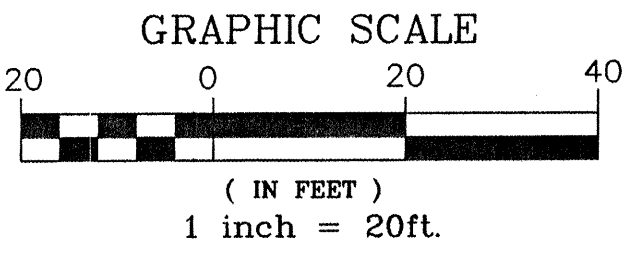
DRAINAGE CERTIFICATION
As indicated by the as-built information shown hereon, Maria Lynn Avenue Townhomes Subdivision Grading and Drainage plan has been constructed in substantial compliance with the approved Grading and Drainage Plan. This Certification is presented in fulfillment of drainage requirements requested by the City of Albuquerque. The information shown hereon has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief.
Gilbert Aldaz
Gilbert Aldaz, NMPE, 10848
09-05-06
Date



DRAINAGE AND GRADING PLAN
SCALE: 1" = 20'



UTILITY PRECAUTIONS.
THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.



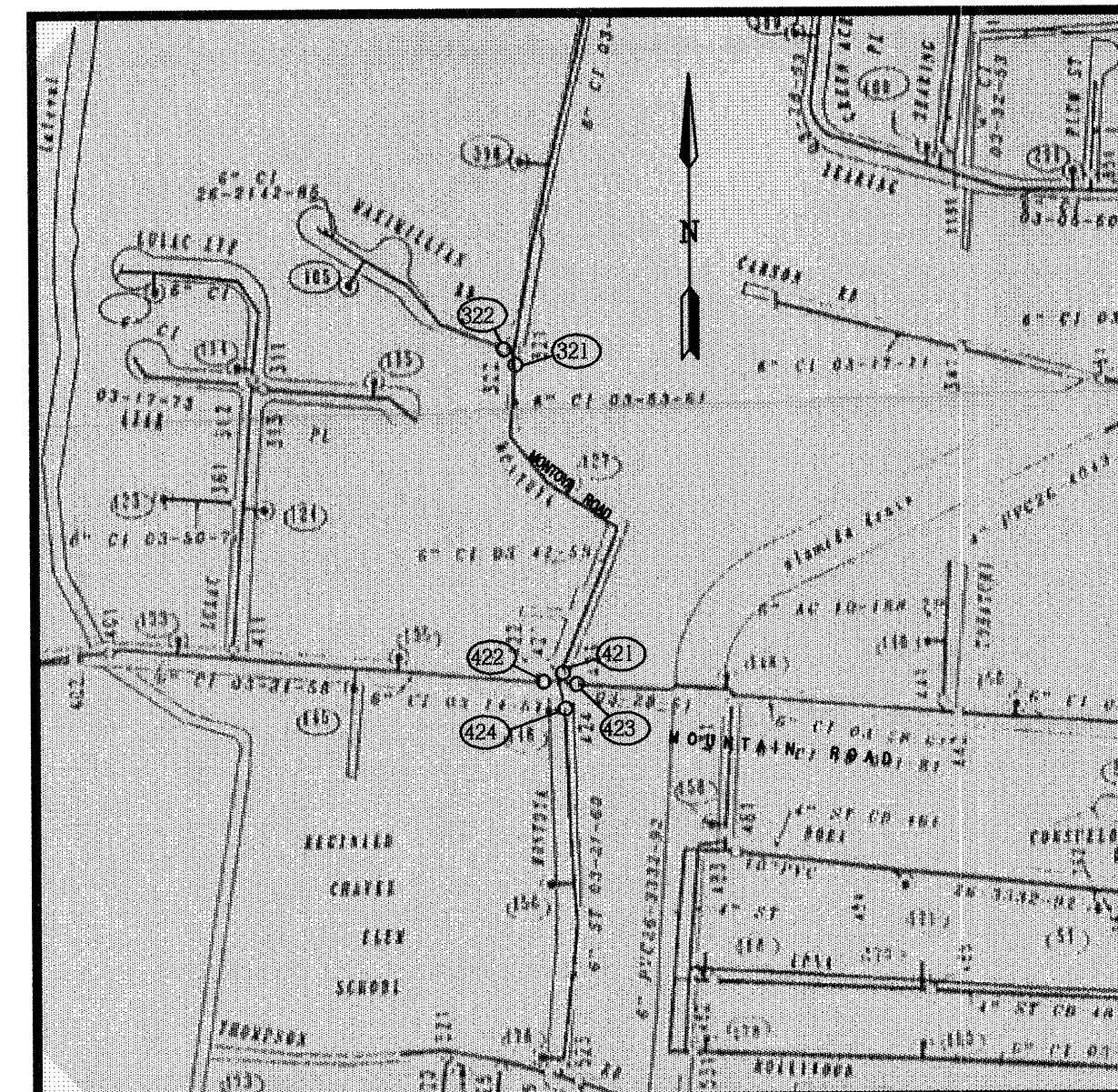
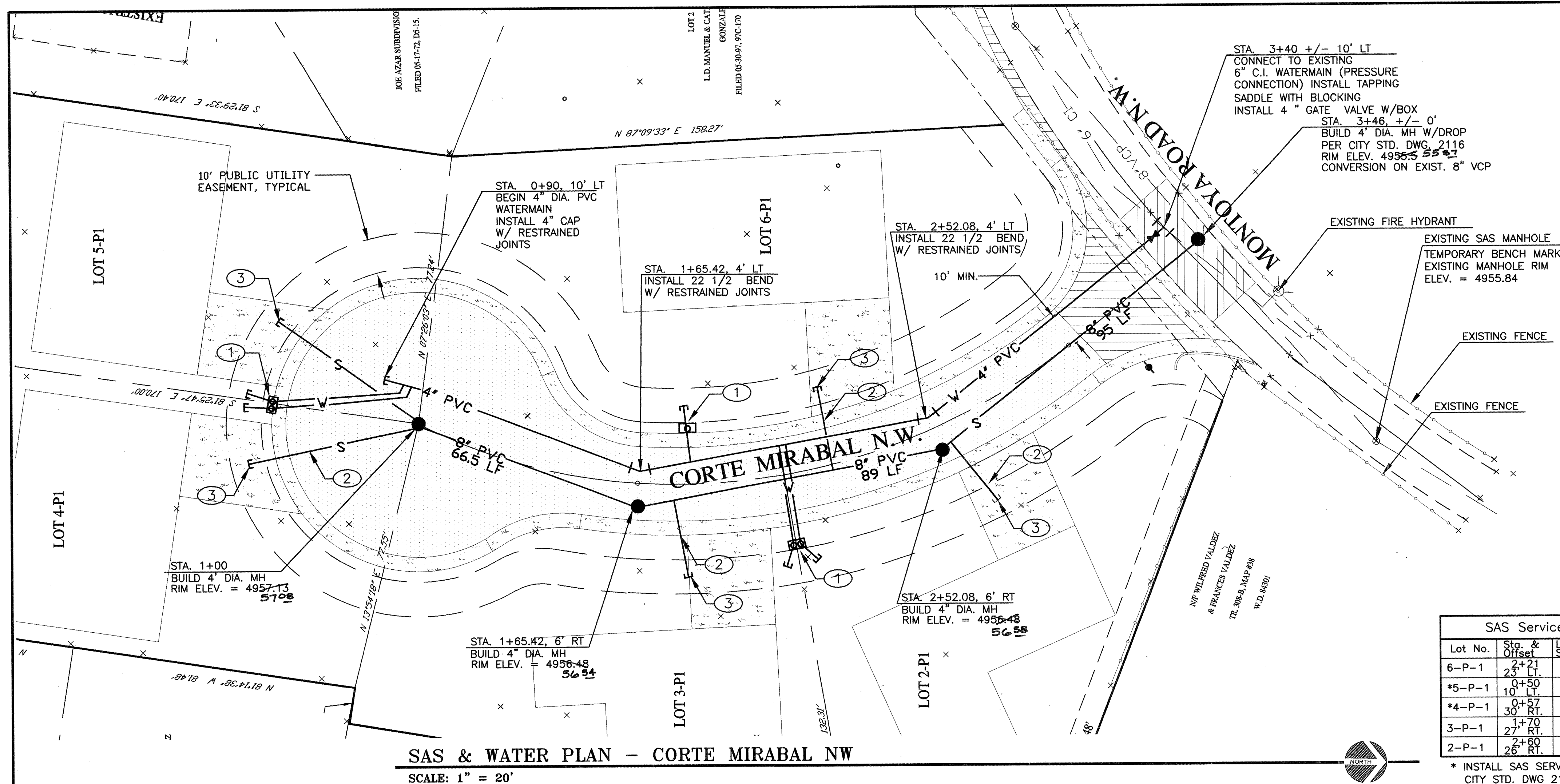
APPLIED ENGINEERING AND SURVEYING, INC.
ENGINEERS AND PLANNERS
1600 Ray Drive NE
Albuquerque, New Mexico 87112
Phone: (505) 277-1400

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **VILLA PLAZA VIEJA SUBDIVISION GRADING AND DRAINAGE PLAN**

Design Review Committee City Engineer Approval
FLOODWALL REQUIRED AS PART OF THIS W.O., ALL OTHER FOR INFO. ONLY
City Project No. 6424802 Zone Map No. J-12 Sheet 3 of 5

DIVISION GE PLAN		ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
No. / Day / Yr.		DATE		FIELD NOTES		TEMPORARY BENCHMARK IS EXISTING		CONTRACTOR	
		BY		NO.		SANITARY SEWER MANHOLE RIM		WORKED BY	
		REMARKS				ELEVATION = 4955.84, +/- 80 FEET		INSPECTOR'S	
		REVISIONS				EAST OF INTERSECTION OF CORTE		ACCEPTANCE BY	
		DESIGN				GONZALES NW AND MONTOLYA RD. SEE		VERIFICATION BY	
		DATE				SHEET 5 FOR LOCATION BASED		DRAWINGS	
		DRAWN BY				ON C. D. A. BENCHMARK 12-J12		SCALE	
		DATE				VERTICAL DATUM, N. G. V. D. 1929		MICRO-FILM INFORMATION	
		CHECKED BY						RECORDED BY	
		D.						NO.	
Sheet		Of							
3		5							



WATER SHUTOFF PLAN

NOT TO SCALE

IN CASE OF EMERGENCY DURING THE
TAP, CLOSE THE FOLLOWING VALVES
321 AND 421

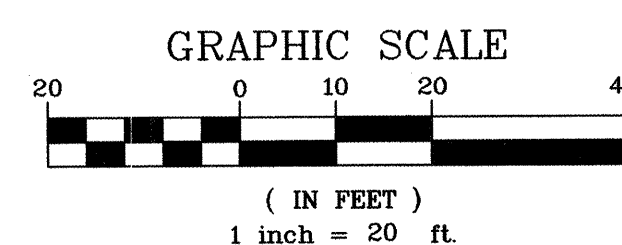
SAS Service Table			
Lot No.	Sta. & Offset	Length of Svc. to PUE	Inv. @ PVE
6-P-1	2+21 23' LT.	24'	51.10
*5-P-1	0+50 10' LT.	50'	52.33
*4-P-1	0+77 30' RT.	50'	52.33
3-P-1	1+70 27' RT.	23'	51.66
2-P-1	2+60 26' RT.	23'	50.79

RESTRAINED JOINTS TABLE (PVC)			
Nom. Pipe Size	22-1/2deg	Cap	Valve
4"	5'	46'	46'

DEAD ENDS GATE VALVES OR END CAPS PVC PIPE	
Nom. Pipe Size	Restrained Length L
4"	46'
6"	65'

CONSTRUCTION NOTES:

- ① INSTALL 3/4" WATER METER SERVICES, PER COA STD. DWGS. 2362, 2366 AND 2368. INSTALL APPROVED DUAL CHECK VALVES ON METER SETTER, ON ALL SERVICES PER SPEC. SECTION 802.3.9., EXTEND TAIL PIECE TO 5 FEET BEYOND PROPERTY LINE WITH INST-TITE I.P.T.
- ② INSTALL 4" SANITARY SEWER SERVICE LINE, PER COA STD. DWG. 2125, 5 FEET BEYOND PROPERTY LINE.
- ③ ELECTRONIC MARKER DISKS (EMD'S) SHALL BE INSTALLED ON WATERLINE AND SEWERLINE APPURTENANCES PER SECTION 170 OF CITY STANDARD SPECIFICATIONS.



**APPLIED ENGINEERING AND
SURVEYING, INC.**
ENGINEERS AND PLANNERS

1605 Blair Drive NE Albuquerque, New Mexico 87112
Office: (505) 237-1456 Facsimile: (505) 237-1456

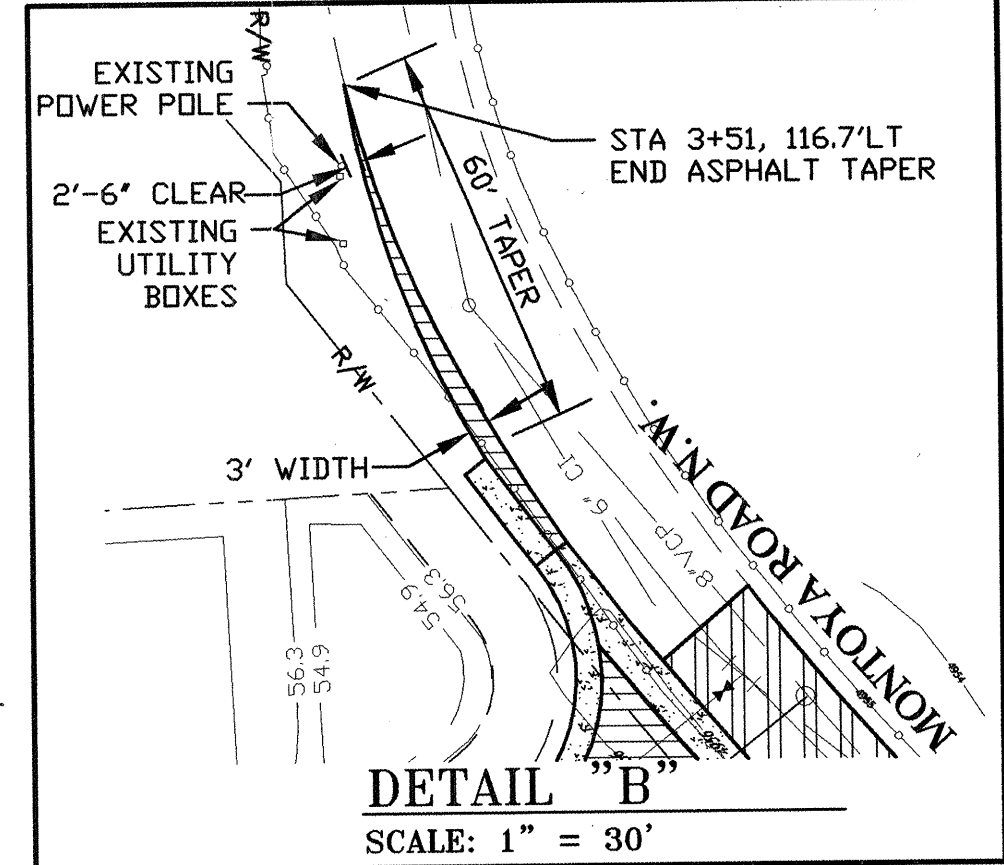
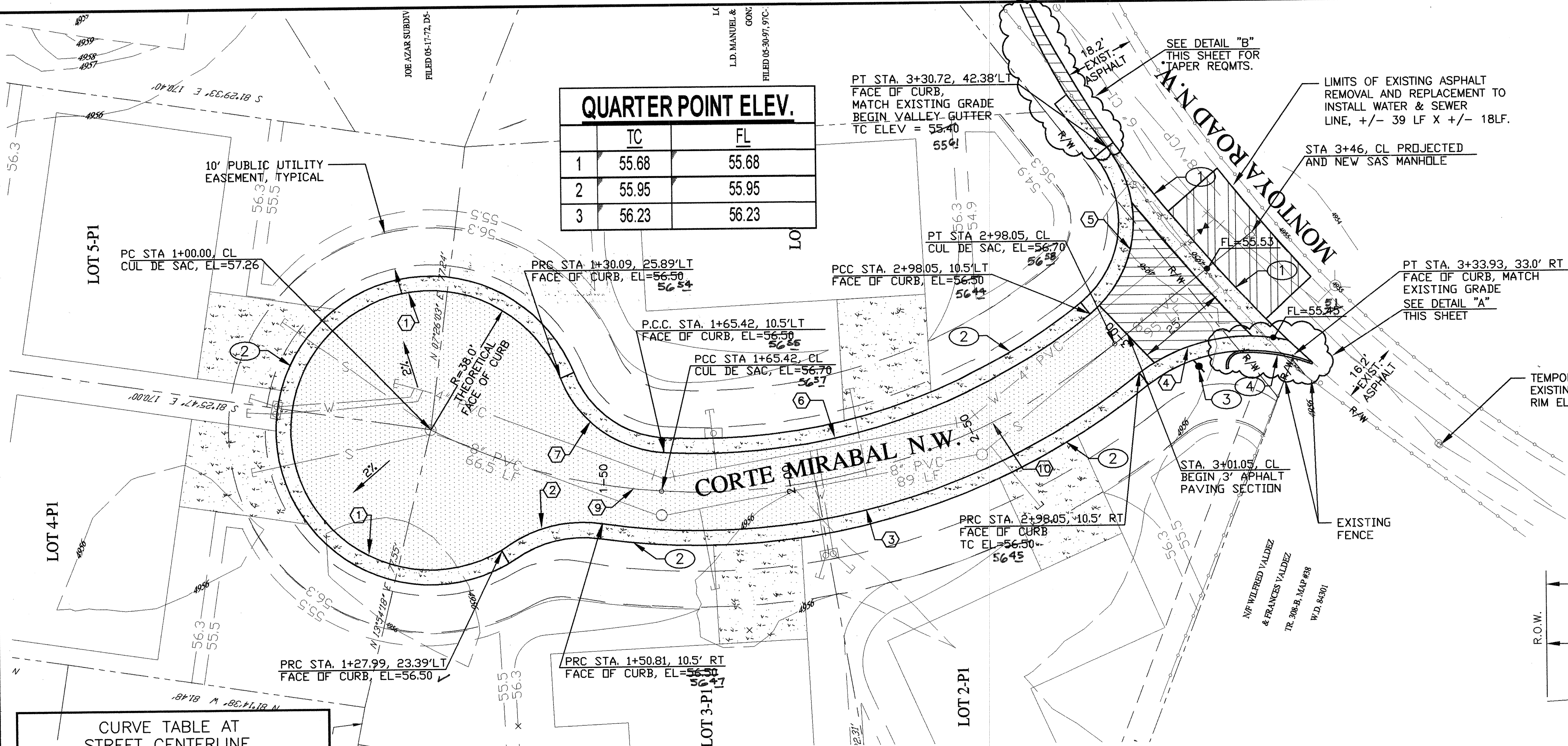
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VILLA PLAZA VIEJA SUBDIVISION
WATER AND SEWER, CORTE MIRABAL NW

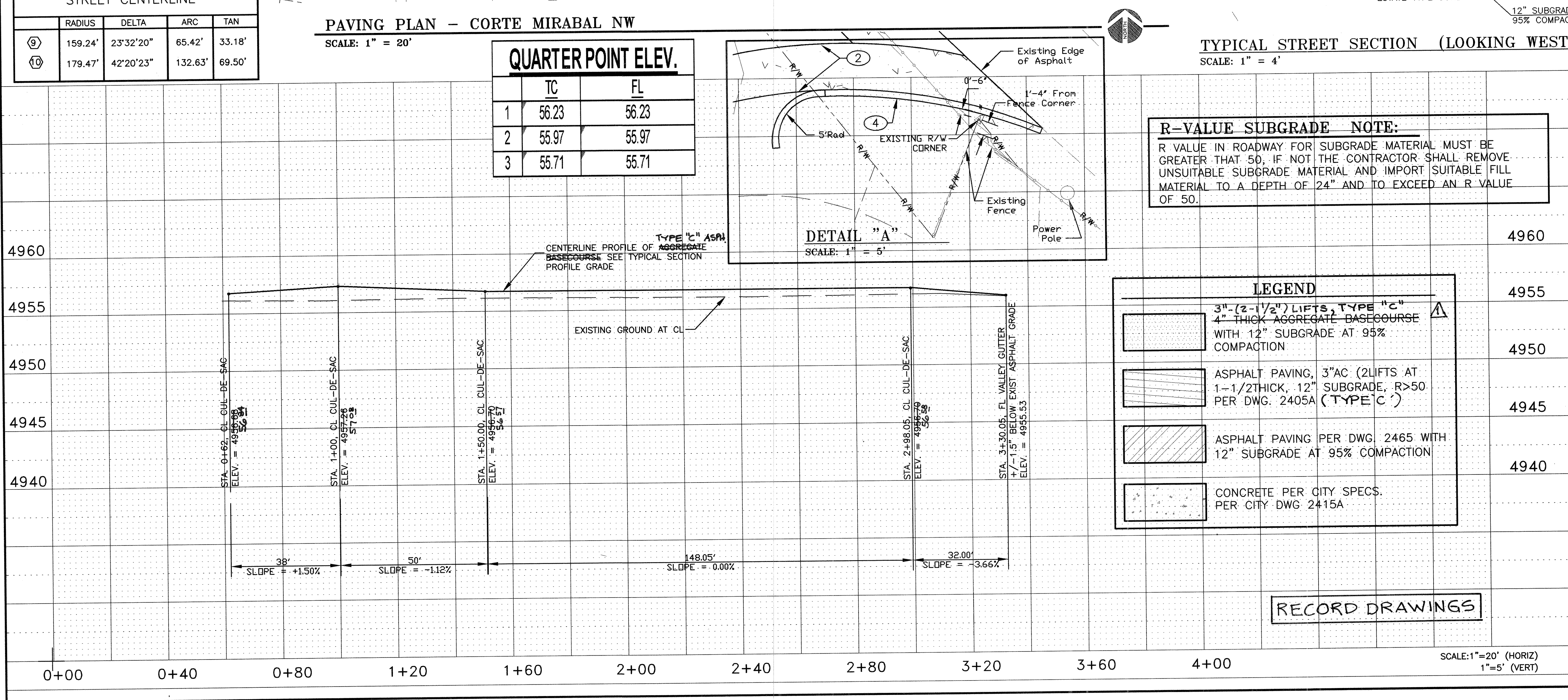
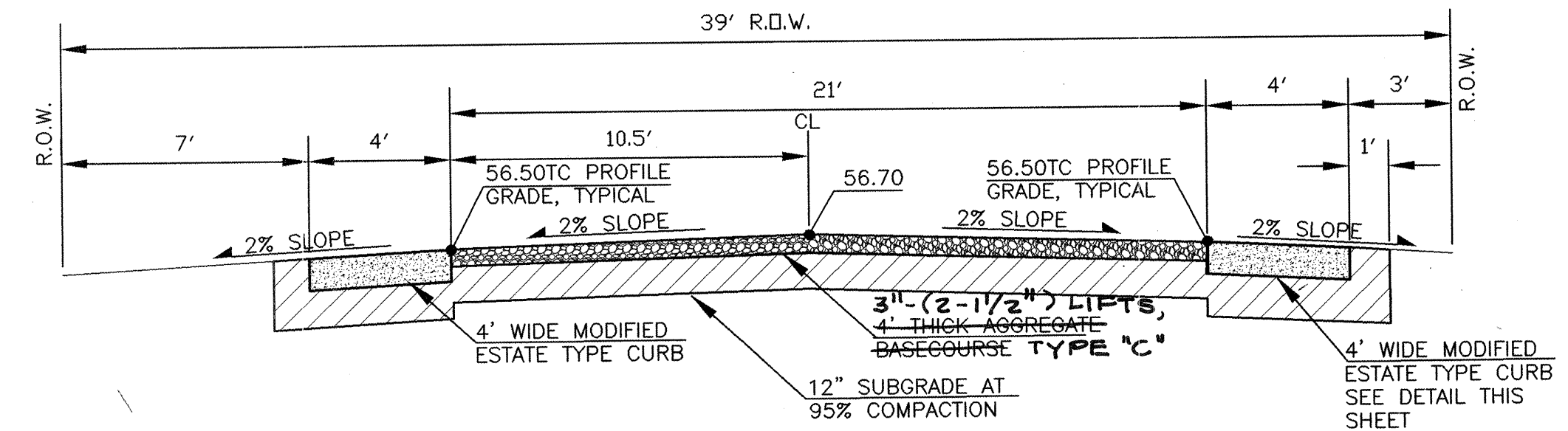
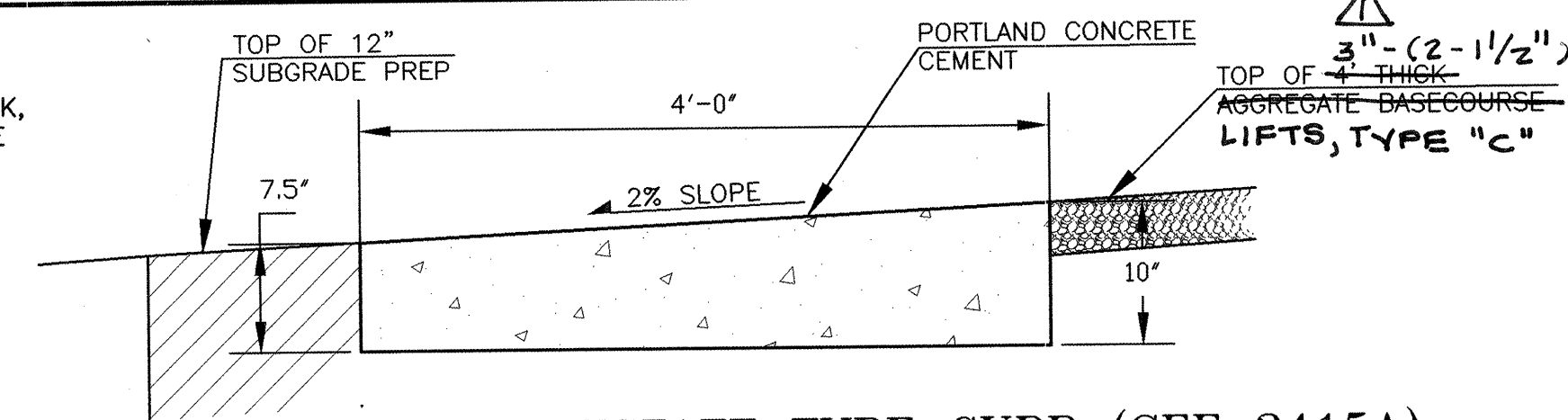
Design Review Committee 		City Engineer Approval 		Last Design Update	Mo./Day/Yr.		Mo./Day/Yr.	
City Project No. 6424812		Zone Map No. J-12			Sheet Of	4 5		

RECORD DRAWINGS			
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SCALE: 1"=20' (HORIZ)
1"=5' (VERT)

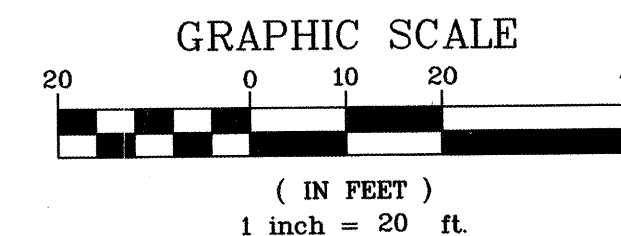


CURVE TABLE AT FACE OF CURB				
	RADIUS	DELTA	ARC	TAN
①	38.00'	278°58'39"	185.02'	-
②	36.00'	46°39'50"	29.32'	15.52'
③	189.97'	47°04'55"	156.10'	82.76'
④	49.20'	49°12'09"	42.25'	22.52'
⑤	32.00'	90°00'09"	50.26'	32.00'
⑥	169.00'	42°20'27"	124.87'	65.44'
⑦	32.00'	65°18'04"	36.47'	20.50'



CONSTRUCTION NOTES:

- INSTALL 6' FOOT WIDE VALLEY GUTTER PER C.O.A. STD. DWG. 2420.
- INSTALL 4' WIDE MODIFIED ESTATE TYPE CURB PER DETAIL SHOWN ON THIS SHEET.
- INSTALL R1-1 STOP SIGN (30") & POST WITH STREET NAME "CORTE MIRABAL"
- INSTALL 6" X 18" HEADER CURB PER CITY DWG 2415B.



APPLIED ENGINEERING AND SURVEYING, INC.
ENGINEERS AND PLANNERS
1600 Blue Ridge Rd.
Office: (505) 237-1456

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VILLA PLAZA VIEJA SUBDIVISION
PAVING PLAN, CORTE MIRABAL NW

Design Review Committee APPROVED JAN 18 2006 DESIGN REVIEW COMMITTEE	City Engineer Approval APPROVED APR 07 2006 CITY ENGINEER	Mo./Day/Yr. Mo./Day/Yr.
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City Project No. 64248	Zone Map No. J-12	Sheet 5	Of 5
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