

1 2 3 4 5 6 7 8 9 10 11 12 13  
26-6442-83-2013

# CONSTRUCTION PLANS FOR GARFIELD APARTMENTS

A HALL-MCBRIDE, LIMITED LIABILITY CORPORATION PROJECT

## PUBLIC ALLEY IMPROVEMENTS

### LEGEND

|        |                                                        |
|--------|--------------------------------------------------------|
| +24.0  | EXIST. SPOT ELEVATION                                  |
| NG     | NATURAL GROUND                                         |
| RBR    | REBAR                                                  |
| ---    | CENTERLINE                                             |
| ---    | EXIST. EDGE OF ROAD                                    |
| OPP    | EXISTING POWER POLE                                    |
| -5770- | EXISTING CONTOUR                                       |
| EA     | EXISTING EDGE OF ASPHALT                               |
| ---    | NEW CONCRETE                                           |
| F-F    | FACE TO FACE OF CURB                                   |
| -12-   | NEW CONTOUR                                            |
| ◆ 24.0 | NEW SPOT ELEVATION                                     |
| ---    | NEW CURB & GUTTER                                      |
| ---    | TRANSITION TO NO CROWN<br>(50' MIN. TRANSITION LENGTH) |
| ---    | NEW SWALE                                              |
| ---    | DRAINAGE DIRECTION                                     |
| -8" W- | EXISTING WATER LINE                                    |
| W      | EXISTING WATER VALVE                                   |
| W      | NEW WATER LINE                                         |
| W      | NEW GATE VALVE                                         |
| ● FH   | NEW FIRE HYDRANT                                       |
| -SD-   | EXISTING STORM DRAIN                                   |
| -SAS-  | EXIST. SANITARY SEWER                                  |

### INDEX

#### SHEET NO.

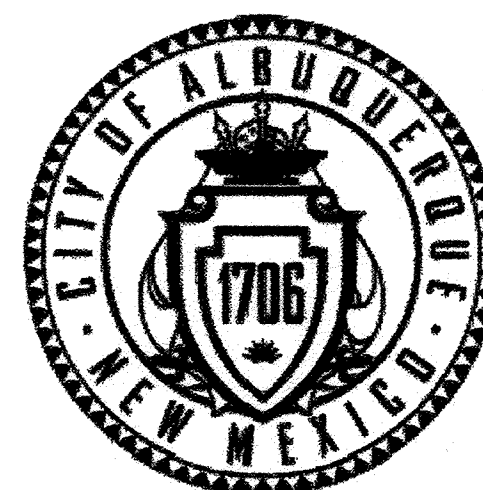
#### TITLE

1  
2  
3  
4  
5

COVER SHEET  
SUBDIVISION PLAT (ORIGINAL)  
GRADING & DRAINAGE PLAN, FYI  
TRAFFIC CIRCULATION LAYOUT  
PUBLIC ALLEY PLAN & PROFILE

### AS-CONSTRUCTED

I, PHILIP W. CLARK, OF CLARK CONSULTING ENGINEERS, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THE INFRASTRUCTURE INSTALLED AS PART OF THIS PROJECT HAS BEEN OBSERVED BY ME OR BY A QUALIFIED PERSON UNDER MY DIRECT SUPERVISION AND HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE CITY ENGINEER, AND THAT THE ORIGINAL DESIGN INTENT OF THE APPROVED PLANS HAS BEEN MET, EXCEPT AS NOTED BY ME ON THE AS-BUILT CONSTRUCTION DRAWINGS. THIS CERTIFICATION IS BASED ON SITE INSPECTIONS BY ME OR PERSONNEL UNDER MY DIRECTION AND SURVEY INFORMATION PROVIDED BY TERRAMETRICS N/A MPS # 10200.



PHILIP W. CLARK  
10200  
7/29/13

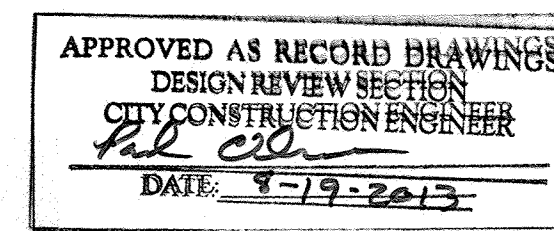
Clark Consulting Engineers  
19 Ryan Road  
Edgewood, New Mexico 87015  
Tele: (505) 281-2444 Fax: (505) 281-2444



### VICINITY MAP K-16 GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS, FOR PUBLIC WORKS CONSTRUCTION (1986 EDITION AND UPDATE #9), AND THE CITY STANDARD DRAWINGS.
- ALL WORK PERFORMED ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- CONTRACTOR SHALL NOTIFY AND COORDINATE ALL CONSTRUCTION TWO WEEKS PRIOR TO START WITH THE FOLLOWING UTILITIES: CENTURY LINK, PUBLIC SERVICE AND GAS CO. OF NEW MEXICO, (ELECTRIC & GAS SERVICES), COMCAST CABLE TV.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NM ONE-CALL SYSTEM, 280-1990, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE FIELD OR RECORD ENGINEER.
- SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION, A DETAILED CONSTRUCTION SCHEDULE REGARDING TRAFFIC CONTROL. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM SAME DIVISION. CONTRACTOR SHALL NOTIFY THE BARRICADING ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION, AS PER SECT. 19 OF THE SPECIFICATIONS.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED BY THE CONTRACTOR TO EXISTING LOCATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ELECTRONIC MARKER SPHERES SHALL BE INSTALLED PER SECTION 170 OF THE STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS SHOULD BE MADE ONLINE AT <http://abcwua.org/content/view/full/463/729/>.

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING  
☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE



DR# N/A

|                             |       |                  |          |            |                                 |            |      |
|-----------------------------|-------|------------------|----------|------------|---------------------------------|------------|------|
| REV                         | SHEET | CITY ENGINEER    | DATE     | USER DEPT. | DATE                            | USER DEPT. | DATE |
| ENGINEERS STAMP & SIGNATURE |       | APPROVALS        | ENGINEER | DATE       | APPROVED FOR CONSTRUCTION       |            |      |
| <br>                        |       | DRC Chairman     |          | 7/26/13    | <br>City Engineer Date 7/9/2013 |            |      |
|                             |       | Transportation   |          | 7-16-13    |                                 |            |      |
|                             |       | Water/Wastewater |          | 7-16-13    |                                 |            |      |
|                             |       | Hydrology        |          | 3/29/13    |                                 |            |      |
|                             |       | Parks            |          |            |                                 |            |      |
|                             |       | BERN. CO.        |          |            |                                 |            |      |
|                             |       | AMAFCA           |          |            |                                 |            |      |
|                             |       | City Project No. | 644283   |            | Sheet 1 OF 5                    |            |      |

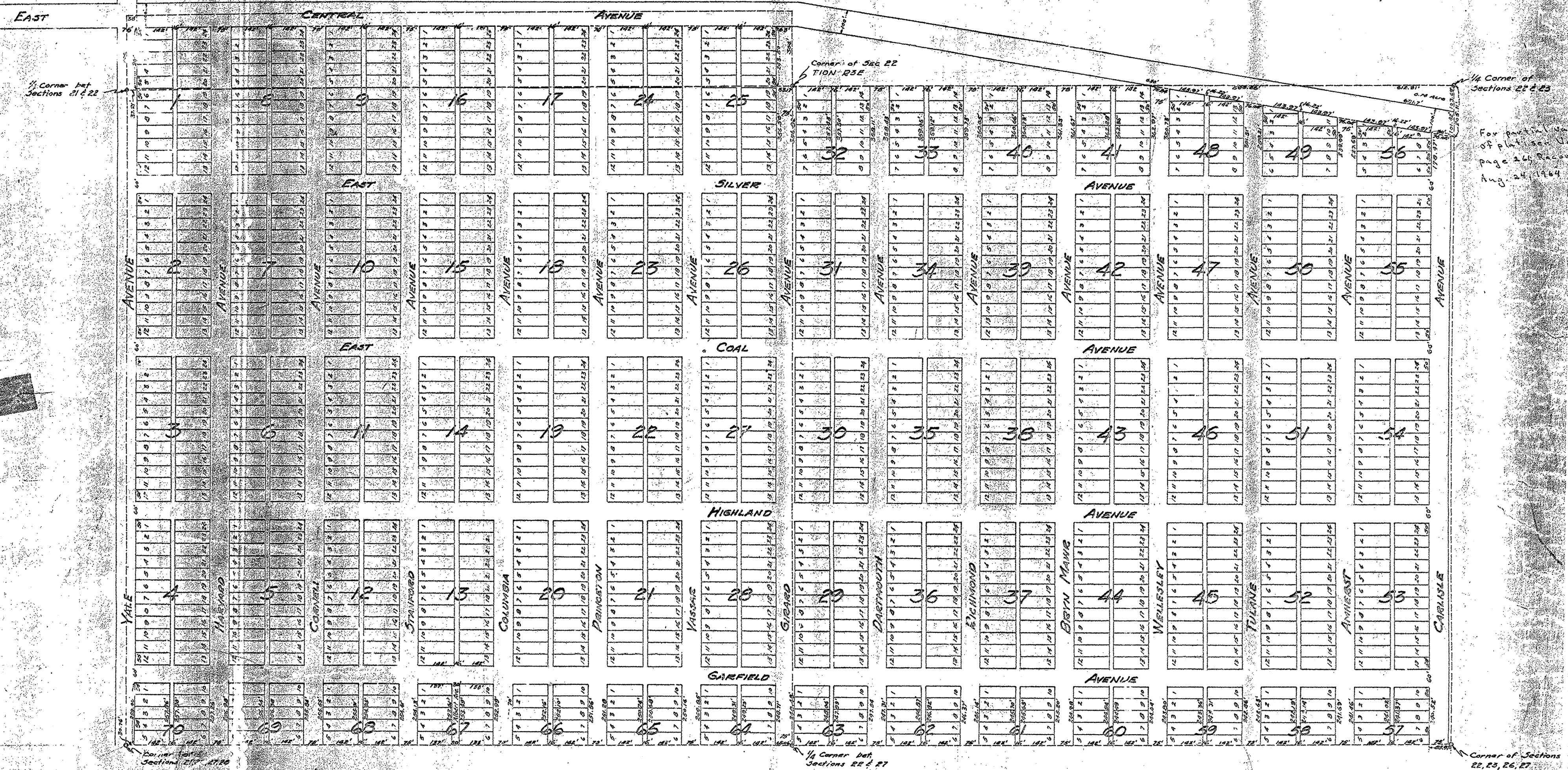
NEW MEXICO — USA

GARFIELD APARTMENTS CP# 644283

— PLAT OF —  
UNIVERSITY HEIGHTS  
AN ADDITION TO THE CITY OF  
ALBUQUERQUE

UNIVERSITY HEIGHTS DEVELOPMENT COMPANY, OWNERS

SURVEYED and PLATTED by EDMUND ROSS



KNOWN ALL MEN BY THESE PRESENTS that the foregoing Plat of the University Heriats Addition to the City of Albuquerque, N.M., covers the following real estate in the County of BERNALILLO, STATE of New Mexico to wit:

The south three hundred and four (304) feet of the north-west quarter and all of the south half of Section Twenty Two (22) Township Ten (10) North Range Three (3) East of the New Mexico Principal Base and Meridian; and

fourty two (42) feet of said subdividing said Acre, Estate into Lots, Blocks and Streets and Alleys is with the free consent and in accordance with the terms of the original of the Albuquerque Development Company, a corporation organized under the laws of the State of New Mexico, which said principal place of business in the City of Albuquerque, which said Corporation is the owner of said Acre Estate.

IN WITNESS WHEREOF the said UNIVERSITY HEIGHTS DEVELOPMENT COMPANY has caused this instrument to be executed in its corporate name by its President, attested by its Secretary and its Corporate Seal to be attached this seventh day of February, A.D. 1916.

Attest: S/D. K. B. SELLERS  
Secretary

UNIVERSITY HEIGHTS DEVELOPMENT COMPANY  
by S/A.B. McMillen  
President

STATE OF NEW MEXICO } ss  
COUNTY OF BERNALILLO }

On this seventh day of February, A.D. 1916 before me, a Notary Public within and for said County, appeared A.B. McMillen to me personally known, who being by me duly sworn and did say that he is the President of said University Heights Development Company, and that the seal affixed to the foregoing instrument is the corporate seal of said corporation, and that said instrument was signed and executed by him as President of said corporation.

I certify that this plot was filed in my office this 7th day of February, 1916.  
at 4:45 o'clock P.M.

Witness my hand and seal this 7th day of February, 1916.

S/ A. E. WALKER  
Clerk

I, May Clegborn, County Clerk of Bernalillo County, New Mexico, do hereby certify that the map on which this certificate appears is a true copy, made under my direction and under the provisions of Chapter 130 of New Mexico Session Laws 1929, of a map filed for record on the \_\_\_\_\_ day of FEB 1916.

May Clegborn

## GRADING & DRAINAGE PLAN

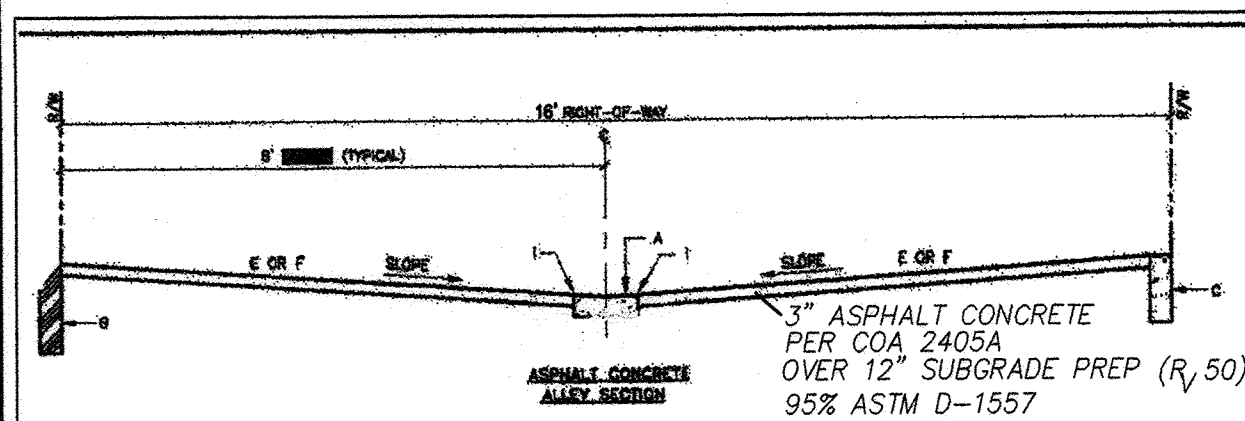
THE 15-UNIT TOLBUHME PROJECT IS LOCATED IN THE UNIVERSITY HEIGHTS OF ALBUQUERQUE APPROXIMATELY 2 MILES EAST OF THE DOWNTOWN CORE OF ALBUQUERQUE, NM. THE GRADING & DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE BERN-ALILLO COUNTY FLOOD HAZARD ORDINANCE, NO. 88-45, AND THE CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR BUILDING PERMIT. THE PLAN SHOWS: A. FURNISHMENT SITE

1. EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERN AND EXISTING IMPROVEMENTS: INCLUDING EXISTING FLATWORK (Removal of Exist. Apts).
2. PROPOSED IMPROVEMENTS: 5700 SF TOTAL BUILDING STRUCTURE(S), NEW CONCREDS AND PARKING, NEW GRADES, ELEVATIONS, WALLS, FLATWORK AND LANDSCAPING.
3. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
4. QUANTIFICATION AND ACCEPTANCE OF UPSTREAM OFF-SITE FLOWS WHICH CONTRIBUTE TO THE DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS.

THE PURPOSE OF THE PLAN IS TO ESTABLISH CRITERIA FOR CONTROLLING STORM RUNOFF AND EROSION, AND ESSENTIALLY FOLLOWING HISTORIC FLOWS TO CONTINUE TO DRAIN THROUGH THE PROPERTY. PRESENTLY, THE SITE IS BOUNDED ON THE SOUTH BY RESIDENTIAL USE TO THE WEST BY PUBLIC ALLEY, GIRARD BLVD & GARFIELD AVE. ON THE EAST AND NORTH ARE PAVED WITH CURB, GUTTER AND SIDEWALK, AND MAINTAINED BY THE CITY OF ALBUQUERQUE. THE SITE CURRENTLY DRAINS AT 2% FROM S.EAST TO N.WEST.

HISTORICAL SITE RUNOFF OUTFALL LOCATIONS WILL REMAIN UNCHANGED. SINCE BOTH STREETS ARE IMPROVED ONLY MINIMAL GRADING (DRIVEPAD RECONSTR-N) IS PROPOSED WITHIN THE CITY R.O.W. FREE DISCHARGE OF DEVELOPED FLOW IS ACCEPTABLE SINCE THE TOTAL INCREASE OF DEVELOPED FLOW IS MINIMAL AND CAPACITY EXISTS DOWNSTREAM.

THE SITE IS NOT IMPACTED ADVERSELY BY ANY OFF-SITE DRAINAGE FLOWS.



## PUBLIC ALLEY SECTION

PER COA DWG 2411

## CALCULATIONS

### DESIGN CRITERIA

HYDROLOGIC METHODS PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (DPM)  
REVISED JANUARY 1993 FOR CITY OF ALBUQUERQUE ADOPTED BY THE COUNTY OF BERNALILLO  
DISCHARGE RATE:  $Q = QPEAK \times AREA$  "Peak Discharge Rates For Small Watersheds"  
VOLUMETRIC DISCHARGE:  $VOLUME = E_{Weighted} \times AREA$   
 $P100 = 2.35 \text{ inches, Zone 2}$  Time of Concentration,  $TC = 10 \text{ Minutes}$   
DESIGN STORM: 100-YEAR/6-HOUR, 10-YEAR/6-HOUR [ ] = 10 YEAR VALUES

### EXISTING CONDITIONS

TOTAL AREA = 0.48 ACRES, WHERE EXCESS PRECIP. 'W' = 1.13 in. [0.52]  
PEAK DISCHARGE, Q100 = 1.49 CFS [0.8], WHERE UNIT PEAK DISCHARGE 'W' = 3.1 CFS/AC. [1.7]  
THEREFORE: VOLUME 100 = 1969 CF [906]

### DEVELOPED CONDITIONS

DEVELOPED CONDITIONS

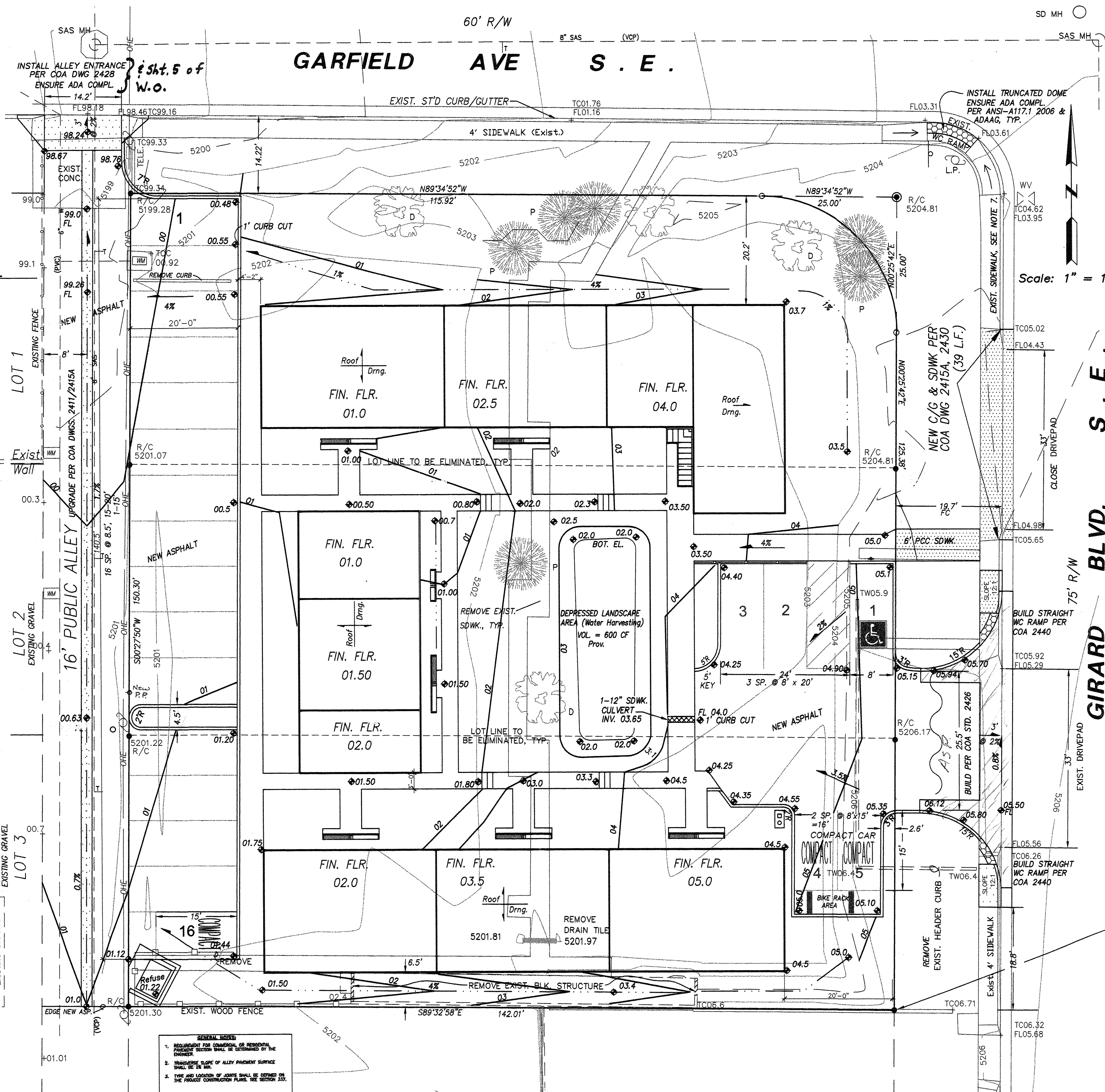
DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA

|                         | <u>AREA</u>     | <u>LAND TREATMT</u> | <u>Q Peak</u> | <u>E</u>   |
|-------------------------|-----------------|---------------------|---------------|------------|
| UNDEVELOPED             | --- Ac.         | A                   | 1.56[0.38]    | 0.53[0.13] |
| LANDSCAPING             | 10 Ac.(21%)     | B                   | 2.28[0.95]    | 0.78[0.28] |
| GRAVEL & COMPACTED SOIL | 0.11 Ac.(23%)   | C                   | 3.14[1.71]    | 1.13[0.52] |
| ROOF - PAVEMENT         | 0.27 Ac.(56%)   | D                   | 4.70[3.14]    | 2.12[1.34] |
|                         | <u>0.27</u> Ac. |                     |               |            |

THEREFORE:  $E_{Weighted} = 1.61 \ln.[0.93]$  &  
 $Q100 = 1.84 \text{ CFS}$   
 $Q10 = 1.1 \text{ CFS}$

VOLUME 100 = 2805 CF  
VOLUME 10 = 1620 CF

RECOMMEND : ROUTE DEVELOPED RUNOFF THROUGH EXISTING/UPGRADED SOFT LANDSCAPING INCLUDING DEPRESSED LANDSCAPING IN THE NEW COURTYARD AS SHOWN.



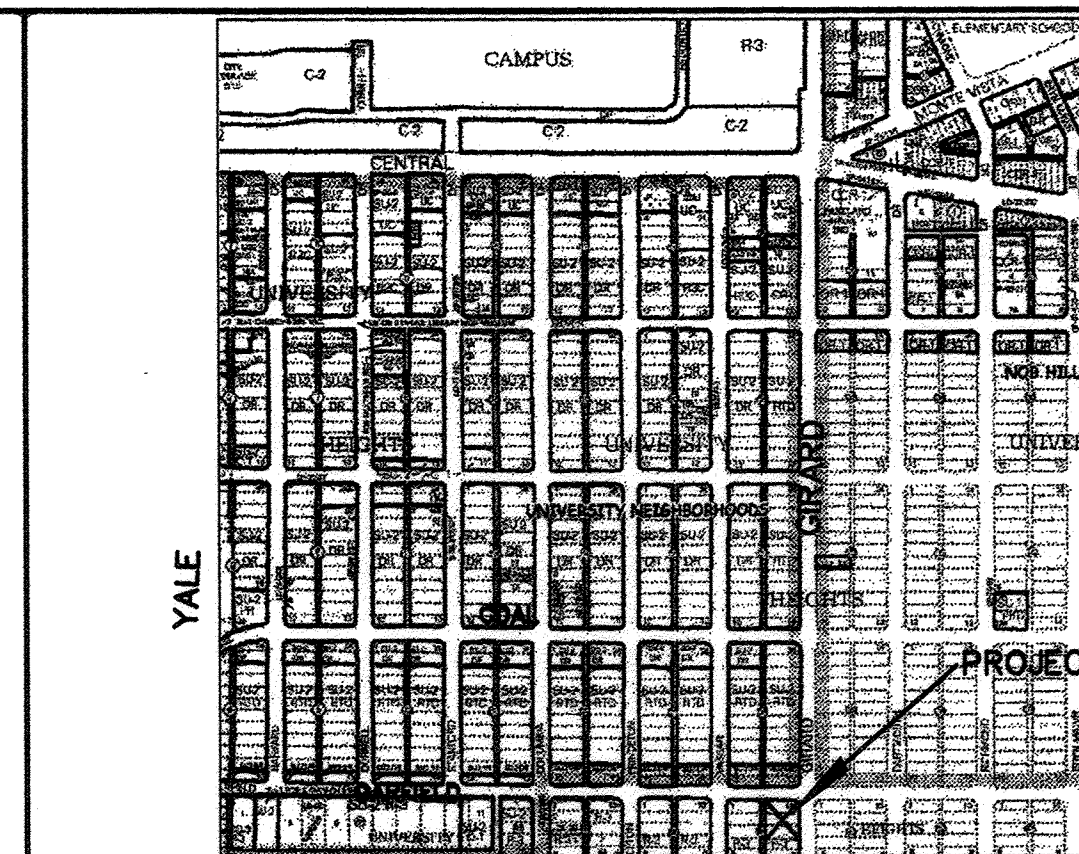
**GENERAL NOTES:**

1. REQUIREMENT FOR COMMERCIAL OR RESIDENTIAL PAVEMENT SECTION SHALL BE DETERMINED BY THE ENGINEER.
2. TRANSVERSE SLOPE OF ALLEY PAVEMENT SURFACE SHALL BE 2% MIN.
3. TYPE AND LOCATION OF JOINTS SHALL BE DEFINED ON THE PROJECT CONSTRUCTION PLANS, SEE SECTION 3.37

**CONSTRUCTION NOTES:**

I, PHILIP W. CLARK, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON, AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO EARTHWORK OF ANY KIND, NOR ANY DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.

PHILIP W CLARK NMPE #10265



## VICINITY MAP      ZONE K-16

## NOTES

1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 1996 EDITION W/ UPDATES#8)
2. AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL LANDSCAPING AREA SHALL BE SOFT-LINKED WITH NATIVE VEGETATION AND/OR GRAVEL. ASPHALT PARKING AREA SHALL DRAIN DIRECTLY TO NEW CURB CUT OR SDMK CULVERT
5. CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
6. REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1011, NATIVE SEED MIX.
7. MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION: 3:1 HORIZONTAL TO 1 VERTICAL, 3:1, ALL DIMENSIONS TO FACE OF CURB, UNLESS NOTED OTHERWISE.

### LEGEND

|                                    |                                                                                       |
|------------------------------------|---------------------------------------------------------------------------------------|
| EXIST. SPOT ELEVATION              | +24.0                                                                                 |
| EXIST. CONTOUR                     | 10                                                                                    |
| NEW SPOT ELEVATION                 | 24.0                                                                                  |
| NEW CONTOUR                        | 12                                                                                    |
| NEW SWALE                          |                                                                                       |
| DRAINAGE DIRECTION, EXISTING       |  |
| NEW CONCRETE CURB<br>(0.5' HEIGHT) |  |
| NEW P.C.C., CONCRETE               |  |
| TOP OF CURB, EXISTING              | TC                                                                                    |
| FLOWLINE                           | FL                                                                                    |
| EXISTING POWER POLE                | o                                                                                     |
| FACE OF CURB/FACE OF CURB          | F-F                                                                                   |
| WATER BLOCK                        |  |

## PROJECT DATA

**LEGAL DESCRIPTION**

LOTS 8-10, BLOCK 64, UNIVERSITY HEIGHTS  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

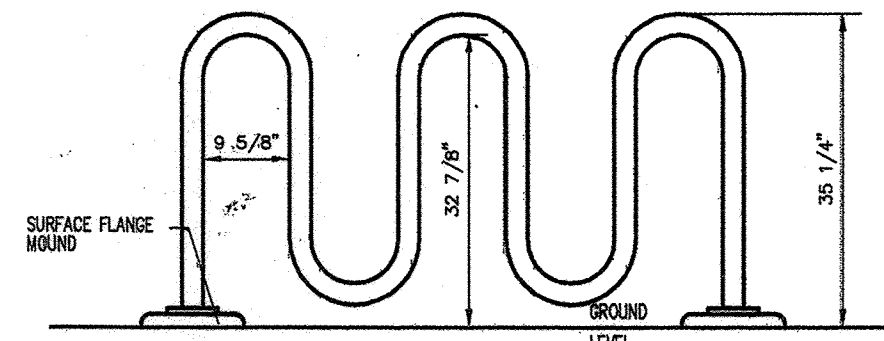
**PROJECT BENCHMARK**

TOP OF REBAR/CAP AT THE PROJECT SOUTHEAST CORNER MSL  
ELEVATION = 5206.5, AS TIED FROM COA 3-1/4" DIAMETER ALUM DISK  
SET IN TOP OF CURB, 20\_L16, MSL, NAVD 88, 5210.84, LOCATED 114'  
SOUTH OF THE INTERSECTION OF GIRARD AND BURTON AVENUE. SE

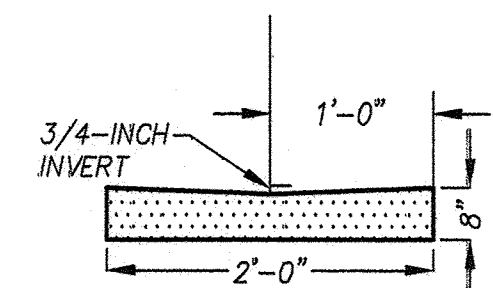
**TOPOGRAPHIC DESIGN SURVEY**

PROVIDED BY TERRAMETRICS UNDER THE DIRECTION OF PHILIP TURNER,  
N.M.P.S. 10204. DATED NOVEMBER 2011.

|                                                                                                                         |               |                                                                                      |        |
|-------------------------------------------------------------------------------------------------------------------------|---------------|--------------------------------------------------------------------------------------|--------|
|  <b>Clark Consulting Engineers</b> |               |                                                                                      |        |
| 19 Ryan Road<br>Edgewood, New Mexico 87015                                                                              |               |                                                                                      |        |
| Tel: (505) 281-2444                                                                                                     |               | Fax: (505) 281-2444                                                                  |        |
| DATE                                                                                                                    | REVISION      | LOTS 8-10, BLK. 64, UNIVERSITY HEIGHTS<br>ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO |        |
| 2-8-12                                                                                                                  | Add. C&D      | 501 GIRARD BLVD. SE<br>GARFIELD APARTMENTS                                           |        |
|                                                                                                                         | C'mts Rev.    | <b>Grading &amp; Drainage</b><br><b>Plan</b>                                         |        |
|                                                                                                                         |               |                                                                                      |        |
|                                                                                                                         |               |                                                                                      |        |
|                                                                                                                         |               |                                                                                      |        |
| DESIGNED BY: PWC                                                                                                        | DRAWN BY: CCE | JOB #: HALL                                                                          | 1 OF 1 |
| CHECKED BY: PWC                                                                                                         | DATE: 11/8/11 | FILE #: G/D                                                                          |        |

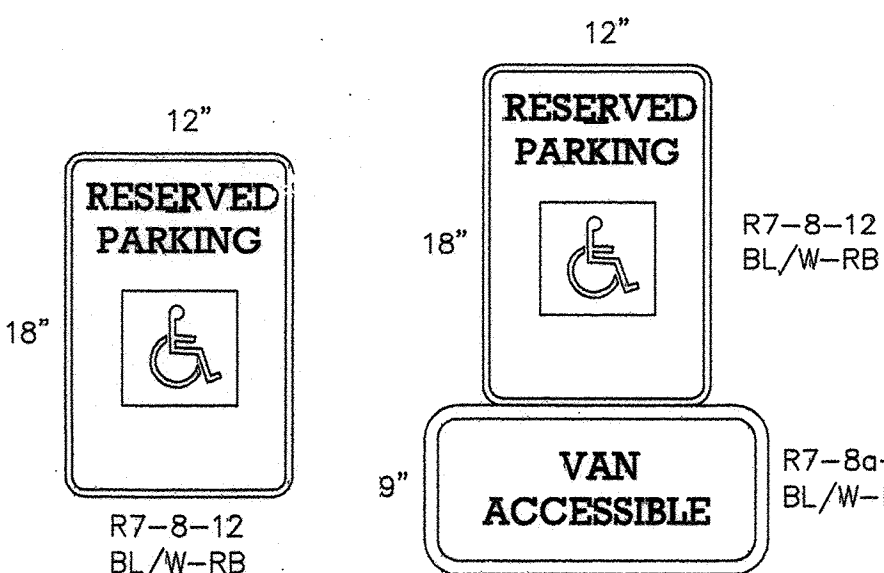


## BIKE RAIL



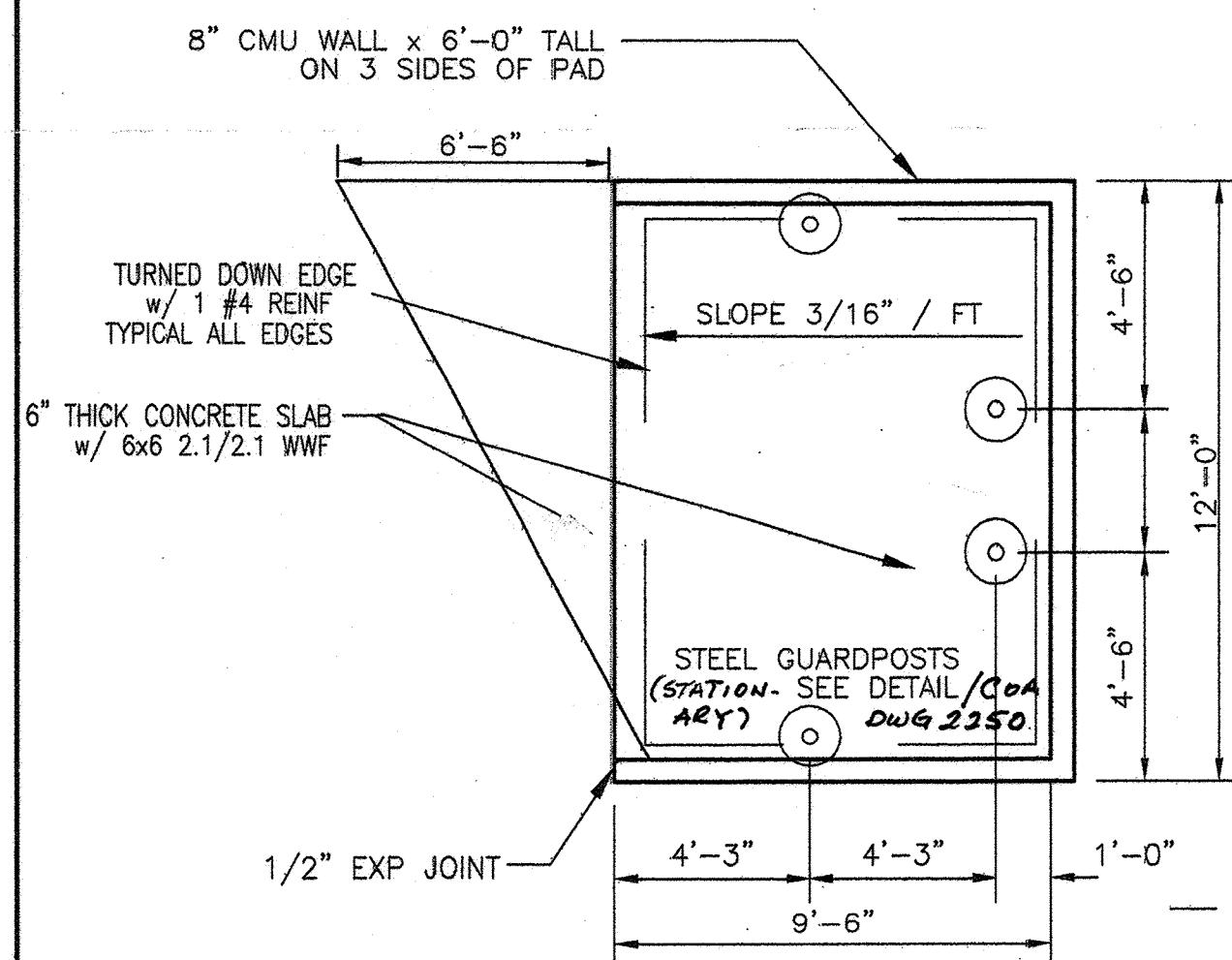
## PCC (PORTLAND CEMENT CONCRETE) ALLEY GUTTER

SEE COA DWG. 2415A



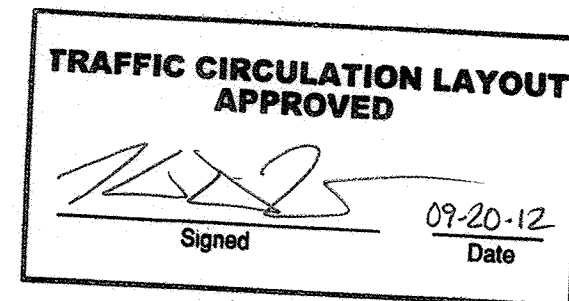
## HANDICAP PARKING SIGNS

NTS



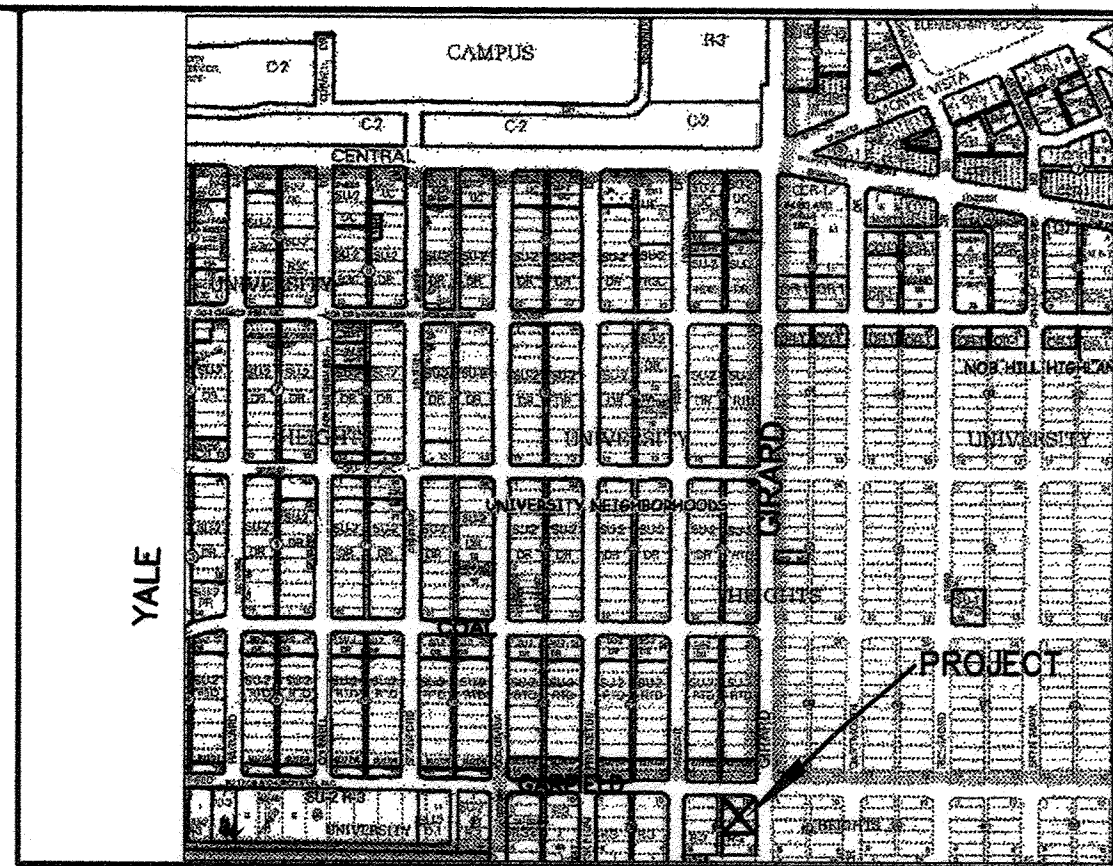
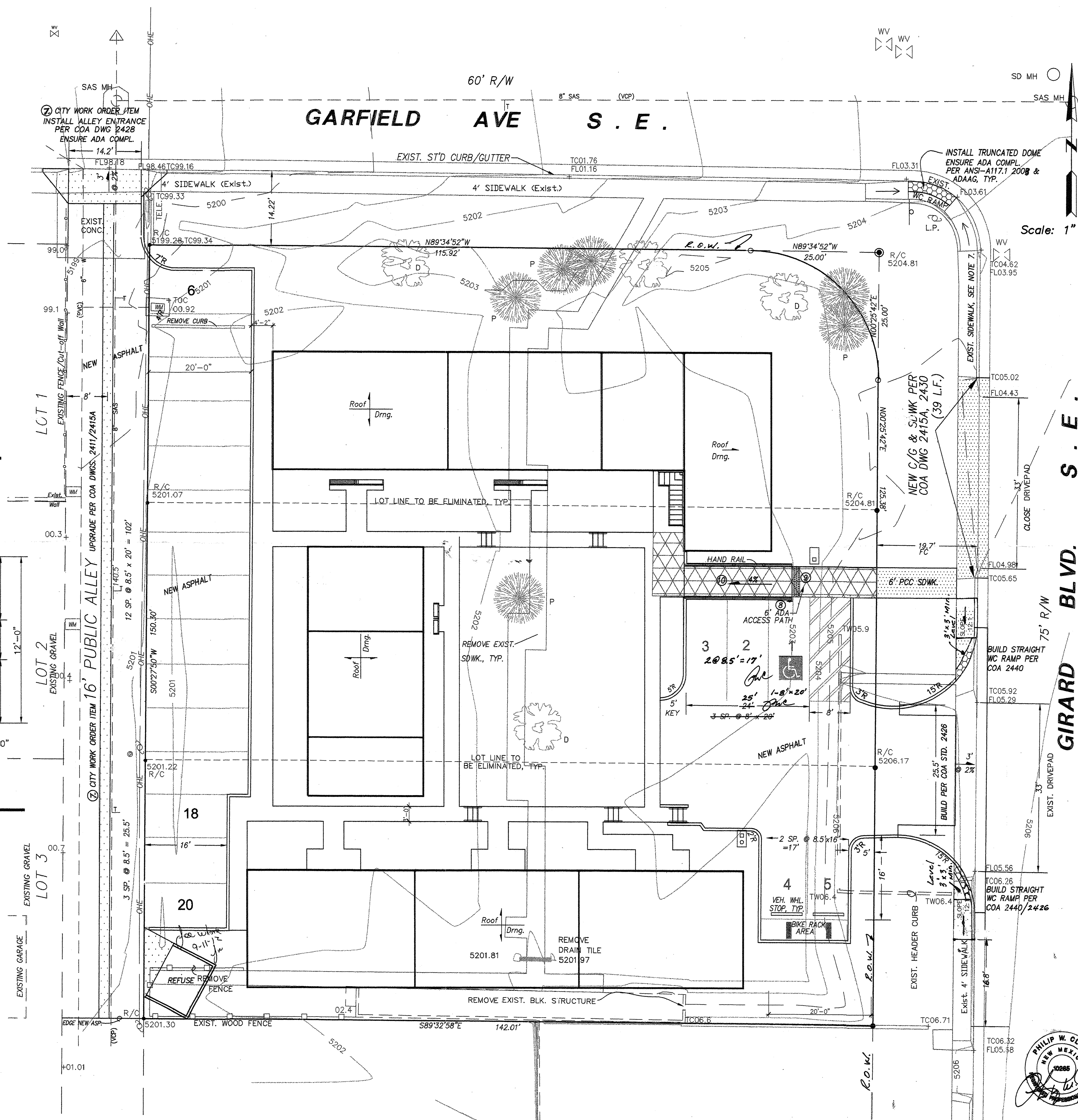
## REFUSE ENCLOSURE PLAN

NTS



Public Infrastructure shown  
on these plans for information  
only and not part of approval.  
Separate DRC/Permit approval  
and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOMES.  
(INSTALL @ BACK OF CURB, UNO)



## VICINITY MAP

## NOTES

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4. ALL DIMENSIONS TO FACE OF CURB, UNLESS NOTED OTHERWISE.
5. ALL TRAFFIC ELEMENTS SHOWN SHALL BE CONSTRUCTED FROM THIS SHEET, AND REQUIRED FOR CERTIFICATE OF OCCUPANCY. A TEMPORARY C.O. SHALL NOT BE ISSUED.
6. A DESIGN VARIANCE TO ALLOW THE 4' WIDE SIDEWALK ALONG GIRARD BLVD. INCLUDING 2' VARIANCE TO THE PUBLIC ALLEY APPROVED PER DRB 1008974, 12DRB7008
7. CITY WORK ORDER ITEM
8. HC-SIGN MOUNTED ON METAL POST, SEE DETAIL, INSTALL PER ADAAG SPECIFICATIONS.
9. TYPICAL FULL LENGTH 18"W X 5'-0"L TACTILE PATTERN RAISED TRUNCATED DOMES PER ANSI-A117.1 2008 & ADAAG.
10. TYPICAL RAMP SLOPE 25:1 WITH BROOM FINISH CONCRETE, AND INSTALL METAL PIPE HANDRAIL BOTH SIDE OF RAMP PER ADAAG.

## LEGEND

|                                 |       |
|---------------------------------|-------|
| EXIST. SPOT ELEVATION           | +24.0 |
| EXIST. CONTOUR                  | 10    |
| NEW SPOT ELEVATION              | +24.0 |
| NEW CONTOUR                     | 12    |
| NEW SWALE                       |       |
| DRAINAGE DIRECTION, EXISTING    |       |
| NEW CONCRETE CURB (0.5' HEIGHT) |       |
| NEW P.C.C., CONCRETE            |       |
| TOP OF CURB, EXISTING           | TC    |
| FLOWLINE                        | FL    |
| EXISTING POWER POLE             | O     |
| FACE OF CURB/FACE OF CURB       | F-F   |
| WATER BLOCK                     |       |

## PROJECT DATA

### LEGAL DESCRIPTION

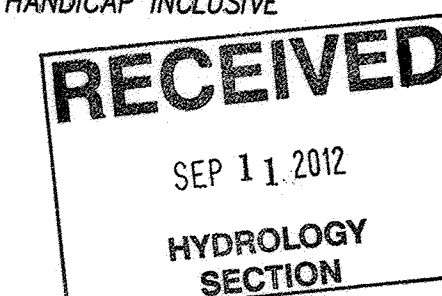
LOTS 8-10, BLOCK 64, UNIVERSITY HEIGHTS  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

### PARKING CALCULATIONS - R3 ZONING

12 UNITS X 1.5 = 18.....< 1000 SF EACH  
2 UNITS X 2 = 4.....> 1000 SF EACH  
LESS 10% BUS RTE. <2 UNITS> = 20 SPACES REQUIRED  
PARKING SPACES PROVIDED 20 - ONE HANDICAP INCLUSIVE

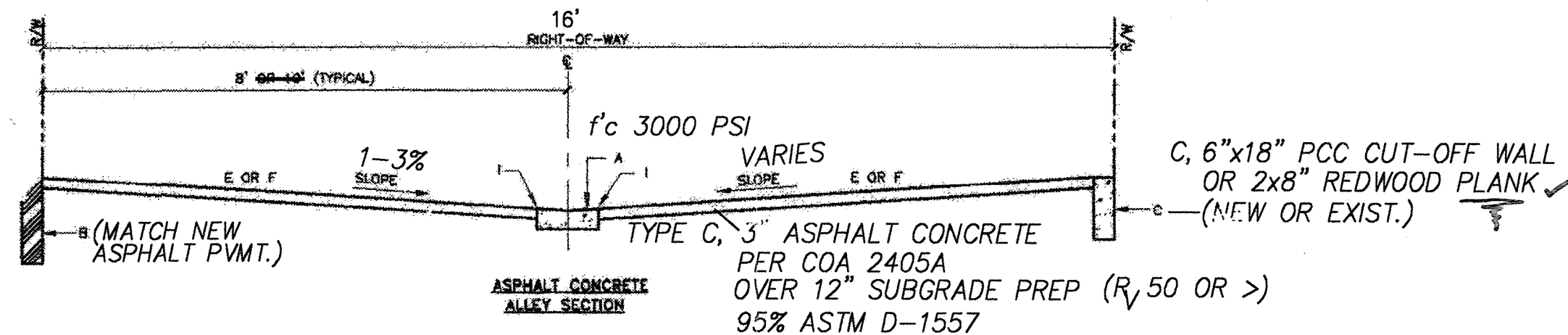
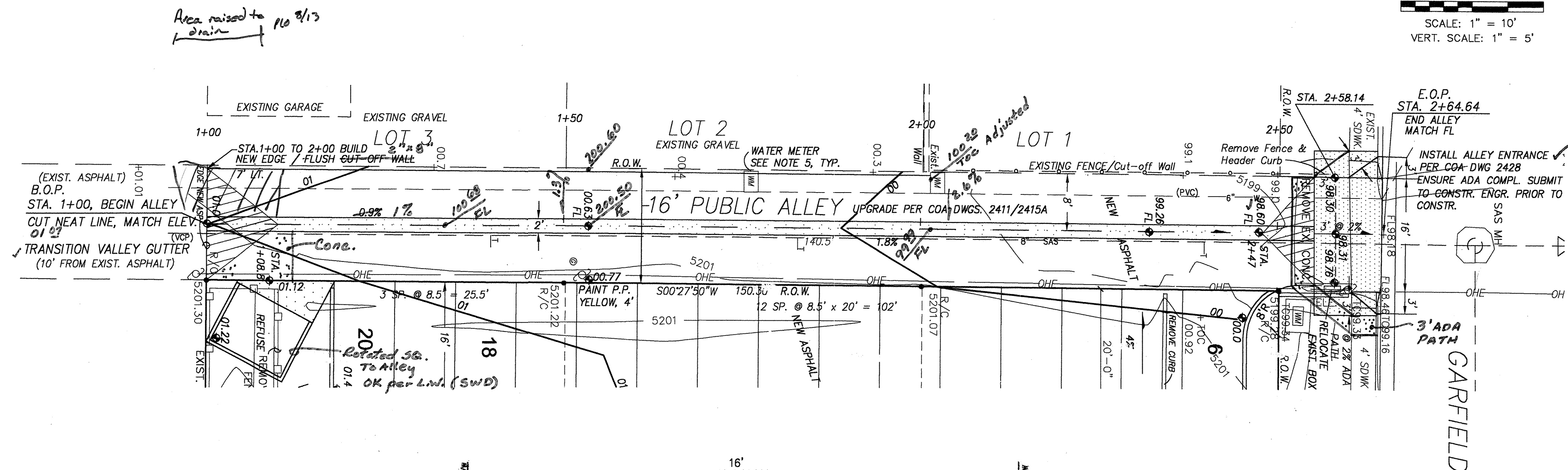
### TOPOGRAPHIC DESIGN SURVEY

PROVIDED BY TERRAMETRICS OF NM.

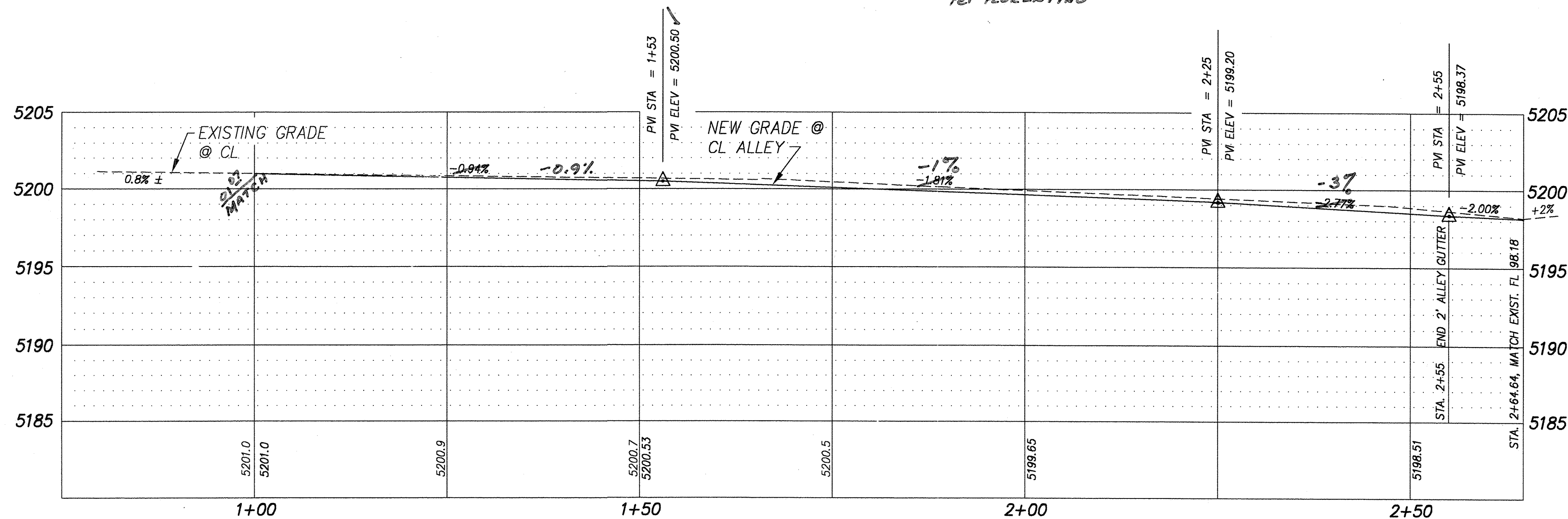


**Clark Consulting Engineers**  
19 Ryan Road  
Edgewood, New Mexico 87015

|                  |                |                                                                                      |
|------------------|----------------|--------------------------------------------------------------------------------------|
| DATE             | REVISION       | LOTS 8-10, BLK. 64, UNIVERSITY HEIGHTS<br>ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO |
| 1/2/12           | 1              | 501 GIRARD BLVD. SE<br>GARFIELD APARTMENTS                                           |
| 9/10/12          | 2              | TRAFFIC CIRCULATION LAYOUT                                                           |
| DESIGNED BY: PWC | DRAWN BY: COE  | JOB # HALL                                                                           |
| CHECKED BY: PWC  | DATE: 12/14/11 | FILE # TOL                                                                           |



### BUILT PUBLIC ALLEY SECTION



NOTE:  
EXISTING UTILITIES SHOWN HEREON, INCLUDING UNCHARTED UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR FOR EXACT LOCATION AND DEPTH PRIOR TO EXCAVATION. SHOULD A CONFLICT EXIST, THE OWNER/ AND PROJECT ENGINEER SHALL BE IMMEDIATELY NOTIFIED.

## NOTES

1. ALL STATIONING BASED ON CENTER LINE OF NEW ROADWAY AND R.O.W., UNLESS NOTED OTHERWISE.
2. MAINTAIN MINIMUM OF 3 FEET COVER TO TOP OF EXIST 6" / 8" WATERLINES.
3. ALL CITY UTILITIES AND SERVICES SHALL BE INSTALLED AND ACCEPTED PRIOR TO COMMENCING BACKFILL AND PAVING.
4. ALL UTILITY BACKFILL WITHIN CITY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH COA SPECIFICATION REQUIREMENTS. COMPACTION SHALL BE 95% ASTM D-1557.
5. ADJUST TO GRADE PER COA SPECS.
6. REMOVE AND REPLACE EXISTING DISPLACED SIDEWALK ON GARFIELD AS DETERMINED BY THE CONSTRUCTION ENGINEER PER COA DWG 2430 THROUGH DWG 2432.

## LEGEND

- 99.99 AS-BUILT ELEV.
- 24.0 NEW SPOT ELEVATION
- EXIST. EDGE OF ROAD
- NEW SWALE
- DRAINAGE DIRECTION
- EG EDGE OF GRAVEL
- EA EDGE OF ASPHALT
- PP EXISTING POWER POLE
- FH EXIST. FIRE HYDRANT
- NEW P.C.C. CONCRETE BUILT

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| CITY OF ALBUQUERQUE<br>PLANNING DEPARTMENT<br>ENGINEERING DESIGN REVIEW / CONSTRUCTION |                              |             |             |
|----------------------------------------------------------------------------------------|------------------------------|-------------|-------------|
| GARFIELD APARTMENTS - PUBLIC ALLEY IMPROVEMENTS<br>PLAN & PROFILE                      |                              |             |             |
| Design Review Committee                                                                | City Engineer Approval       | Mo./Day/Yr. | Mo./Day/Yr. |
| APR 26 2013<br>DESIGN REVIEW COMMITTEE                                                 | JUL 09 2013<br>CITY ENGINEER |             |             |
| City Project No. 644283                                                                | Zone Map No. K-16            | SHEET 5     | OF 5        |