

# CONSTRUCTION PLANS FOR **RED ROOF INN**

## ROAD AND UTILITY IMPROVEMENTS

CITY OF ALBUQUERQUE  
NEW MEXICO  
OCTOBER 2000

### INDEX TO DRAWINGS

1. TITLE SHEET
- ~~2. PLAT~~
3. APPROVED SITE PLAN FOR BUILDING PERMIT
- 3A. APPROVED ADMINISTRATIVE AMENDMENT
4. APPROVED GRADING AND DRAINAGE PLAN
5. ASPHALT TRAIL PLAN
6. MASTER UTILITY PLAN
7. MULBERRY ST. UTILITY IMPROVEMENTS  
STA: 10+00.00 TO 15+10.14
8. STORM SEWER IMPROVEMENTS  
STA: 9+51.65 TO 12+63.62
9. SIGNING AND CONSTRUCTION TRAFFIC CONTROL STANDARDS
10. TYPICAL TRAFFIC CONTROL & SIGNING EXAMPLES (REF. M.U.T.C.D.)

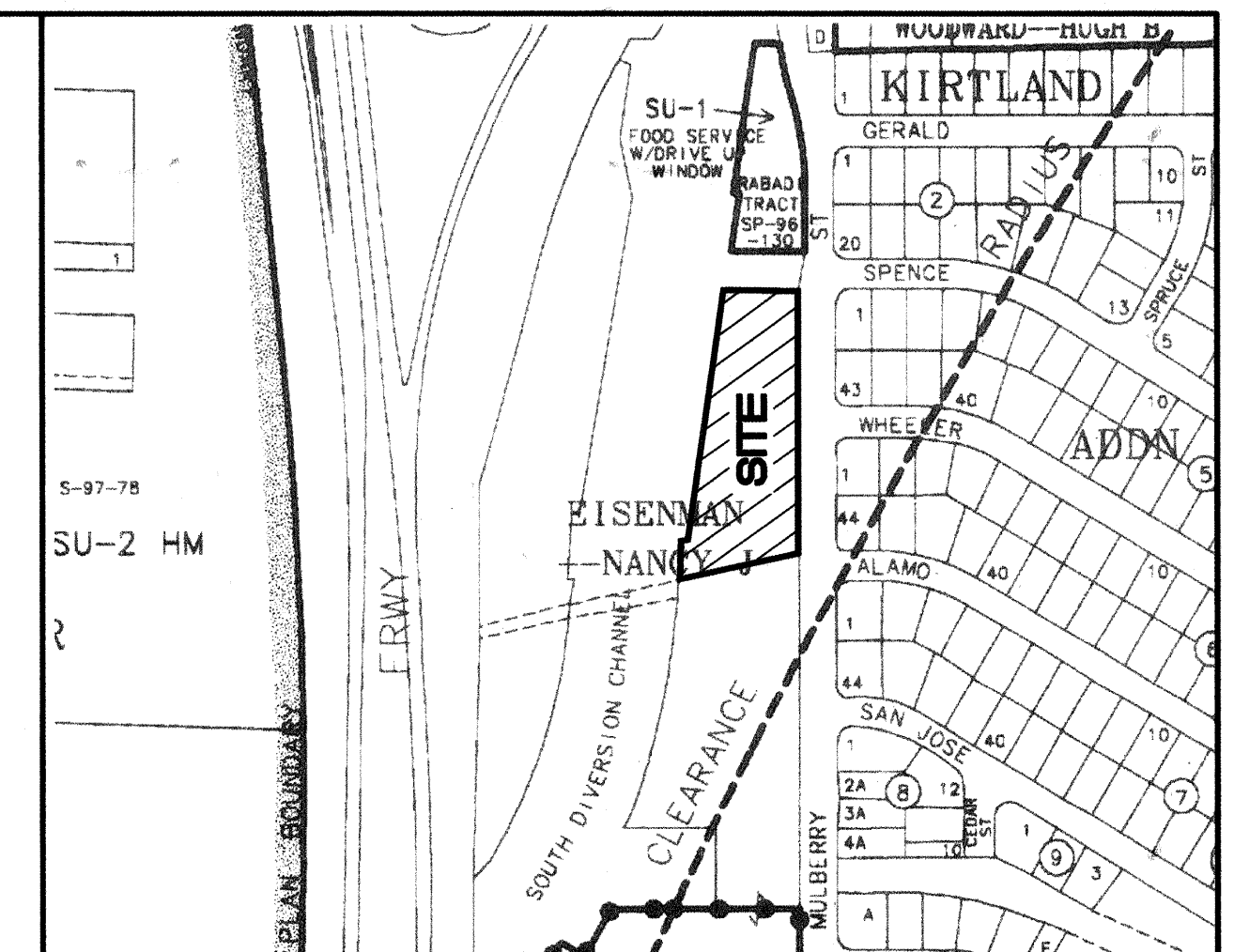
#### RECORD DRAWING

I, Ronald R. Bohannon, Registered Professional Engineer in the State of New Mexico, do hereby certify that this "record drawing" was provided by Field Inspection under my supervision and represents the "record" conditions of this project, and is true and correct to the best of my knowledge and belief. All vertical and horizontal dimensions should be field verified prior to use on future projects.

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15  
26 6431.81 03

DRB #1000073  
00440-00000-01251  
00440-00000-01252

1/990034/9934TITL1.DWG/JDN/10-20-00



#### VICINITY MAP

M-15-Z

#### NOTICE TO CONTRACTORS

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION (UPDATE #6).
2. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
3. ANY WORK AFFECTING AN ARTERIAL ROADWAY REQUIRES 24-HOUR CONSTRUCTION.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. FIVE (5) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATIONS DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (766-2551) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO STANDARD SPECIFICATIONS.
6. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY THE CONTRACTOR TO LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.
7. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.

#### THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

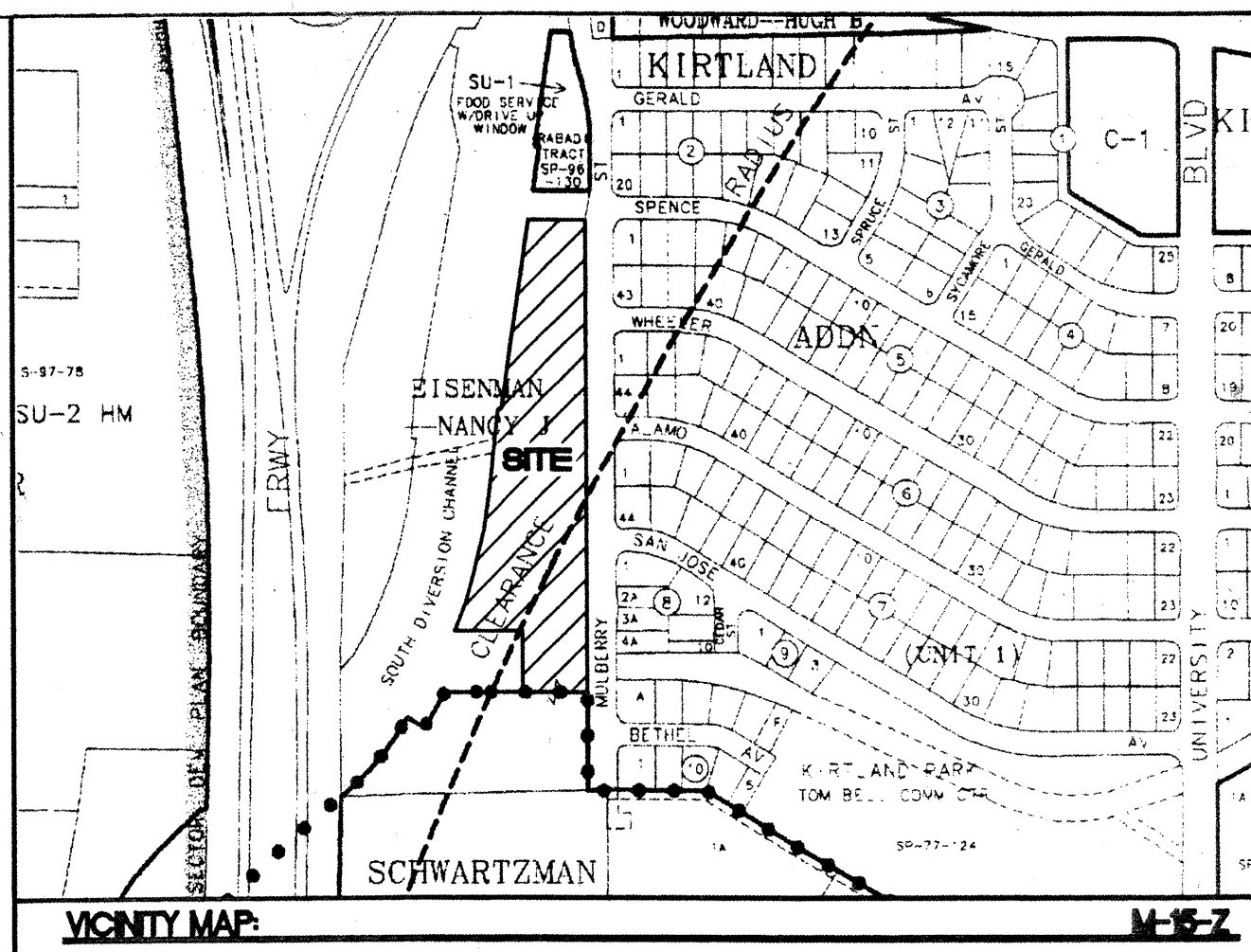
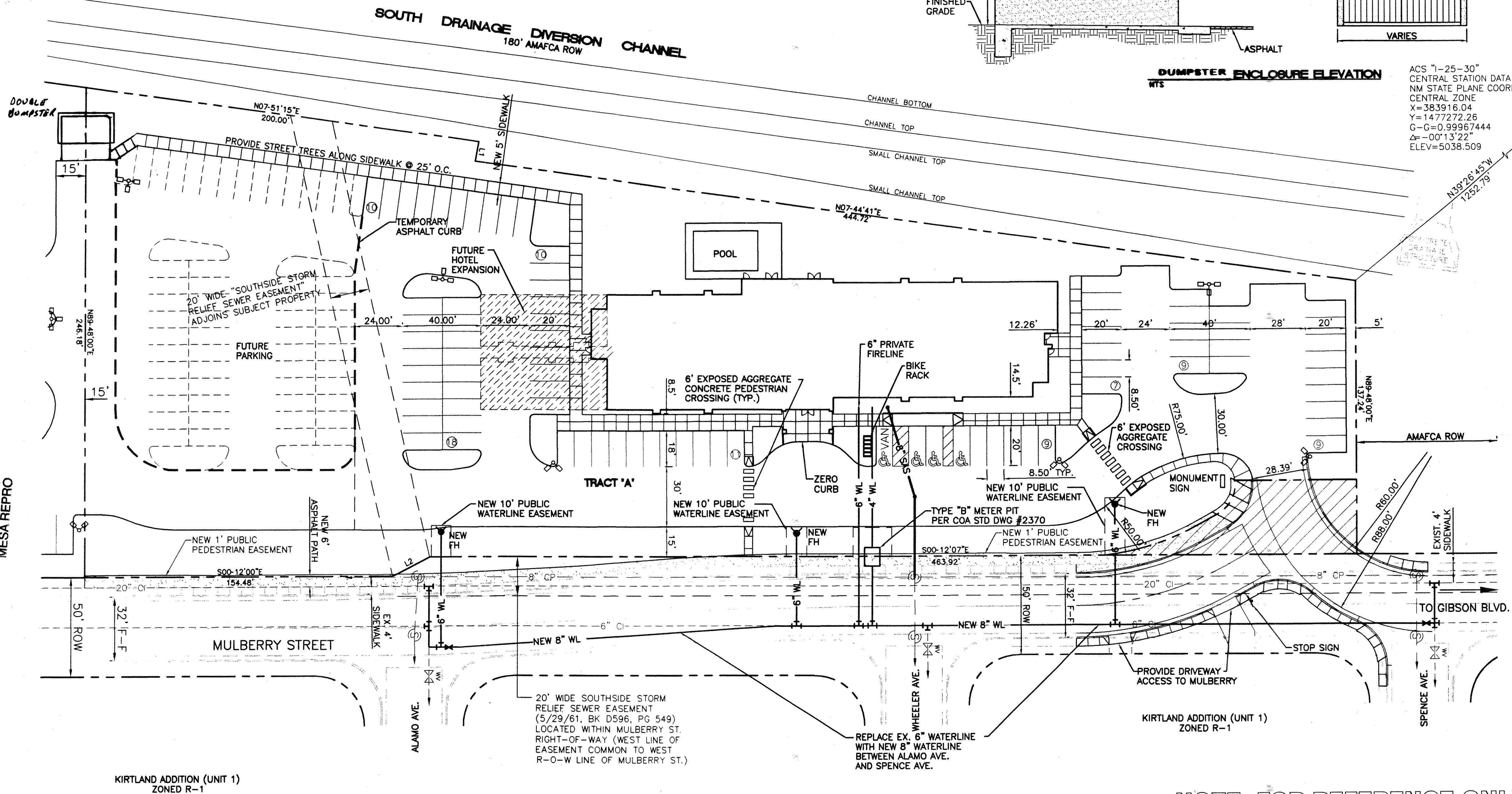
- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- ☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEPRESSIONED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

TIERRA WEST, LLC  
8509 JEFFERSON NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)858-3100

REV	SHEETS	CITY ENGINEER	DATE	USER DEPT.	DATE	USER DEPT.	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER		DATE	
		DRC Chairman		[Signature]		3/5/01	
		Transportation		[Signature]		12/14/00	
		Water/Wastewater		[Signature]		12-14-00	
		Hydrology		Bradley L. Bingham		12-14-00	
		C.I.P.		[Signature]		12-14-00	
CITY PROJECT NO.		CONSTR. MGMT.		[Signature]		12-14-00	
643181		CONSTR. COORD.		[Signature]		12-14-00	
SHEET		CITY ENGINEER		[Signature]		3/28/01	
1 OF 10		DATE		[Signature]		3/28/01	



SCANNED BY  
MESA REPRO



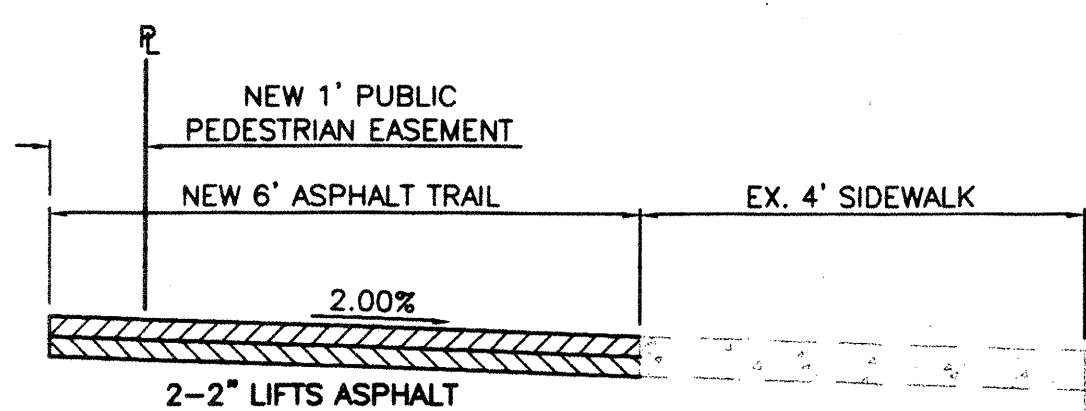
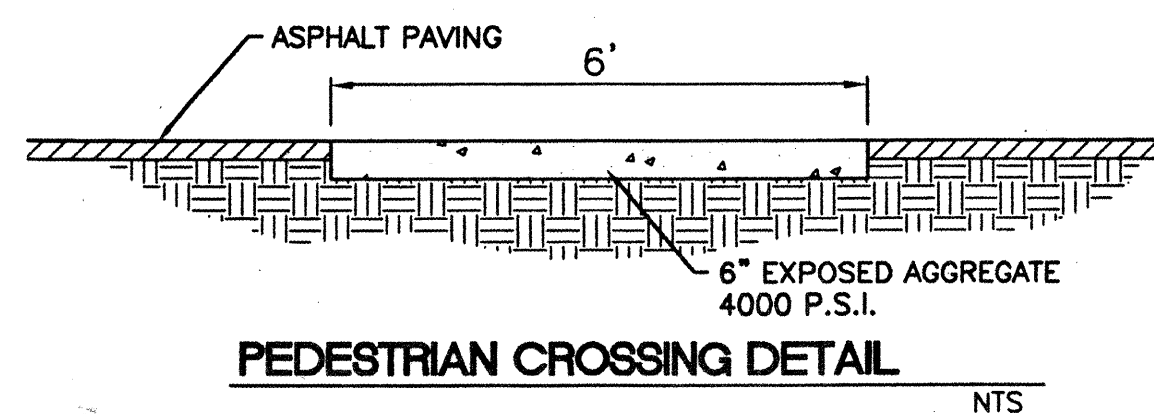
- LEGEND**
- EXISTING CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
  - PROPOSED SIDEWALK
  - PROPOSED 20' HIGH LIGHTS
  - PROPOSED 16' HIGH LIGHTS
  - NEW FIRE HYDRANTS

SITE DATA (RED ROOF INN)		PHASE I
PROPOSED USAGE:	HOTEL	
LOT AREA:	119,276 SF (2.7382 ACRES)	
BUILDING AREA:	13,985 SF 1ST FLOOR (41,955 SF TOTAL)	
BUILDING TYPE:	V-1	
PARKING/DRIVEWAY:	69,766 SF ±	
LANDSCAPE AREA	35,525 SF ±	
LANDSCAPING REQUIRED:	15,794 SF ±	
PARKING PROVIDED:	75 SPACES	
PARKING REQUIRED: 1/UNIT	73 SPACES	
HC PARKING PROVIDED:	4 SPACES	
HC PARKING REQUIRED:	4 SPACES	
	1 SPACES VAN ACCESSIBLE	
FLOOR/AREA RATIO=	0.12	

LINE TABLE		
LINE	LENGTH	BEARING
L1	9.93	S79-40'46"E
L2	20.72	S27-58'37"E

# PROJECT DATA

1. LIGHTING: EXISTING LIGHTING IS METAL HALIDE MULTI-VAPOR LAMPS ON 16' HIGH POLES NEAR RESIDENTIAL LAMPS ON 20' HIGH POLES TOWARDS THE WEST OF THE PROJECT THROUGH THE PARKING LOT.
2. BUILDINGS: BUILDING ELEVATIONS AND SIGNAGE WILL BE SUBMITTED TO EPC ONCE THE ZONE CHANGE IS APPROVED. APPROXIMATE HEIGHT OF HOTEL BUILDING WILL BE 3 STORY AND 54' HIGH.
3. LANDSCAPING: ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED PARCEL "C" THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
4. AN ENCROACHMENT AGREEMENT FOR LANDSCAPING WILL BE SUBMITTED TO AMAFCA FOR FINAL APPROVAL.
5. SEE LANDSCAPE PLAN FOR LIMITS OF LANDSCAPING.
6. NO STANDARD, GENERIC FRANCHISE DESIGN BUILDING ELEVATIONS ARE PERMITTED.
7. NO FREESTANDING CELL TOWERS OR SIMILAR ANTENNAE ARE ALLOWED. ANTENNAE SHALL BE INTEGRATED INTO BUILDING ARCHITECTURE.
8. ALL SITE PLANS FOR BUILDING PERMIT MUST BE APPROVED BY EPC.
9. A TRANSPORTATION MANAGEMENT PLAN (OR PARTICIPATION IN A TRANSPORTATION MANAGEMENT ASSOCIATION), CONTAINING SEVERAL ELEMENTS APPLICABLE TO A HOTEL DEVELOPMENT, SHALL BE APPROVED BY THE TRANSIT DEPARTMENT.
10. ALL SIGNS SHALL HAVE INDIVIDUALLY LIT LETTERS OR BACKLIT LOGOS. NO OTHER BACKLIT LOGOS, PLASTIC OR FABRIC FASCIA'S WILL BE PERMITTED.
11. ANY DAMAGED AREAS OF THE EXISTING SIDEWALK SHALL BE REPLACED TO ENSURE A UNIFORM SURFACE WITH THE NEW 6" ASPHALT TRAIL.
12. NO ARCHITECTURAL ELEMENTS, LANDSCAPING OR SLOPES GREATER THAN A 1:6 SLOPE SHALL OCCUR WITHIN 2' OF THE EDGE OF A PUBLIC EASEMENT.



NOTE: FOR REFERENCE ONLY

**CASE NUMBER: Z- 98-14**

This plan is consistent with the specific site development plan for subdivision purposes approved by the Environmental Planning Commission (EPC) on April 16, 1998, and that the findings and conditions in the Official Notice of Notification of Decision have been complied with: All future site specific plans will be submitted and approved by the Environmental Planning Commission.

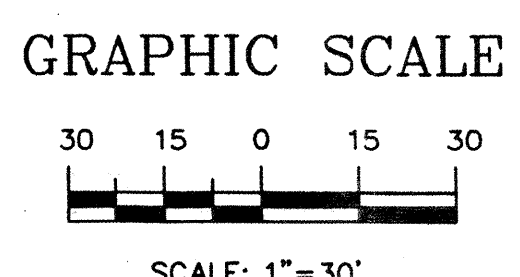
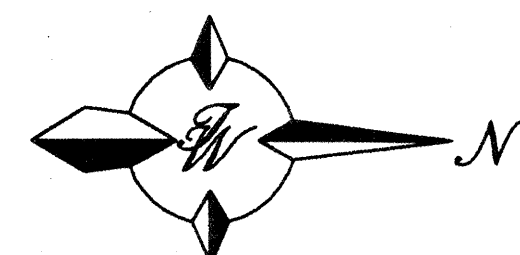
**SITE DEVELOPMENT PLAN**

*Michael D. Dond* #3-25-00 Date  
Traffic Engineer, Transportation Division  
*Edward A. Stang* 4-20-00 Date  
Parks and Recreation  
*Roger L. Green* 4-19-00 Date  
Public Works, Water Utilities Division

City Engineer, Engineering Division / AMAFCA Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo Date  
County Planning Division  
PLNZ (10706) 4/96



ENGINEER'S SEAL	<b>RED ROOF INN</b>	DRAWN BY JDN
	<b>SITE PLAN FOR BUILDING PERMIT</b>	DATE 04-10-00
	<b>TIERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	9934SP.DWG
	<b>3 OF 10</b>	SHEET #
RONALD R. BOHANNAN P.E. #7868		JOB # 990034



## DESIGN GUIDELINES

The purpose of these Design Guidelines is to provide a framework to assist developers and designers to understand the Owner's goals and objectives for high quality development. These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for the Park. These standards are to be used as a supplement to the City of Albuquerque Comprehensive City Zoning Code and other pertinent City ordinances. These standards shall apply to all properties within the Park.

## LANDSCAPE CONCEPT

The development of an overall landscape concept will establish a framework that unifies the individual sites within the Park. To achieve a totally unified development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. The landscape concept and the selection of the proper plant materials are extremely important as strong unifying elements for the project.

The following are minimum standards for the development of specific site landscape plans:

A minimum of 20 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure.

Seventy-five percent of the required landscape area shall be covered with living vegetative materials. The area and percentage is calculated based on the mature canopy size of all plant materials.

A minimum of 20 percent of the provided landscape area shall be covered with turf grasses. Areas of turf should be located at prominent visual points to create view corridors into specific sites.

All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or similar material which extends completely under the plant materials.

Appropriated landscape headers shall be used to separate the turf and groundcover areas. Headers shall be either 6" x 6" concrete, brick (side by side), or 1/8" x 4" steel construction.

The landscape treatment at prominent entries and intersections should change in terms of intensity, pattern, texture, scale, or form to highlight these areas.

One tree is required for each thirty linear feet of roadway. The required trees should be informally clustered with no more than a fifty foot gap between groupings and shall have a 80/40 mix of deciduous to evergreen trees.

In addition to the street trees, one tree for every thirty linear feet of the remaining site perimeter is required. Included in this area are the rear and side yard setbacks.

To shade and mitigate the negative visual impact of large expanses of pavement, off-street parking areas shall have one tree for each ten parking stalls with no stall being more than 85 feet from a tree.

Seventy-five percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least twenty-five feet.

An automatic underground irrigation system is required to support all required landscaping. Irrigation components should be checked periodically to ensure maximum efficiency.

All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of chemical spray or pervious filter material and shall be of the size, quantity, and species in the City of Albuquerque's Landscape Ordinance.

## SCREENING/WALLS AND FENCES

To encourage and enhance the pedestrian nature of the Park, sidewalks and/or bikeways are required in certain areas as an integral element of the streetscape. All streets within the site are required to have sidewalks on at least one side of the street. Two pedestrian connections are identified on the site plan to physically connect the business park to the surrounding neighborhoods.

The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the site.

The following are standards to ensure effective screening of negative elements:

Areas for the storage of high profile delivery/transport vehicles shall be screened from adjacent streets and properties with a masonry wall of no less than 6 feet in height above adjacent grade.

All outdoor refuse containers shall be screened within a minimum 6 foot tall masonry enclosure which is large enough to contain all refuse generated between collections.

When security fencing is required, it should be a combination of masonry pillars or short solid wall segments combined with decorative wrought iron or similar decorative fencing. (The use of chain link fencing is not acceptable).

Barbed wire or concertina wire will not be allowed.

**LIGHTING STANDARDS**

In order to enhance the safety, security and visual aesthetics of the Park, careful consideration must be given to lighting design and standards. It is important to consider the daytime appearance of lighting fixtures. The lighting element is another site feature which contributes to the overall character of the development.

The following are a few general guidelines to consider for the design of the lighting system:

Placement of fixtures and standards shall conform to state and local safety and illumination requirements.

Individual site lighting standards should blend with the architectural character of the building and other site features.

A design objective of the site lighting system must be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

The height of parking area lights may range from 20 to 30 feet.

Area lighting should be used to highlight public spaces and walkways. Area lighting standards may range from 10 to 15 feet in height. The use of walkway level lighting, such as bollard lights or wall pocket lights, is encouraged to accent pedestrian zones.

Additional landscape lighting is encouraged to enhance certain landscape features. Such lighting should be either ground level "bullet" lights concealed by plant materials, flush mounted "can" lights with waterproof enclosure, or be mounted in trees to "moonlight" areas.

**SIGNAGE STANDARDS**

These signage standards were developed on reasonable criteria to regulate the size, location, type, and quality of sign elements within the Park. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors, to provide circulation requirements and restrictions, to provide for public safety, and, to complement the visual character of the development.

The following are general guidelines for signage design and placement:

All elements of a sign shall be maintained in a visually appealing manner.

Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices and shall be limited to 20' in height.

No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.

All signage shall be designed to be consistent with and complement the materials, color, and architectural style of the building or site location.

No sign shall overhang into the public right-of-way or extend above the building roof line.

Each building site is limited to one freestanding monument-type sign of no greater than 150 square feet per face and be limited to 20' in height.

Individual buildings are allowed one facade mounted sign whose area shall not exceed 15% of the area of the facade to which it is applied.

**SITE/ARCHITECTURAL OBJECTIVES**

The creation of an active pedestrian environment in the Park is dependent upon creative site and architectural design. It is the Owner's desire to have the individual sites within the Park linked together as well as the surrounding neighborhoods. Important to the formation of a pedestrian-oriented development is the relationship between the buildings and the street. Too often buildings are placed in the center of the site and surrounded by parking, with no pedestrian connection between the structure and the street.

Parking areas shall be designed so that pedestrians walk parallel to moving cars. Minimize the need for pedestrians to cross parking aisles and landscaped islands.

Pedestrian linkages shall be clearly visible and highlighted with enhanced paving and/or signage.

Long stretches of parking facilities adjacent to the streets should be avoided whenever possible.

Structures should be sited, keeping in mind the creation of "outdoor rooms" which may be used for pedestrian activities.

All pedestrian paths shall be designed to be accessible to the handicapped (see Americans with Disabilities Act criteria for barrier free design).

**Architectural**

The architectural objective is to create a site that is visually integrated through the use of a few select architectural styles. The recommended styles have many similarities of scale, proportion, massing, and color. Each style has common detailing and color form that is related to the environmental design requirements of the region.

Common elements and preferred features of these styles include: smooth textured stucco as the primary surface treatment; the use of earth tone colors, such as white, beige, tan, and sand; and, the limited use of accent colors along with tile or brick.

Additionally, all buildings shall conform to the following requirements:

Buildings and structures erected within the site shall comply with all applicable City of Albuquerque zoning and building code requirements as well as other local applicable codes.

Building design and construction shall be used to create a structure with attractive sides of high quality, rather than placing all emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic appeal of the side and rear elevations. Finished building materials must be applied to all exterior sides of buildings and structures. Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.

Entries to structures should portray a quality office appearance while being architecturally tied into the overall mass and building composition.

Windows and doors are key elements of any structure's form and should relate to the scale of the elevation on which they appear. The use of recessed entries help to provide depth and contrast on elevations.

Sensitive alteration of colors and materials can produce diversity and enhance architectural forms.

Wall materials should be chosen that will withstand abuse by vandals, easily repaired, or accidental damage by machinery.

All rooftop equipment shall be screened from the public view by materials of the same nature as the building's basic materials. Roof treatment for all buildings shall be complementary; building roofs shall have one or more common elements including similar colors, materials and/or pitch angle.

**UTILITIES**

To mitigate the negative visual image presented by some utility equipment and to ensure the overall aesthetic quality of the Park:

All electric distribution lines within the Park shall be placed underground.

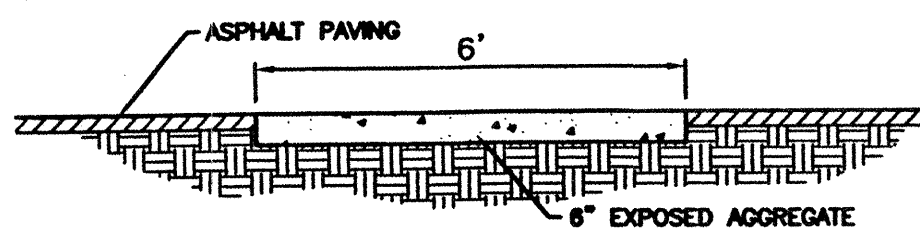
Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.

## SITE DATA-PARCEL 1 (RED ROOF INN) PHASE I

PROPOSED USAGE:	HOTEL
LOT AREA:	84,128 SF (1.9313 ACRES)
BUILDING AREA:	13,499 SF 1ST FLOOR (41,955 SF TOTAL)
BUILDING TYPE:	V-1
PARKING/DRIVEWAY:	49,122 SF ±
LANDSCAPE AREA:	21,507 SF ±
LANDSCAPING REQUIRED:	10,594 SF ±
PARKING PROVIDED:	80 SPACES
PARKING REQUIRED:	1/UNIT 74 SPACES
HC PARKING PROVIDED:	4 SPACES
HC PARKING REQUIRED:	4 SPACES
	1 SPACES VAN ACCESSIBLE
FLOOR/AREA RATIO=	0.17

## SITE DATA-PARCEL 2 PHASE II

PROPOSED USAGE:	HOTEL
LOT AREA:	130,565 SF (2.9973 ACRES)
BUILDING AREA:	12,680 SF 1ST FLOOR (38,040 SF TOTAL)
BUILDING TYPE:	V-N
PARKING/DRIVEWAY:	82,907 SF ±
LANDSCAPE AREA:	34,978 SF ±
LANDSCAPING REQUIRED:	17,683 SF ±
PARKING PROVIDED:	150 SPACES
PARKING REQUIRED:	1/UNIT 100 SPACES
HC PARKING PROVIDED:	8 SPACES
HC PARKING REQUIRED:	8 SPACES
	1 SPACES VAN ACCESSIBLE
FLOOR/AREA RATIO=	0.10

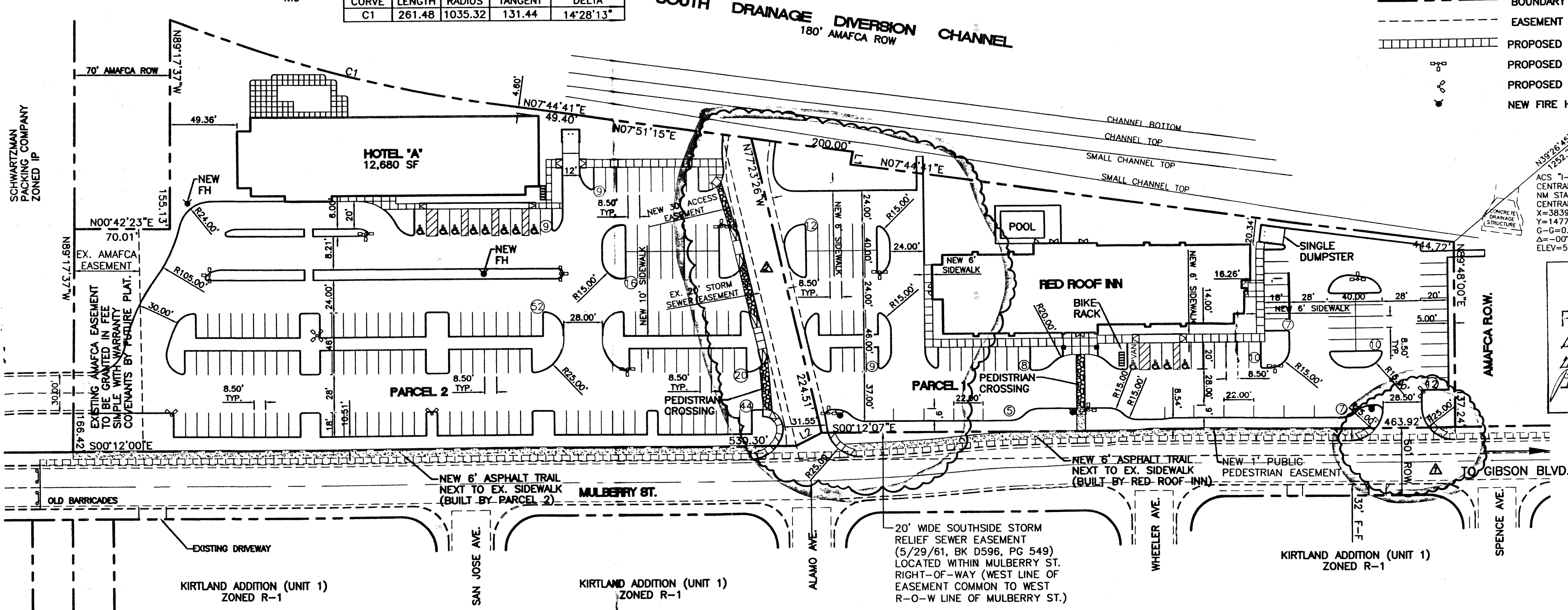


LINE	LENGTH	BEARING
L1	9.93	S79°40'46"E
L2	20.72	S27°58'37"E

CURVE	LENGTH	RADIUS	TANGENT	DELTA
C1	261.48	1035.32	131.44	14°28'13"

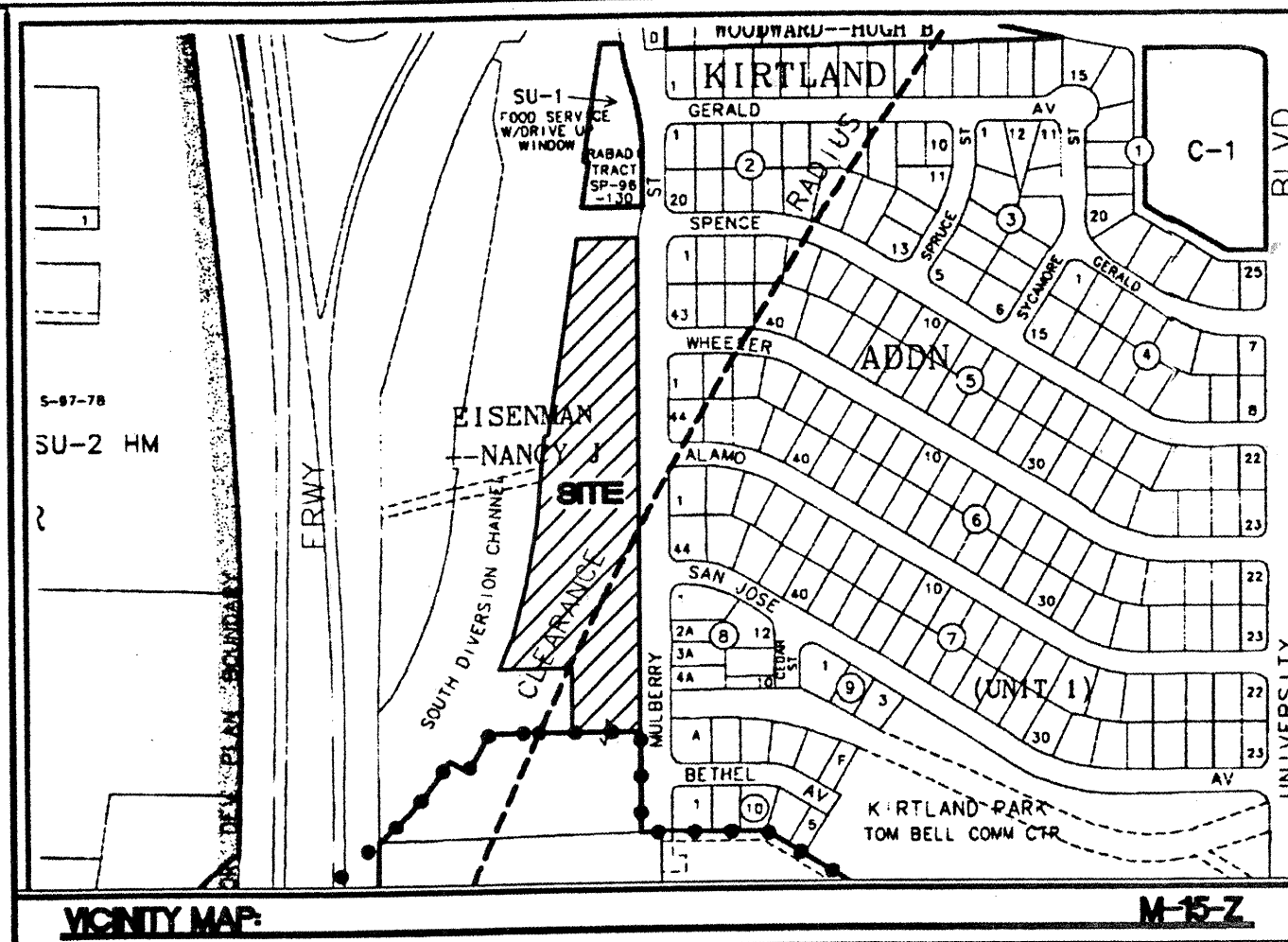
## PEDESTRIAN CROSSING DETAIL

NTS



PARCEL 4  
(UNPLATED)

SOUTH DRAINAGE DIVERSION CHANNEL  
180' AMAFCA ROW



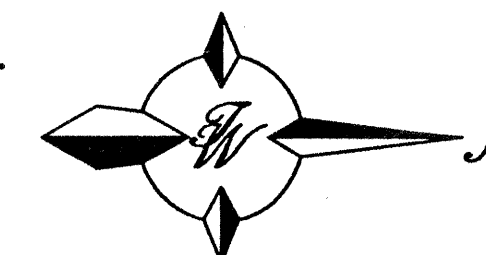
## LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- PROPOSED 20' HIGH LIGHTS
- PROPOSED 16' HIGH LIGHTS
- NEW FIRE HYDRANTS

ACS "1-25-30"  
CENTRAL STATION DATA  
NM STATE PLANE COORDINATES  
CENTRAL ZONE  
X=383916.04  
Y=1477272.26  
G=0-0.98961444  
Δ=-00°13'22"  
ELEV=5038.509

#1000073

ADMINISTRATIVE  
DEVELOPMENT PLAN AMENDMENT  
FILE NO. AA-0013400000 C1253  
Mindy Duran  
Mindy Lot Line  
Pulse One 10/6/00  
PLANNING DIRECTOR DATE



## GRAPHIC SCALE

50 25 0 25 50  
SCALE: 1"=50'

## NOTE: FOR REFERENCE ONLY

### CASE NUMBER: Z- 98-14

This plan is consistent with the specific site development plan for subdivision purposes approved by the Environmental Planning Commission (EPC) on April 16, 1998, and that the findings and conditions in the Official Notice; Notification of Decision have been complied with: All future site specific plans will be submitted and approved by the Environmental Planning Commission.

### SITE DEVELOPMENT PLAN


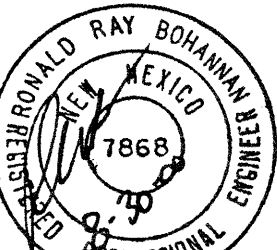

Traffic Engineer, Transportation Division	Date
Parks and Recreation	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	
City Planner, Albuquerque / Bernalillo	Date
County Planning Division	
PLNZ (10706) 4/96	

### SOLID WASTE

DATE

### INDEX TO DRAWINGS

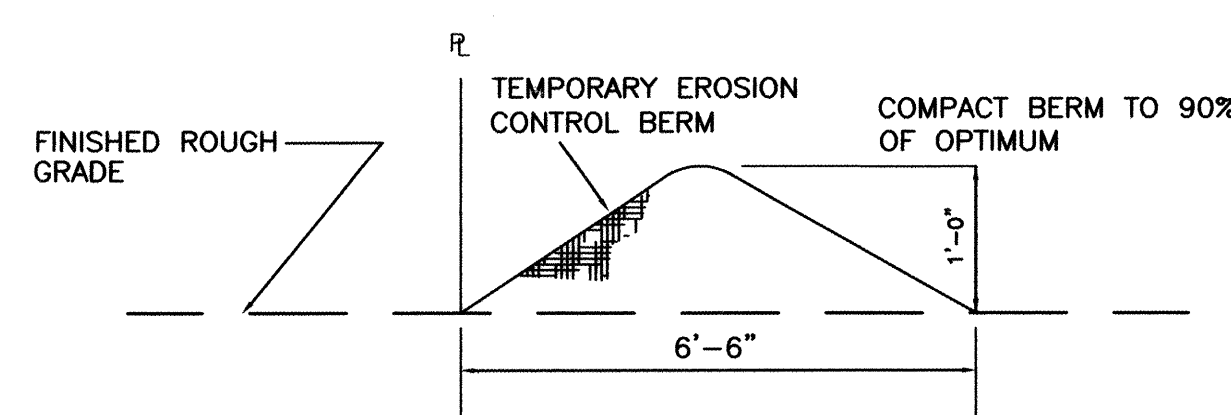
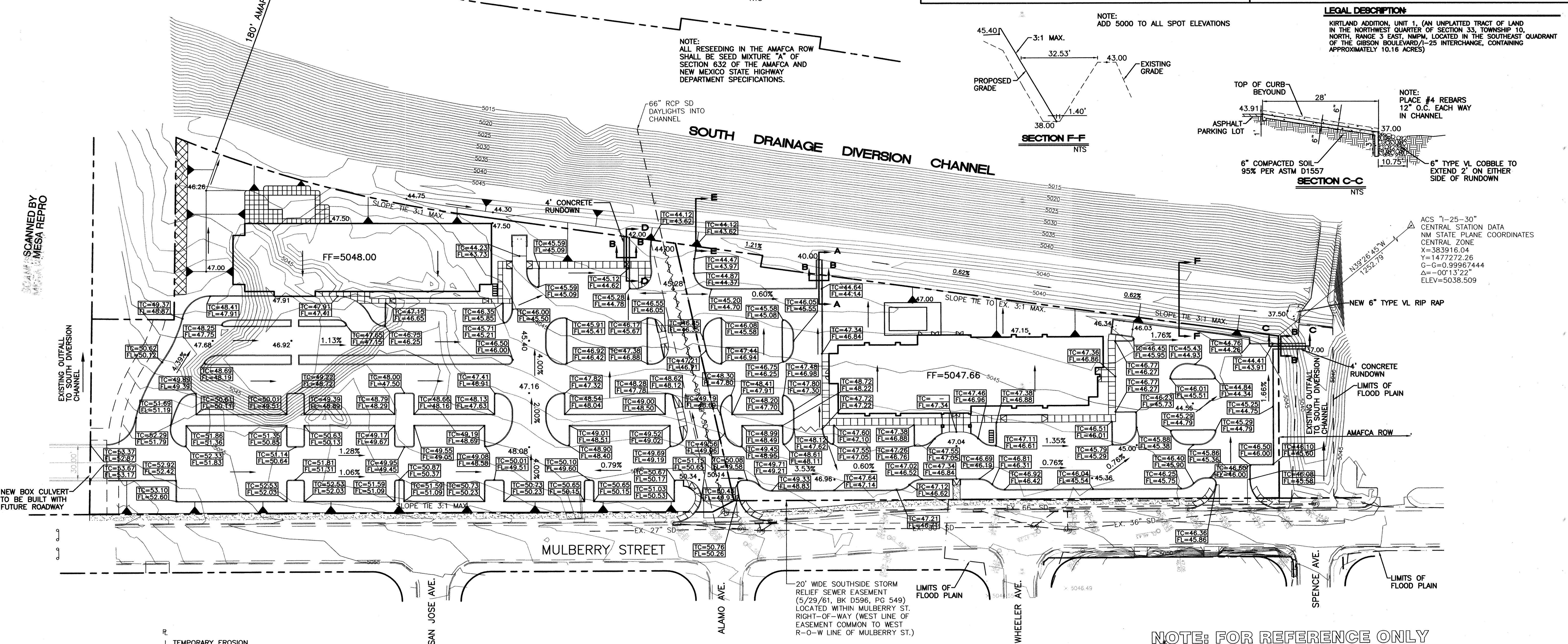
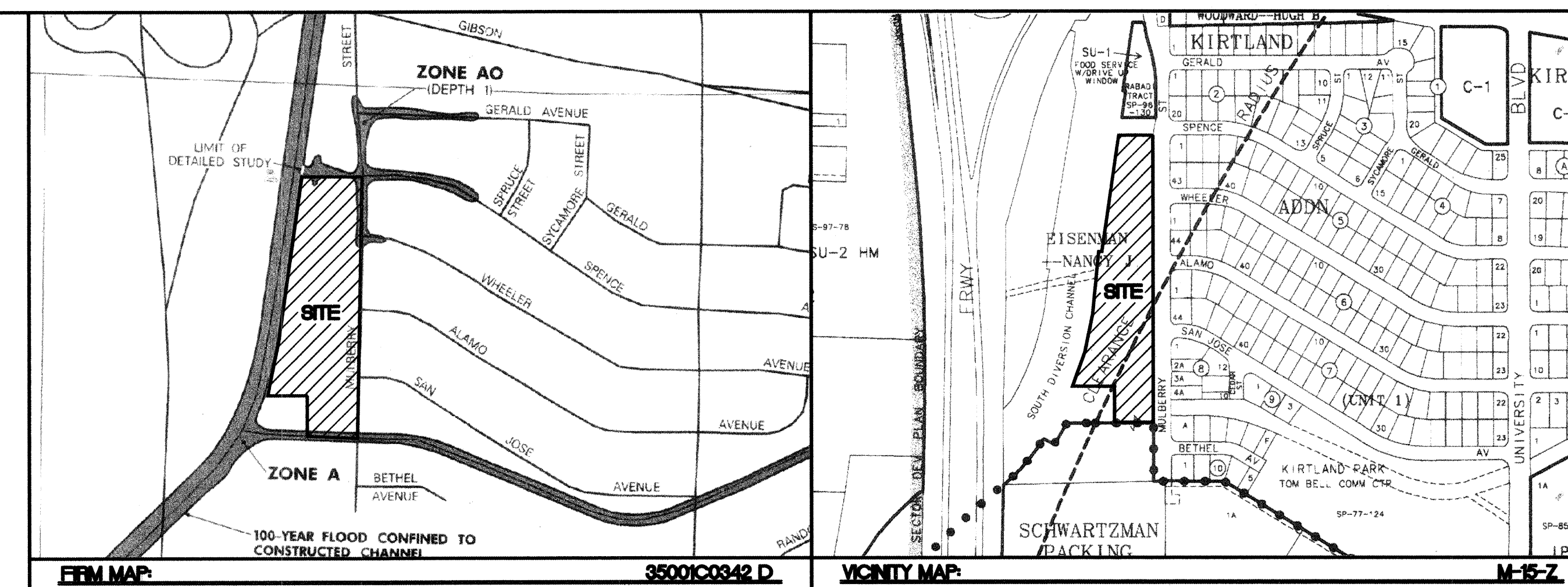
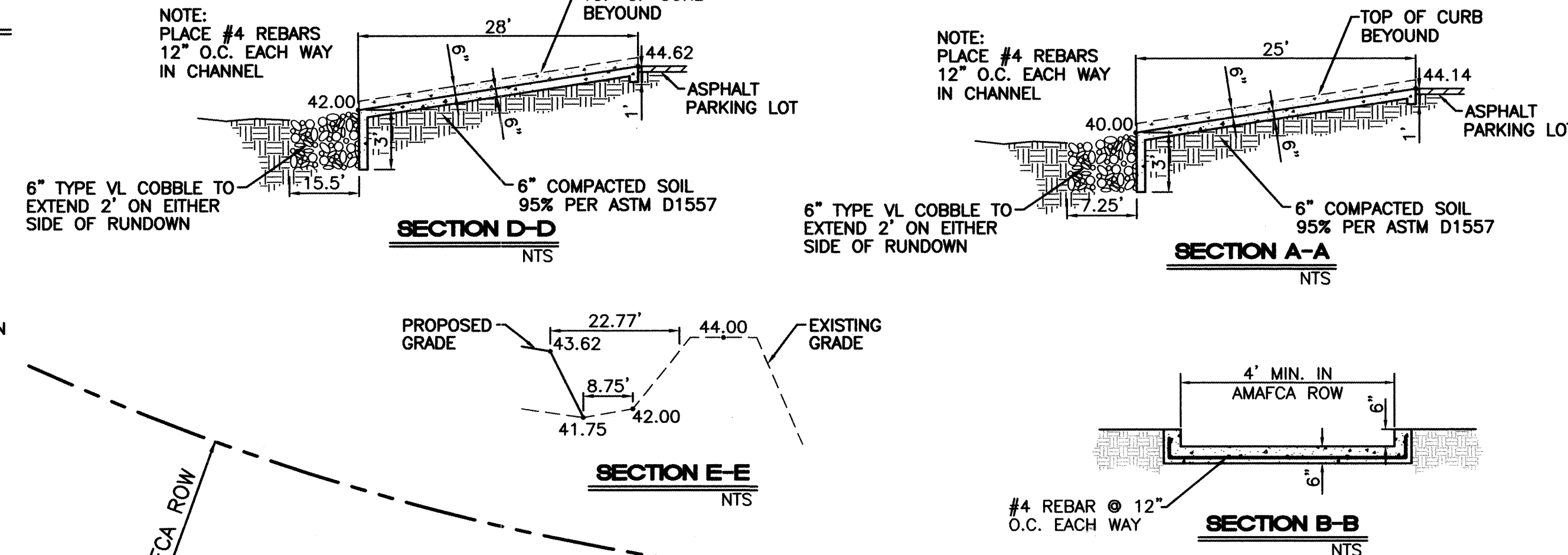
- AMENDED SITE PLAN FOR SUBDIVISION
- APPROVED SITE PLAN FOR SUBDIVISION (FOR REFERENCE ONLY)
- OVERALL LANDSCAPING PLAN
- OVERALL GRADING AND DRAINAGE PLAN
- AMENDED SITE PLAN FOR BUILDING PERMIT (FOR REFERENCE ONLY)
- APPROVED SITE PLAN FOR BUILDING PERMIT
- LANDSCAPING PLAN
- GRADING AND DRAINAGE PLAN
- BUILDING ELEVATIONS

	08-03-00	ADD ACCESS ROAD TO SERVICE PARCELS 1, 2 AND 4		RRB
	08-03-00	CHANGE ENTRANCE INTO SITE BY SPENCE AVE.		RRB
NO.	DATE	REMARKS		BY
REVISIONS				
ENGINEER'S SEAL		RED ROOF INN	DRAWN BY JDN	
		AMENDED SITE PLAN FOR SUBDIVISION	DATE 08-21-00	
			99340VSPA.DWG	
			SHEET #	
RONALD R. BOHANNAN P.E. #7868		 <b>TIERRA WEST, LLC</b>	3A OF 10	
		8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	JOB # 990034	



# LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- EXISTING STORM SEWER
- PROPOSED SIDEWALK
- GRADE BREAK
- SLOPE TIE
- PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW



## CONSTRUCTION WITHIN AMAFCA R.O.W.

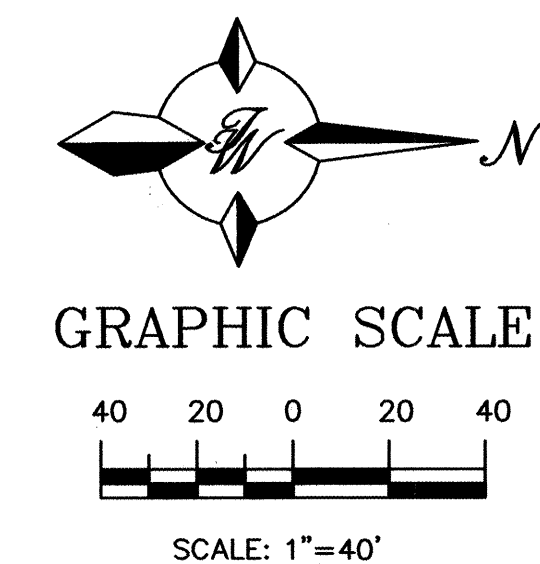
1. AMAFCA FIELD ENGINEER SHALL BE NOTIFIED 48-HOURS PRIOR TO ANY WORK WITHIN THE AMAFCA R/W. TEL: 884-2215 JERRY LOVATO.
2. NO WORK WILL BE PERFORMED IN THE AMAFCA R/W BETWEEN APRIL 15 AND OCTOBER 15 WITHOUT WRITTEN PERMISSION FROM AMAFCA.
3. ALL SUBGRADE, BACKFILL AND EMBANKMENT SHALL BE COMPACTED TO 95% (MODIFIED PROCTOR) WITHIN THE AMAFCA R/W. TESTING REPORTS SHALL BE PROVIDED TO AMAFCA FIELD ENGINEER.
4. AMAFCA FIELD ENGINEER WILL BE NOTIFIED 48-HOURS PRIOR TO FINAL INSPECTION OF ANY FACILITIES WITHIN THE AMAFCA R/W.

APPROVED FOR CONSTRUCTION *[Signature]* 12-21-00 (DATE)

(FOR AMAFCA)

## EROSION CONTROL PLAN NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



<p>ENGINEER'S SEAL</p> <p>RONALD R. BOHANNAN P.E. #7868</p>	<p><b>RED ROOF INN SITE PLAN FOR SUBDIVISION</b></p> <p><b>OVERALL GRADING AND DRAINAGE PLAN</b></p> <p>TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100</p>	<p>DRAWN BY JDN</p> <p>DATE 11-21-00</p> <p>99340VGR.DWG</p> <p>SHEET # 4 OF 9</p> <p>JOB # 990034</p>
---	--	--



SCANNED BY  
MESA REPRO

NOTE: ASPHALT TRAIL REMOVED FROM CONTRACT  
ADD 357' OF ASPHALT TRAIL NEXT TO EX. 4' SIDEWALK

MULBERRY STREET

NEW 8' ASPHALT TRAIL

EX. 4' SIDEWALK

NEW 12' PUBLIC PEDESTRIAN EASEMENT

NEW WHEELCHAIR RAMPS TO BE BUILT WITH BUILDING PERMIT

CONNECTIONS TO BE BUILT BUILT WITH FUTURE DEVELOPMENT

NEW 2' PUBLIC PEDESTRIAN EASEMENT

RECORD DRAWING

I, Ronald R. Bohannon, Registered Professional Engineer in the State of New Mexico, do hereby certify that this "record drawing" was provided by Field Inspection under my supervision and represents the "record" conditions of this project, and is true and correct to the best of my knowledge and belief.

10/24/02

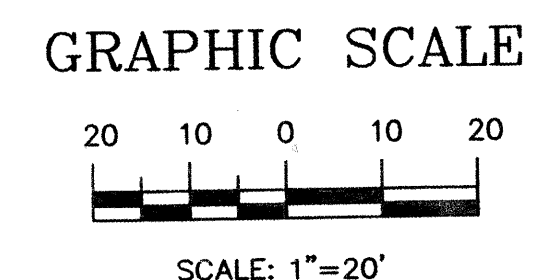
1868

~~ADD 357' OF ASPHALT TRAIL NEXT TO EX. 4' SIDEWALK~~

**MULBERRY STREET**

NTS

I, Ronald R. Bohannon, Registered Professional Engineer in the State of New Mexico, do hereby certify that this "record drawing" was provided by Field Inspection under my supervision and represents the "record" conditions of this project, and is true and correct to the best of my knowledge and belief. All vertical and horizontal dimensions should be field verified prior to use on future projects.



SURVEY INFORMATION			BENCH MARKS	AS BUILT INFORMATION
NO.	BY	DATE		
			ACS "1-25-30"	CONTRACTOR T.C. INC.
			CENTRAL STATION DATA	WORKED BY _____
			NW STATE PLANE COORDINATES	INSPECTOR'S SIGNATURE _____ DATE - _____
			Central Zone	ACCEPTANCE BY O&TERRA WEST, LLC DATE, 2001
			X=383916.04	FIELD VERIFICATION BY O&TERRA WEST, LLC DATE, 2001
			Y=1477272.26	VERIFICATION BY TERRA WEST, LLC DATE, 2001
			G-G=0.99967444	CORRECTED BY _____ MICRO-FILM INFORMATION
			$\Delta = -0^{\circ}13'22''$	RECORDED BY _____ DATE _____
			ELEV=5038.51	NO. _____
				COMING UP ELEV 5038.51

## ADDITIONAL INFORMATION

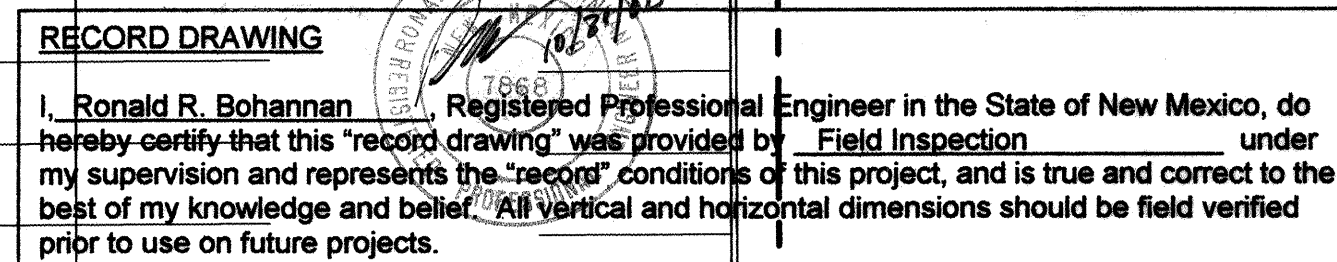
CONFIDENTIAL

[illegible]



[illegible]

AS BUILT INFORMATION	DATE -
CONTRACTOR TIG, INC.	
WORK TAKEN BY	
INSPECTOR'S	
RECEIVED BY CON/TERRA WEST, LLC DATE 2001	
FIELD EDITION BY CON/TERRA WEST, LLC DATE 2001	
DRAWINGS	
CORRECTED BY TERRA WEST, LLC DATE 2001	
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	
COA Insp. E.J. Smith	



BENCH MARKS	
ACS 11-25-30"	
CENTRAL STATION DATA	
NW STATE PLANE COORDINATES	
Central Zone	
X=383916.04	
Y=1477272.26	
G-G=0.99967444	
$\Delta = -00^{\circ}13'22"$	
ELEV=50.38.51	

[illegible]

A circular professional engineer seal for Ronald Ray Benjamin, No. 14610, State of Florida, 1986. The seal is stamped in black ink on a white background. The text "RONALD RAY BENJAMIN" is curved along the top inner edge, "1986" is in the center, and "PROFESSIONAL ENGINEER" is curved along the bottom inner edge. The number "14610" is handwritten across the seal, and there is a signature over it.

[illegible]

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING GROUP

TITLE: **RED ROOF INN  
MASTER UTILITY PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	UPDATE
APPROVED	APPROVED	

A MAR - 5 2001 DESIGN  
 A MAR 28 2001 CITY ENGINEER  
 BEST DESIGN

REVIEW COMMITTEE	CITY ENGINEER	3
CITY PROJECT NO. <b>643181</b>		ZONE MAP NO. <i>M-15-Z</i>

[illegible]

NOTE:

1. ALL EXPOSED STEEL WILL BE PAINTED WITH ONE SHOP COAT AND TWO FINISH COATS OF ALUMINUM PAINT (AASHTO M 69).
2. STEEL PLATE WILL HAVE A CHECKERED, NON-SKID PATTERN.
3. COMPRESSIVE STRENGTH FOR ALL CONCRETE SHALL BE 3000 PSI.

**METER PIT ROOF PLAN**  
NTS

**METER PIT DETAILS**  
NTS

**SECTION B-B (HINGE DETAIL)**  
NTS

4'-4"x32"x1/4"  
CHECKERED STEEL PLATE

CHECKERED STEEL PLATE

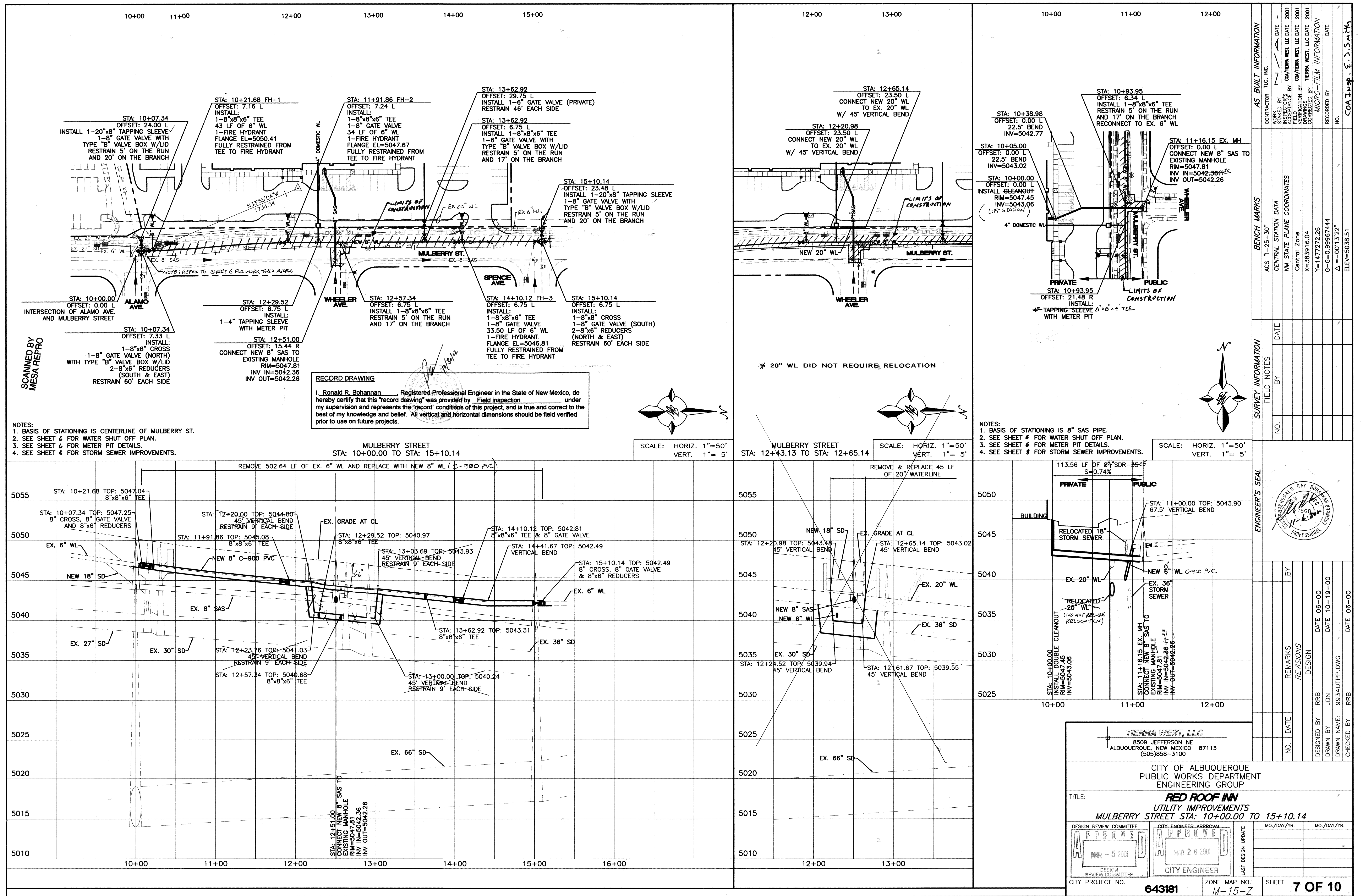
6"x2"x1/  
TUBULAR  
SUPPORT

DET  
NTS

### GRAPHIC SCALE

SCALE: 1"=20'

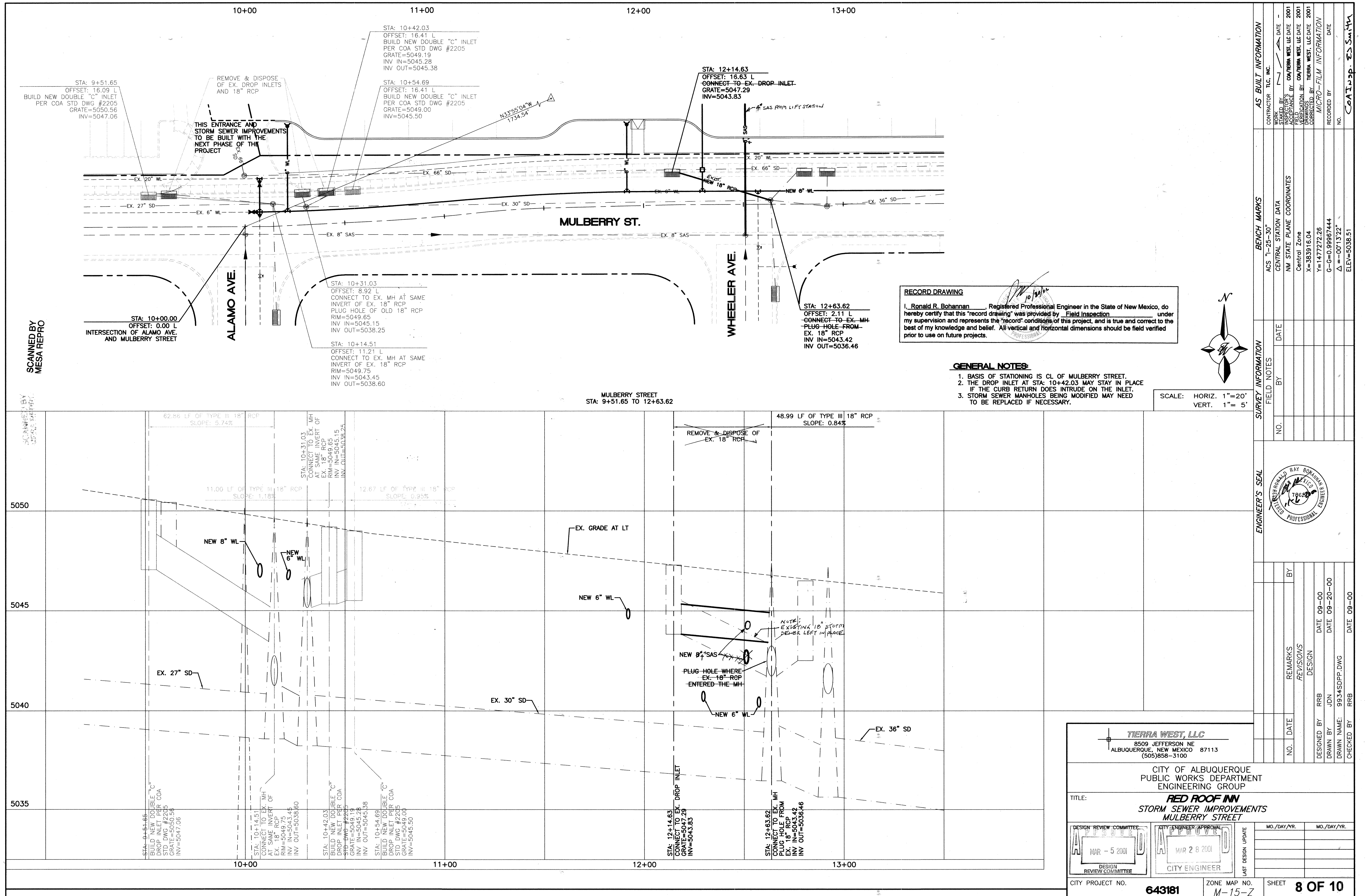






SCANNED BY  
MESA REPRO

SCANNED BY  
MESA REPRO

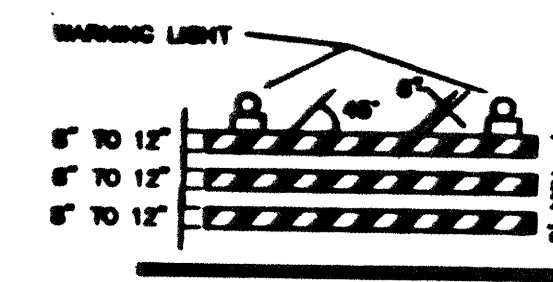




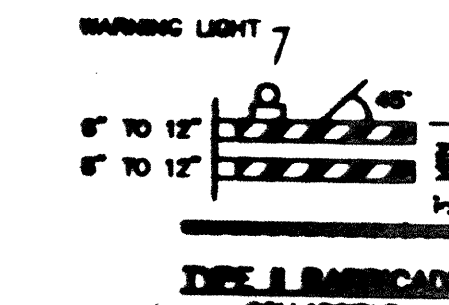
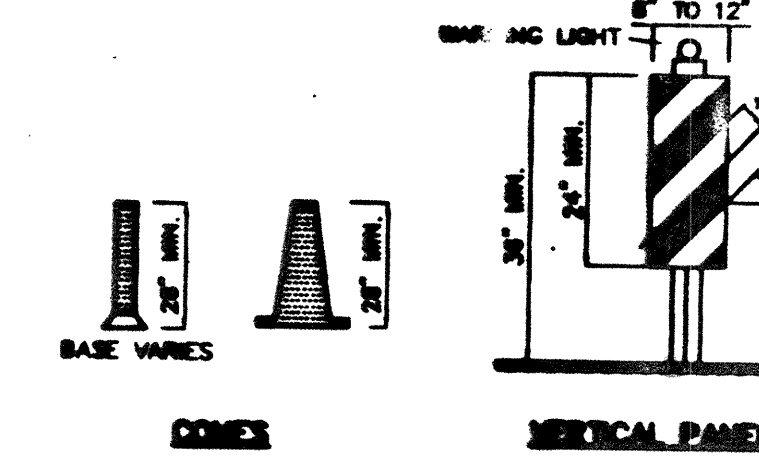
# CONSTRUCTION TRAFFIC CONTROL GENERAL NOTES

- CONTRACTOR MUST OBTAIN FROM CONSTRUCTION COORDINATION AN EXCAVATION/BARRICADING PERMIT BEFORE ENGAGING IN ANY CONSTRUCTION, MAINTENANCE OR REPAIR WORK IN ANY OF THE CITY OF ALBUQUERQUE'S RIGHTS-OF-WAY. EMERGENCY WORK THAT WOULD PRESERVE LIFE OR PROPERTY IS EXCLUDED WITH THE UNDERSTANDING THAT A PERMIT SHALL BE OBTAINED WITHIN 24 TO 43 HOURS.
- CONTRACTOR SHALL AT THE TIME OF PERMIT REQUEST, SUBMIT FOR APPROVAL BY CONSTRUCTION COORDINATION, A TRAFFIC CONTROL PLAN DETAILING ALL EXISTING TOPOGRAPHY SUCH AS LANE WIDTHS, DRIVEWAYS, AND BUSINESS/RESIDENTIAL ACCESSES. THE TRAFFIC CONTROL PLAN SHALL INCLUDE ALL PHASES OF WORK AND SCHEDULES INVOLVED IN THE CONSTRUCTION PROJECT. ANY SEPARATE PHASES OF A CONSTRUCTION PROJECT SHALL BE GIVEN AN INDIVIDUAL PERMIT EACH. BLANKET PERMITS WILL NOT BE ISSUED.
- THESE TYPICAL TRAFFIC CONTROL PLANS DO NOT REFLECT THE EXISTING TOPOGRAPHY SUCH AS DRIVEWAYS, LANE WIDTHS, AND BUSINESS/RESIDENTIAL ACCESSES. EVERY LOCATION THAT REQUIRES CONSTRUCTION TRAFFIC CONTROL SHALL HAVE A DETAILED TRAFFIC CONTROL PLAN SHOWING ALL EXISTING TOPOGRAPHY.
- CONSTRUCTION SHALL NOT BEGIN UNLESS A TRAFFIC CONTROL PLAN HAS BEEN APPROVED AND VERIFIED BY CONSTRUCTION COORDINATION.
- CONSTRUCTION COORDINATION SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY TRAFFIC CONTROL CHANGES NEEDED BY CONTRACTOR, THAT WERE NOT PREVIOUSLY APPROVED. THESE TRAFFIC CONTROL CHANGES SHALL BE REQUESTED IN WRITING ACCOMPANIED WITH A TRAFFIC CONTROL PLAN REFLECTING SUCH CHANGES.
- ALL CONSTRUCTION TRAFFIC CONTROL DEVICES SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL, SERVICE AND MAINTAIN ALL TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL DEVICES SHALL NOT BE REMOVED OR ALTERED IN ANY WAY WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION, PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.
- THE CONSTRUCTION TRAFFIC CONTROL INITIAL SET-UP SHALL BE BY AN AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA) CERTIFIED WORKSITE TRAFFIC SUPERVISOR. THE MAINTENANCE AND SERVICING SHALL ALSO BE DONE BY AN ATSSA CERTIFIED WORKSITE TRAFFIC SUPERVISOR OR EQUIVALENT.
- CONTRACTOR IS RESPONSIBLE TO MAINTAIN AND SERVICE ALL TRAFFIC CONTROL DEVICES 24 HOURS A DAY, 7 DAYS A WEEK THROUGHOUT LENGTH OF PROJECT. CONTRACTOR IS RESPONSIBLE THAT ALL TRAFFIC CONTROL DEVICES COMPLY WITH THE MUTCD, LATEST EDITION.
- ALL ADVANCE WARNING SIGNS SHALL BE DOUBLE INDICATED WHENEVER THERE ARE MULTI-LANE TRAFFIC IN ANY ONE GIVEN DIRECTION AND THERE IS SUFFICIENT MEDIAN SPACE.
- ALL BARRICADES IN ALL TAPERS AND TANGENTS SHALL BE PLACED APART, A DISTANCE MEASURED IN FEET, EQUAL TO THAT OF THE POSTED SPEED LIMIT. NO EXCEPTIONS UNLESS APPROVED BY CONSTRUCTION COORDINATION PER MUTCD SECTION 6A-4.
- ALL WORK IN ARTERIAL ROADWAYS SHALL BE ON A CONTINUOUS 24 HOUR PER DAY BASIS UNTIL COMPLETED.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE CONSTRUCTION COORDINATION, A WEEKLY LOG OF DAILY INSPECTIONS OF BARRICADE AND MAINTENANCE SCHEDULES ON PROJECTS THAT ARE OVER ONE WEEK DURATION.
- EQUIPMENT OR MATERIALS SHALL NOT BE STORED WITHIN 15 FEET OF A TRAVELLED TRAFFIC LANE DURING NON-WORKING HOURS WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN A SAFE AND ADEQUATE MEANS OF CHANNELIZING PEDESTRIAN TRAFFIC AROUND AND THROUGH THE CONSTRUCTION AREA.
- CONTRACTOR IS RESPONSIBLE FOR OBLITERATION OF ANY CONFLICTING STRIPING AND RESPONSIBLE FOR ALL TEMPORARY STRIPING.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES, BUSINESSES AND/OR RESIDENTS AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE ACCESS SIGNS FOR BUSINESSES LOCATED WITHIN THE CONSTRUCTION AREA UNDER THE SUPERVISION OF CONSTRUCTION COORDINATION. EACH ACCESS SIGN SHALL HAVE 5 INCH, WHITE OPAQUE LETTERING ON BLUE REFLECTORIZED BACKGROUND. ACCESS SIGNS SHALL BE CONSIDERED INCIDENTAL TO THE BID AND NOT PART OF THE CONTRACT UNLESS OTHERWISE STATED. NO MORE THAN 3 BUSINESSES SHALL BE LISTED ON A ACCESS SIGN. SHOPPING CENTERS AND MALLS SHALL BE LISTED AS SUCH.
- ALL ADVANCE WARNING SIGNS SHALL MEET THE MINIMUM REFLECTIVE INTENSITY REQUIREMENTS SET FORTH BY THE CITY OF ALBUQUERQUE. CONSTRUCTION COORDINATION SHALL DETERMINE ALL REQUIREMENTS AND APPROVE OR DISAPPROVE ANY ADVANCE WARNING SIGN PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.
- 48 HOURS PRIOR TO OCCUPANCY OR CLOSING OF A RIGHT-OF-WAY, CONTRACTOR SHALL NOTIFY: POLICE, FIRE DEPARTMENT, SCHOOLS, HOSPITALS, TRANSIT AUTHORITY, BUSINESSES AND/OR RESIDENTS THAT WILL BE AFFECTED BY THE CONSTRUCTION.
- ANY FIELD ADJUSTMENTS SHALL BE APPROVED BY CONSTRUCTION COORDINATION.

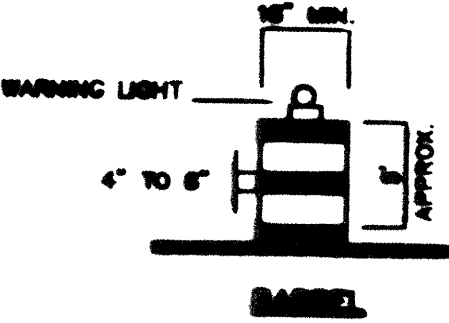
- EXCAVATIONS SHALL BE PLATED, TEMPORARILY PATCHED OR RESURFACED PRIOR TO OPENING OF TRAFFIC. A MINIMUM OF 11 FEET SHALL BE PROVIDED FOR TRAFFIC IN ANY GIVEN DIRECTION. CONTRACTOR IS RESPONSIBLE FOR ANY WORK INVOLVED IN SATISFYING THESE REQUIREMENTS.
- CONTRACTOR SHALL AT ALL TIMES COMPLY WITH THE FOLLOWING:
  - STANDARDS AND REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
  - THE CITY OF ALBUQUERQUE TRAFFIC CODE, LATEST EDITION.
  - SECTION 19 OF THE CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTION, AS WELL AS OTHER SECTIONS.
- FAILURE TO COMPLY WITH ANY OF THE ABOVE MENTIONED, WILL BE ADEQUATE CAUSE TO CEASE ALL WORK ON ANY CONSTRUCTION PROJECT. WORK WILL NOT RESUME UNTIL ALL REQUIREMENTS ARE ADDRESSED AND APPROVED BY CONSTRUCTION COORDINATION.
- ALL TRAFFIC CONTROL DEVICES SHALL BE KEPT IN NEW-CLEAN CONDITION. WASHING OF EQUIPMENT IS INCIDENTAL TO ITS PLACEMENT AND MAINTENANCE.
- TRAFFIC CONTROL STANDARDS APPLY ONLY WHERE THE CONSTRUCTION TRAFFIC CONTROL PLANS ARE NOT SPECIFIC.
- ADVANCE WARNING SIGNS SHALL BE 36"x36" MIN. WITH SUPER ENGINEERING GRADE SHEETING OR BETTER. MOUNTING HEIGHT AT TOP OF SIGN SHALL BE THE SAME AS FOR A 48" SIGN AS INDICATED IN THE M.U.T.C.D.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORKSITE. ALL GRAFFITI SHALL BE PROMPTLY REMOVED FROM ALL EQUIPMENT, BOTH PERMANENT AND TEMPORARY.



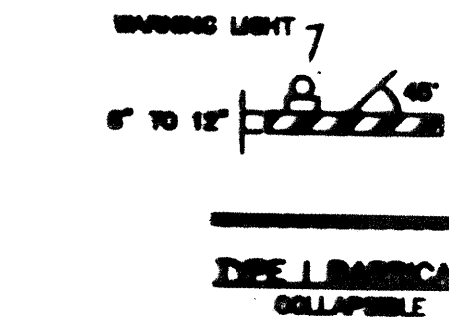
TYPE II BARRICADE



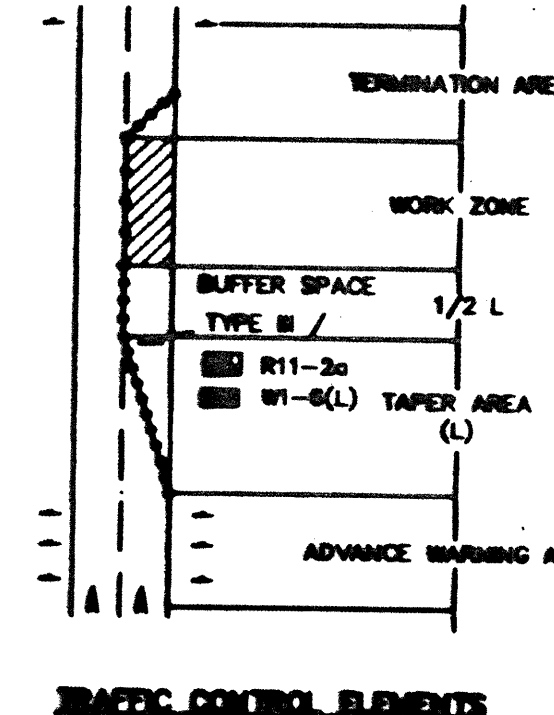
TYPE I BARRICADE



TYPE I BARRICADE



TYPE I BARRICADE



TRAFFIC CONTROL ELEMENTS

## LEGEND

- WORK AREA
  - BARRICADE - TYPE I, TYPE II, OR BARREL
  - BARRICADE - TYPE III
  - VERTICAL PANEL
  - WARNING SIGN
  - DISTANCE BETWEEN SIGNS - A DISTANCE MEASURED IN FEET EQUAL TO A VALUE OF TEN TIMES THE SPEED LIMIT OF THE STREET
  - FLAGMAN POSITION
  - SPACING BETWEEN BARRICADES - A DISTANCE MEASURED IN FEET EQUAL TO THE SPEED LIMIT OF THE STREET
  - TAPER LENGTH - SEE CHART BELOW
- THE TANGENT LENGTH IS EQUAL TO THE TAPER LENGTH FOR A GIVEN STREET.

## TAPER REQUIREMENTS

SPEED LIMIT (MPH)	TAPER LENGTH (L) (FEET)			MINIMUM NUMBER OF DEVICES FOR TAPER	MAXIMUM SPACING IN FEET	
	10' LANE	11' LANE	12' LANE		ALONG TAPER	AFTER TAPER
20	70	75	80	5	20	20
25	105	115	125	6	25	25
30	150	165	180	7	30	30
35	205	225	245	8	35	35
40	270	295	320	9	40	40
45	450	495	540	13	45	45
50	500	550	600	13	50	50
55	550	605	660	13	55	55

## RECOMMENDED SIGN SPACING(D) FOR ADVANCE WARNING SIGN SERIES

SPEED LIMIT (MPH)	MINIMUM DISTANCE IN FEET	
	BETWEEN SIGNS	FROM LAST SIGN TO TAPER
0-20	10 X SPEED LIMIT	10 X SPEED LIMIT
25-30	10 X SPEED LIMIT	10 X SPEED LIMIT
30-35	10 X SPEED LIMIT	10 X SPEED LIMIT
40-45	10 X SPEED LIMIT	10 X SPEED LIMIT
50-60	10 X SPEED LIMIT	10 X SPEED LIMIT

## TAPER CRITERIA

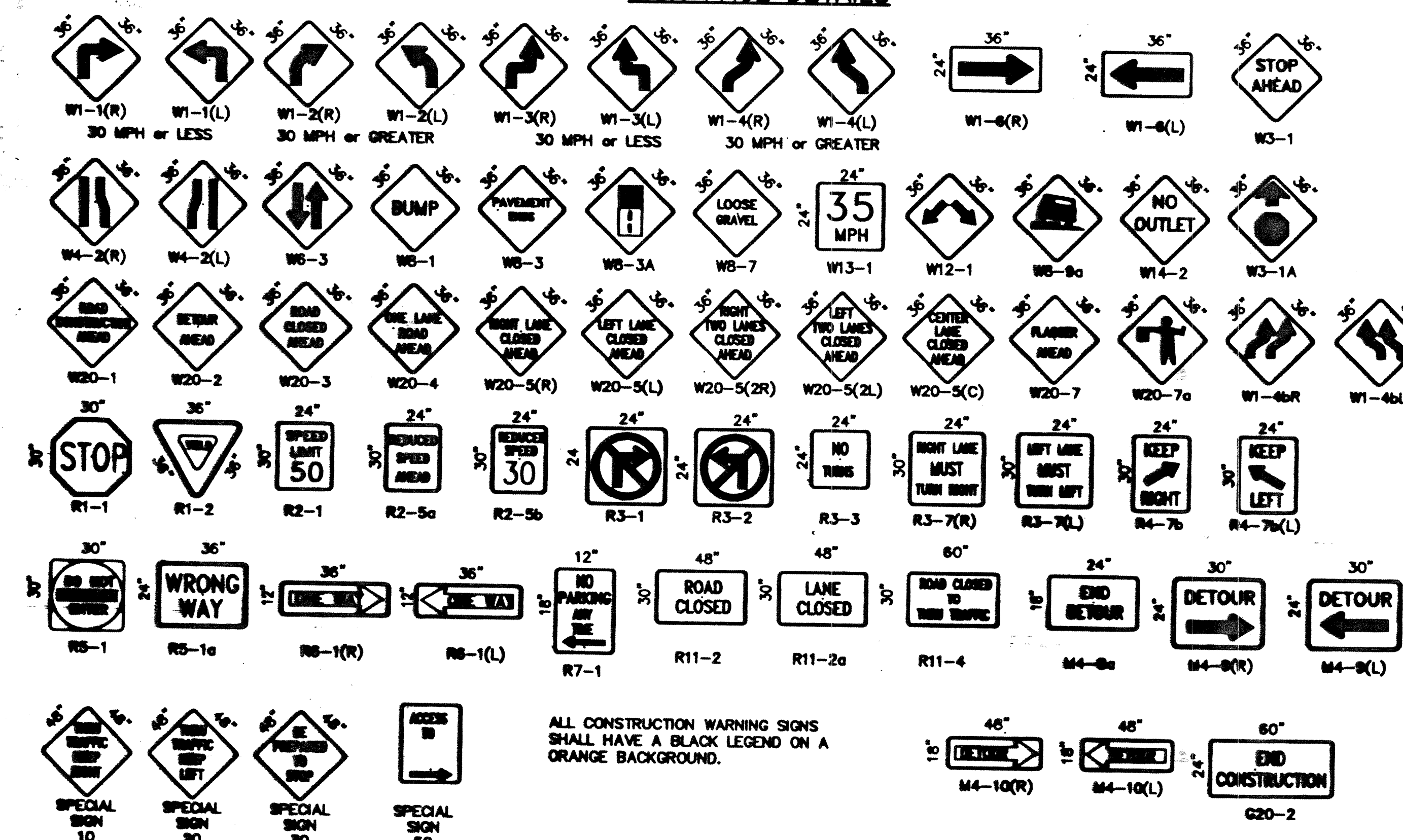
TYPE OF TAPER	TAPER LENGTH
UPSTREAM TAPER:	
MERGING TAPER	L MINIMUM
SHIFTING TAPER	1/2 L MINIMUM
SHOULDER TAPER	1/2 L MINIMUM
TWO-WAY TRAFFIC TAPER	100 FEET MAXIMUM
DOWNSTREAM TAPERS	100 FEET PER LANE

## TAPER LENGTH COMPUTATION

SPEED LIMIT	L = W x S
40 MPH OR LESS	L = W x S
45 MPH OR GREATER	L = W x S

L = TAPER LENGTH  
W = WIDTH OF OFFSET IN FEET  
S = POSTED SPEED OR OFF-PEAK 85-PERCENTILE SPEED IN MPH

## SIGN FACE DETAILS



ALL CONSTRUCTION WARNING SIGNS SHALL HAVE A BLACK LEGEND ON A ORANGE BACKGROUND.

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DEVELOPMENT GROUP

TITLE: **SIGNING AND CONSTRUCTION TRAFFIC CONTROL STANDARDS**

DESIGN REVIEW COMMITTEE: **COA**

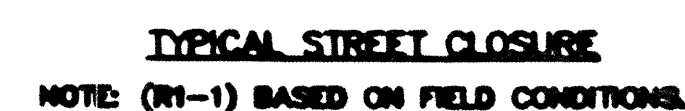
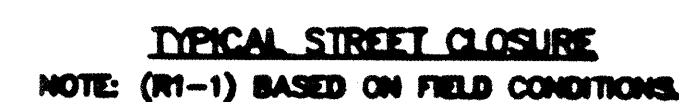
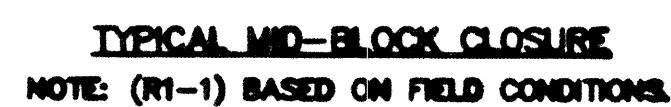
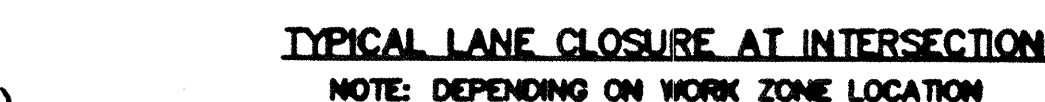
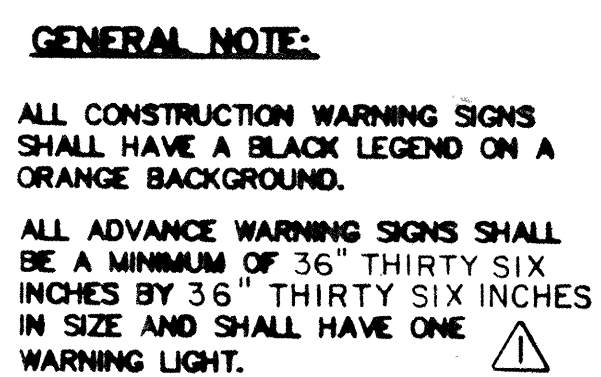
CITY ENGINEER APPROVAL: **STV**


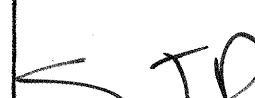
PROJECT NO. **10**

MAP NO. **10**

SHEET **9 OF 10**





CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP			
TITLE: <div style="text-align: center;"> <b>TYPICAL TRAFFIC CONTROL &amp;            SIGNING EXAMPLES (REF. MULT.C.D.)</b> </div>			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO / DAY / YR      MO / DAY / YR <div style="display: flex; justify-content: space-between;"> <div style="width: 45%; text-align: center;">  </div> <div style="width: 45%; text-align: center;">  </div> </div>	
		LAST UPDATE	MO / DAY / YR
PROJECT NO.	MAP NO.	SHEET <b>10 OF 10</b>	