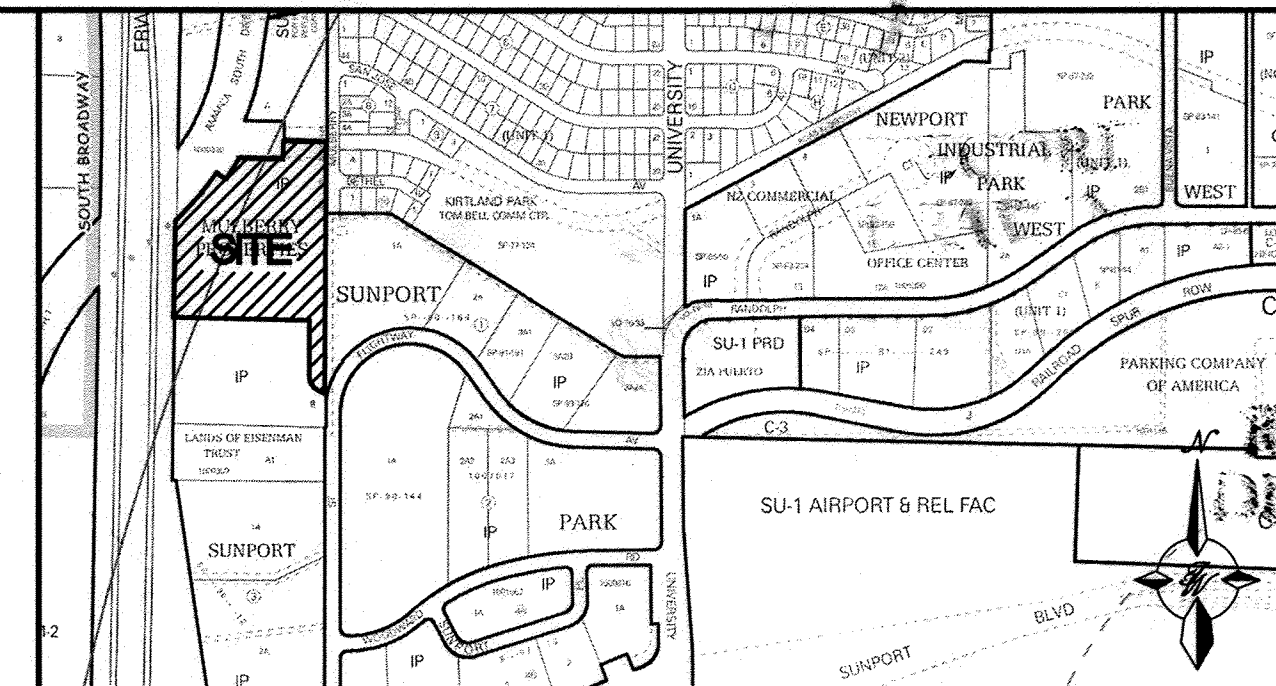


RECORD
DRAWING

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTIONS
CITY CONSTRUCTION ENGINEER
DATE: 4/13/2017



VICINITY MAP M-15-Z
SCALE NONE

NOTICE TO CONTRACTORS

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION (UPDATE #9). CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING ROADWAY AND UTILITY FACILITIES RESULTING FROM ACTIVITIES PERFORMED UNDER THE CONTRACT FOR IMPROVEMENTS DETAILED ON THESE PLANS.
2. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (280-1990) FOR LOCATION OF EXISTING UTILITIES.
3. ANY WORK AFFECTING AN ARTERIAL ROADWAY REQUIRES 24-HOUR CONSTRUCTION.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO(2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADE PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO STANDARD SPECIFICATIONS.
6. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY THE CONTRACTOR TO THE SAME LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.
7. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS. ANY PERMANENT SURVEY MONUMENT LOCATED WITHIN 50' OF THIS PROJECT THAT IS NOT SHOWN ON THE PLAN AND IS DESTROYED DURING CONSTRUCTION WILL BE REPLACED AT THE DESIGNER'S EXPENSE.
8. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
9. FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.
10. ALL UTILITY WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH ABCWUA SPECIFICATIONS FOR WATER AND WASTEWATER FACILITIES (MOST RECENT REVISIONS).
11. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT http://abcwua.org/water_shut_off_and_turn_on_procedures
12. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
13. ELECTRONIC MARKER DEVICES (EMS) WILL BE PLACED ACCORDING TO SECTION 170 OF THE COA STANDARD SPECIFICATIONS.
14. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL PROJECT HAS BEEN ACCEPTED BY THE COA.

- THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED
- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
 - ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
 - ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE PROJECT ENGINEER.
 - ☐ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
 - ☐ IF CURB IS DERESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
 - ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

CONSTRUCTION PLANS FOR MULTI-SPECIALTY CLINIC 2901 TRANSPORT ST, SE ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO JANUARY 2016

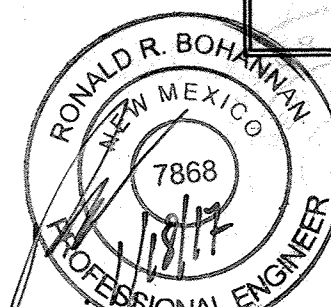
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INDEX TO DRAWINGS

- 1 TITLE SHEET
- 2 SITE PLAN (FOR REFERENCE ONLY)
2A-C GRADING & DRAINAGE (FOR REFERENCE ONLY)
- 3 MASTER UTILITY PLAN
- 4 PAVING IMPROVEMENTS
FLIGHTWAY AVE, S.E.
- 5 PAVING & STORM DRAIN IMPROVEMENTS
MULBERRY ST, S.E. / STA: 10+00.00 TO STA: 12+57.78
- 6 UTILITY IMPROVEMENTS
- 7 STRIPING IMPROVEMENTS
RANDOLPH RD & YALE BLVD
FLIGHTWAY AVE & UNIVERSITY BLVD
- 8 TEMPORARY EROSION CONTROL AND SEDIMENTATION PLAN
- 9 TEMPORARY EROSION CONTROL AND SEDIMENTATION DETAILS
- 10 DETAILS

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Bohannon, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Chris Medina, of Terra Land Surveys, NMPS number 15702.



Engineer's Seal
& Signature

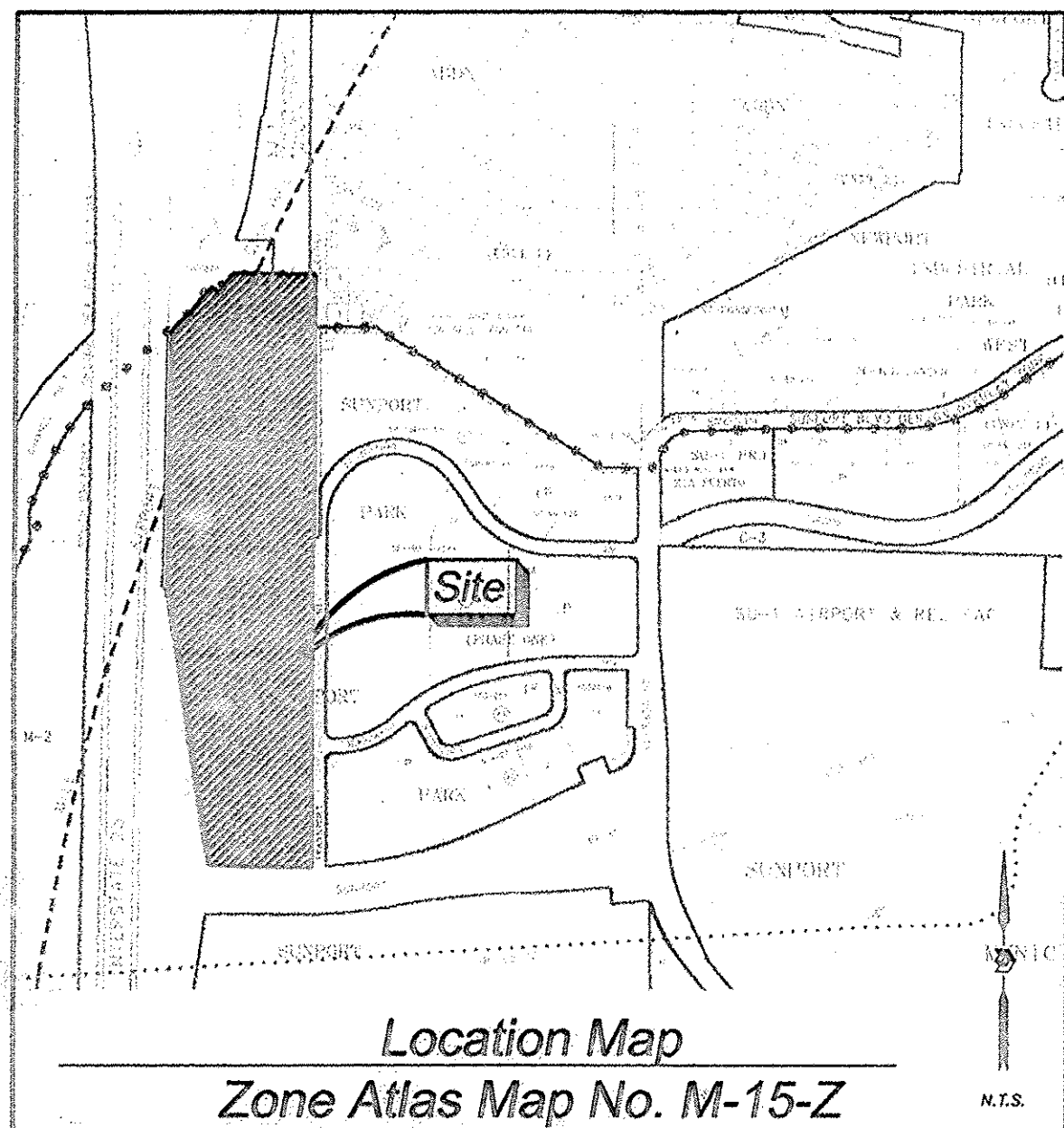
THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATION MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN THE CITY DESIGNATED LANDFILL BUFFER ZONES) SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

Paul Carlson 02/08/2016
ALBUQUERQUE ENVIRONMENTAL HEALTH DEPARTMENT

RECORD DRAWING

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NEW MEXICO 87109
505-858-3100
www.tierrawestllc.com

| | | | | | | | | | |
|----------------------------------|--------|------------------|------|------------------|-------|--------|------|--|------|
| REV | SHEETS | CITY ENGINEER | DATE | USER | DEPT. | DATE | USER | DEPT. | DATE |
| ENGINEERS STAMP & SIGNATURE | | APPROVALS | | ENGINEER | | DATE | | APPROVED FOR CONSTRUCTION | |
| | | DRC Chairman | | <i>Don White</i> | | 2-9-16 | | <i>PC</i> 6/3/16 City Engineer Date | |
| | | Transportation | | <i>Don White</i> | | 2-1-16 | | | |
| | | Water/Wastewater | | <i>Don White</i> | | 2-1-16 | | | |
| | | Hydrology | | <i>Don White</i> | | 2-1-16 | | | |
| | | AMAFCA | | <i>Don White</i> | | 2-1-16 | | | |
| Constr. Mngmt. | | | | | | | | | |
| Constr. Coord. | | | | | | | | | |
| CITY PROJECT NO. | | 643171 | | SHEET | | OF | | 10 | |
| RONALD R. BOHANNAN P.E. #7868 | | | | | | | | | |



Subdivision Data:

ZONING:
GROSS SUBDIVISION ACREAGE: 29.3774 ACRES±
ZONE ATLAS INDEX NO: M-15-Z
NO. OF TRACTS CREATED: 2
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: 0
DATE OF SURVEY: APRIL 8, 2013

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING FOUR TRACTS INTO TWO NEW TRACTS, TO GRANT EASEMENTS, AND TO DEDICATE ADDITIONAL ROAD RIGHT OF WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

Notes:

- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM (ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICE.
- QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRICAL TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF:

LOTS NUMBERED ONE-A (1A) AND TWO-A (2A) OF BLOCK NUMBERED THREE (3) OF THE PLAT OF LOTS 1A, 2A & 2B IN BLOCK 3, PARCELS 1-A-1, 1-A-2, 1-B-1 IN BLOCK 4, PARCELS 1A, 2B, 2C & 2D OF SUNPORT PARK, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 18, 1996, IN MAP BOOK 96C, FOLIO 22.

TOGETHER WITH:

TRACT LETTERED "B" OF PLAT OF TRACT A AND B OF MULBERRY PROPERTIES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 29, 2009, IN PLAT VOLUME 2009C, FOLIO 22.

TOGETHER WITH:

TRACT A-1 OF THE LANDS OF EISENMAN TRUST, SITUATE WITHIN SECTION 33, T 10 N, R 3 E, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 20, 2000, IN PLAT BOOK 200C, FOLIO 164 AND BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE - NORTH AMERICAN DATUM OF 1983 AND GROUND DISTANCES (U.S. SURVEY FEET) AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF DESCRIBED TRACT, LYING ON THE EAST RIGHT OF WAY LINE OF INTERSTATE 25 NMP 1-025 (R.O.W. VARIES) AND THE SOUTH RIGHT OF WAY LINE OF THE A.M.A.F.C.A. SOUTH DIVERSION CHANNEL (R.O.W. VARIES - PHASE 1 (07/17/2000, 2000C-783) MARKED BY A FOUND NO. 4 REBAR WITH NO CAP, FROM WHENCE A TIE TO A.G.R.S. MONUMENT "1_25_30" BEARS N 08°46'32" W, A DISTANCE OF 2313.18 FEET;

THENCE FROM SAID POINT OF BEGINNING, LEAVING SAID EAST RIGHT OF WAY LINE OF INTERSTATE 25, ALONG THE SOUTH RIGHT OF WAY LINE OF SAID A.M.A.F.C.A. SOUTH DIVERSION FOR THE NEXT SIX COURSES, N 47°30'05" E, A DISTANCE OF 35.08 FEET TO A POINT OF CURVATURE OF DESCRIBED TRACT MARKED BY A FOUND A.M.A.F.C.A. CAP "S1-10-48"

THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 1054.93 FEET, AN ARC LENGTH OF 209.49 FEET, A DELTA ANGLE OF 11°22'41", A CHORD BEARING OF N 40°13'07" E, AND A CHORD LENGTH OF 209.15 FEET, TO A POINT OF TANGENCY MARKED BY A FOUND A.M.A.F.C.A. CAP "S1-10-48"

THENCE S 55°34'40" E, A DISTANCE OF 45.08 FEET TO A POINT OF CURVATURE MARKED BY A FOUND A.M.A.F.C.A. CAP "S1-10-47";

THENCE ALONG A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 1099.93 FEET, AN ARC LENGTH OF 98.95 FEET, A DELTA ANGLE OF 05°09'15", A CHORD BEARING OF N 31°55'38" E, AND A CHORD LENGTH OF 98.91 FEET, TO A POINT OF TANGENCY MARKED BY A FOUND A.M.A.F.C.A. CAP "S1-10-46";

THENCE S 89°01'42" E, A DISTANCE OF 170.53 FEET TO AN ANGLE POINT MARKED BY A FOUND A.M.A.F.C.A. CAP "S1-10-45";

THENCE N 00°40'16" E, A DISTANCE OF 69.98 FEET TO AN ANGLE POINT MARKED BY A SET NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 89°00'35" E, A DISTANCE OF 167.28 FEET TO AN ANGLE POINT LYING ON THE WEST RIGHT OF WAY LINE OF MULBERRY STREET, S.E., MARKED BY A SET NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG SAID WEST RIGHT OF WAY LINE, S 00°18'42" W, A DISTANCE OF 283.91 FEET TO AN ANGLE POINT MARKED BY A SET NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID RIGHT OF WAY, S 00°10'04" W, A DISTANCE OF 833.04 FEET TO AN ANGLE POINT MARKED BY A SET NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 88°35'56" W, A DISTANCE OF 4.65 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 12651";

THENCE S 00°05'13" W, A DISTANCE OF 210.75 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 4071";

THENCE S 00°05'53" W, A DISTANCE OF 289.54 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 4071";

THENCE S 00°07'11" W, A DISTANCE OF 819.28 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE NORTH RIGHT OF WAY LINE OF SUNPORT BOULEVARD (R.O.W. VARIES) MARKED BY A FOUND SPIKE;

THENCE ALONG SAID NORTH RIGHT OF WAY LINE FOR THE NEXT FOUR COURSES, ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 1911.00 FEET, AN ARC LENGTH OF 76.70 FEET, A DELTA ANGLE OF 02°17'59", A CHORD BEARING OF S 89°54'27" W, AND A CHORD LENGTH OF 76.69 FEET, TO A POINT OF REVERSE CURVATURE, MARKED BY A SET NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 7567.44 FEET, AN ARC LENGTH OF 177.61 FEET, A DELTA ANGLE OF 01°20'41", A CHORD BEARING OF N 88°34'22" W, AND A CHORD LENGTH OF 177.61 FEET, TO A POINT OF COMPOUND CURVATURE, MARKED BY A SET NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 7711.44 FEET, AN ARC LENGTH OF 11.70 FEET, A DELTA ANGLE OF 00°05'13", A CHORD BEARING OF N 87°38'29" W, AND A CHORD LENGTH OF 11.70 FEET, TO A POINT OF COMPOUND CURVATURE, MARKED BY A SET NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 7711.34 FEET, AN ARC LENGTH OF 150.01 FEET, A DELTA ANGLE OF 01°06'52", A CHORD BEARING OF N 88°14'32" W, AND A CHORD LENGTH OF 150.01 FEET, TO THE SOUTHWEST CORNER OF DESCRIBED TRACT, LYING ON THE EAST RIGHT OF WAY LINE OF INTERSTATE 25 MARKED BY A SET NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG SAID RIGHT OF WAY LINE, FOR THE NEXT FOUR COURSES AND DISTANCES:

N 08°26'19" W, A DISTANCE OF 1116.92 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 4071";

THENCE N 89°28'11" W, A DISTANCE OF 15.84 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 4071";

THENCE N 01°03'23" E, A DISTANCE OF 219.78 FEET TO AN ANGLE POINT MARKED BY A SET NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 00°59'18" E, A DISTANCE OF 796.36 FEET TO THE POINT OF BEGINNING CONTAINING 29.3774 ACRES (1,279,679 SQUARE FEET) MORE OR LESS.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

RECORDING STAMP

DOCH 2013085812

07/31/2013 02:46 PM Page 1 of 4

City/PLAT 6:525 00 8: 20130 8: 0088 M Toulouse Oliveira, Bernalillo Cou

07/31/2013 02:46 PM Page 1 of 4

Plat of Tracts 1 and 2 Capstone Subdivision

Albuquerque, Bernalillo County, New Mexico

June 2013

Project No. 1009090

Application No. 13DRB-70591

Utility Approvals

| | |
|---|---------|
| <i>Lorenzo Vigil</i> | 7-9-13 |
| PNM | DATE |
| <i>[Signature]</i> | 7/9/13 |
| NEW MEXICO GAS COMPANY | DATE |
| <i>[Signature]</i> | 6/19/13 |
| QWEST CORPORATION, D/B/A CENTURYLINK QC | DATE |
| <i>[Signature]</i> | 6/19/13 |
| COMCAST | DATE |

City Approvals

| | |
|--|-----------|
| <i>[Signature]</i> | 6-11-13 |
| CITY SURVEYOR | DATE |
| <i>[Signature]</i> | 6-26-13 |
| ENVIRONMENTAL HEALTH DEPARTMENT | DATE |
| <i>[Signature]</i> | 6/26/13 |
| TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT | DATE |
| <i>[Signature]</i> | 06/26/13 |
| A.B.C.W.U.A. | DATE |
| <i>[Signature]</i> | 6-26-13 |
| PARKS AND RECREATION DEPARTMENT | DATE |
| <i>[Signature]</i> | 7-9-13 |
| AMAFCA | DATE |
| <i>[Signature]</i> | 7-24-13 |
| CITY ENGINEER | DATE |
| <i>[Signature]</i> | 7/25/2013 |
| DPS CHAIRPERSON, IF APPLICABLE DEPARTMENT | |

TREASURER CERTIFICATE
THIS IS TO CERTIFY THAT THE SURVEYOR HAS PAID ON UPC 1015-055-09220-20215
PROPERTY OWNER OF RECORD:
Mast Voyager: Albuquerque Airport Partners
BERNALILLO COUNTY TREASURER'S OFFICE
[Signature] 7/31/13

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] 6/11/13
LARRY W. MEDRANO
N.M.P.S. No. 11993

DATE



**PRECISION
SURVEYS, INC.**

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636

Free Consent and Ownership

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

John Lorentzen
JOHN LORENTZEN
OWNER
ALBUQUERQUE AIRPARK PARTNERS
OWNER OF TRACT B, MULBERRY PROPERTIES AND
TRACT A-1, LANDS OF EISEMAN TRUST

DATE

6/5/13

MAST VOYAGER
OWNER OF TRACTS 1A AND 2A, BLOCK 3 SUNPORT PARK

Kay M. Schumacher
KAY M. SCHUMACHER
AS ITS CO-MANAGING GENERAL PARTNER

DATE

6/5/13

Kara Lee McGee
KARA LEE (SCHUMACHER) MCGEE
CO-MANAGING GENERAL PARTNER

DATE

6/5/13

Sandra S. Weidner
SANDRA S. WEIDNER
GENERAL PARTNER

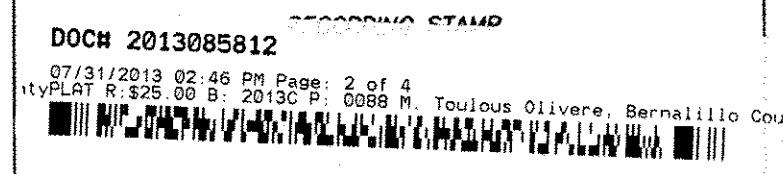
DATE

6/5/13

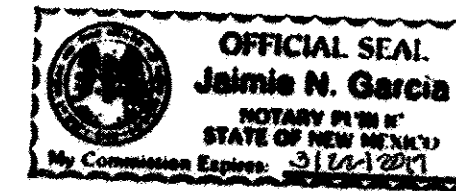
Thomas J. Lakeman
THOMAS J. LAKEMAN
GENERAL PARTNER

DATE

6-5-13



Plat of
Tracts 1 and 2
Capstone Subdivision
Albuquerque, Bernalillo County, New Mexico
June 2013

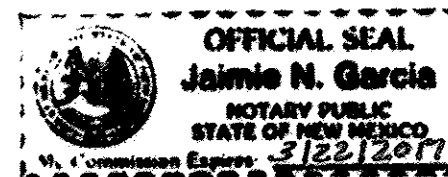


Acknowledgment

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 5th DAY OF June, 2013 BY
JOHN LORENTZEN, OWNER, ALBUQUERQUE AIRPARK PARTNERS

BY Jaime N. Garcia MY COMMISSION EXPIRES: 3/22/2017
NOTARY PUBLIC

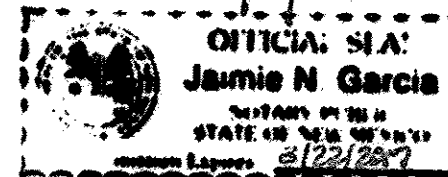


Acknowledgment

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 5th DAY OF June, 2013 BY
KAY M. SCHUMACHER, AS ITS CO-MANAGING GENERAL PARTNER

BY Jaime N. Garcia MY COMMISSION EXPIRES: 3/22/2017
NOTARY PUBLIC



Acknowledgment

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 5th DAY OF June, 2013 BY
KARA LEE (SCHUMACHER) MCGEE, CO-MANAGING GENERAL PARTNER

BY Jaime N. Garcia MY COMMISSION EXPIRES: 3/22/2017
NOTARY PUBLIC



Acknowledgment

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 5th DAY OF June, 2013 BY
SANDRA S. WEIDNER, GENERAL PARTNER

BY Jaime N. Garcia MY COMMISSION EXPIRES: 3/22/2017
NOTARY PUBLIC



Acknowledgment

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 5th DAY OF June, 2013 BY
THOMAS J. LAKEMAN, GENERAL PARTNER

BY Jaime N. Garcia MY COMMISSION EXPIRES: 3/22/2017
NOTARY PUBLIC

INDEXING INFORMATION FOR COUNTY CLERK
OWNER ALBUQUERQUE AIRPARK PARTNERS/MAST VOYAGER
SECTION 33, TOWNSHIP 10 N, RANGE 3 E,
SUBDIVISION CAPSTONE SUBDIVISION

PRECISION
SURVEYS, INC.

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199

866.442.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX

Legend

| | |
|-----------------|--|
| N 90°00'00" E | MEASURED BEARING AND DISTANCES MATCH RECORD BEARINGS AND DISTANCES |
| (N 90°00'00" E) | RECORD BEARINGS AND DISTANCES |
| ○ | FOUND AND USED MONUMENT AS DESIGNATED |
| ● | DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY |
| △ | FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED |

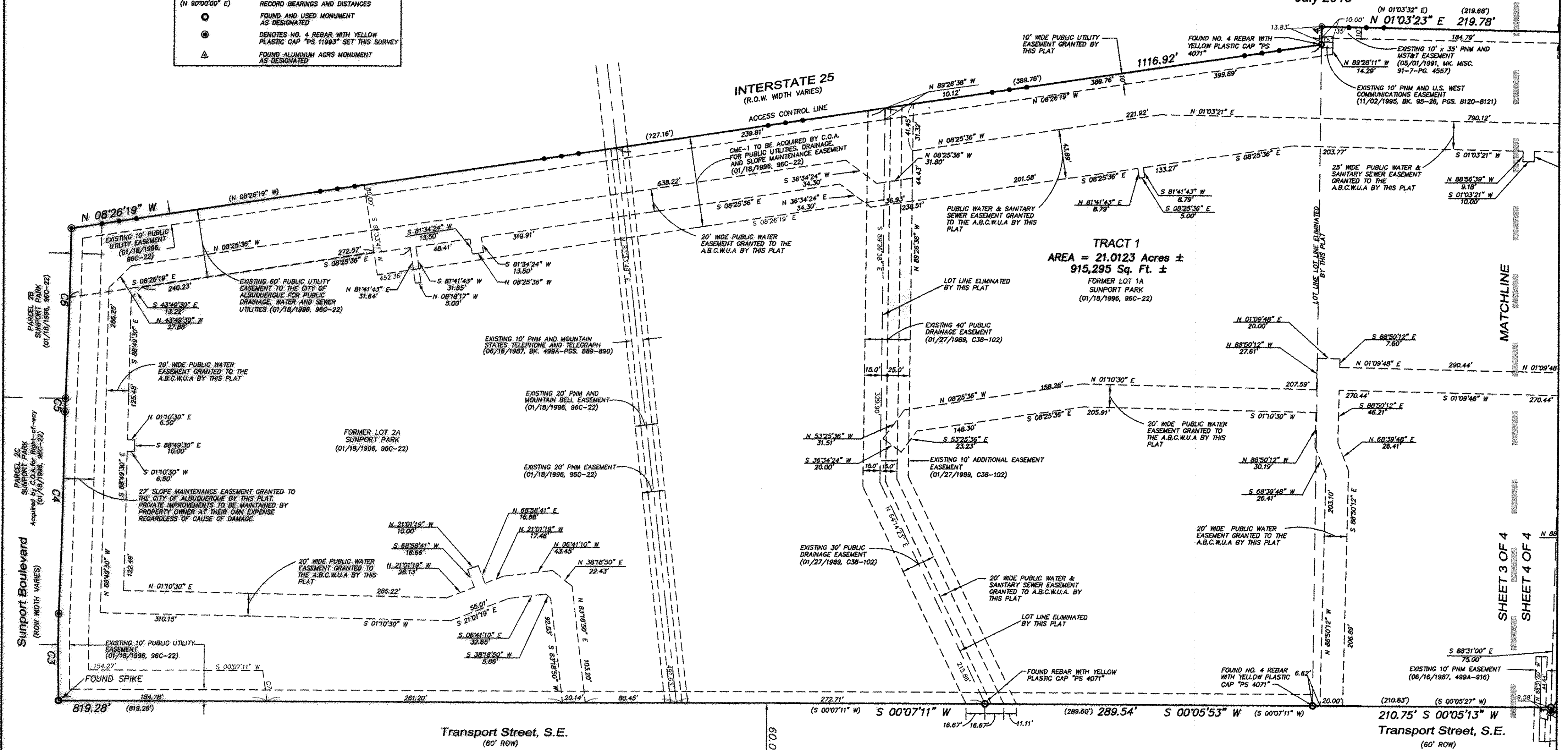
RECORDING STAMP

DOCH 2013085812

07/31/2013 02:46 PM Page: 3 of 4

tyPLAT N 925.00 B 2013C P. 0088 M. Toulouse Olivere, Bernalillo Cou

Plat of Tracts 1 and 2 Capstone Subdivision Albuquerque, Bernalillo County, New Mexico July 2013

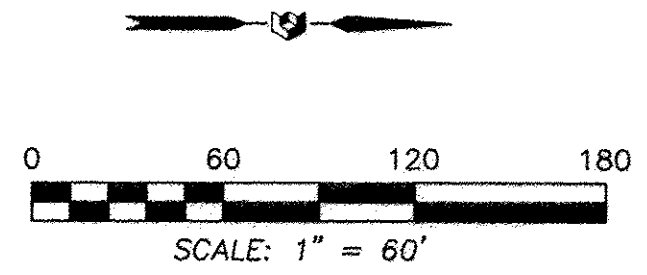


Curve Table

| CURVE | RADIUS | ARC LENGTH | TANGENT | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|----------|------------|---------|-------------|---------------|--------------|
| C1 | 1054.93' | 209.49' | 105.09' | 11°22'41" | N 40°13'07" E | 209.15' |
| C2 | 1099.93' | 98.95' | 49.51' | 5°09'15" | N 31°55'38" E | 98.91' |
| C3 | 1911.00' | 76.70' | 38.36' | 2°17'59" | S 89°54'27" W | 76.69' |
| C4 | 7567.44' | 177.61' | 88.81' | 1°20'41" | N 88°34'22" W | 177.61' |
| C5 | 7711.44' | 11.70' | 5.85' | 0°05'13" | N 87°38'29" W | 11.70' |
| C6 | 7711.34' | 150.01' | 75.01' | 1°06'52" | N 88°14'32" W | 150.01' |
| C7 | 1400.00' | 27.29' | 13.65' | 1°07'01" | N 81°46'15" E | 27.29' |

Line Table

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | N 47°30'05" E | 35.08' |
| L2 | S 55°34'40" E | 45.08' |
| L3 | N 88°35'56" W | 4.65' |
| L4 | N 89°28'11" W | 15.84' |
| L5 | N 00°00'18" E | 10.00' |



PRECISION SURVEYS, INC.

INDEXING INFORMATION FOR COUNTY CLERK
OWNER ALBUQUERQUE AIRPARK PARTNERS/MAST VOYAGER
SECTION 33, TOWNSHIP 10 N, RANGE 3 E,
SUBDIVISION CAPSTONE SUBDIVISION

OFFICE LOCATION:
5571 Midway Park Place, NE
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MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199
866.442.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX

Legend

- N 90°00'00" E** MEASURED BEARING AND DISTANCES MATCH RECORD BEARINGS AND DISTANCES
- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- ⊙ DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
- △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

DOCH 2013085812

07/31/2013 02:46 PM Page: 4 of 4
 PLAT R: \$25.00 B: 20130 P: 0085 M: Toulous Olivere, Bernalillo Co

A.G.R.S. MONUMENT "S.M.14"
 STANDARD A.G.R.S. BRASS TABLE
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,473,328.700
 E=1,321,790.782
 PUBLISHED EL.=4040.240 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999953708
 DELTA ALPHA ANGLE=-07.538.43

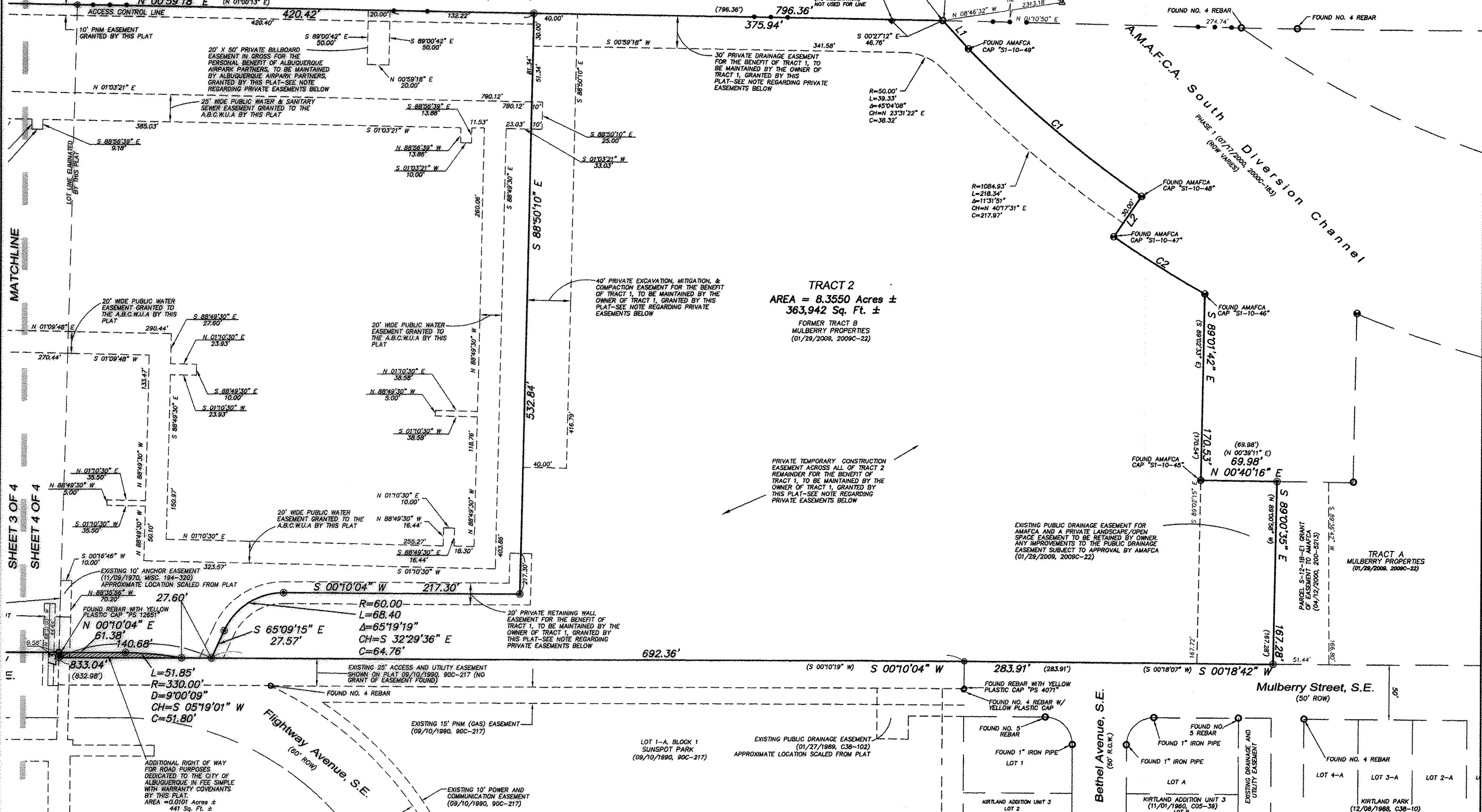
A.G.R.S. MONUMENT "S.M.30"
 STANDARD N.M.S.N.C. BRASS TABLE
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,477,335.008
 E=1,324,161.802
 PUBLISHED EL.=4041.300 (NAVD 1988)
 GROUND TO GRID FACTOR=0.9999528244
 DELTA ALPHA ANGLE=-07.523.57

Plat of
 Tracts 1 and 2

Capstone Subdivision

Albuquerque, Bernalillo County, New Mexico
 July 2013

Interstate 25
 (ROW VARIES)



SHEET 3 OF 4
 SHEET 4 OF 4

Curve Table

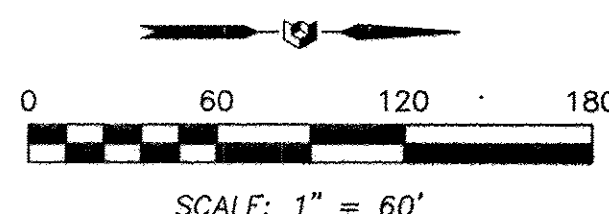
| CURVE | RADIUS | ARC LENGTH | TANGENT | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|--------------|-------------|-------------|---------------|--------------------|--------------|
| C1 | 1054.93' | 209.49' | 105.09' | 11°22'41" | N 40°13'07" E | 209.15' |
| | (R=1054.93') | (L=209.50') | (T=105.10') | (Δ=11°22'43") | (CH=N 40°11'40" E) | (209.16') |
| C2 | 1099.93' | 98.95' | 49.51' | 5°09'15" | N 31°55'38" E | 98.91' |
| | (R=1099.93') | (L=98.99') | (T=49.53') | (Δ=5°09'24") | (CH=N 31°58'06" E) | (98.90') |
| C3 | 1911.00' | 76.70' | 38.36' | 2°17'59" | S 89°54'27" W | 76.69' |
| | (R=1911.00') | (L=76.70') | (T=38.36') | (Δ=2°17'39") | (CH=S 89°54'29" W) | (76.69') |
| C4 | 7567.44' | 177.61' | 88.81' | 1°20'41" | N 88°34'22" W | 177.61' |
| | (R=7567.44') | (L=177.61') | (T=88.81') | (Δ=1°20'41") | (CH=N 88°34'26" W) | (177.61') |
| C5 | 7711.44' | 11.70' | 5.85' | 0°05'13" | N 87°38'29" W | 11.70' |
| | (R=7711.44') | (L=11.70') | (T=5.85') | (Δ=0°05'13") | (CH=N 87°38'27" W) | (11.70') |
| C6 | 7711.34' | 150.01' | 75.01' | 1°06'52" | N 88°14'32" W | 150.01' |
| | (R=7711.34') | (L=150.01') | (T=75.01') | (Δ=1°06'52") | (CH=N 88°14'30" W) | (150.01') |
| C7 | 1400.00' | 27.29' | 13.65' | 1°07'01" | N 81°46'15" E | 27.29' |

Line Table

| LINE | BEARING | DISTANCE |
|------|-----------------|----------|
| L1 | N 47°30'05" E | 35.08' |
| | (N 47°26'21" E) | (34.98') |
| L2 | S 55°34'40" E | 45.08' |
| | (S 55°31'37" E) | (45.08') |
| L3 | N 88°35'56" W | 4.65' |
| L4 | N 89°28'11" W | 15.84' |
| | (N 89°28'05" W) | (15.83') |
| L5 | N 00°00'18" E | 10.00' |

NOTE REGARDING PRIVATE EASEMENTS

THE 20'X50' PRIVATE BILLBOARD EASEMENT, THE 30' PRIVATE DRAINAGE EASEMENT, 40' PRIVATE EXCAVATION, MITIGATION & COMPACTION EASEMENT, PRIVATE TEMPORARY CONSTRUCTION EASEMENT AND 20' PRIVATE RETAINING WALL EASEMENT ARE SUBJECT TO ADDITIONAL TERMS AND CONDITIONS SET FORTH IN SEPARATE INSTRUMENTS RECORDED CONTEMPORANEOUSLY WITH THIS PLAT.



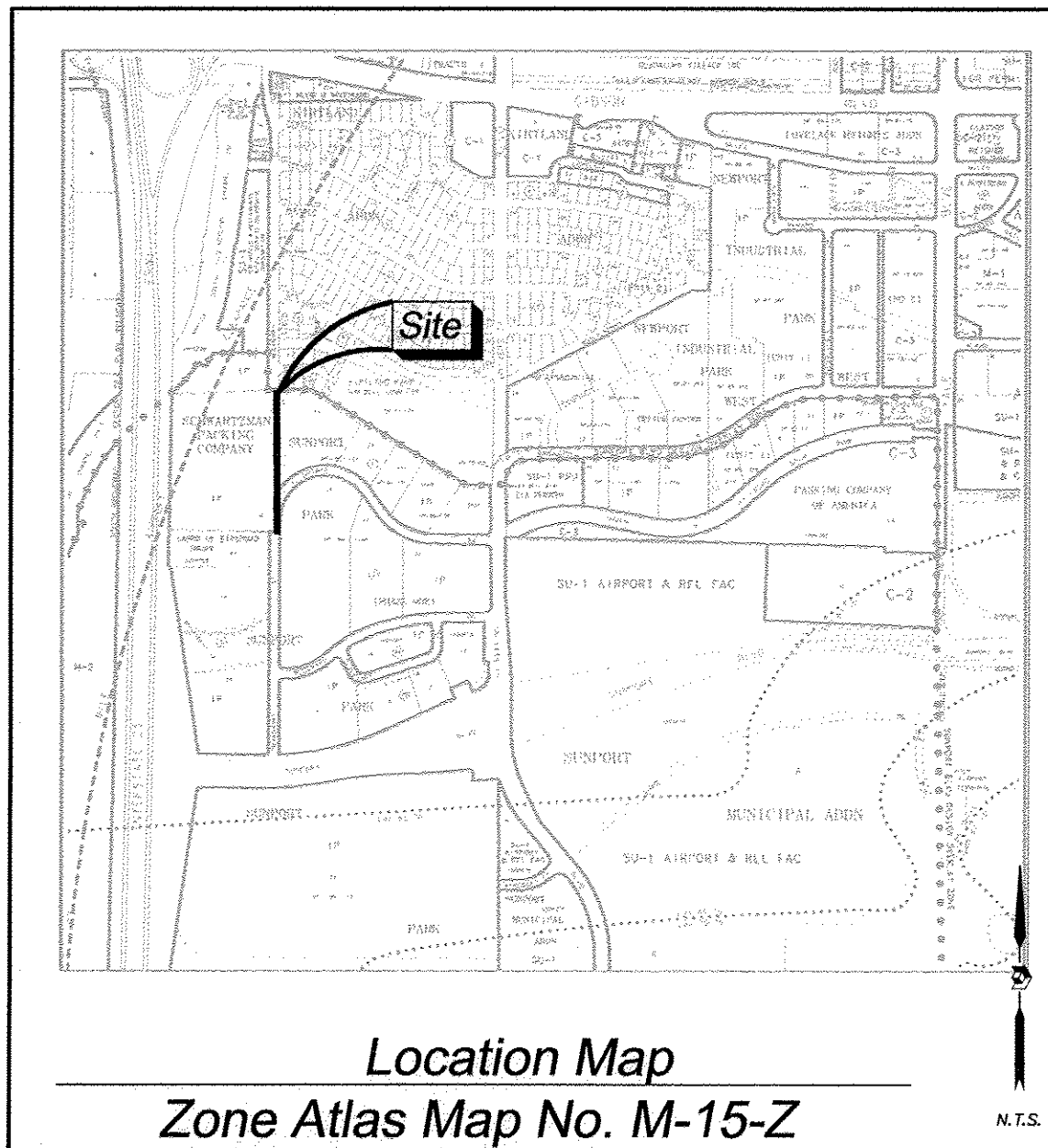
INDEXING INFORMATION FOR COUNTY CLERK
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 505.856.5700 PHONE
 505.856.7900 FAX

Sheet 4 of 4
 112169P3



Subdivision Data:

ZONING: SU-1
GROSS SUBDIVISION ACREAGE: 0.6004 ACRES±
ZONE ATLAS INDEX NO.: M-15-Z
NO. OF TRACTS CREATED: 1
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: 0.198
DATE OF SURVEY: JUNE 1-15, 2015

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO CREATE TWO NEW TRACTS FROM THE REMAINING PORTION OF TRACT "O", LANDS OF SCHWARTZMAN AND DEDICATE AS PUBLIC ROAD RIGHT OF WAY FOR TRANSPORT STREET, S.E. AND FOR PUBLIC TRAIL RIGHT OF WAY.

Notes:

- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 03 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.
- ADJOINING PROPERTY OWNER DISCLAIMERS OF INTEREST IN SUBJECT PROPERTY
 - TRACT 1, CAPSTONE SUBDIVISION, CCC-NEW MEXICO, LLC (10/28/2015, DOC. NO. 2015094559)
 - LOT 1-A, BLOCK 1, SUNPORT PARK, SIGMA JOINT VENTURE

Public Utility Easements

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PSC"), A NEW MEXICO CORPORATION, (PSC ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT FRAME, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PSC), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PSC, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING A PORTION OF TRACT "O" OF PLAT OF LANDS OF SCHWARTZMAN PACKING COMPANY, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY NEW MEXICO ON APRIL 17, 1961, IN PLAT BOOK D2, PAGE 133, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1983) AND GROUND DISTANCES, (US SURVEY FOOT) AS FOLLOWS:

TRACT 1

BEGINNING AT THE NORTHWEST CORNER OF DESCRIBED TRACT LYING ON THE SOUTH RIGHT OF WAY LINE OF MULBERRY STREET, SE, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" FROM WHENCE A TIE TO A.G.R.S. MONUMENT "L25_30" BEARS N 22°33'22" W, A DISTANCE OF 2,451.47 FEET;

THENCE FROM SAID POINT OF BEGINNING S 89°58'32" E, A DISTANCE OF 25.11 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP;

THENCE S 00°10'21" W, A DISTANCE OF 615.19 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 89°49'29" W, A DISTANCE OF 25.14 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 00°10'31" W, A DISTANCE OF 615.12 FEET TO THE POINT OF BEGINNING, CONTAINING 0.3548 ACRES (15454 SQUARE FEET,) MORE OR LESS.

TRACT 2

A TRACT OF LAND LYING AND SITUATE WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING A PORTION OF TRACT "O" OF PLAT OF LANDS OF SCHWARTZMAN PACKING COMPANY, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY NEW MEXICO ON APRIL 17, 1961, IN PLAT BOOK D2, PAGE 133, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1983) AND GROUND DISTANCES, (US SURVEY FOOT) AS FOLLOWS:

THENCE FROM SAID POINT OF BEGINNING AT THE NORTHEAST CORNER OF DESCRIBED TRACT FROM WHENCE A TIE TO A.G.R.S. MONUMENT "L25_30" BEARS N 18°30'17" W, A DISTANCE OF 3,036.12 FEET;

THENCE S 00°10'31" W, A DISTANCE OF 428.57 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

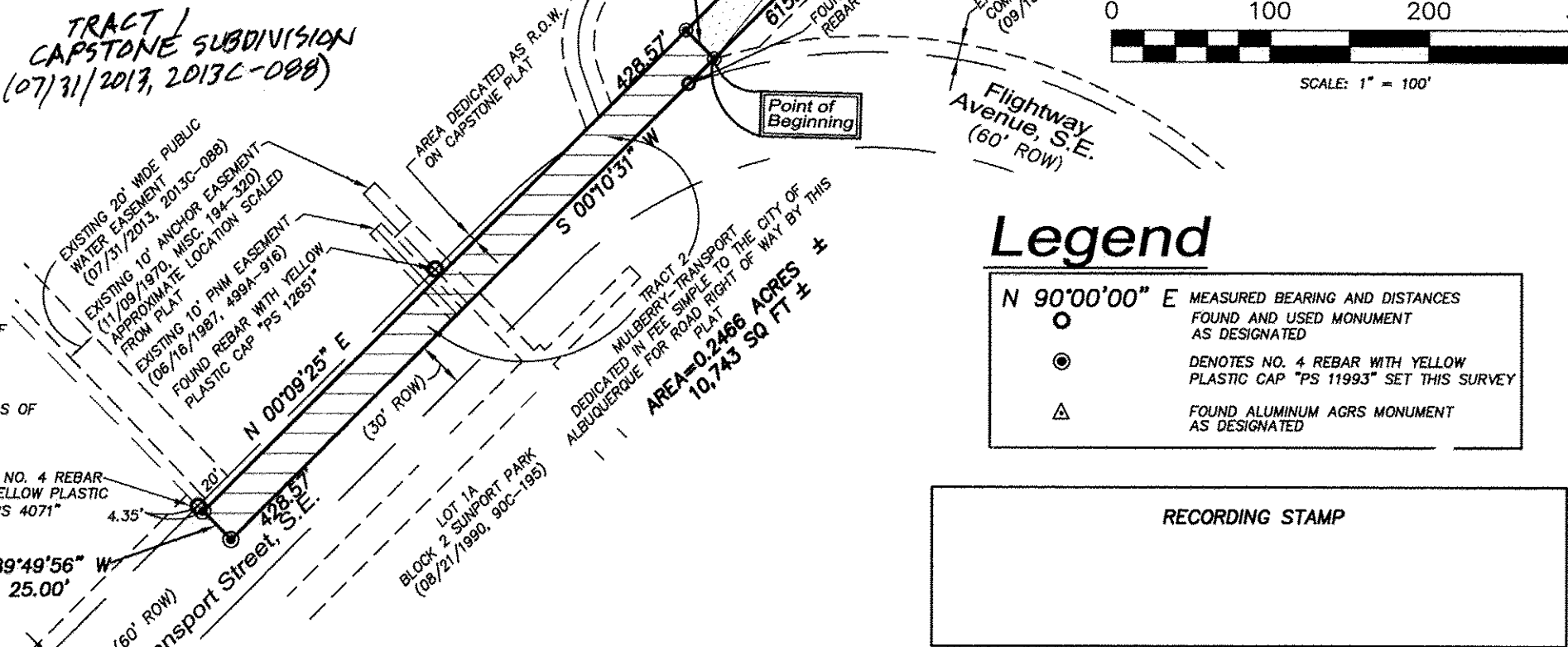
THENCE N 89°49'56" W, A DISTANCE OF 25.00 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 00°09'25" E, A DISTANCE OF 428.57 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 89°49'39" E, A DISTANCE OF 25.14 FEET TO THE POINT OF BEGINNING, CONTAINING 0.2466 ACRES (10,743 SQUARE FEET) MORE OR LESS.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.



Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
- △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

RECORDING STAMP

Free Consent and Dedication

THE PLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. OWNER DOES HEREBY CERTIFY THAT THIS DEDICATION IS ITS FREE ACT AND DEED. OWNER HEREBY QUITCLAIMS AND DEDICATES TO CITY OF ALBUQUERQUE, A MUNICIPAL CORPORATION, WHOSE ADDRESS IS P.O. BOX 1293, ALBUQUERQUE, NEW MEXICO 87102, THE REAL PROPERTY MORE PARTICULARLY DESCRIBED ABOVE ON THIS PLAT.

SCHWARTZMAN, INC.
SUCCESSOR IN INTEREST TO SCHWARTZMAN PACKING COMPANY
A NEW MEXICO CORPORATION

BY: Alfred H. Volden
NAME: ALFRED H. VOLDEN
ITS: PRESIDENT

DATED: 10/29, 2015

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

OFFICIAL SEAL
CYNTHIA LOUISE ABEYTA
NOTARY PUBLIC-STATE OF NEW MEXICO

THE FOREGOING INSTRUMENT WAS DULY ACKNOWLEDGED BEFORE ME THIS 29th DAY OF October, 2015, BY ALFRED H. VOLDEN, PRESIDENT OF SCHWARTZMAN, INC., A NEW MEXICO CORPORATION.

MY COMMISSION EXPIRES:

November 30, 2016

Plat of
Tracts 1 and 2
Mulberry-Transport
Albuquerque, Bernalillo County, New Mexico
November 2015

Project No. 1009090

Application No. 15DRB-70393

Utility Approvals

| | |
|---|-----------------|
| <u>Fernando Vigil</u> | <u>11-11-15</u> |
| PNM | DATE |
| <u>Chi Salgado</u> | <u>11-11-15</u> |
| NEW MEXICO GAS COMPANY | DATE |
| <u>QWEST CORPORATION D/B/A CENTURYLINK QC</u> | <u>11-11-15</u> |
| QWEST | DATE |
| <u>COMCAST</u> | <u>11-11-15</u> |
| COMCAST | DATE |

City Approvals

| | |
|--|-----------------|
| <u>Steven P. Risenhoover P.S.</u> | <u>11/6/15</u> |
| CITY SURVEYOR | DATE |
| <u>Rafael M. Mendez</u> | <u>11/10/15</u> |
| ENVIRONMENTAL HEALTH DEPARTMENT | DATE |
| <u>Rafael M. Mendez</u> | <u>11/10/15</u> |
| TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT | DATE |
| <u>Rafael M. Mendez</u> | <u>11/10/15</u> |
| A.B.C. W.U.A. | DATE |
| <u>Carol S. Dumont</u> | <u>11-10-15</u> |
| PARKS AND RECREATION DEPARTMENT | DATE |
| <u>Lynn M. Mays</u> | <u>11-11-15</u> |
| AMAFCA | DATE |
| <u>Rafael M. Mendez</u> | <u>11-10-15</u> |
| CITY ENGINEER | DATE |

DRB CHAIRPERSON, PLANNING DEPARTMENT

TREASURER CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 10/29/15
LARRY W. MEDRANO
N.M.P.S. No. 11993

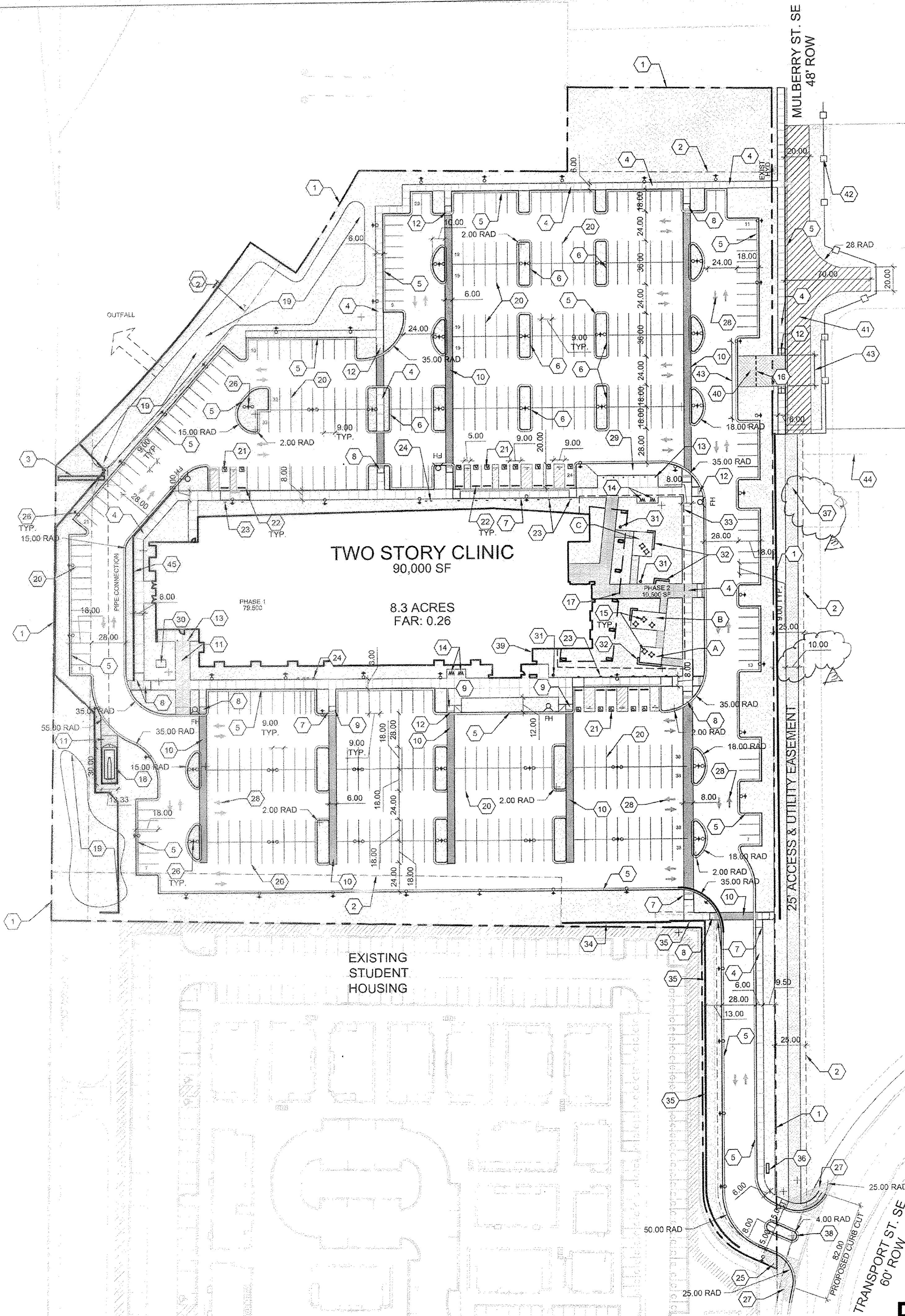
LARRY W. MEDRANO
NEW MEXICO
REGISTERED PROFESSIONAL SURVEYOR
11993

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SURVEYS, INC.

OFFICE LOCATION:
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SECTION 33, TOWNSHIP 10 N, RANGE 3 E,
SUBDIVISION MULBERRY-TRANSPORT



GENERAL SHEET NOTES

- THIS SUBMITTAL ILLUSTRATES THE DESIGN AND DEVELOPMENT INTENT FOR A NEW CLINIC AND ASSOCIATED SITE, LANDSCAPE, GRADING AND UTILITY IMPROVEMENTS.
- SITE LIGHTING WILL CONSIST OF A COMBINATION OF BUILDING MOUNTED LIGHT FIXTURES AND POLE MOUNTED FIXTURES. SEE PLAN FOR POLE FIXTURES.
- POLE LIGHTS AND SITE FURNISHINGS WILL HAVE COORDINATED AND COMPLEMENTARY LIGHT COLORED, METAL OR PAINTED METAL FINISHES.
- TWO PHASES ARE INDICATED IN THE SITE PLAN. THE MAJORITY OF BUILDING AND SITE DEVELOPMENT WILL OCCUR IN PHASE 1. PHASE 2 INCLUDES DEVELOPMENT OF ADDITIONAL BUILDING SQUARE FOOTAGE IN THE CONFIGURATION INDICATED ON THE PLANS. SEE SITE DETAILS AND LANDSCAPE DETAILS FOR SITE DESIGN INFORMATION FOR PHASE 1 AROUND THE BUILDING MAIN ENTRANCE.
- MECHANICAL UNITS WILL BE PLACED ON THE ROOF. MECHANICAL UNITS WILL BE SCREENED FROM VIEW WITH A COMBINATION OF STRATEGIC PLACEMENT AND ARCHITECTURAL SCREENING.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER.
- STANDARD PARKING SPACES ARE 9'-0" WIDE, 18'-0" DEEP, TYPICAL. REFER TO DETAIL ON SDP-1.2 FOR ACCESSIBLE PARKING STALL DIMENSIONS.

SHEET KEYED NOTES

- PROPERTY LINE
- EASEMENT LINE
- EXISTING BILLBOARD SIGN TO REMAIN
- CONCRETE SIDEWALK
- CONCRETE CURBS AND GUTTER
- CONCRETE FLUSH CURB
- CONCRETE ACCESSIBLE RAMP, TYPE A PER COA DPM STANDARDS
- CONCRETE ACCESSIBLE RAMP, TYPE B PER COA DPM STANDARDS
- HEAVY DUTY DECORATIVE CONCRETE PAVING, COLOR TBD
- REINFORCED CONCRETE PAVING IN SERVICE YARD, COLOR NONE
- DETECTABLE WARNING SURFACE
- BOLLARD, COLOR TBD
- BIKE RACKS
- TABLE AND CHAIRS
- EMERGENCY ONLY ACCESS GATE WITH KNOX BOX
- OVERHEAD SEE ARCHITECTURAL SHEETS
- COMPACTOR, 34 CU. YD. CAPACITY, SEE A1/SDP-1.2 FOR ENCLOSURE GATE ELEVATION
- POND
- PARKING STRIPING
- ADA PAVEMENT MARKING, SEE A5/SDP-1.2
- PARKING BUMPER
- ACCESSIBLE PARKING SIGN, SEE B1/SDP-1.2
- MOTORCYCLE PARKING SIGN, SEE B1/SDP-1.2
- STOP SIGN, SEE B1/SDP-1.2
- SITE LIGHTING, SEE LEGEND
- CLEAR SIGHT TRIANGLE - LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- PAVEMENT ARROWS
- DROP OFF AREA
- TRANSFORMER
- LITTER RECEPTACLE
- SEATWALL
- PHASE 2 BOUNDARY
- 5' TALL CMU WITH STUCCO SCREEN WALL
- 6' TALL CMU WITH STUCCO SCREEN WALL
- DOUBLE SIDED MOUNT SIGN A - SEE A3/SDP-1.2
- 10' WIDE ASPHALT TRAIL TO BE PRIVATELY MAINTAINED BY ADJACENT PROPERTY OWNER
- LOW PROFILE MOUNTABLE CURB AT MEDIAN
- FIRE DEPARTMENT CONNECTION (FDC)
- EMERGENCY ACCESS DRIVE (GRASS-CRETE PAVERS) WITH MOUNTABLE CURB
- NEW ROADWAY IN PUBLIC RIGHT OF WAY
- GUARD RAIL OR JERSEY BARRIER
- MOUNTABLE CURB, MARKED "FIRE LANE - NO PARKING"
- WATER LINE EASEMENT
- 5' TALL CMU RETAINING WALL WITH STUCCO

LEGEND

- PROPERTY LINE
- EXISTING EASEMENT (ALL EASEMENTS ARE EXISTING)
- 16'-0" MAX HT. POLE LIGHT PER SECTION 14-16-3-9 OF ZONING CODE, DOUBLE, FULL CUT-OFF
- 16'-0" MAX HT. POLE LIGHT PER SECTION 14-16-3-9 OF ZONING CODE, SINGLE, FULL CUT-OFF
- FIRE HYDRANT
- STABILIZED CRUSHER FINES
- REINFORCED CONCRETE PAVING
- DECORATIVE CONCRETE PAVING, COLOR TBD
- HEAVY DUTY DECORATIVE CONCRETE PAVING, COLOR TBD
- LANDSCAPE AREA, SEE SDP-2.1
- 10' WIDE ASPHALT TRAIL

SITE PATIO / AMENITIES

- A PATIO A - 248 SF
- B PATIO B - 420 SF
- C PATIO C - 320 SF

PROJECT NUMBER: 1009090

APPLICATION NUMBER: EPC Site Development Plan-Building Permit

Is an Infrastructure List Required? (x) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Rajul M. Murali 10/28/15
TRAFFIC ENGINEER, TRANSPORTATION DIVISION

10/28/15
DATE

10/28/15
DATE

10-28-15
DATE

1/19/16
DATE

12-17-15
DATE

1-19-16
DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT

PROJECT DATA

ADDRESS: 2901 TRANSPORT STREET SE, ALBUQUERQUE, NM 87106

LEGAL DESCRIPTION: TRACT 2, CAPSTONE SUBDIVISION

ZONE ATLAS PAGE: M-15-Z

SITE AREA: 8.3555 ACRES

CURRENT ZONING: SU-1, I PERMISSIVE USES AND STUDENT HOUSING

PROPOSED ZONING: NO CHANGE

BUILDING FOOTPRINT: 90,000 SF (PHASE 1: 79,500 SF; PHASE 2: 10,500 SF)

LANDSCAPING: REFER TO SHEET SDP-2.1 FOR LANDSCAPE PLAN

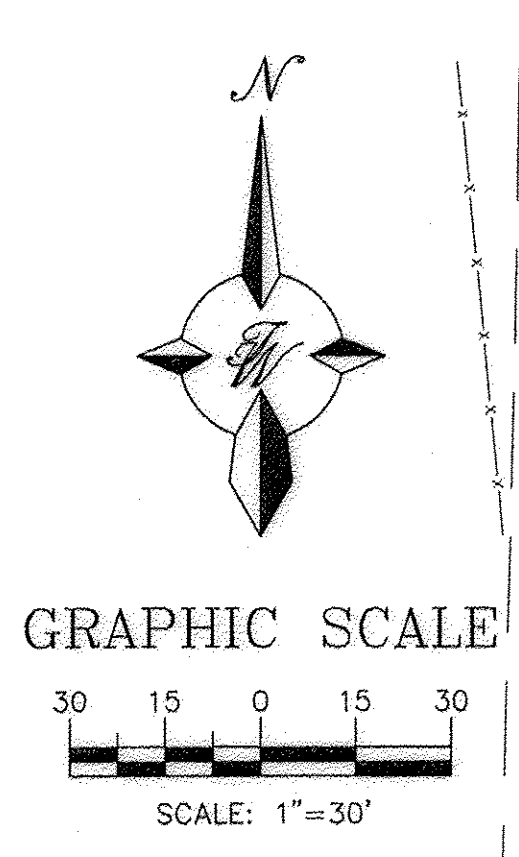
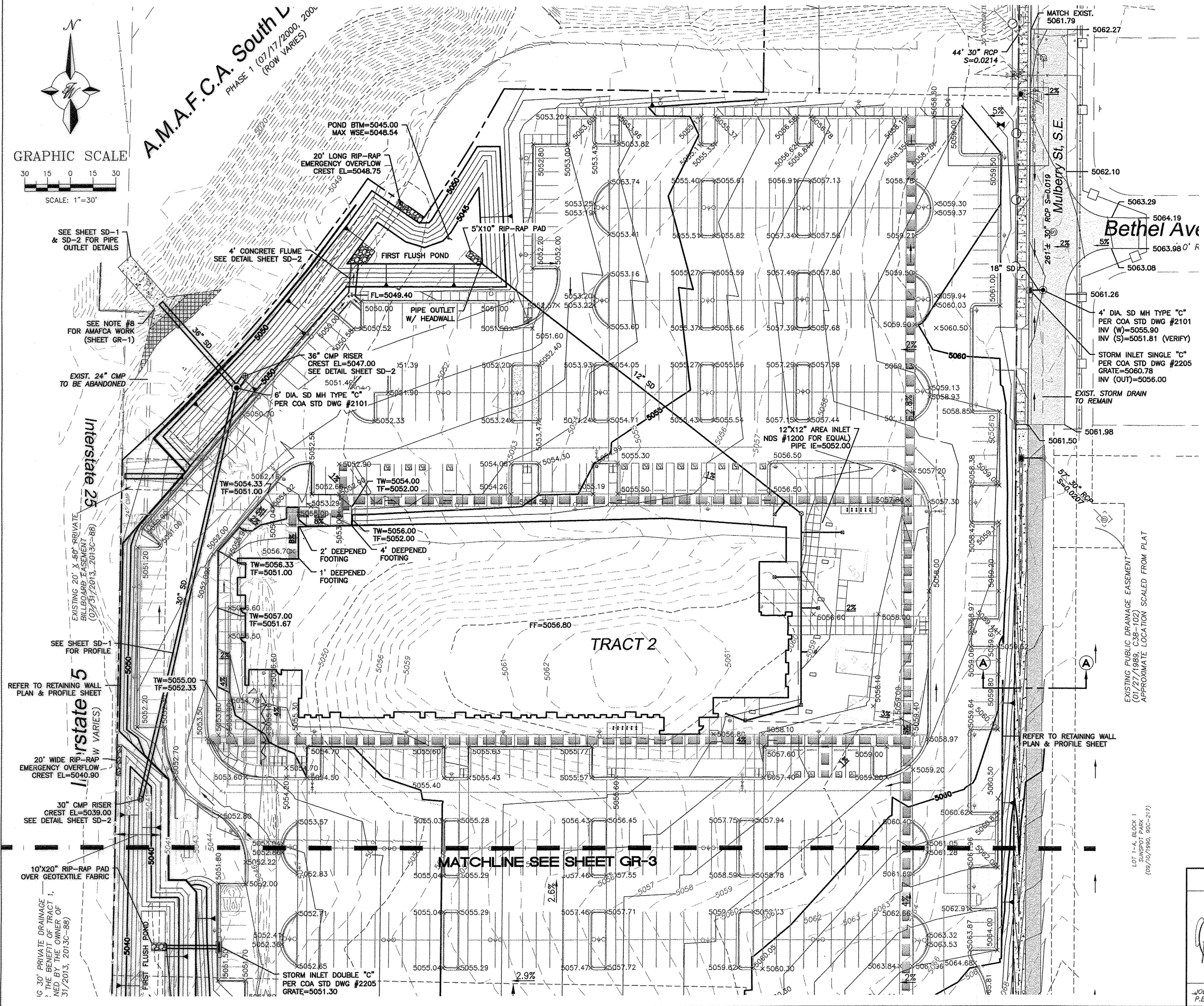
OCCUPANCY GROUP: B

CONSTRUCTION TYPE: IIB, FULLY SPRINKLERED

PARKING CALCULATIONS

| | |
|---|------------------|
| TOTAL PARKING SPACES REQUIRED PER CODE: | |
| MEDICAL OR DENTAL OFFICE, CLINIC: FIVE SPACES FOR EACH DOCTOR= 80 | |
| DOCTORS/PROVIDERS = 400 SPACES REQUIRED | |
| TOTAL PROPOSED PARKING: | |
| STANDARD CAR SPACES | 445 |
| ACCESSIBLE SPACES | 15 (12 REQUIRED) |
| TOTAL CAR SPACES | 460 |
| MOTORCYCLE SPACES | 6 (6 REQUIRED) |
| BICYCLE PARKING | 28 (24 REQUIRED) |





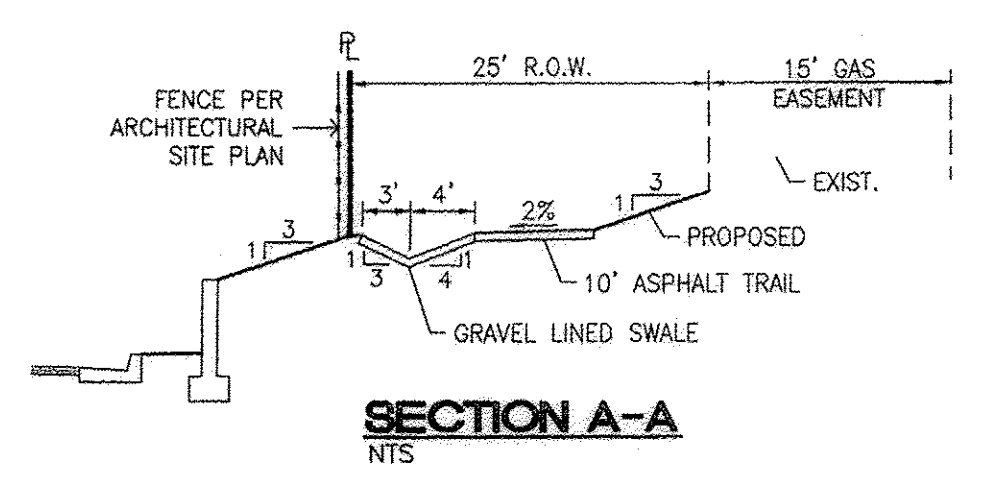
A.M.A.F.C.A. South L
PHASE 1 (07/17/2000, 2001)
(ROW VARIES)

| LEGEND | |
|--------|-------------------------|
| | CURB & GUTTER |
| | BOUNDARY LINE |
| | EASEMENT |
| | CENTERLINE |
| | BUILDING |
| | SIDEWALK |
| | SCREEN WALL |
| | RETAINING WALL |
| | CONTOUR MAJOR |
| | CONTOUR MINOR |
| | SPOT ELEVATION |
| | FLOW ARROW |
| | EXISTING CURB & GUTTER |
| | EXISTING BOUNDARY LINE |
| | EXISTING CONTOUR MAJOR |
| | EXISTING CONTOUR MINOR |
| | EXISTING SPOT ELEVATION |
| | WATERBLOCK |

- EROSION CONTROL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

CAUTION

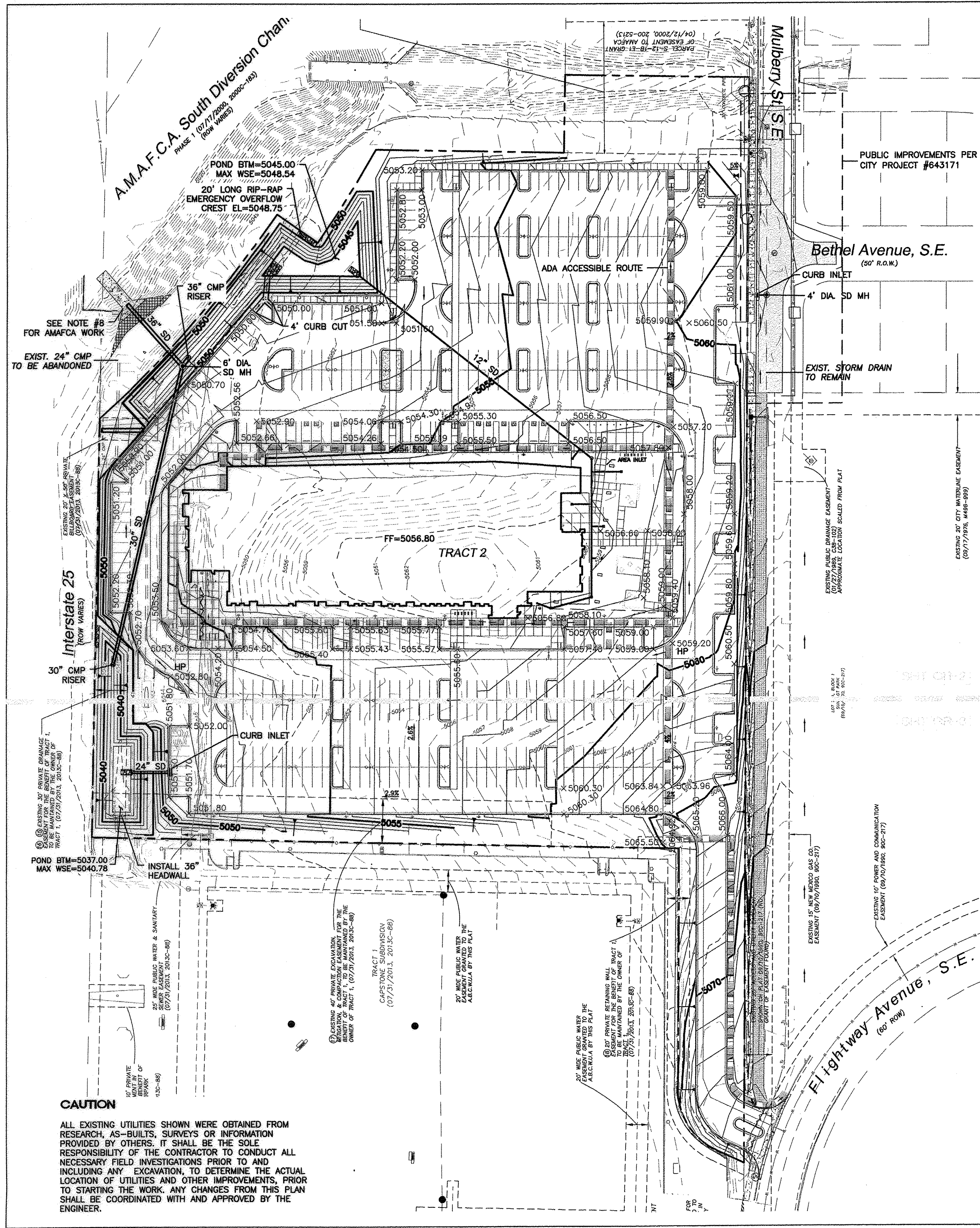
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



ARCHITECTURAL SHELL PACKAGE

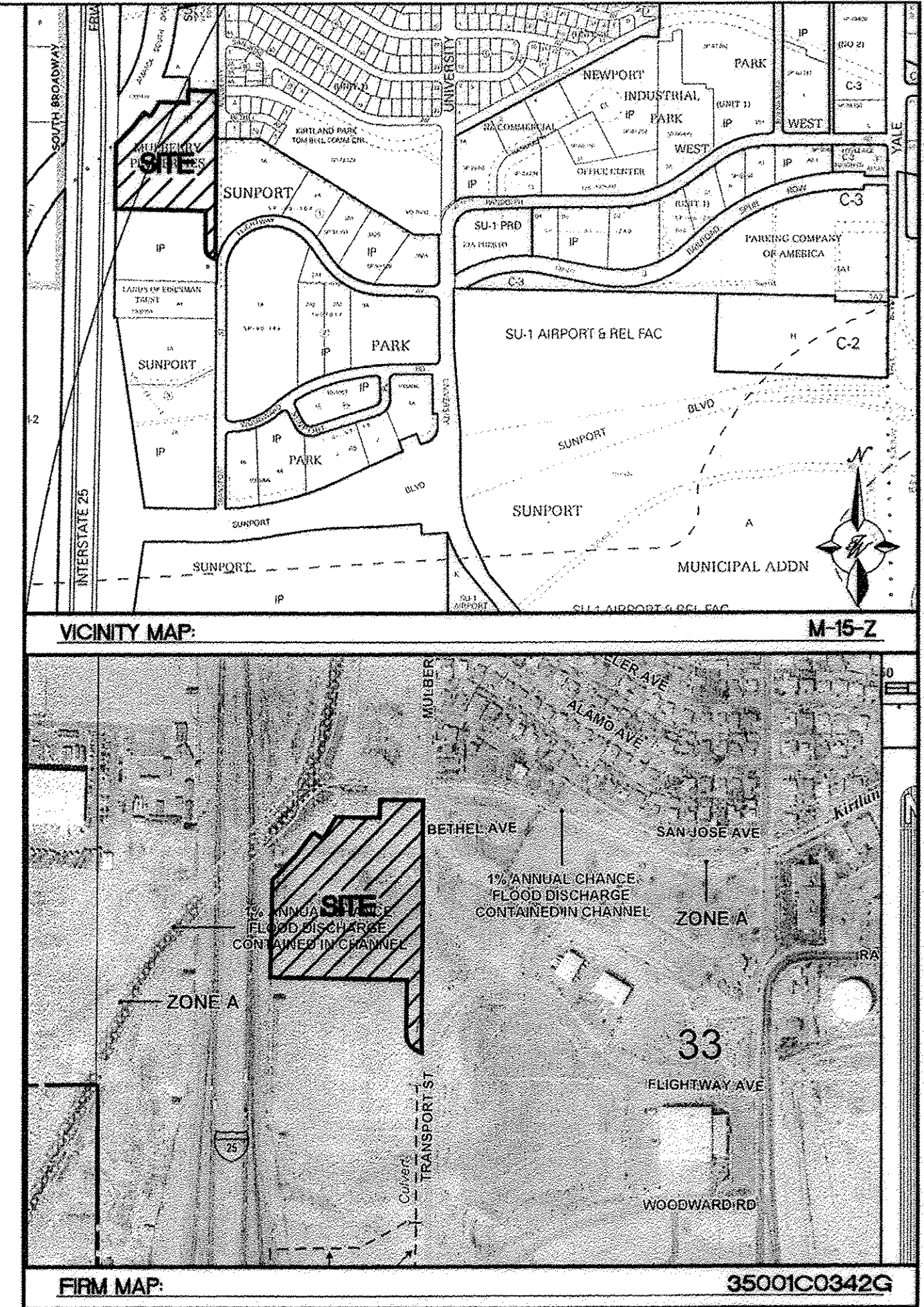
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|---|--------------------|--|---|------------------|
|  | ENGINEER'S SEAL | | MULTI-SPECIALTY CLINIC 2901 TRANSPORT ST. S.E. | DRAWN BY DY |
| | | | | DATE 11/06/15 |
| | | | GRADING AND DRAINAGE PLAN | 2015044--GRB |
| | |  <i>TERRA WEST, LLC</i> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com | SHEET # GR-2 | |
| JOEL D. HERNANDEZ P.E. #17893 | | | JOB # 2015044 | |

FOR REFERENCE ONLY



- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - BUILDING
 - SIDEWALK
 - SCREEN WALL
 - RETAINING WALL
 - CONTOUR MAJOR
 - CONTOUR MINOR
 - SPOT ELEVATION
 - FLOW ARROW
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - EXISTING CONTOUR MAJOR
 - EXISTING CONTOUR MINOR
 - EXISTING SPOT ELEVATION
 - WATERBLOCK
 - ADA PATH

- EROSION CONTROL NOTES**
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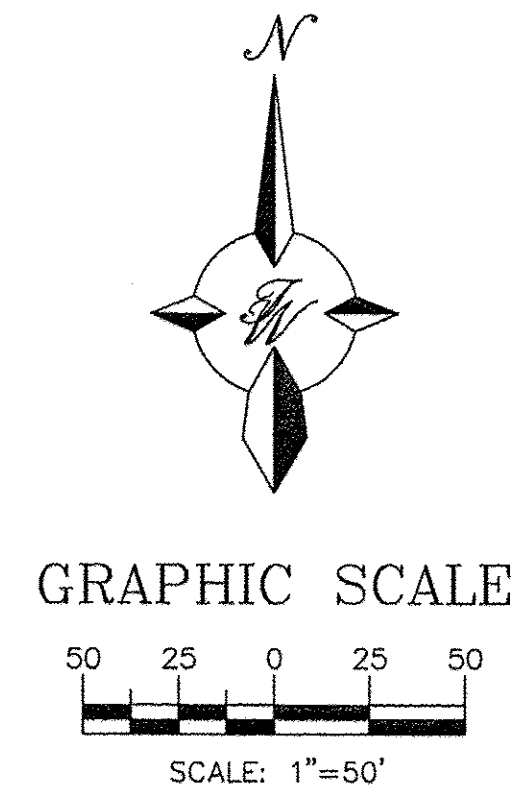


- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
 8. IMPROVEMENTS WITHIN AMAFCA RIGHT OF WAY TO BE INSTALLED AFTER APPROVAL FROM AMAFCA IS GRANTED. CONTRACTOR SHALL NOTIFY AMAFCA PROJECT MANAGER BY TELEPHONE (505.884.2215) AT LEAST FORTY-EIGHT HOURS PRIOR TO BEGINNING WORK ON OR IN THE AMAFCA PROPERTY.

| APPROVAL | NAME | DATE |
|-----------|------|------|
| INSPECTOR | | |

CAUTION

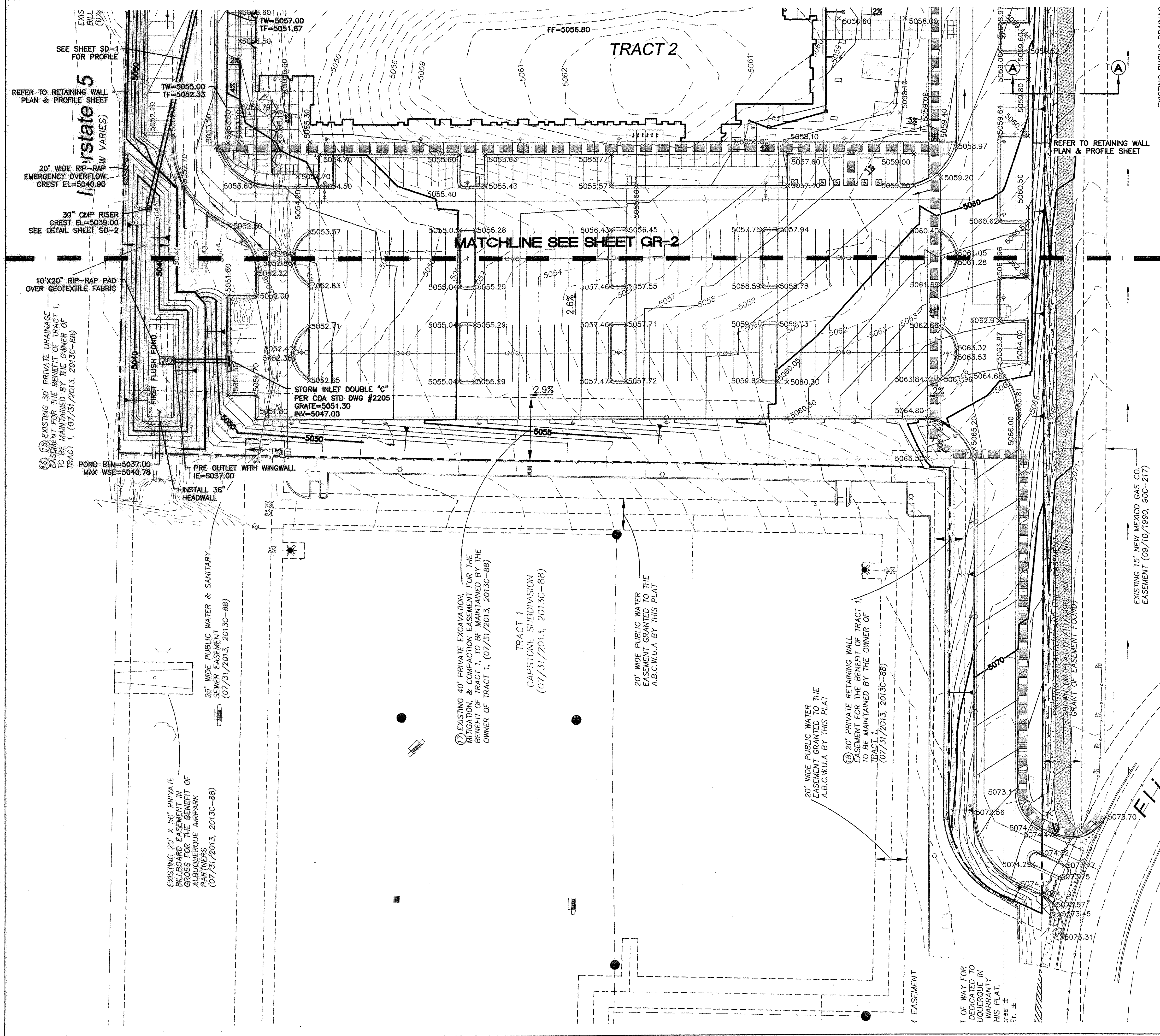
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ARCHITECTURAL SHELL PACKAGE

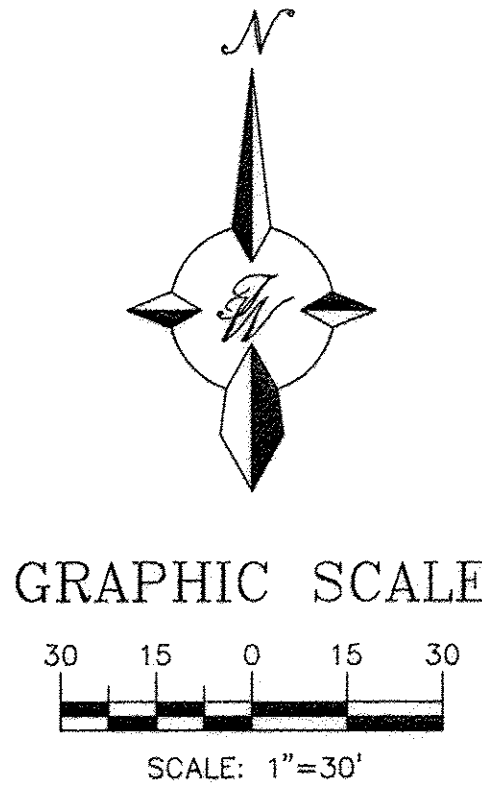
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|----------------------------------|--|------------------------|
| | MULTI-SPECIALTY CLINIC 2901 TRANSPORT ST, S.E. | DRAWN BY DY |
| | GRADING AND DRAINAGE PLAN | DATE 11/19/15 |
| JOEL D. HERNANDEZ P.E. #17893 | TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com | SHEET # GR-1 |
| | | JOB # 2015044 |

FOR REFERENCE ONLY



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SPOT ELEVATION
- WATERBLOCK



- EROSION CONTROL NOTES:**
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CAUTION

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ARCHITECTURAL SHELL PACKAGE

| | | |
|---|---|---|
|  JOEL D. HERNANDEZ P.E. #17893 | MULTI-SPECIALTY CLINIC 2901 TRANSPORT ST, S.E. | DRAWN BY DY |
| | GRADING AND DRAINAGE PLAN | DATE 11/06/15 |
| |  TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com | 2015044-GRB SHEET # GR-3 JOB # 2015044 |
| | | |

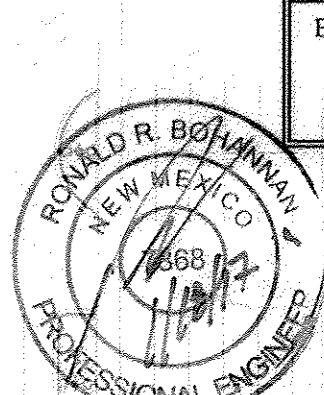
FOR REFERENCE ONLY

A.M.A.F.C.A South Diversion Channel
PHASE 1 (07/17/2003, 2003C-183)
(ROW VARIES)

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Bohannon, of the firm of Terra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Chris Medina, of Terra Land Surveys, NMPS number 15702.

Engineer's Seal & Signature



Bethel Ave, S.E.
(50' R.O.W.)

GRAPHIC SCALE
50 25 0 25 50
SCALE: 1"=50'

GENERAL UTILITY NOTES:

- ALL PUBLIC AND PRIVATE SAS AND WATER SHALL BE CONSTRUCTED PER ABCWA STANDARDS AND SPECIFICATIONS INCLUDING UPDATE #9
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS.
- CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
- IRRIGATION AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
- PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
- PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET.
- SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
- CONTRACTOR SHALL POTHOLE AND LOCATE ALL UTILITY POINTS OF CONNECTION A MINIMUM OF 10 WORKING DAYS PRIOR TO SCHEDULED UTILITY WORK AND CONTACT ENGINEER OF ANY DIFFERENCE FROM DESIGN VERTICAL OR HORIZONTAL LOCATION.

LEGEND

| | |
|--|--------------------------------|
| | CURB & GUTTER |
| | BOUNDARY LINE |
| | EASEMENT |
| | BUILDING |
| | SIDEWALK |
| | SCREEN WALL |
| | RETAINING WALL |
| | EXISTING CURB & GUTTER |
| | EXISTING BOUNDARY LINE |
| | STORM SEWER LINE |
| | SANITARY SEWER LINE |
| | WATERLINE |
| | SINGLE CLEAN OUT |
| | DOUBLE CLEAN OUT |
| | EXISTING SD MANHOLE |
| | EXISTING INLET |
| | EXISTING SAS MANHOLE |
| | EXISTING WATER VALVE |
| | EXISTING WATER METER |
| | EXISTING POWER POLE |
| | EXISTING GAS VALVE |
| | EXISTING OVERHEAD UTILITIES |
| | EXISTING UNDERGROUND UTILITIES |
| | EXISTING GAS |
| | EXISTING SANITARY SEWER LINE |
| | EXISTING WATER LINE |
| | EXISTING STORM SEWER LINE |

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

CAUTION:

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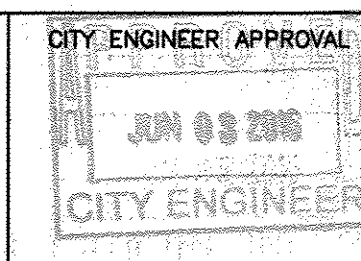
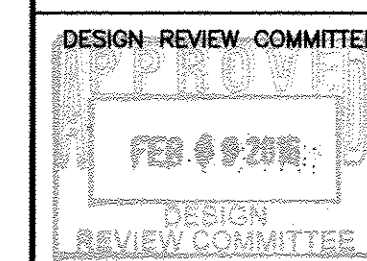
RECORD DRAWING

TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505)858-3100
www.tierrawestllc.com

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: MULTI-SPECIALTY CLINIC
MASTER UTILITY PLAN



CITY PROJECT NO. 643171 ZONE MAP NO. M-15-Z SHEET 3 OF 10

RESPONSIBILITY OF ELECTRICAL UTILITY SERVICE

| | ELECTRIC UTILITY COMPANY (PNM) | GENERAL CONTRACTOR |
|---|--------------------------------|--------------------|
| PRIMARY CONDUIT | | X |
| PRIMARY CONDUCTORS | X | |
| TRANSFORMER PAD | | X |
| TRANSFORMER | X | |
| SECONDARY CONDUIT TO METER/CT | | X |
| SECONDARY CONDUCTORS TO METER/CT | | X |
| SECONDARY CONDUCTORS FROM METER TO MAIN PANEL | | X |
| SECONDARY CONDUCTORS FROM METER TO MAIN PANEL | | X |

* TRENCHING AND BACKFILL FOR PRIMARY CONDUIT BY GENERAL CONTRACTOR SEE SHEET MPE 101 FOR CONDUIT AND CONDUCTOR SIZES.

DETAIL 'A'

SC: 1"=20'

SINGLE CLEANOUT

6" PVC SAS (PRIVATE)

3" DOMESTIC WL (PRIVATE)

1" IRRIGATION METER AND 2" DOMESTIC METER W/ BACKFLOW PREVENTERS IN HOT BOX

REMOVE EX. SAS CAP & 10 LF EX. SAS

4" SAS MH RIM=5048.30

INV N(IN)=5039.85

INV S(OUT)=5039.76

EX. 8" SAS (PUBLIC) DWG #643182

EX. 8" PVC WL (PUBLIC) DWG #643182

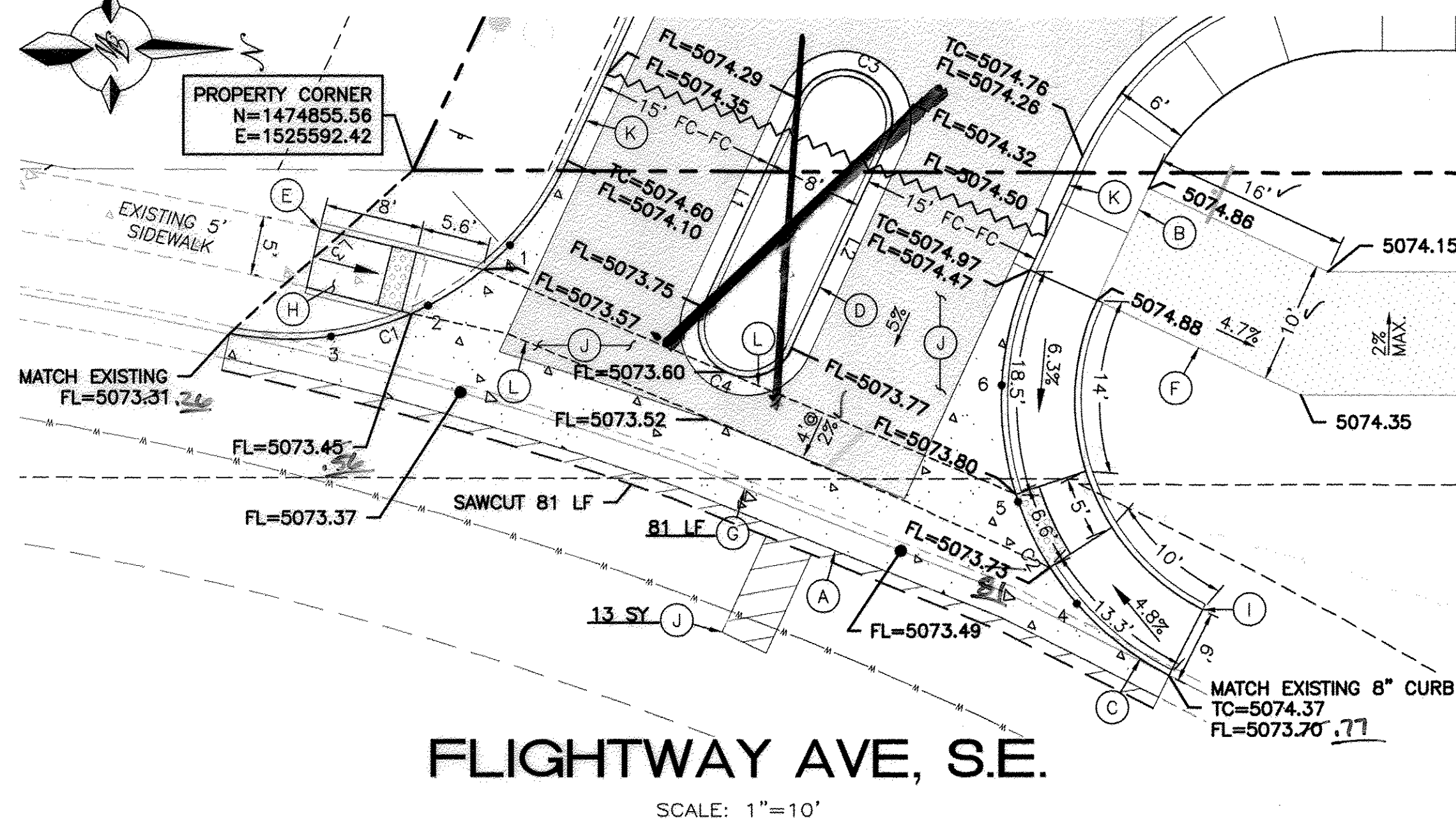
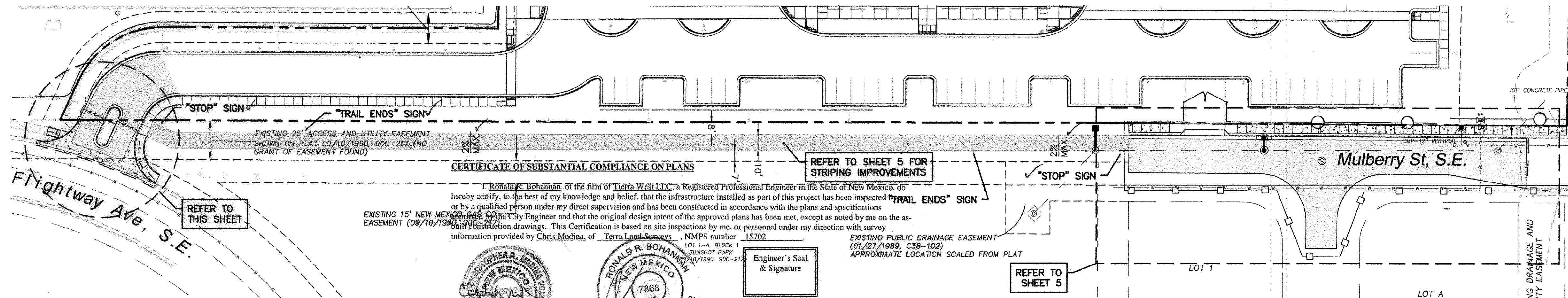
EX. MH INV=5039.64

GENERAL NOTES:

- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
- REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
- ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- CLEAN OUTS & MANHOLE TIE POINTS ARE TAKEN USING THE NW PROPERTY CORNER X=10,000, Y=10,000 SEE TABLE 2.
- SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

12" PRIVATE GATE VALVE PER COA STD DWG #2326, #2329
N=14744422.71
E=1525101.63

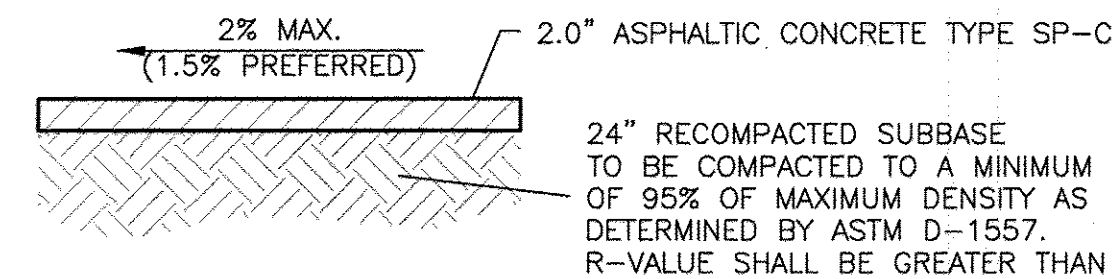
12" PUBLIC GATE VALVE PER COA STD DWG #2326, #2329
N=14744422.71
E=1525135.15



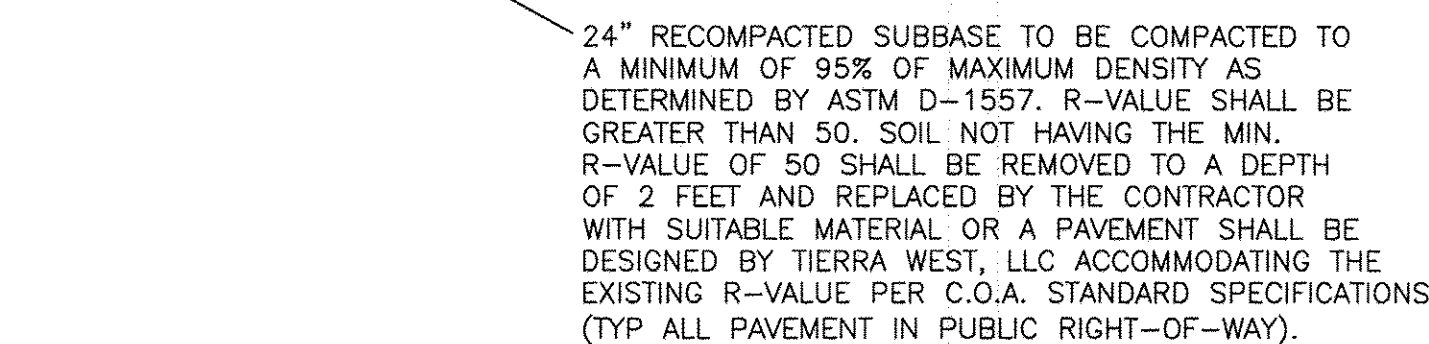
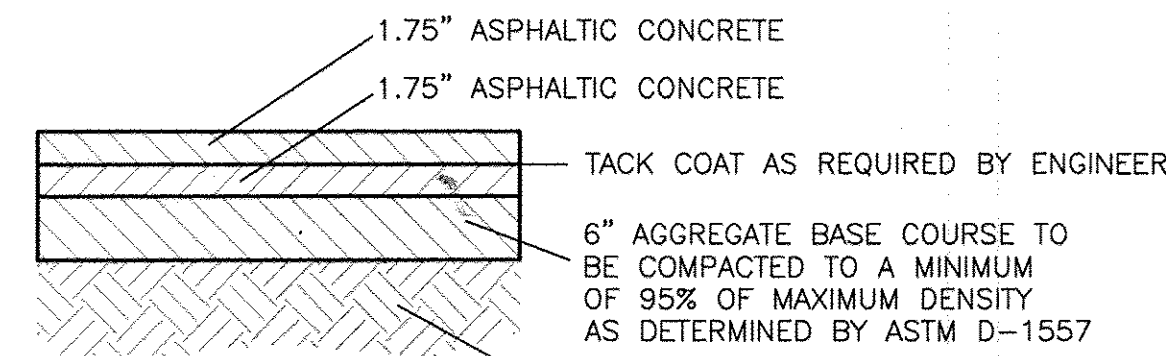
QUARTER POINTS

| C1 | FL | ELEV. |
|----|---------|-------|
| 1 | 5073.70 | |
| 2 | 5073.48 | |
| 3 | 5073.37 | |

| C2 | FL | ELEV. |
|----|---------|-------|
| 4 | 5073.67 | |
| 5 | 5073.79 | |
| 6 | 5074.09 | |



BIKE TRAIL SECTION



HEAVY DUTY PAVING SECTION

NTS
*PAVEMENT SECTION DESIGNED PER GEOTECH INVESTIGATION REPORT DATED JULY 31, 2015 BY TERRACON, INC.

LEGEND

| | |
|-------|---|
| ===== | CURB & GUTTER |
| ----- | BOUNDARY LINE |
| ----- | EASEMENT |
| ----- | EXISTING CURB & GUTTER |
| ----- | EXISTING BOUNDARY LINE |
| ----- | PROPOSED CONCRETE GUTTER |
| ----- | EXISTING ASPHALT TO BE REMOVED AND REPLACED |
| ----- | PROPOSED ASPHALT |
| ----- | MEDIAN CONCRETE |
| ----- | SAWCUT |
| ----- | WATERBLOCK |

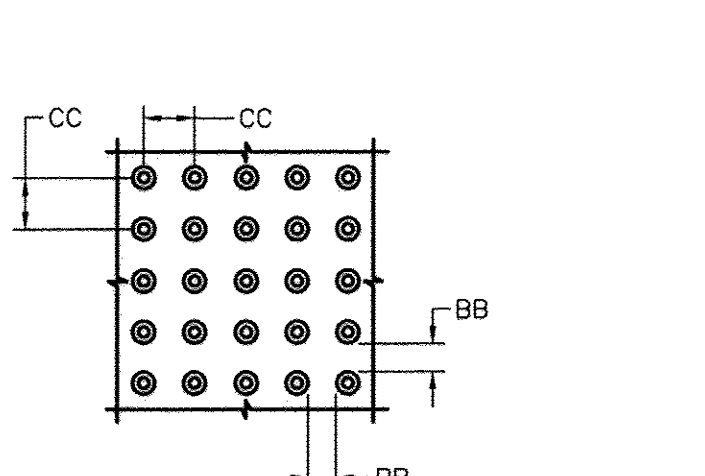
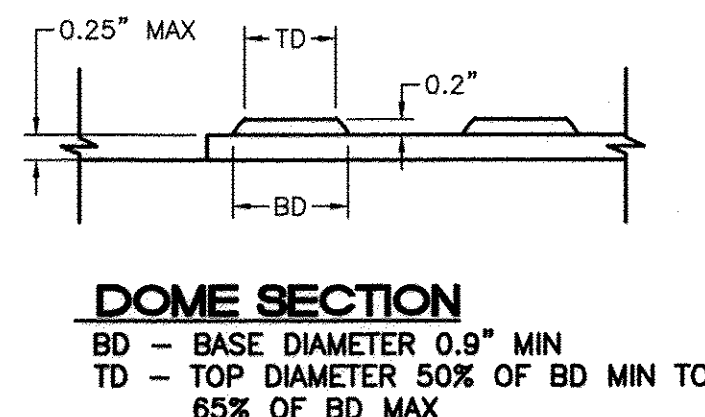
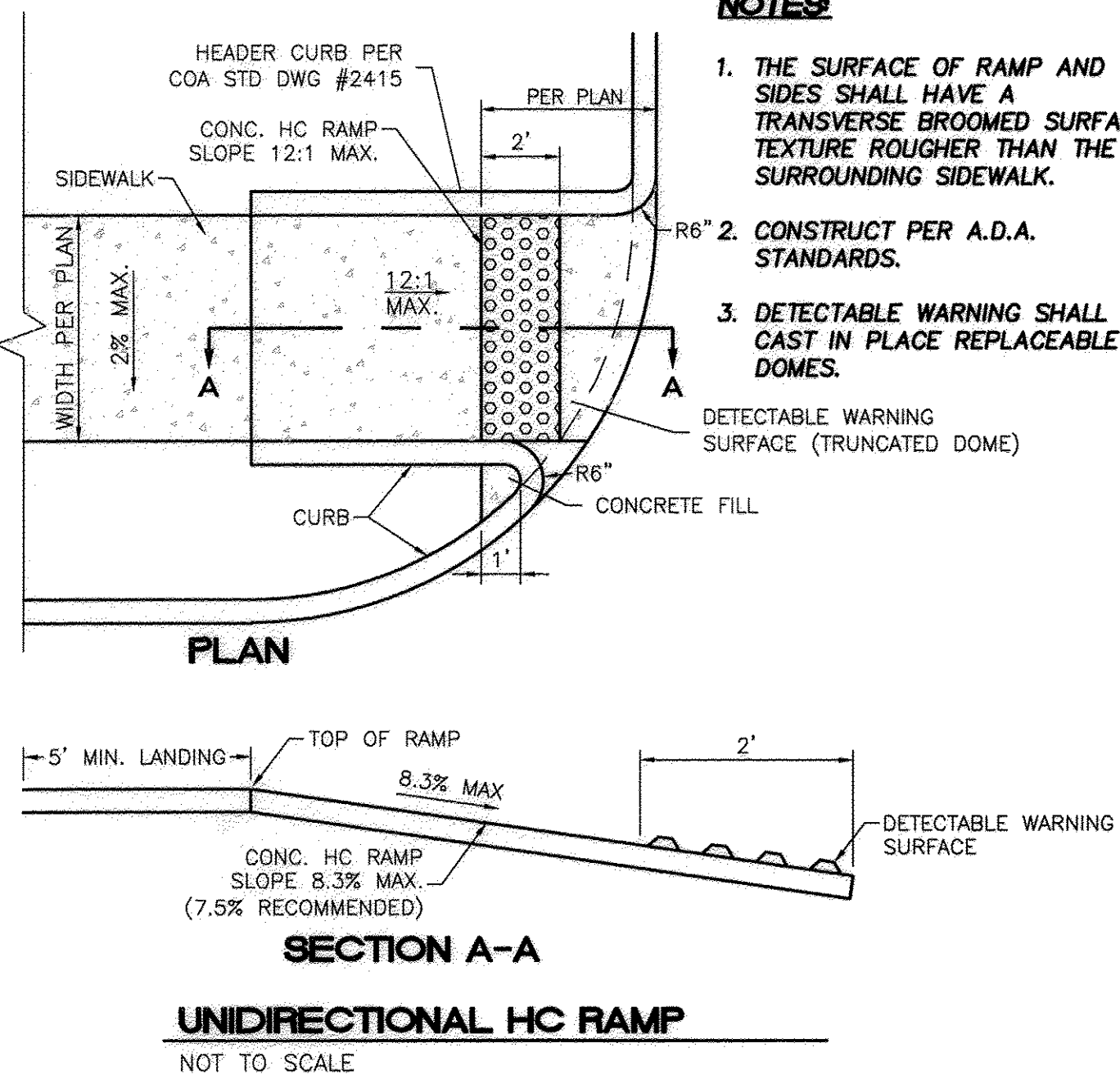
KEYED NOTE

- (A) 6" VALLEY GUTTER PER COA STD DWG #2420 ✓
- (B) 6" SIDEWALK PER COA STD DWG #2430 ✓
- (C) STANDARD CURB & GUTTER PER COA STD DWG #2415A ✓
- (D) MOUNTABLE CURB ROLL TYPE PER COA STD DWG #2415A ✓
- (E) ACCESSIBLE RAMP W/ TRUNCATED DOMES PER UNIDIRECTIONAL HC RAMP DETAIL THIS SHEET ✓
- (F) 10" ASPHALT TRAIL ✓
- (G) REMOVE & DISPOSE EXIST. 8" PCC CURB & GUTTER ✓
- (H) REMOVE & DISPOSE 4 SY EXIST. SIDEWALK ✓
- (I) ACCESSIBLE RAMP W/ TRUNCATED DOMES PER COA STD DWG #2441 CASE 1 ✓
- (J) HEAVY DUTY ASPHALT ✓
- (K) 6" PRIVATE CURB & GUTTER PER DETAIL THIS SHEET ✓
- (L) GRADE BREAK ✓

*NOTE: REMOVAL OF SIDEWALK SHALL BE TO NEAREST JOINT

RECORD DRAWING

| | |
|--|---|
| TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 www.tierrowestllc.com | |
| CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP | |
| TITLE: MULTI-SPECIALTY CLINIC PAVING IMPROVEMENTS FLIGHTWAY AVE, S.E. | |
| DESIGN REVIEW COMMITTEE APPROVED FEB 03 2016 | CITY ENGINEER APPROVAL APPROVED JUN 03 2016 CITY ENGINEER |
| DESIGNED BY: JDH DRAWN BY: DY DRAWING NAME: 2015044-SH04-PV-FLIGHTWAY CHECKED BY: JDH | DATE: 1/25/2016 DATE: 1/25/2016 JOB NO.: 2015044 DATE: 1/25/2016 |
| CITY PROJECT NO. 643171 | ZONE MAP NO. M-15-Z |
| SHEET 4 | OF 10 |



DOMES SECTION

BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX

DOMES SPACING

CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN

- CURB GENERAL NOTES:**
- ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER SPECIFICATIONS.
 - PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
 - ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
 - 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

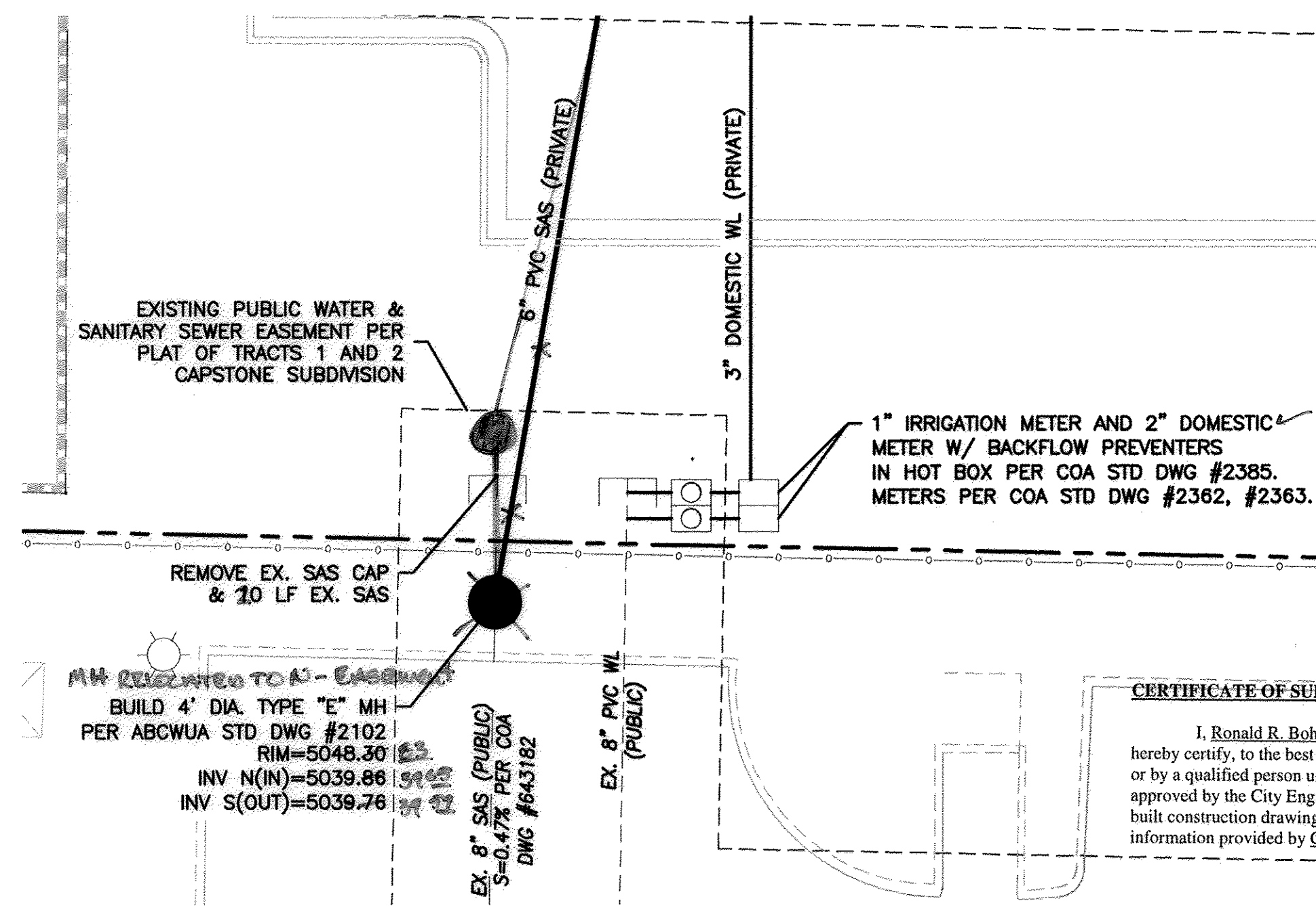
6" PRIVATE CURB & GUTTER

NTS

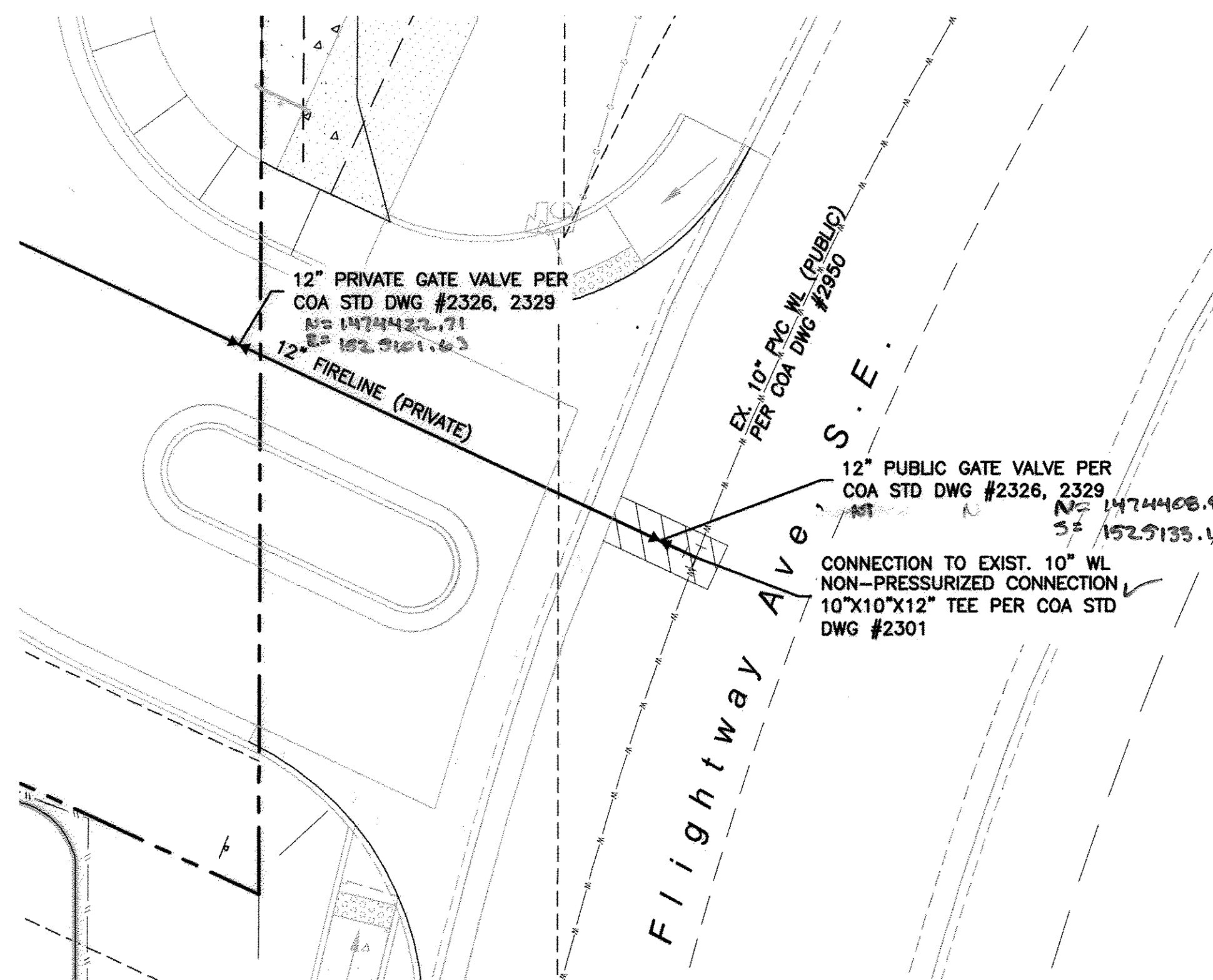
| LINE | BEARING | LENGTH |
|------|-------------|--------|
| L1 | S65°09'15"E | 18.59 |
| L2 | S65°09'15"E | 18.59 |
| L3 | S41°28'18"E | 19.99 |

| CURVE | DELTA | RADIUS | LENGTH |
|-------|------------|--------|--------|
| C1 | 76°23'15" | 25.00 | 33.33 |
| C2 | 88°00'47" | 25.00 | 38.40 |
| C3 | 180°00'00" | 4.00 | 12.57 |
| C4 | 180°00'00" | 4.00 | 12.57 |

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



UTILITY CONNECTION AT TRACT 1, CAPSTONE SUBDIVISION



FLIGHTWAY AVE, S.E.

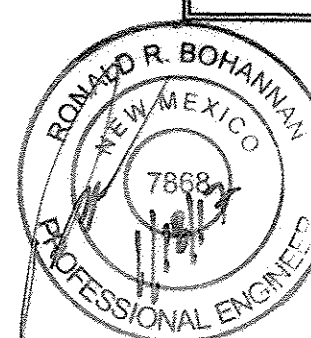
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- SIDEWALK
- EXISTING SCREEN WALL
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 36" SD — STORM SEWER LINE
- 8" SAS — SANITARY SEWER LINE
- 8" WL — WATERLINE
- EXISTING SD MANHOLE
- EXISTING INLET
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GAS VALVE
- EXISTING OVERHEAD UTILITIES
- EX. UGE — EXISTING UNDERGROUND UTILITIES
- EX. GAS — EXISTING GAS
- EX. 8" SAS — EXISTING SANITARY SEWER LINE
- EX. 10" WL — EXISTING WATER LINE
- EX. 18" RCP — EXISTING STORM SEWER LINE

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Bohannon, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Chris Medina, of Tierra Land Surveys, NMPS number 14702.

Engineer's Seal
& Signature



NOTICE TO CONTRACTORS

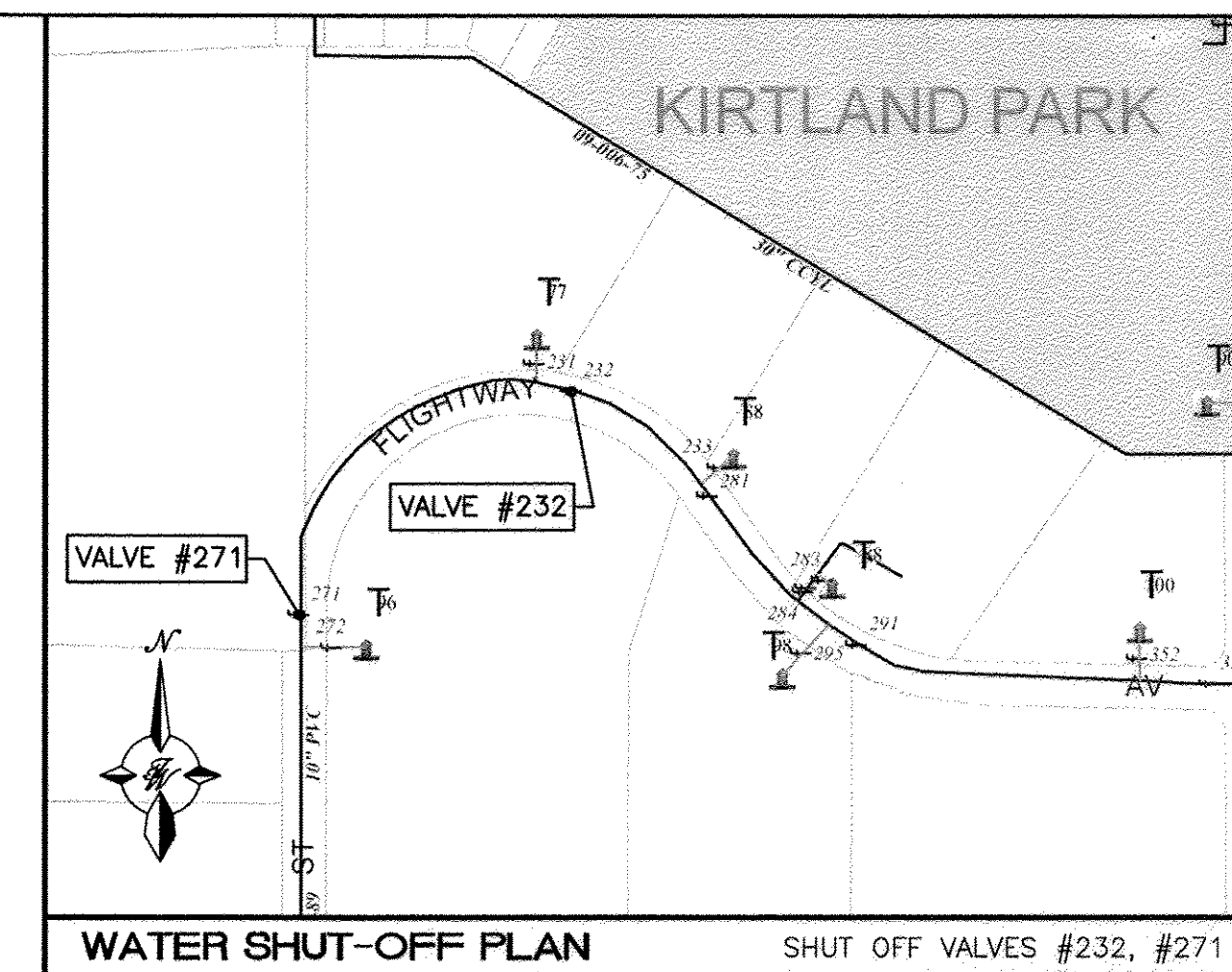
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

NOTES:

- ALL FIRE HYDRANTS ARE TO BE BUILT WITH MECH RESTRAINTS W/BLOCKING PER COA STANDARDS.
- ALL EXISTING UTILITY CONNECTION LOCATIONS AND INVERTS MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION OF UTILITIES.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



WATER SHUTOFF NOTES/PLAN:

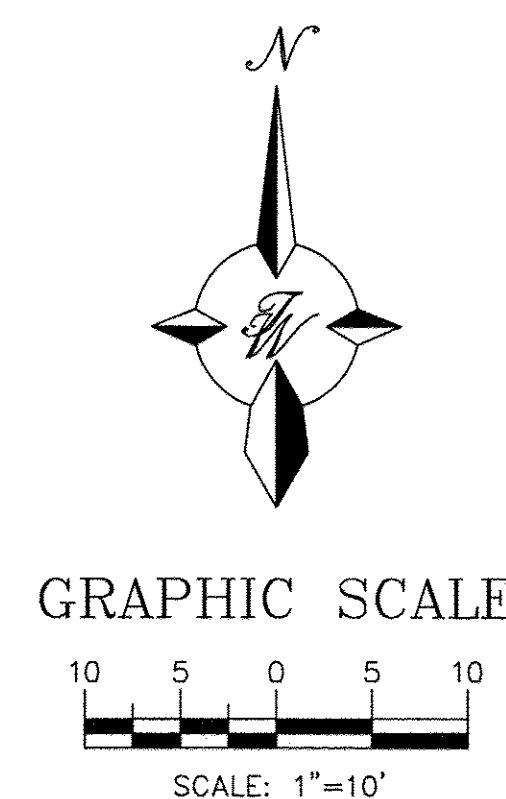
- THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE.
- WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK.
- ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES.
- SHUTOFF REQUEST MUST BE MADE ONLINE AT (<http://abcwua.org/content/view/463/729/>)
- APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
- ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED.
- SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN. TO BE DONE BY WUA ONLY. CONNECTION TO EXISTING WATER LINE TO BE NON-PRESSURIZED.

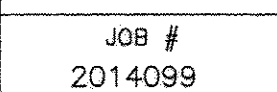
GENERAL UTILITY NOTES:

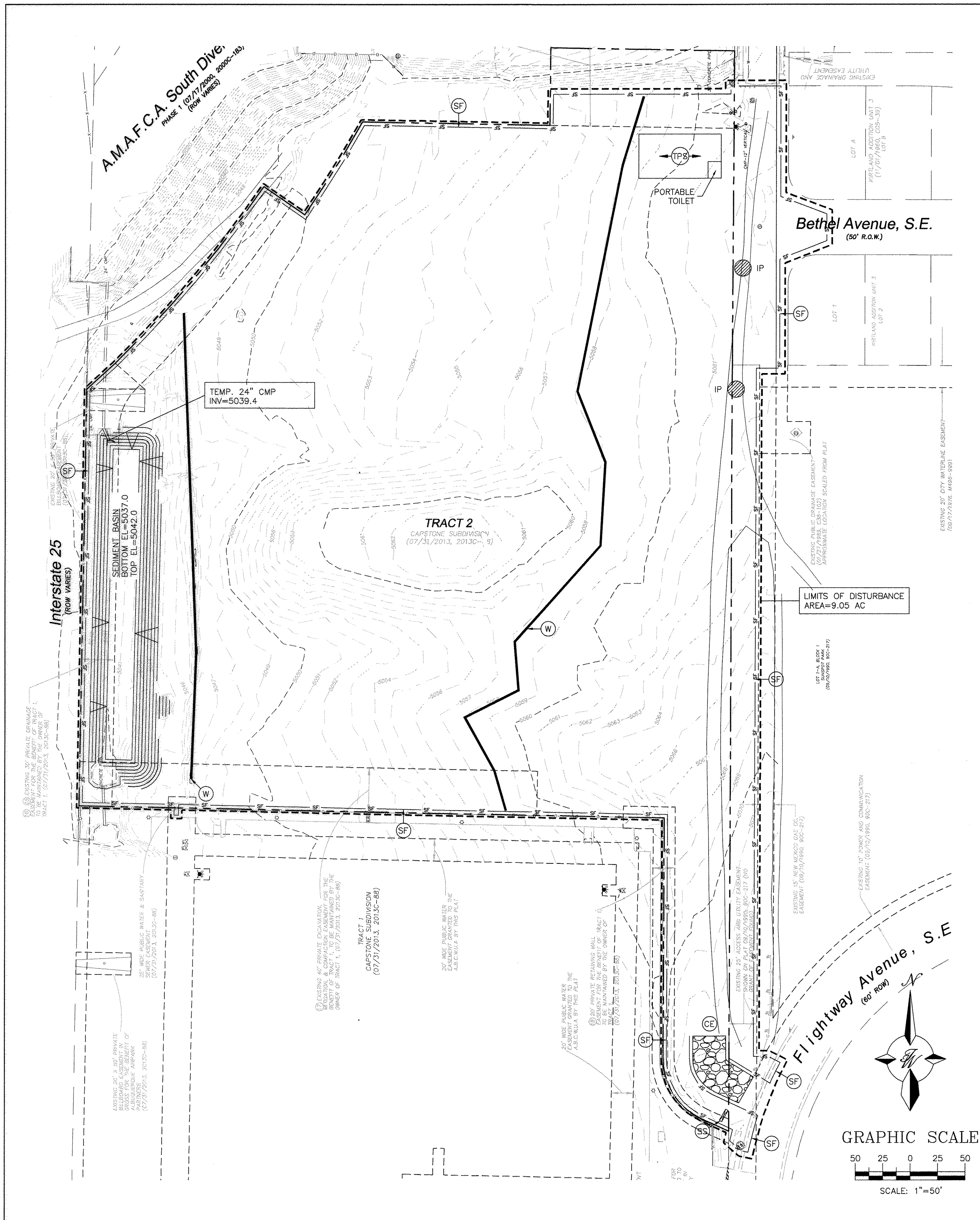
- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
- CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
- FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
- ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
- REFERENCE ARCHITECTURAL PLANS FOR LIGHTING POWER ROUTING.

RECORD DRAWING

| | | | |
|---|--|--|-------------|
| TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 www.tierrawestllc.com | | CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP | |
| TITLE: MULTI-SPECIALTY CLINIC UTILITY IMPROVEMENTS | | | |
| DESIGN REVIEW COMMITTEE | CITY ENGINEER APPROVAL | MO./DAY/YR. | MO./DAY/YR. |
| APPROVED FEB 09 2016 DESIGN REVIEW COMMITTEE | APPROVED JUN 09 2016 CITY ENGINEER | | |
| CITY PROJECT NO. | ZONE MAP NO. | SHEET | OF |
| 643171 | M-15-Z | 6 | 10 |





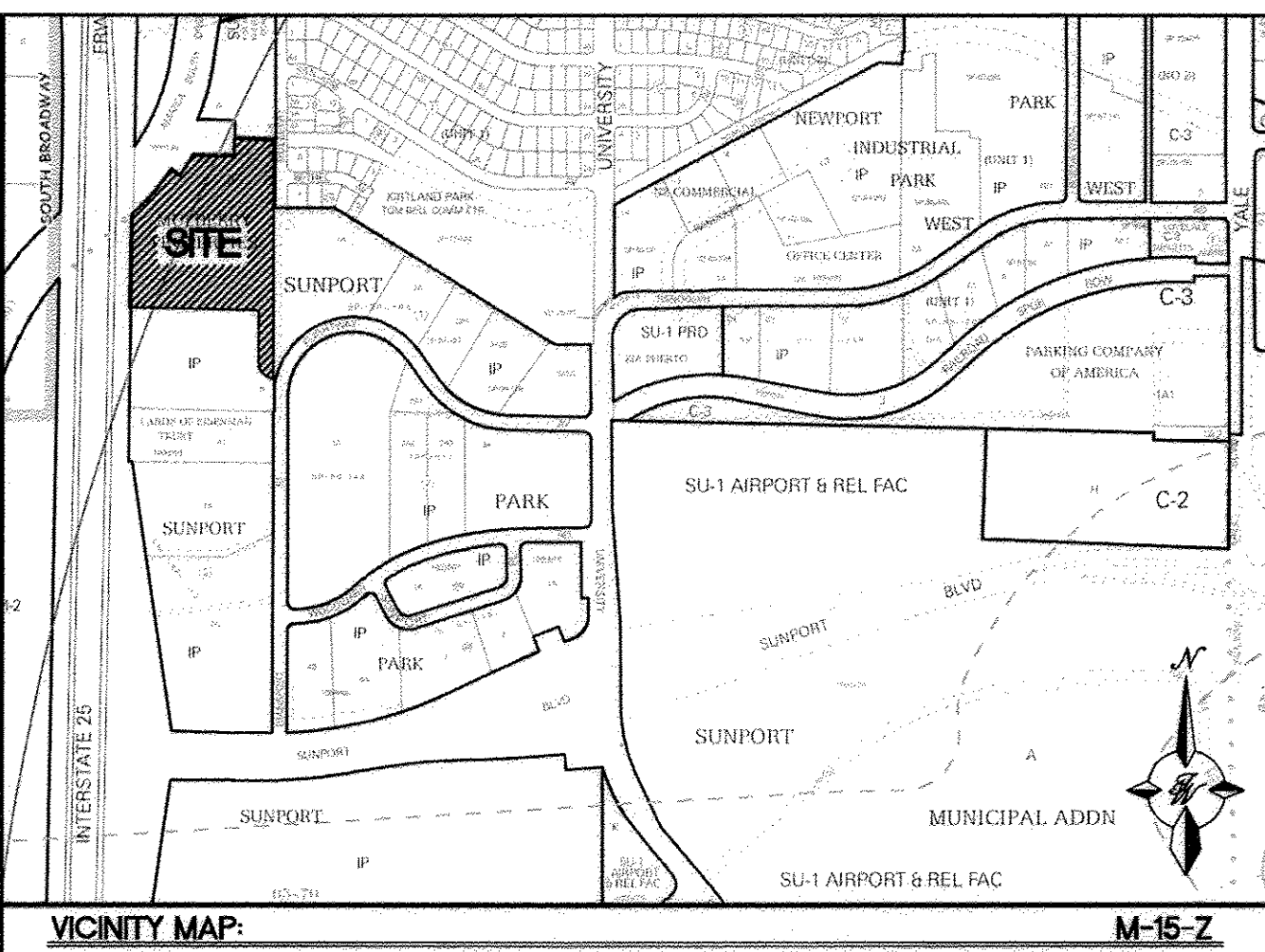


GENERAL EROSION NOTES

- A. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THIS DRAWING ("SITE MAP"), THE STANDARD DETAILS, THE PLAN NARRATIVE, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- B. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF NEW MEXICO NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- C. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- D. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- E. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- F. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- G. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- H. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- I. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- J. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- K. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- L. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- M. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 21 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. PROVIDE ADEQUATE TEMPORARY IRRIGATION FOR GERMINATION.
- N. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- O. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- P. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- Q. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- R. ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES, AS REQUIRED PER THE CONSTRUCTION GENERAL PERMIT. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- S. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- T. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) TO PREVENT EROSION.
- U. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

SEQUENCE OF CONSTRUCTION

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
2. CONSTRUCT THE SILT FENCES ON THE SITE.
3. PREPARE TEMPORARY PARKING AND STORAGE AREA.
4. CONSTRUCT THE SEDIMENTATION AND SEDIMENT TRAP BASINS.
5. PERFORM DEMOLITION ON THE SITE.
6. UNDERCUT GRADE AS REQUIRED.
7. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
8. FINISH GRADING THE SITE. RAISE GRADES TO INDUCE DRAINAGE TOWARD TEMPORARY SEDIMENT BASINS.



EROSION NOTES

- TPS TPS TEMPORARY PARKING AND STORAGE
- LIMITS OF DISTURBANCE
- WADDE

EROSION DETAILS

- CE TEMPORARY STONE CONSTRUCTION EXIT
- SF SF TEMPORARY SILT FENCE
- ST ST TEMPORARY SEDIMENT TRAP
- SS SS SWPPP SIGN
- W W WADDE
- IP IP INLET PROTECTION

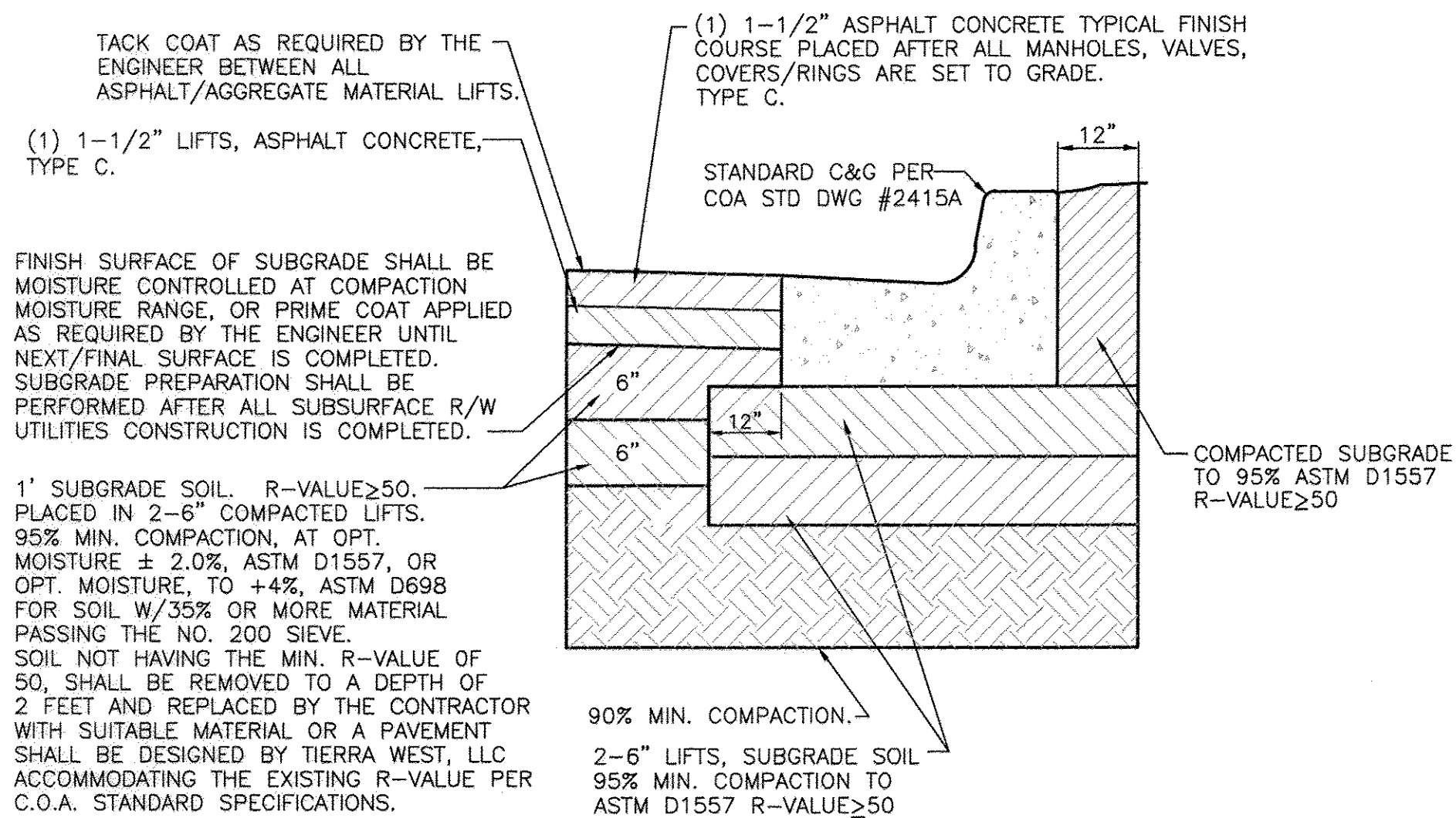
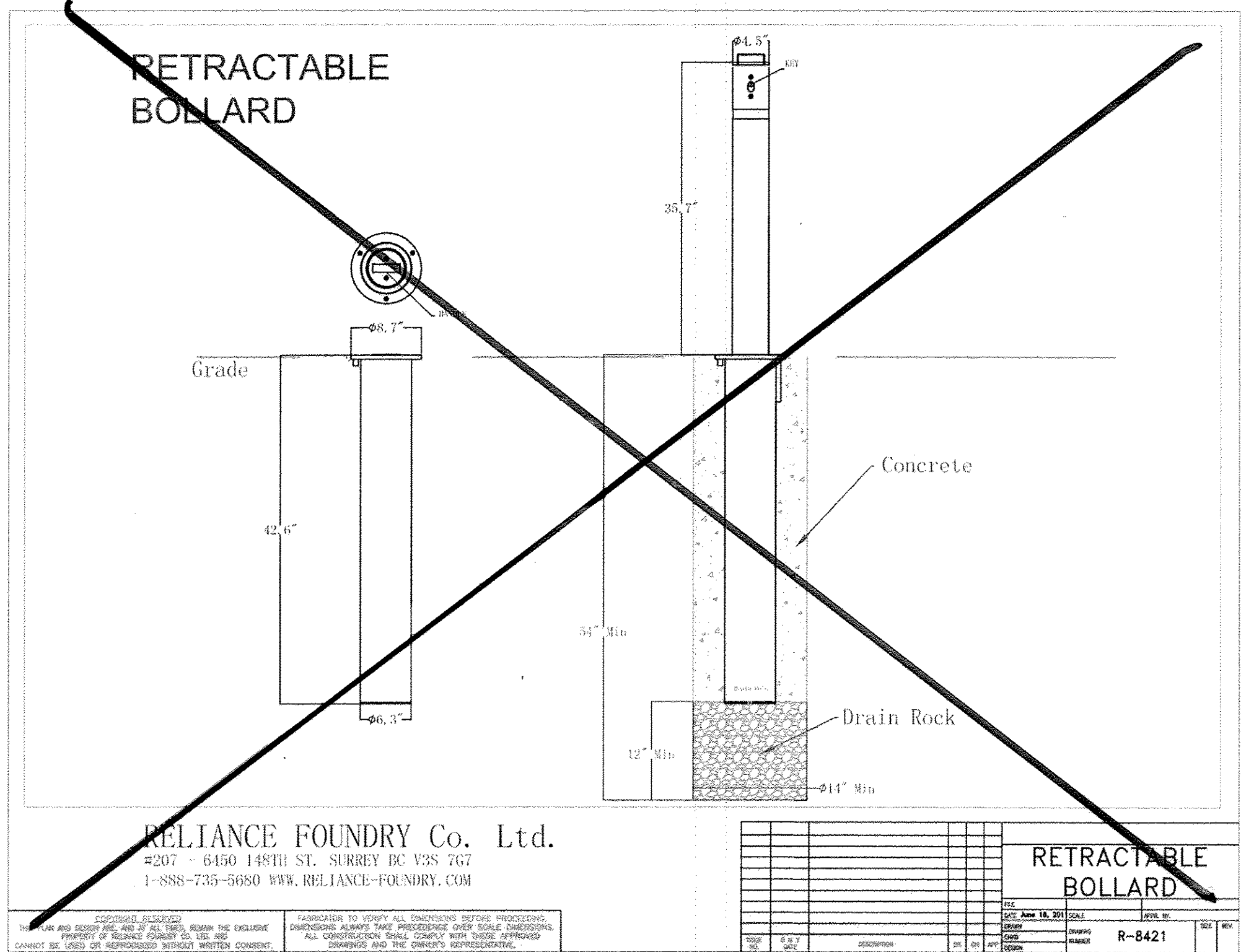
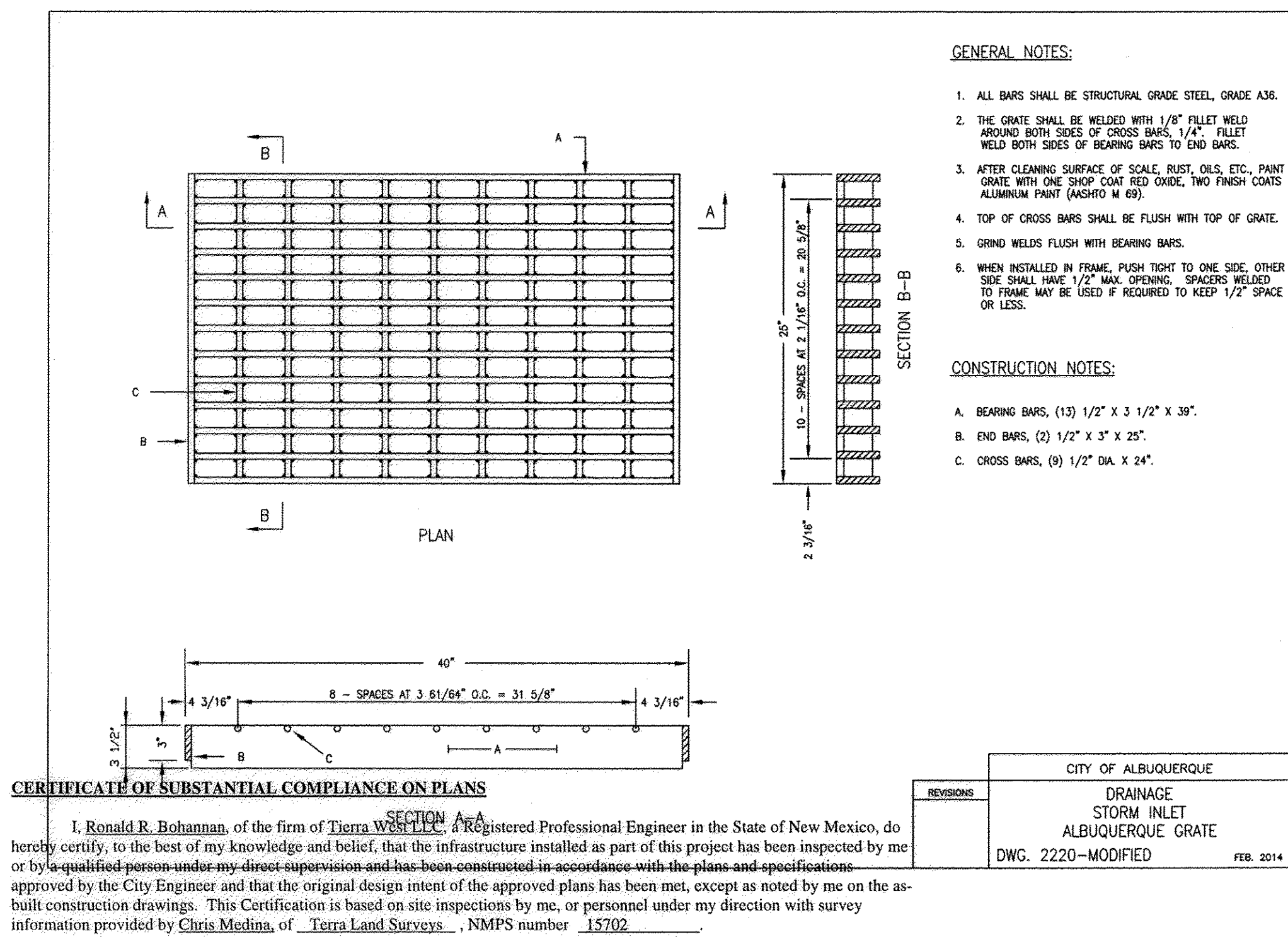
MAINTENANCE

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

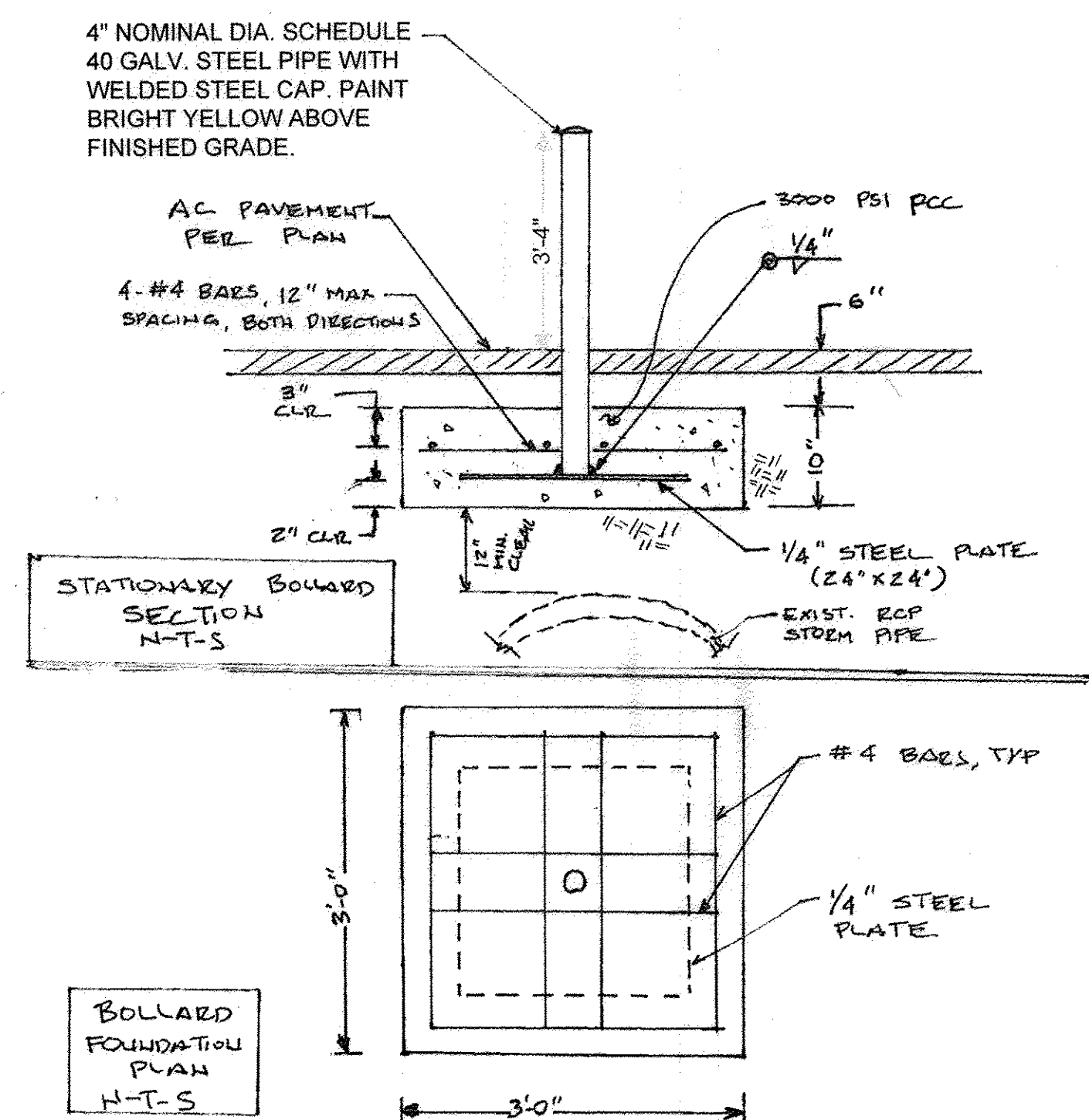
1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. ANY TEMPORARY PARKING AND STORAGE AREAS SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND. ONCE IDENTIFIED, NOTE ON THE SWPPP PLAN.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.

FOR INFORMATION ONLY

| | | |
|----------------------------------|---|--------------------|
| ENGINEER'S SEAL | MULTI-SPECIALTY CLINIC 2901 TRANSPORT ST, S.E. | DRAWN BY DY |
| | TEMPORARY EROSION CONTROL AND SEDIMENTATION PLAN | DATE 2/03/16 |
| | TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com | 2015044-SWPPP |
| RONALD R. BOHANNAN P.E. #7868 | | SHEET # 8 OF 10 |
| | | JOB # 2014099 |



SECTION 'A'
NTS PAVEMENT SECTION PER COA STD DWG #2405A FOR MULBERRY EXTENSION



RECORD DRAWING

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: MULTI-SPECIALTY CLINIC DETAILS

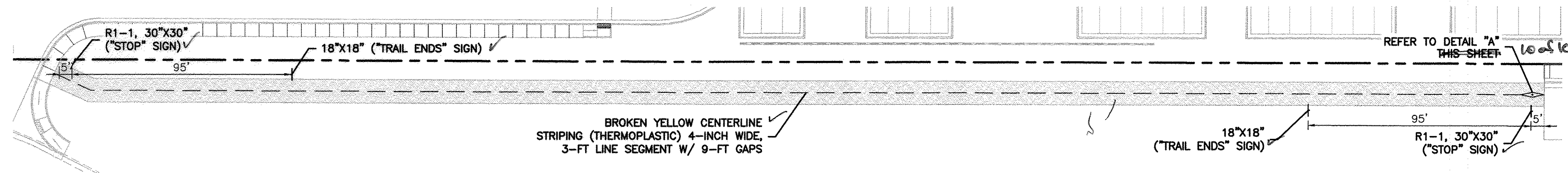
DESIGN REVIEW COMMITTEE
FED 09 2016
DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL
JUN 08 2016
CITY ENGINEER

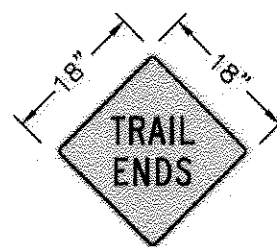
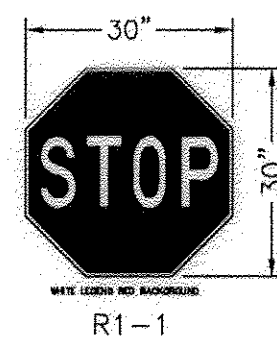
LAST DESIGN UPDATE

MO./DAY/YR. MO./DAY/YR.

CITY PROJECT NO. 643171 ZONE MAP NO. M-15-Z SHEET 10 OF 10



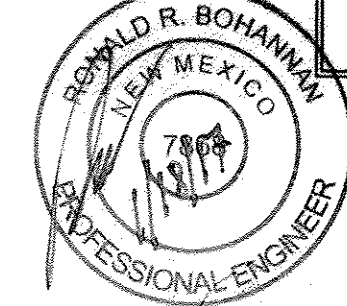
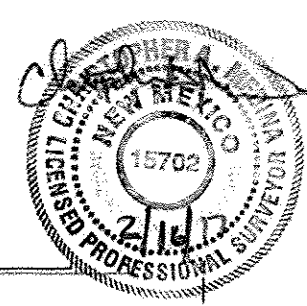
SIGN KEY:



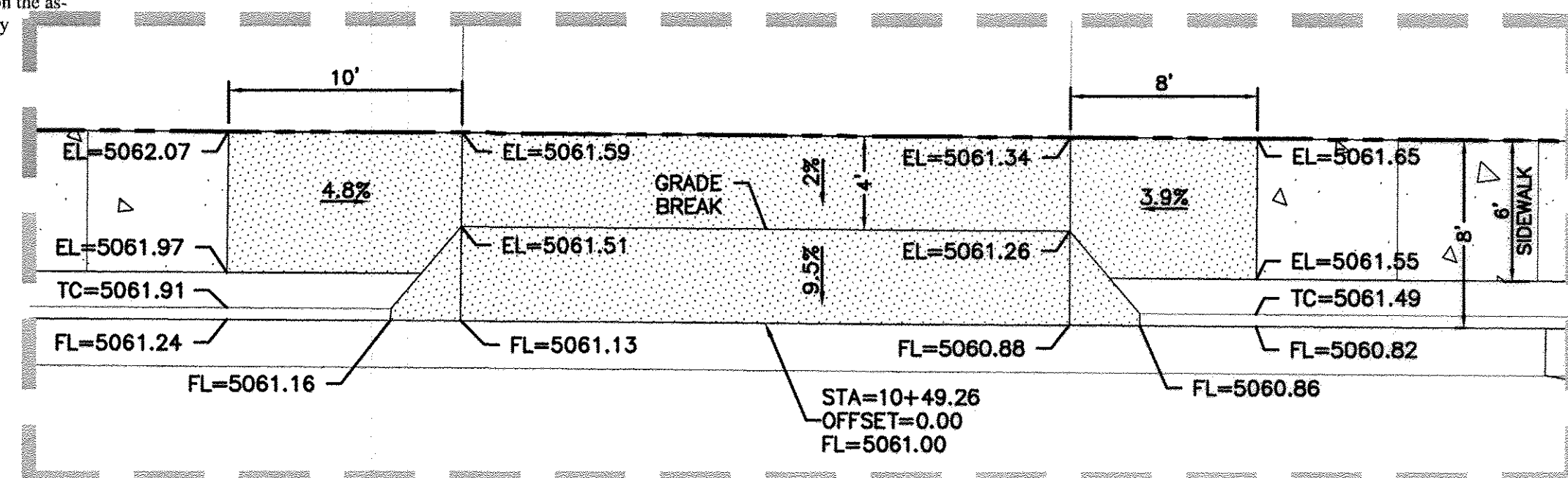
- * SIGN FACES SHOWN FOR REFERENCE; CONTRACTOR SHALL VERIFY DIRECTION OF ARROW TO CORRELATE WITH INSTALLATION LOCATION AND TRAFFIC MOVEMENTS.
- ** CONTRACTOR SHALL COORDINATE WITH TRAFFIC OPERATIONS PRIOR SIGNING AND STRIPING
- *** SIGN COLORS SHALL COMPLY WITH LATEST MUTCD STANDARDS

STRIPING IMPROVEMENTS SC: 1"=30'

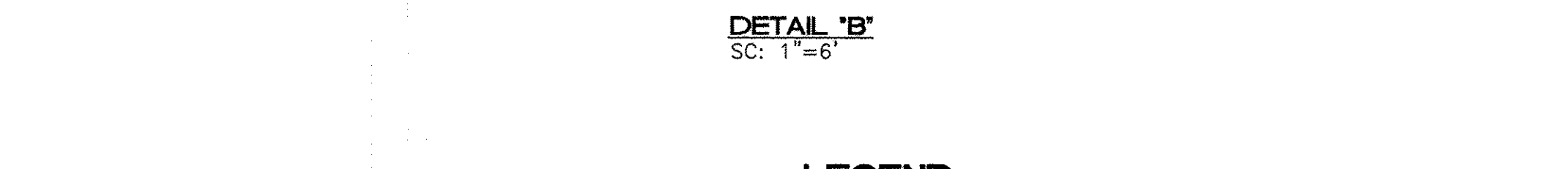
I, Ronald R. Bohannon, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Chris Medina, of Tierra Land Surveys, N.M.P.S. number 15702.



Engineer's Seal & Signature



DETAIL 'A'
SC: 1"=10'



DETAIL 'B'
SC: 1"=6'

| LINE | BEARING | LENGTH |
|------|-------------|--------|
| L1 | S0°20'25"W | 257.78 |
| L2 | S89°39'35"E | 32.19 |
| L3 | S0°20'25"W | 42.67 |
| L4 | N89°39'35"W | 18.00 |
| L5 | S0°20'25"W | 20.00 |
| L6 | N89°39'35"W | 18.00 |
| L7 | S0°20'25"W | 85.11 |
| L8 | S89°39'35"E | 24.00 |
| L9 | S9°38'28"W | 50.67 |

| CURVE | DELTA | RADIUS | LENGTH |
|-------|-----------|--------|--------|
| C3 | 90°00'00" | 30.00 | 47.12 |
| C4 | 90°00'00" | 30.00 | 47.12 |

LEGEND

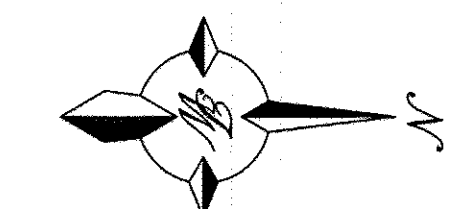
- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- PROPOSED ASPHALT
- PROPOSED DRIVEPAD
- SAWCUT

KEYED NOTE:

- (A) STANDARD CURB & GUTTER PER COA STD DWG #2415A ✓
- (B) 6' SIDEWALK PER COA STD DWG #2430 ✓
- (C) 26' DRIVEPAD PER COA STD DWG #2425 ✓
- (D) EDGE OF PAVEMENT ✓
- (E) 10' ASPHALT TRAIL ✓
- (F) 48" DIA. TYPE "E" MANHOLE PER COA STD DWG #2102 ✓
- (G) 18" CLASS IV RCP ✓
- (H) STORM INLET SINGLE TYPE "C" PER COA STD DWG #2205 ✓
- (I) ADJUST EXISTING MANHOLE TO GRADE PER COA STD DWG #2111 ✓
- (J) EXISTING FIRE HYDRANT TO REMAIN ✓
- (K) K-RAIL ✓
- (L) INSTALL VALVE BOX PER COA STD DWG #2326 ✓
- ✗ CONSTRUCTION BASELINE

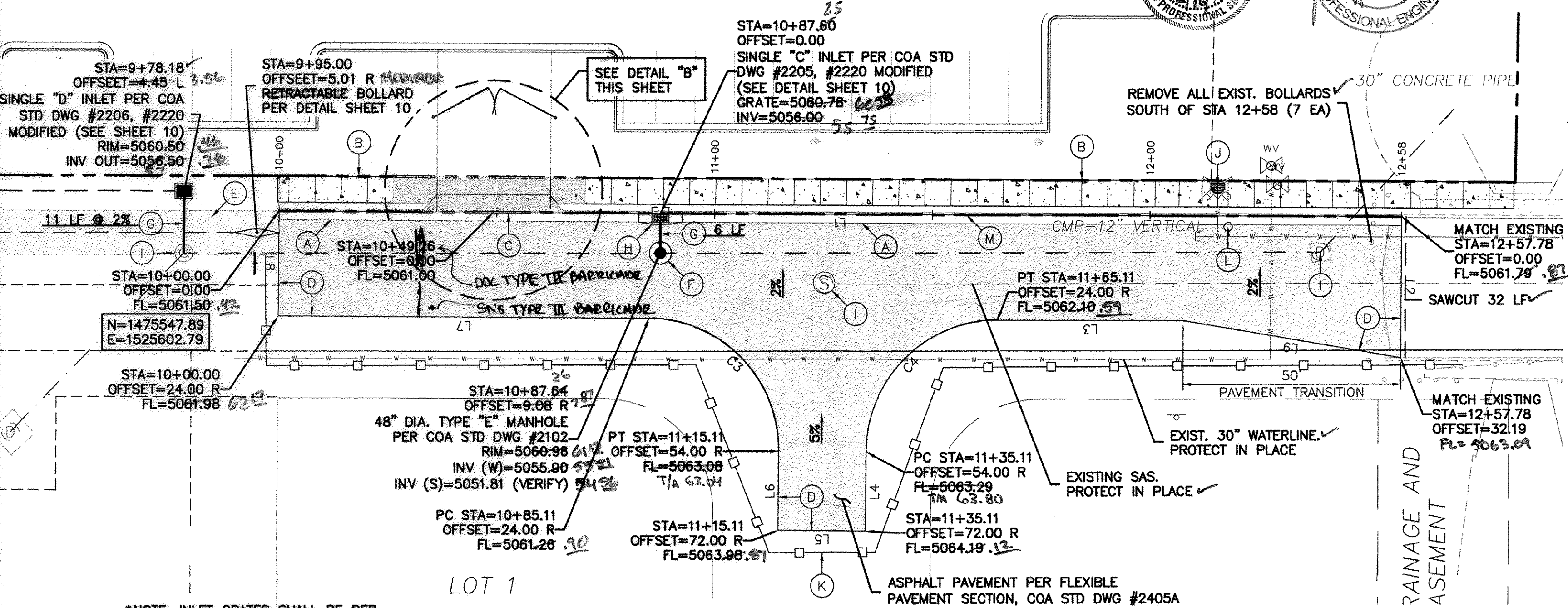
RECORD DRAWING

| | | | |
|--|--|--|----------------------------|
| TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com | | CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP | |
| TITLE: MULTI-SPECIALTY CLINIC PAVING, STORM DRAIN, & STRIPING IMPROVEMENTS MULBERRY ST, S.E. | | | |
| DESIGN REVIEW COMMITTEE FEB 09 2016 DESIGN REVIEW COMMITTEE | CITY ENGINEER APPROVAL JUN 08 2016 CITY ENGINEER | MO./DAY/YR. MO./DAY/YR. | MO./DAY/YR. MO./DAY/YR. |
| CITY PROJECT NO. 643171 | | ZONE MAP NO. M-15-Z | SHEET 5 OF 10 |



SCALE: HORIZ. 1"=20'
VERT. 1"=4'

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



MULBERRY ST, S.E.

