

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15  
26-6502-71-2014

APPROVED AS RECORD DRAWINGS  
DESIGN REVIEW SECTION  
CITY CONSTRUCTION ENGINEER  
DATE: Feb 18, 2014

CONSTRUCTION PLANS  
FOR  
TIERRA PINTADA PHASE 2  
APS RECREATIONAL SITE  
APS WESTSIDE SPORTS COMPLEX  
PUBLIC INFRASTRUCTURE  
ALBUQUERQUE, NEW MEXICO

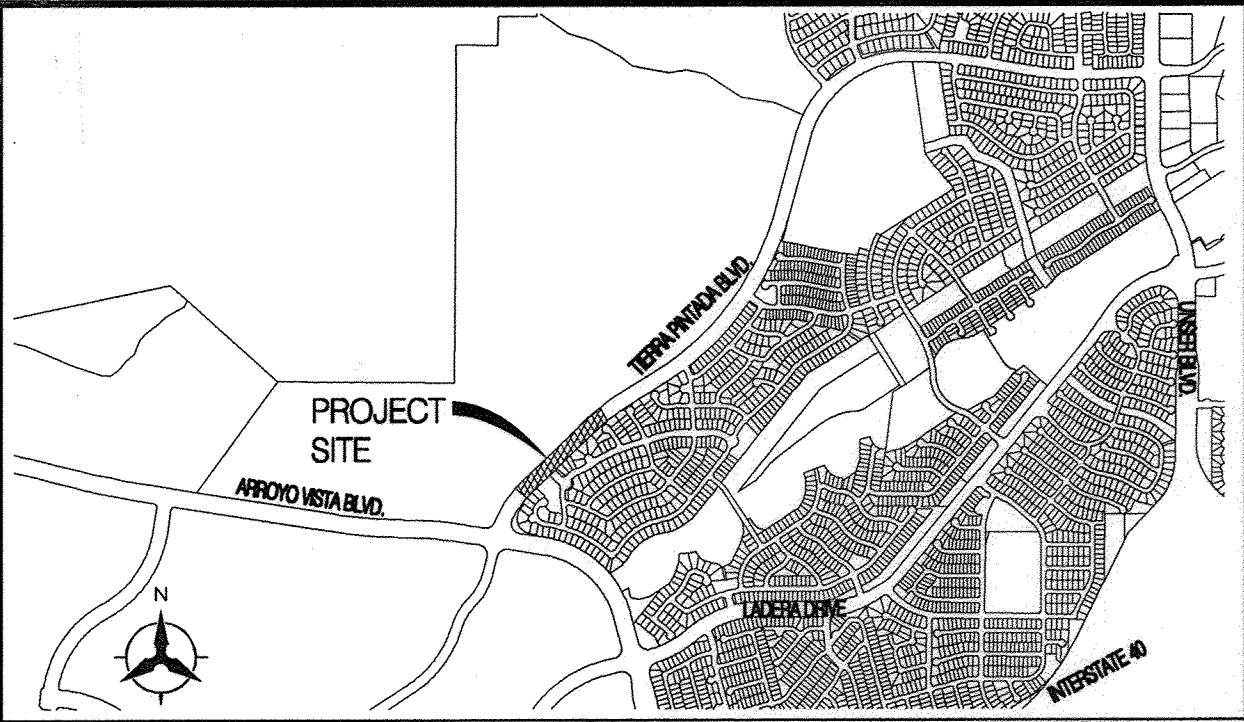
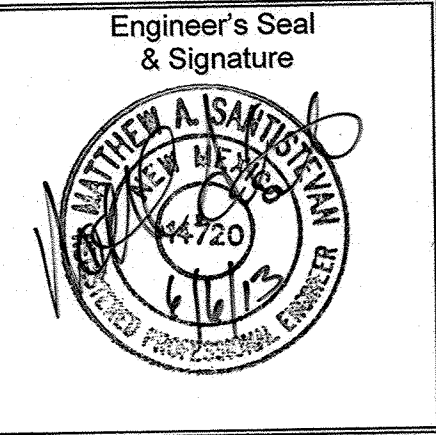
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RECORD DRAWINGS

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Matthew A. Santistevan, of the firm of Bohannon Huston, Inc., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as shown on these drawings (Tierra Pintada Phase 2 APS Recreational Site APS Westside Sports Complex Public Infrastructure) has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by the contractor, Franklin's Earthmoving Inc. and their surveyor, Jacobo J. Pacheco, NMPS #17822.



NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE No. 8.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT, TO THE CONSTRUCTION COORDINATION DIVISION, A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- ALL WORK AFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED W/ PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS EXISTING, OR AS INDICATED BY THIS PLAN SET.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/full/463/729/).
- CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL CONSTRUCTION SIGNAGE UNTIL PROJECT HAS BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE.
- DEVELOPER SHALL PROVIDE AND MAINTAIN ALL SIGNING AND STRIPING WITHIN PRIVATE STREETS / DEVELOPMENT.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ALL UTILITIES SHALL BE BACKFILLED TO 95% COMPACTION FOR THE ENTIRE DEPTH OF THE TRENCH. THIS INCLUDES ALL SANITARY SEWER LINES, WATER LINES, STORM DRAIN LINES, DRY UTILITY SLEEVES AND TRAFFIC SIGNAL / STREET LIGHT CONDUITS.

"Tierra Pintada Phase 2 APS Recreational Site APS Westside Sports Complex Public Infrastructure City Project Number 650271 shall not be accepted and owned by the City of Albuquerque until both Arroyo Vista Phase 1 APS Recreational Site APS Westside Sports Complex Public Infrastructure City Project Number 650274 and Tierra Pintada Phase 1 APS Recreational Site APS Westside Sports Complex Public Infrastructure City Project Number 650272 are owned and accepted by the City of Albuquerque."

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☒ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE ENGINEER.
- ☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☒ IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- ☒ THE REQUESTOR OR DEVELOPER SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ALL CURB AND GUTTER OR SIDEWALK DAMAGED AFTER APPROVAL BY THE ENGINEER OF WORK COMPLETED BY THE CONTRACTOR.

SURVEYOR CERTIFICATION

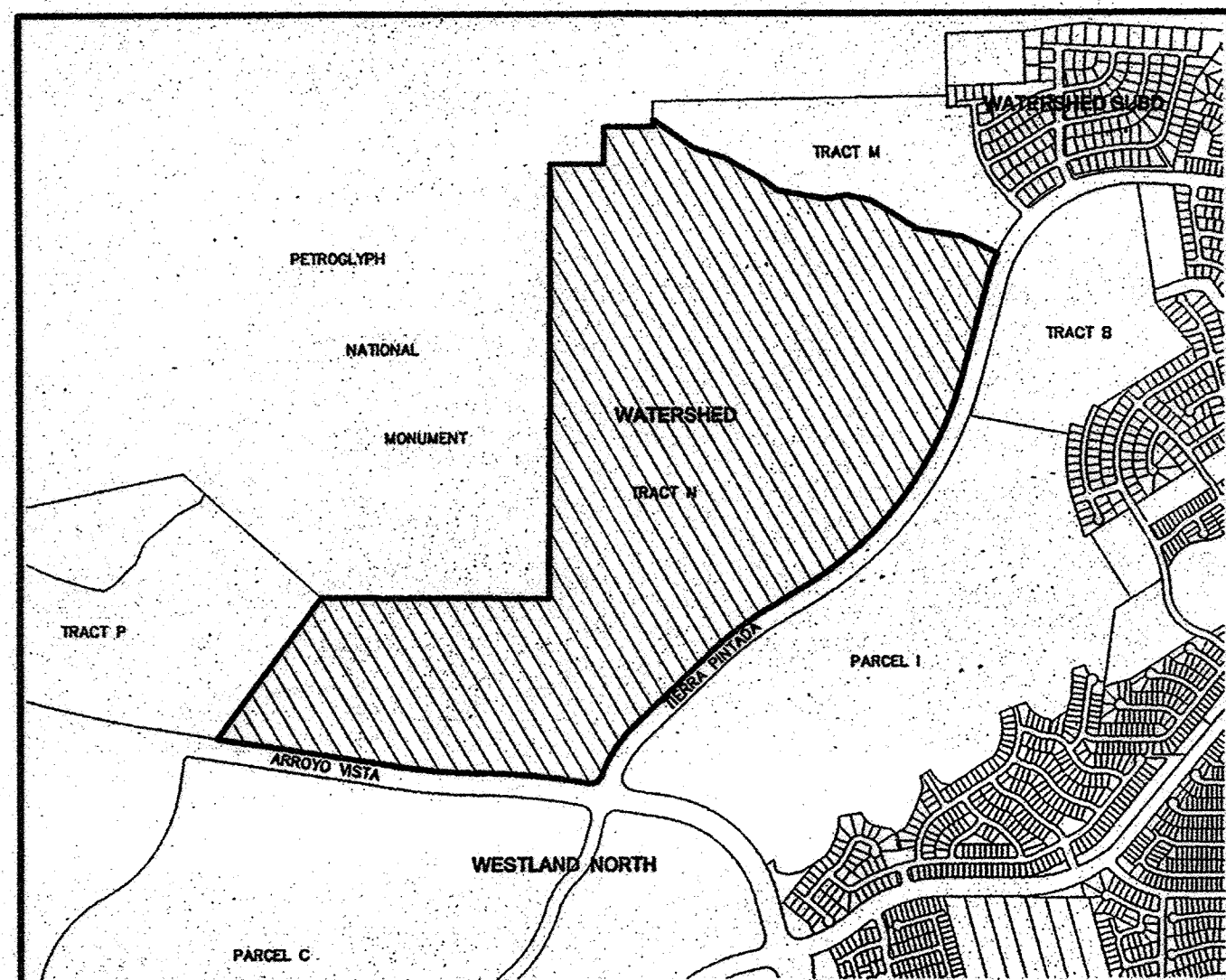
I, JACOBO J. PACHECO, NEW MEXICO PROFESSIONAL SURVEYOR, NO. 17822, DO HEREBY CERTIFY THAT THE LOCATION AND ELEVATION "AS-BUILT" INFORMATION SHOWN ON THESE CONSTRUCTION PLANS WAS OBTAINED FROM FIELD CONSTRUCTION AND "AS-BUILT" SURVEYS PERFORMED BY ME OR UNDER MY SUPERVISION; THAT THE LOCATION AND ELEVATION "AS-BUILT" INFORMATION SHOWN ON THESE PLANS WAS ADDED BY ME OR UNDER MY SUPERVISION; AND THAT THE LOCATION AND ELEVATION "AS-BUILT" INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION APPLIES TO "AS-BUILT" INFORMATION SHOWN THAT REQUIRED SURVEY GRADE PRECISION ONLY.



Bohannon Huston  
Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4395

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE	APPROVALS	ENGINEER	DATE	*****			
	DRC Chairman	<i>[Signature]</i>	7/24/12	APPROVED FOR CONSTRUCTION			
	Transportation	<i>[Signature]</i>	2/13/12				
	Water/Wastewater	<i>[Signature]</i>	4-16-12				
	Hydrology	<i>[Signature]</i>	4/20/12				
	CIP	<i>[Signature]</i>					
DRB CASE NUMBER	Const. Mngmt.			<i>[Signature]</i> 8/15/12 City Engineer Date			
	Const. Coord.						
	AMAFCA						
CITY PROJECT NO.		650271		SHEET		OF 13	





LOCATION MAP  
ZONE ATLAS INDEX MAP NO. H-8, H-9, J-7 & J-8  
NOT TO SCALE

### SUBDIVISION DATA

1. DRB No. 1008792
2. Zone Atlas Index Nos. H-8, H-9, J-7 & J-8.
3. Gross Subdivision Acreage: 347.7947 acres.
4. Total Number of Tracts Created: 2 Tracts.
5. No Streets were created.
6. Date of Survey: March, 2011.
7. Plat is located within the Town of Atrisco Grant, within projected Sections 8, 9, 17 & 18, T10N, R2E, NMPM.

### PURPOSE OF PLAT

The Purpose of this plat is to subdivide Tract N into two tracts, Watershed Subdivision, as the same is shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on June 9, 2005 in Book 2005C, page 198, and to vacate easements.

### PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. Qwest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantees, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

#### Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

### DESCRIPTION

A certain tract of land located within the Town of Atrisco Grant, projected Sections 8, 9, 17 & 18, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract lettered "N", Watershed Subdivision, as the same is shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on June 9, 2005 in Book 2005C, page 198.

This tract contains 347.7947 acres, more or less.



### NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927. Basis of Bearings is between City of Albuquerque Control Monuments "REWARD" and "BH 41". Bearing = N08°09'40"E.
2. Distances are ground distances.
3. All easements of record are shown.
4. Record Bearings and distances are shown in parenthesis and the same as shown on Plat of Watershed Subdivision filed in the Office of the County Clerk of Bernalillo County, New Mexico on June 9, 2005 in Book 2005C, page 198.
5. Record Bearings and distances are shown in brackets and the same as shown on Dependent Resurvey and Metes and Bounds Survey for the Petroglyph National Monument, United States Department of the Interior, Bureau of Land Management, Santa Fe, New Mexico dated June 21, 1991.
6. This Plat was prepared with information included in Title Commitment issued by First American Title Insurance Company, Commitment No. 1519838-AL04, Effective Date: March 8, 2011.
7. Portions of Tract N are located in Flood Zones "A", "AO" and "X", per FIRM Map Number 35001C0307G, Revised September 26, 2008 and updated by LOMR Case No. 09-06-0036P, Effective Date: October 20, 2008 and FIRM Map Number 35001C0326G, Revised September 26, 2008 and updated LOMR Case No. 09-06-0036P, Effective Date: October 20, 2008.
8. Portion of Right-of-Way Easement to Continental Divide Electric Cooperative filed March 12, 1953 in Book D235, page 619, records of Bernalillo County, New Mexico released by Waiver and Release of Easement by Public Service Company of New Mexico filed December 6, 2002 in Book A46, page 1932, records of Bernalillo County, New Mexico to be vacated.
9. SOLAR NOTE - Pursuant to Section 14-14-4-7 of the City of Albuquerque Code of Ordinances, "No property within the area of this Plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or tracts within the area of proposed Plat. The foregoing requirement shall be a condition to approval of this plat".

### FREE CONSENT AND DEDICATION

The plat shown hereon is made with free consent and in accordance of the desires of the undersigned owner(s), the execution of this plat is their free act and deed. Those signing as owner(s) warrant that they hold among them, complete indefeasible title in fee simple to the land shown on this plat. Owner(s) hereby affirm that the described property shown on this plat lies within the platting and subdivision jurisdiction of Albuquerque, New Mexico. Said owner(s) hereby grant all Easements as may be shown on this plat; and hereby dedicate Public Rights-of-Way as may be shown on this plat to the City of Albuquerque, New Mexico In Fee Simple with Warranty Covenants.

WESTERN ALBUQUERQUE LAND HOLDINGS LLC,  
a Delaware limited liability company

BY: BARCLAYS CAPITAL REAL ESTATE INC.  
as Servicing Member

Date: 4/28/2011  
Name: MARK WILSON  
Title: VICE PRESIDENT

State of New York )  
County of New York )

This instrument was acknowledged before me on 28 day of April, 2011,  
by Michael T. Robson

My Commission Expires: 5/31/11  
Notary Public

MICHAEL T. ROBSON  
Notary Public, State of New York  
No. 01-RO0009156  
Qualified in Queens County  
Commission Expires 5/21/2011

Albuquerque Municipal School District No. 12, Counties of Bernalillo and Sandoval, New Mexico A/K/A Albuquerque Public Schools (Revised 1994)

Contract Purchaser (Tracts N-1 & N-2)  
Date: August 26, 2011

Name: Winston Brooks

Title: Superintendent of Schools, Albuquerque Public Schools

State of New Mexico )  
County of Bernalillo )

This instrument was acknowledged before me on 26 day of August, 2011,  
by Winston Brooks

My Commission Expires: July 8, 2012  
Notary Public

### NOTICE OF SUBDIVISION PLAT CONDITIONS

Future subdivision of Tract N-2, zoning Site Development Plan approvals, and development permits may be conditioned upon dedication of rights-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies in effect at the time for any specific proposal.

The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plats and/or Site Development Plans are approved.

By its approval of this subdivision the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and, excavation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all or from a portion of the area within the subject subdivision.

## PLAT OF TRACTS N-1 & N-2 WATERSHED SUBDIVISION (A REPLAT OF TRACT N, WATERSHED SUBDIVISION) ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO APRIL, 2011

PROJECT NUMBER 1008792

APPLICATION NUMBER

UTILITY APPROVALS:

Michael Ramsey 04-30-11  
QWEST CORPORATION / PNM CENTURY LINK DATE  
QC 09-30-11  
COMCAST CABLE DATE 9-30-11  
PNM ELECTRIC SERVICES DATE 9-30-2011  
NEW MEXICO GAS COMPANY DATE

CITY APPROVALS:

W. Brooks 5-3-11  
CITY SURVEYOR DATE 6-05-11  
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE 10/05/11  
ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY DATE 10/5/11  
PARKS & RECREATION DEPARTMENT DATE 10-5-11  
AMAFCA DATE 10-5-11  
CITY ENGINEER DATE 11-17-11  
DRY CHAIRPERSON, PLANNING DEPARTMENT DATE  
REAL PROPERTY DIVISION DATE

### TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #

1008792-00000001

PROPERTY OWNER OF RECORD WESTERN ALBUQUERQUE LAND HOLDINGS LLC

David Wilson 11-22-11  
BERNALILLO COUNTY TREASURER'S OFFICE DATE

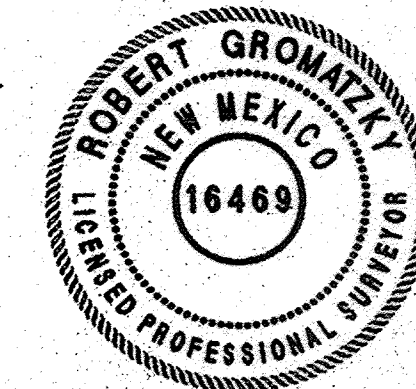
### SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all existing easements as shown on the plats of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky  
Robert Gromatzky  
New Mexico Professional Surveyor 16469  
Date: APRIL 26, 2011

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11/22/2011 11:03 AM Page: 1 of 2  
PLAT R: \$25.00 B: 2011C P: 0125 M: Toulous Oliver, Bernalillo Cour



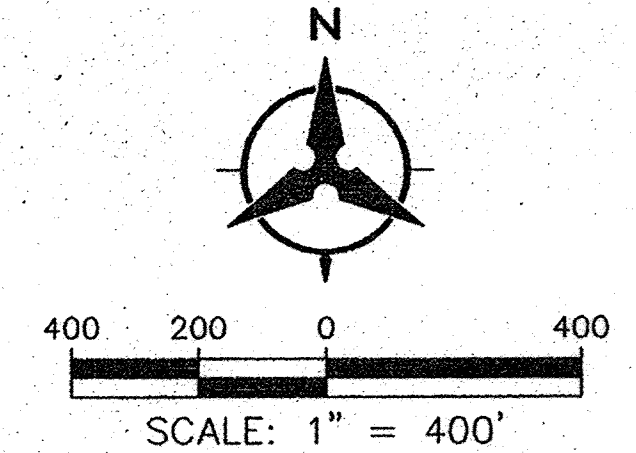
**Bohannon & Huston**

7500 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO

SHEET 1 OF 2



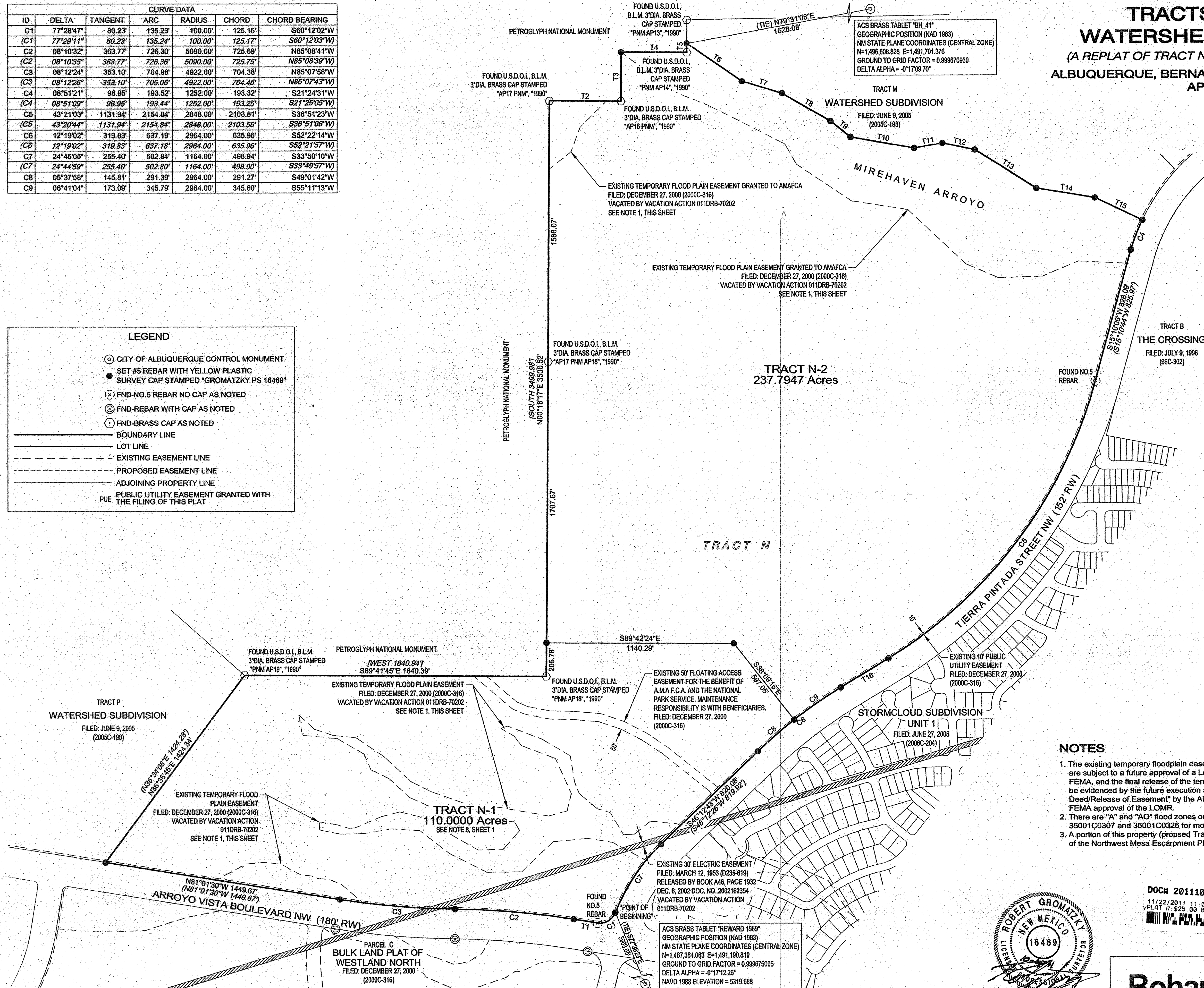
PLAT OF  
TRACTS N-1 & N-2  
WATERSHED SUBDIVISION  
(A REPLAT OF TRACT N, WATERSHED SUBDIVISION)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
APRIL, 2011



ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BEARING
C1	77°28'47"	80.23'	135.23'	100.00'	125.16'	S60°12'02"W
(C1)	77°28'11"	80.23'	135.24'	100.00'	125.17'	S60°12'03"W
C2	08°10'32"	363.77'	726.30'	5090.00'	725.69'	N85°08'41"W
(C2)	08°10'35"	363.77'	726.36'	5090.00'	725.75'	N85°08'39"W
C3	08°12'24"	353.10'	704.98'	4922.00'	704.38'	N85°07'58"W
(C3)	08°12'26"	353.10'	705.06'	4922.00'	704.45'	N85°07'43"W
C4	08°51'21"	96.95'	193.52'	1252.00'	193.32'	S21°24'31"W
(C4)	08°51'09"	96.95'	193.44'	1252.00'	193.25'	S21°25'05"W
C5	43°21'03"	1131.94'	2154.84'	2848.00'	2103.81'	S36°51'23"W
(C5)	43°20'44"	1131.94'	2154.84'	2848.00'	2103.56'	S36°51'06"W
C6	12°19'02"	319.83'	637.19'	2964.00'	635.96'	S52°22'14"W
(C6)	12°19'02"	319.83'	637.18'	2964.00'	635.96'	S52°21'57"W
C7	24°45'05"	255.40'	502.84'	1164.00'	498.94'	S33°50'10"W
(C7)	24°44'59"	255.40'	502.80'	1164.00'	498.90'	S33°49'57"W
C8	05°37'58"	145.81'	291.39'	2964.00'	291.27'	S49°01'42"W
C9	06°41'04"	173.09'	345.79'	2964.00'	345.60'	S55°11'13"W

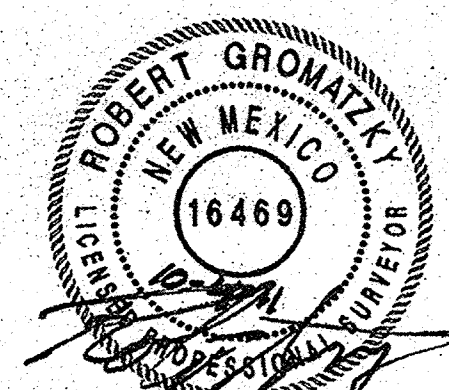
LEGEND	
⊙	CITY OF ALBUQUERQUE CONTROL MONUMENT
●	SET #5 REBAR WITH YELLOW PLASTIC
⊙	SURVEY CAP STAMPED "GROMATZKY PS 16469"
⊙	FND-NO.5 REBAR NO CAP AS NOTED
⊙	FND-REBAR WITH CAP AS NOTED
⊙	FND-BRASS CAP AS NOTED
---	BOUNDARY LINE
---	LOT LINE
---	EXISTING EASEMENT LINE
---	PROPOSED EASEMENT LINE
---	ADJOINING PROPERTY LINE
---	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT

ID	BEARING	DISTANCE
T1	N81°03'35"W	146.64'
(T1)	N81°03'21"W	146.56'
T2	S89°38'48"E	435.62'
(T2)	WEST	435.47'
T3	N00°16'32"E	300.02'
(T3)	SOUTH	299.97'
T4	S89°43'28"E	400.09'
(T4)	WEST	400.03'
T5	N00°17'20"E	56.11'
(T5)	N00°15'44"E	56.11'
T6	S55°05'53"E	408.99'
(T6)	S55°05'15"E	408.83'
T7	S73°12'01"E	255.39'
(T7)	S73°11'23"E	255.36'
T8	S60°03'22"E	339.94'
(T8)	S60°02'44"E	339.89'
T9	S52°00'10"E	156.60'
(T9)	S51°59'32"E	156.58'
T10	S79°54'17"E	393.07'
(T10)	S79°53'39"E	393.01'
T11	N80°08'14"E	175.33'
(T11)	N80°08'52"E	175.30'
T12	S78°18'21"E	201.85'
(T12)	S78°17'43"E	201.82'
T13	S57°52'44"E	443.83'
(T13)	S57°52'06"E	443.76'
T14	S80°39'34"E	361.04'
(T14)	S80°38'56"E	360.99'
T15	S64°37'49"E	319.71'
(T15)	S64°37'49"E	319.75'
T16	S58°31'45"W	339.76'
(T16)	S58°31'26"W	339.68'



NOTES

- The existing temporary floodplain easements to be vacated by this plat are subject to a future approval of a Letter of Map Revision (LOMR) by FEMA, and the final release of the temporary floodplain easements will be evidenced by the future execution and recordation of a "Quitclaim Deed/Release of Easement" by the AMAFCA Board after receipt of the FEMA approval of the LOMR.
- There are "A" and "AO" flood zones on Tract N-1. See FIRM panels 35001C0307 and 35001C0326 for more information.
- A portion of this property (proposed Tract N-1) is within the View Area of the Northwest Mesa Escarpment Plan.



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11/22/2011 11:03 AM Page: 2 of 2  
yPLAT R: \$25.00 B: 2011C P: 0125 R Toulous Olivere, Bernalillo Cour

**Bohannon & Huston**  
7500 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO



BHI Project No. 20110364.001.02.SRVABQ

# Control Surveying Report for WALH/APS Photo Control

Robert Gromatzky, P.S.

March 29, 2011

Bohannon  Huston

## Introduction:

The purpose of the control provided for this project is for ortho-photogrammetric control for the WALH/APS project. The intended accuracy is 0.15 horizontal and 0.15 vertical

## Project Control Process Flowchart:

See attachment


## Project Control Specifications:

Units: US Survey Foot  
Horizontal Datum: NAD83(2007)  
Vertical Datum: NAVD83  
Projection: Transverse Mercator  
State Plane and/or UTM Zone: New Mexico Central Zone (3002)  
Basis of Bearing: Grid Bearings  
Project Combined Factor: 0.999997507 based on AGRS 4, A9  
Modification Method Used: Scaled State Plane coordinates about origin (Northing = 0, Easting = 1,640,416.667) No truncation  
Field Methodology: Office Calibration to City control - RTK Vectors Network  
Equipment Used: Trimble GPS Equipment (4700, 5700, 5800 Dual Frequency Receivers)  
Control Set Date: March 21, 2011  
Observation Date: March 21, 2011  
Adjustment/Publication Date: March 29, 2011  
Primary Control: Office calibration performed on December 17, 2010 by Robert Lockman. This calibration covers the Northeast Heights zone. See Attachment for Calibration Details.

Note: The method for establishing horizontal positions for established control points does not meet the criteria for horizontal positional accuracy classification according to the Geometric Geodesic Accuracy Standards and Specifications for Using GPS Relative Positioning Techniques, August 1, 1989. Network accuracy does not exceed the accuracy of the primary control.

The method for establishing vertical positions for established control points does not meet the criteria for vertical positional accuracy classification according to the Standards and Specifications for Geodetic Control Network, September 1984. Network accuracy does not exceed the accuracy of the primary control.

I, Robert Gromatzky, New Mexico Professional Surveyor No. 16469 do hereby certify that this Control Survey Report was prepared by me or under my direct supervision based on an actual survey on the ground as described herein; that I am responsible for this survey; and that the survey and report meets the minimum standards for surveying in New Mexico.

  
Robert Gromatzky, P.S.  
Bohannon & Huston  
Courtney I, 7500 Jefferson St. NE  
Albuquerque, NM 87109-4335  
www.bh.com  
voice: 505.823.1000 facsimile: 505.798.7932 toll free: 800.877.5332

March 29, 2011  
Date

## Adjusted Coordinate Listing:

See Attached Control Datasheets

Point Name	Latitude	Longitude	Grid Northing	Grid Easting	Orthometric Height Elevation	Modified Northing	Modified Easting	Ellipsoid Height
BH 11-364-01	35°06'43.26786"N	106°45'09.03928"W	1496440.781	1490133.778	5381.470	1496938.503	1490083.793	5310.967
BH 11-364-02	35°06'48.25766"N	106°44'23.81805"W	1496926.526	1493892.967	5280.876	1497424.409	1493844.233	5210.359
BH 11-364-03	35°06'09.65216"N	106°44'21.92538"W	1493022.820	1494031.022	5242.196	1493519.405	1493982.334	5171.641
BH 11-364-04	35°04'19.08816"N	106°44'47.03703"W	1481855.397	1491888.991	5244.067	1482348.267	1491839.590	5173.411
BH 11-364-05	35°06'18.20951"N	106°46'36.12326"W	1481813.083	1482821.852	5605.180	1482305.939	1482769.435	5534.578
BH 11-364-06	35°06'14.05521"N	106°46'34.93296"W	1493524.292	1482982.633	5698.519	1494021.044	1482930.270	5628.049
BH 11-364-07	35°06'17.12859"N	106°45'19.17527"W	1493802.416	1489278.335	5455.690	1494299.260	1489228.066	5385.164
BH 11-364-08	35°06'43.19833"N	106°45'05.49415"W	1496432.269	1490428.251	5375.856	1496929.988	1490378.364	5305.352
BH 11-364-09	35°06'43.46580"N	106°44'42.03978"W	1496449.563	1492376.835	5359.395	1496947.287	1492327.596	5288.881
BH 11-364-10	35°05'02.51504"N	106°45'33.37583"W	1486265.165	1488059.983	5407.505	1486759.502	1488009.309	5336.911
BH 11-364-11	35°04'44.61706"N	106°46'00.56211"W	1484467.352	1485791.355	5527.928	1484961.091	1485799.926	5457.331
BH 11-364-12	35°04'51.52917"N	106°45'17.03001"W	1485147.613	1489412.737	5351.711	1485641.578	1489362.513	5281.097
BH 11-364-13	35°04'41.28648"N	106°45'38.43074"W	1484121.160	1487528.914	5416.982	1484654.784	1487578.096	5346.368
BH 11-364-14	35°04'59.09815"N	106°46'20.88847"W	1485940.160	1484109.757	5618.426	1484434.389	1484057.769	5547.861
BH 11-364-15	35°05'53.15999"N	106°46'33.79257"W	1491310.231	1483065.697	5616.367	1491806.246	1483013.362	5545.871
BH 11-364-16	35°05'43.61510"N	106°44'47.76854"W	1490401.158	1491870.764	5307.654	1490896.871	1491821.357	5237.081
BH 11-364-17	35°04'53.86834"N	106°44'45.60545"W	1485370.987	1492025.469	5256.452	1485865.027	1491976.114	5185.830
BH 11-364-18	35°06'27.20882"N	106°44'55.70578"W	1494811.679	1491233.316	5332.119	1493308.859	1491183.697	5261.593
BH 11-364-19	35°06'12.71810"N	106°46'13.05677"W	1493379.571	1484798.622	5636.571	1493876.274	1484746.683	5566.077
BH 11-364-20	35°06'10.82526"N	106°45'51.46408"W	1493178.889	1486592.444	5545.966	1493675.526	1486541.282	5475.454
BH 11-364-21	35°05'12.87207"N	106°45'55.56923"W	1487321.716	1486221.071	5518.557	1487816.405	1486169.785	5447.988
BH 11-364-22	35°05'34.66826"N	106°45'17.42638"W	1489509.036	1489401.887	5376.642	1490004.452	1489351.659	5306.071
BH 11-364-23	35°05'44.98194"N	106°45'45.04877"W	1490563.441	1487112.011	5475.284	1491059.208	1487061.021	5404.740
BH 11-364-24	35°05'56.27575"N	106°45'24.75098"W	1491696.592	1488804.372	5412.061	1492192.736	1488753.945	5341.516
BH 11-364-25	35°05'04.19563"N	106°44'44.67680"W	1492480.523	1492138.011	5301.685	1492976.927	1492088.693	5231.131
BH 11-364-26	35°05'28.83175"N	106°46'30.94732"W	1488950.551	1483289.669	5643.179	1489445.781	1483237.408	5572.656

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DESCRIPTION  
THE STATION IS LOCATED 5.5 MILES WEST OF DOWNTOWN ALBUQUERQUE.

TO REACH THE STATION FROM THE INTERSECTION OF CENTRAL AVENUE AND COORS BOULEVARD GO WEST ON CENTRAL AVENUE 1.8 MILES TO 98TH STREET ON THE RIGHT; THEN NORTH ALONG 98TH STREET CROSSING OVER I-40 1 MILE TO TRACK ROAD LEFT (SW); THEN TAKE THE ROAD 0.1 MILE TO PYLON #PM 68 AND THE STATION ON THE LEFT.

THE STATION MARK IS A USC&GS SURVEY CONTROL BRASS DISC SET IN A CONCRETE POST 0.3 FEET ABOVE GROUND AND IS STAMPED "REWARD 1989".

## GPS Calibration Report

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## Vertical Adjustment Parameters

Northing coordinate of origin point 1480345.324ft  
Easting coordinate of origin point 1479319.533ft  
Vertical separation at origin 0.079ft  
Slope north -0.498ppm  
Slope east -0.316ppm

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## Geoid Model Definition

GEoid09

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## Residual Differences Between GPS And Known Coordinates

### Summary

	Maximum error	Root Mean Square error	Point
Horizontal	0.002ft	0.000	EAGLEAIR
Vertical	0.068ft	0.007	7 C10
Three-dimensional	0.068ft	0.007	7 C10

### Point Residuals

GPS point	Calculated point	Control point
Point 2 L5	Northing 1480345.324ft Easting 1479319.533ft	Point 2 L5CAL Northing 1480345.324ft Easting 1479319.533ft
Latitude 35°03'58.64105"N	Easting 1479319.533ft	Northing 1480345.324ft
Longitude 106°47'17.48853"W	Elevation 5732.924ft	Easting 1479319.533ft
Height 5662.246ft	Horizontal error 0.000ft	Elevation 5732.942ft
	Vertical error 0.018ft	Type Horiz and Vert
	3D error 0.018ft	Point quality Unknown quality
Point I 40 24	Northing 1484118.508ft Easting 1486731.585ft	Point I 40 24CAL Northing 1484118.508ft Easting 1486731.586ft
Latitude 35°04'36.33636"N	Elevation 5461.215ft	Northing 1484118.508ft
Longitude 106°45'48.58195"W	Horizontal error 0.001ft	Easting 1486731.586ft
Height 5390.527ft	Vertical error 0.020ft	Elevation 5461.235ft
	3D error 0.020ft	Type Horiz and Vert
		Point quality Unknown quality
Point REWARD	Northing 1487858.766ft Easting 1491141.186ft	Point REWARDCAL Northing 1487858.766ft Easting 1491141.186ft
Latitude 35°05'13.54105"N		Northing 1487858.766ft

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Longitude 106°44'55.76855"W	Elevation 5319.697ft	Easting 1491141.186ft
Height 5249.025ft	Horizontal error 0.000ft	Elevation 5319.688ft
	Vertical error 0.009ft	Type Horiz and Vert
	3D error 0.009ft	Point quality Unknown quality
Point 9 G10	Northing 1496988.913ft	Point 9 G10CAL
Latitude 35°07'03.90298"N	Easting 1497501.926ft	Northing 1496988.913ft
Longitude 106°43'39.89392"W	Elevation 5173.631ft	Easting 1497501.926ft
Height 5103.061ft	Horizontal error 0.000ft	Elevation 5173.629ft
	Vertical error 0.002ft	Type Horiz and Vert
	3D error 0.002ft	Point quality Unknown quality
Point 13 F11	Northing 1506902.388ft	Point 13 F11CAL
Latitude 35°08'22.40841"N	Easting 1503045.799ft	Northing 1506902.387ft
Longitude 106°42'33.61797"W	Elevation 5129.895ft	Easting 1503045.799ft
Height 5059.428ft	Horizontal error 0.001ft	Elevation 5129.882ft
	Vertical error 0.013ft	Type Horiz and Vert
	3D error 0.013ft	Point quality Unknown quality
Point 3 E10	Northing 1513131.051ft	Point 3 E10CAL
Latitude 35°09'23.80973"N	Easting 1499012.792ft	Northing 1513131.051ft
Longitude 106°43'22.52059"W	Elevation 5318.896ft	Easting 1499012.792ft
Height 5248.464ft	Horizontal error 0.001ft	Elevation 5318.888ft
	Vertical error 0.008ft	Type Horiz and Vert
	3D error 0.008ft	Point quality Unknown quality
Point 5 C12	Northing 1522616.515ft	Point 5 C12CAL
Latitude 35°10'58.08644"N	Easting 1509758.690ft	Northing 1522616.515ft
Longitude 106°41'13.64398"W	Elevation 5149.443ft	Easting 1509758.690ft
Height 5079.242ft	Horizontal error 0.000ft	Elevation 5149.424ft
	Vertical error 0.019ft	Type Horiz and Vert
	3D error 0.019ft	Point quality Unknown quality
Point 9 A12	Northing 1530843.100ft	Point 9 A12CAL
Latitude 35°12'19.59212"N	Easting 1513554.441ft	Northing 1530843.101ft
Longitude 106°40'28.35223"W	Elevation 5201.813ft	Easting 1513554.441ft
Height 5131.830ft	Horizontal error 0.001ft	Elevation 5201.853ft
	Vertical error 0.040ft	Type Horiz and Vert
	3D error 0.040ft	Point quality Unknown quality
Point 8 A11	Northing 1535445.482ft	Point 8 A11CAL
Latitude 35°13'04.81681"N	Easting 1507026.823ft	Northing 1535445.482ft
Longitude 106°41'47.23970"W	Elevation 5283.007ft	Easting 1507026.823ft
Height 5212.996ft	Horizontal error 0.000ft	Elevation 5283.030ft
	Vertical error 0.023ft	Type Horiz and Vert
	3D error 0.023ft	Point quality Unknown quality
Point 3 A8	Northing 1535512.658ft	Point 3 A8CAL

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Latitude 35°13'04.52618"N	Easting 1487039.018ft	Northing 1535512.658ft
Longitude 106°45'48.07272"W	Elevation 5602.566ft	Easting 1487039.018ft
Height 5532.512ft	Horizontal error 0.000ft	Elevation 5602.574ft
	Vertical error 0.008ft	Type Horiz and Vert
	3D error 0.008ft	Point quality Unknown quality
Point 3 C7	Northing 1524714.926ft	Point 3 C7CAL
Latitude 35°11'17.68585"N	Easting 1485559.132ft	Northing 1524714.925ft
Longitude 106°46'05.22524"W	Elevation 5690.449ft	Easting 1485559.132ft
Height 5620.212ft	Horizontal error 0.001ft	Elevation 5690.439ft
	Vertical error 0.010ft	Type Horiz and Vert
	3D error 0.011ft	Point quality Unknown quality
Point EAGLEAIR	Northing 1509040.795ft	Point EAGLEAIRCAL
Latitude 35°08'42.41524"N	Easting 1480046.786ft	Northing 1509040.796ft
Longitude 106°47'10.59986"W	Elevation 5800.538ft	Easting 1480046.785ft
Height 5730.185ft	Horizontal error 0.002ft	Elevation 5800.543ft
	Vertical error 0.005ft	Type Horiz and Vert
	3D error 0.006ft	Point quality Unknown quality
Point 2 H8	Northing 1495283.476ft	Point 2 H8CAL
Latitude 35°06'26.22840"N	Easting 1477113.247ft	Northing 1495283.476ft
Longitude 106°47'45.00592"W	Elevation 5817.615ft	Easting 1477113.247ft
Height 5747.151ft	Horizontal error 0.000ft	Elevation 5817.612ft
	Vertical error 0.003ft	Type Horiz and Vert
	3D error 0.003ft	Point quality Unknown quality
Point 2 A10	Northing 1530854.634ft	Point 2 A10CAL
Latitude 35°12'19.09663"N	Easting 1499862.702ft	Northing 1530854.634ft
Longitude 106°43'13.29720"W	Elevation 5362.952ft	Easting 1499862.703ft
Height 5292.785ft	Horizontal error 0.001ft	Elevation 5362.970ft
	Vertical error 0.018ft	Type Horiz and Vert
	3D error 0.018ft	Point quality Unknown quality
Point 7 C10	Northing 1522344.600ft	Point 7 C10CAL
Latitude 35°10'54.91812"N	Easting 1499153.319ft	Northing 1522344.600ft
Longitude 106°43'21.35572"W	Elevation 5425.278ft	Easting 1499153.319ft
Height 5354.960ft	Horizontal error 0.000ft	Elevation 5425.285ft
	Vertical error 0.088ft	Type Horiz and Vert
	3D error 0.088ft	Point quality Unknown quality
Point ?	Northing ?	Point ?
Latitude 35°09'35.41403"N	Easting ?	Northing ?
Longitude 106°45'46.94768"W	Elevation ?	Easting ?
Height 5589.011ft	Horizontal error ?	Elevation ?
	Vertical error ?	Type (Ignored)
	3D error ?	Point quality ?

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3/29/2011

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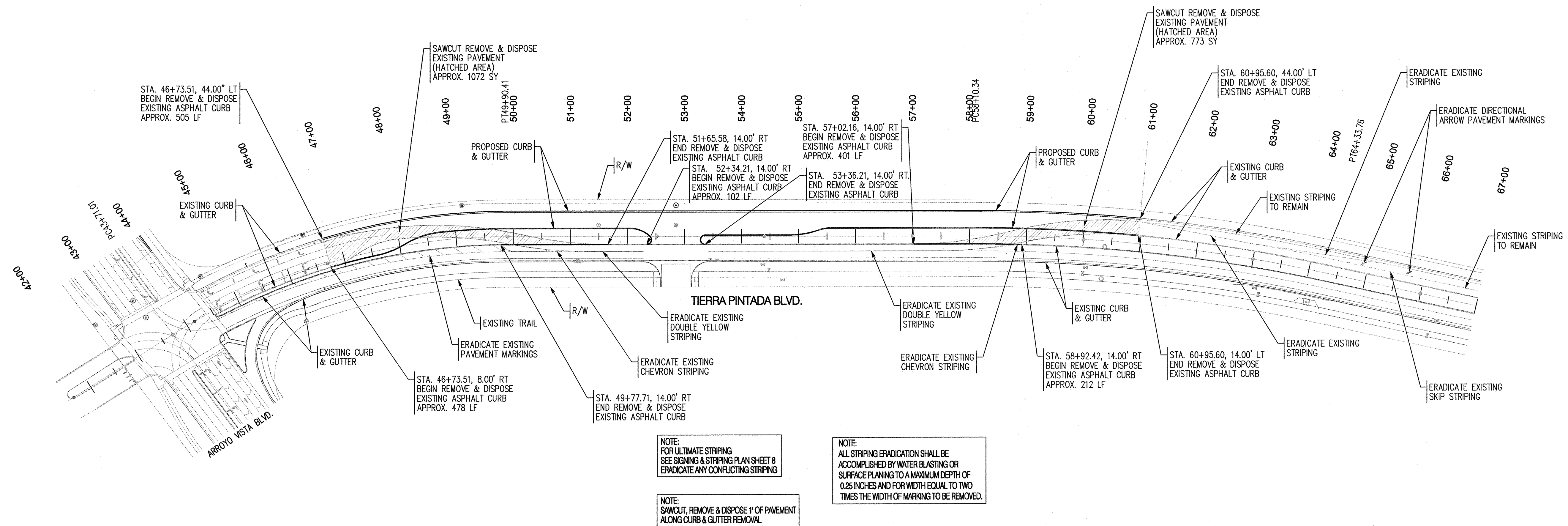
Courtney I, 7500 Jefferson St. NE Albuquerque, NM 87109-4335



CITY OF ALBUQUERQUE

DEPARTMENT OF MUNICIPAL

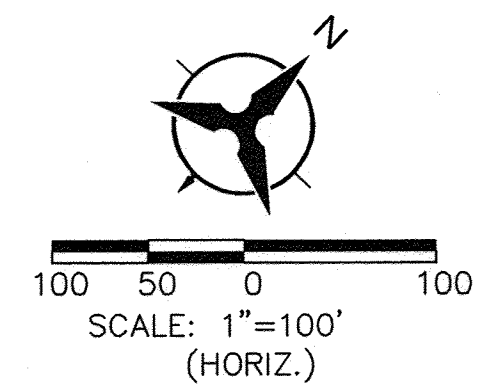




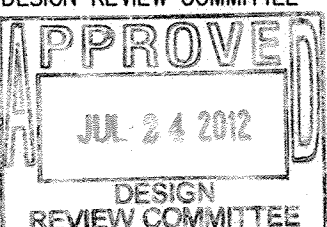
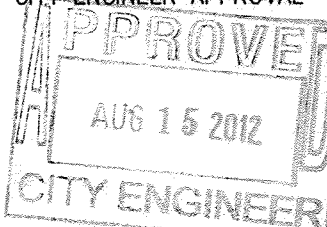


NOTE:  
FOR ULTIMATE STRIPING  
SEE SIGNING & STRIPING PLAN SHEET 8  
ERADICATE ANY CONFLICTING STRIPING

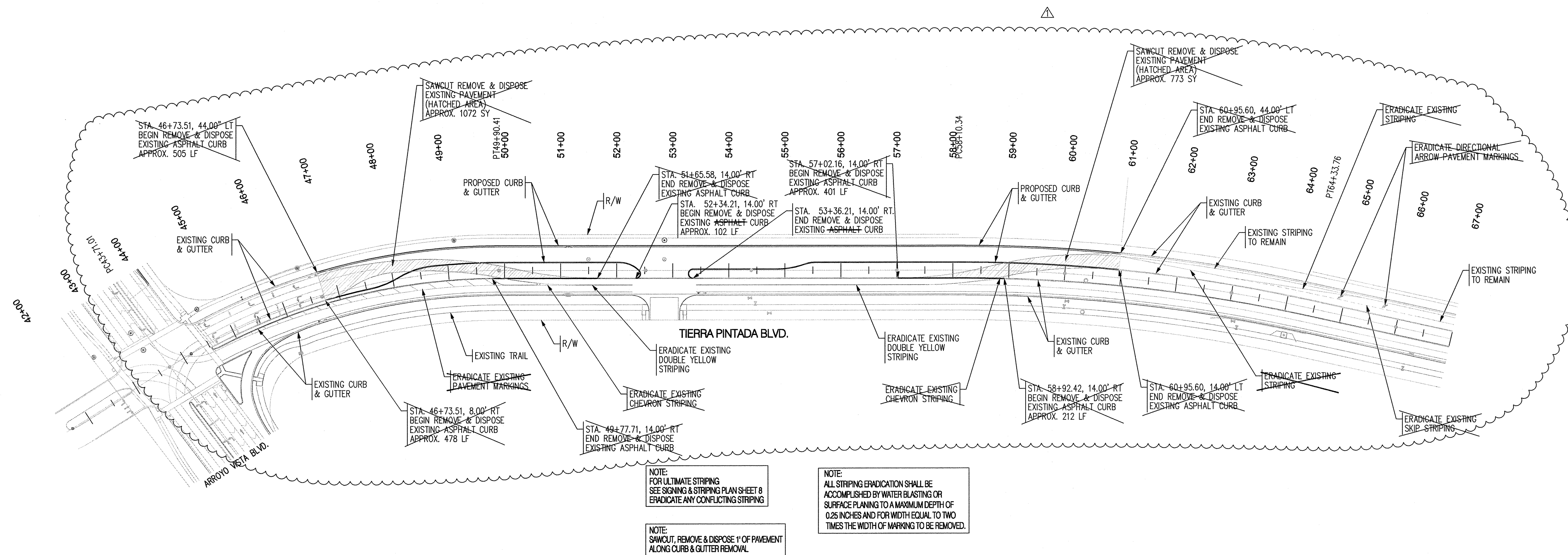
NOTE:  
SAWCUT, REMOVE & DISPOSE 1' OF PAVEMENT  
ALONG CURB & GUTTER REMOVAL

**NOTE:**  
ALL STRIPING ERADICATION SHALL BE ACCOMPLISHED BY WATER BLASTING OR SURFACE PLANING TO A MAXIMUM DEPTH OF 0.25 INCHES AND FOR WIDTH EQUAL TO TWO TIMES THE WIDTH OF MARKING TO BE REMOVED.



 <b>Bohannon &amp; Huston</b> Courtyard I   7500 Jefferson St. NE Albuquerque, NM 87109-4335										NO. DATE _____ _____		DESIGNED BY _____ _____		DRAWN BY _____ _____		CHECKED BY _____ _____	
 <b>CITY OF ALBUQUERQUE</b> <b>DEPARTMENT OF</b> <b>MUNICIPAL DEVELOPMENT</b>																	
		TIERRA PINTADA PH2 / APS WESTSIDE SPORTS COMPLEX PUBLIC INFRASTRUCTURE DEMOLITION PLAN															
DESIGN REVIEW COMMITTEE 		CITY ENGINEER APPROVAL 		LAST DESIGN UPDATE _____ _____ _____		MO./DAY/YR. _____ _____		MO./DAY/YR. _____ _____									
CITY PROJECT NO. 650271		ZONE MAP NO. J-7,J-8,K-7,K-8				SHEET 4 OF 13											

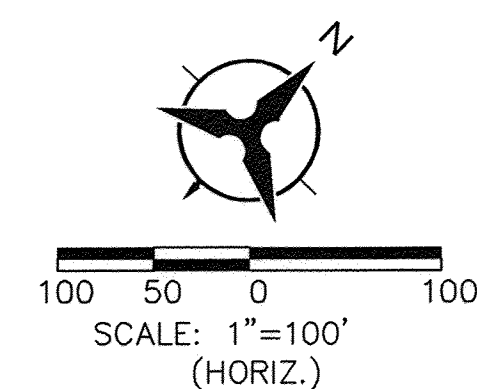




NOTE:  
FOR ULTIMATE STRIPING  
SEE SIGNING & STRIPING PLAN SHEET 8  
ERADICATE ANY CONFLICTING STRIPING

NOTE:  
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**Bohannon  Huston**  
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335

**CITY OF ALBUQUERQUE**  
**DEPARTMENT OF**  
**MUNICIPAL DEVELOPMENT**

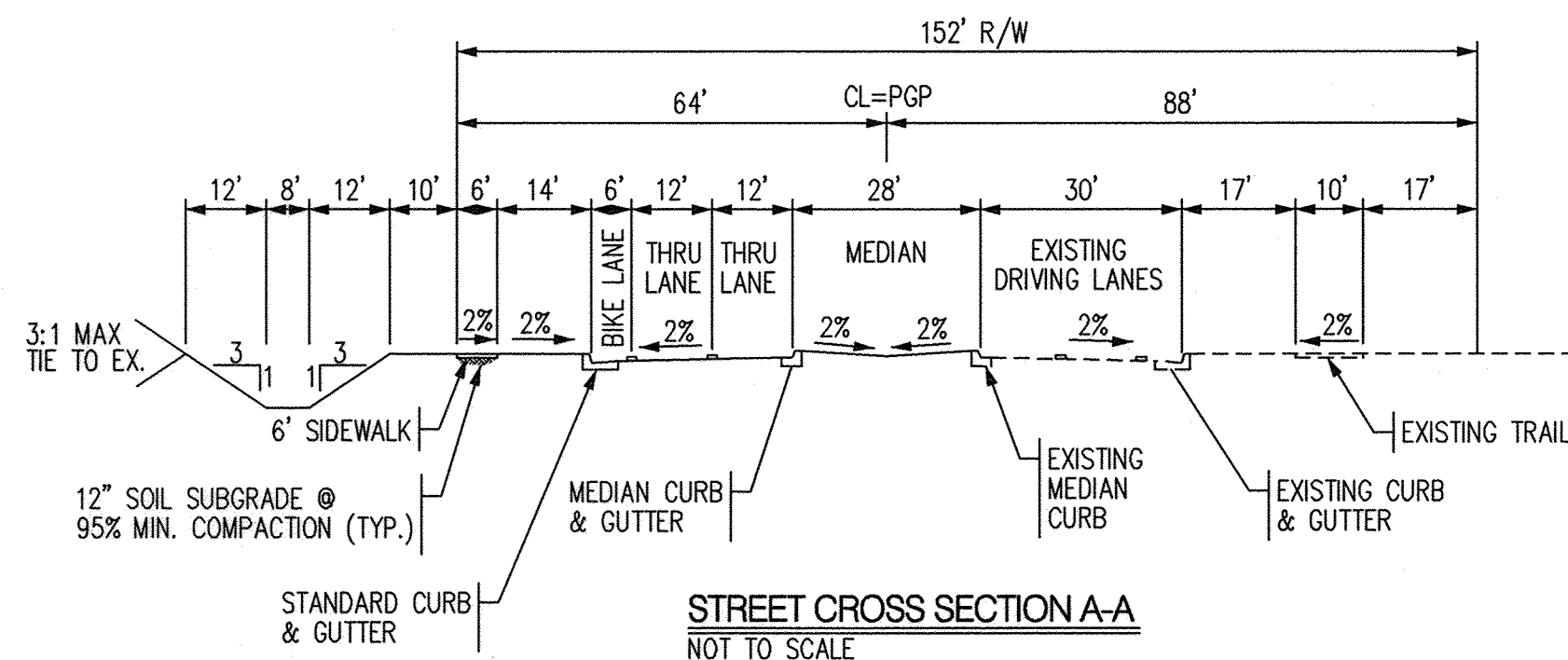
TIERRA PINTADA PH2 / APS WESTSIDE SPORTS COMPLEX PUBLIC INFRASTRUCTURE  
DEMOLITION PLAN

DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL		LAST DESIGN UPDATE	MO./DAY/YR.		MO./DAY/YR.	
CITY PROJECT NO.		ZONE MAP NO.		SHEET		OF		
650271		J-7, J-8, K-7, K-8		4A		13		

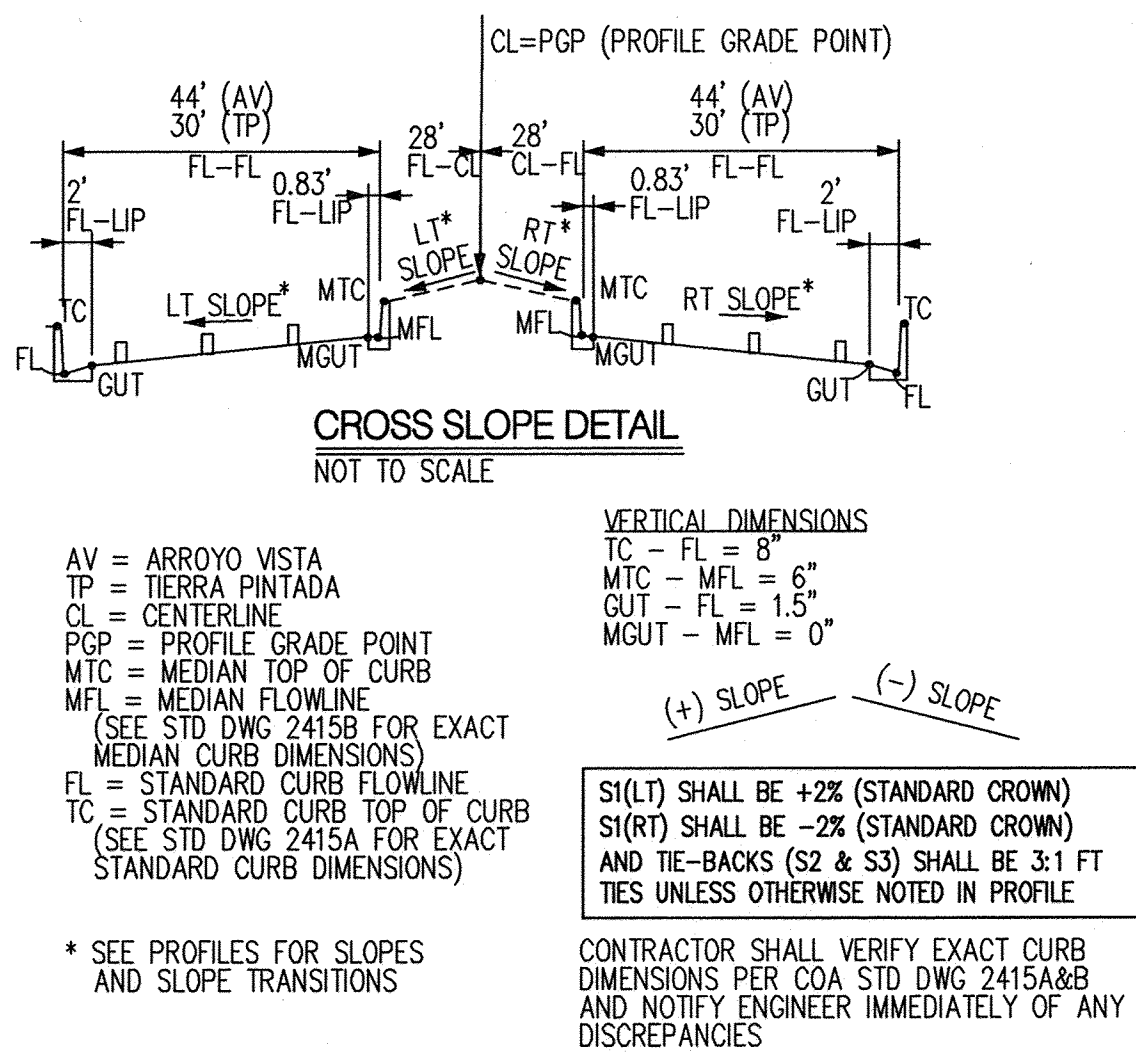
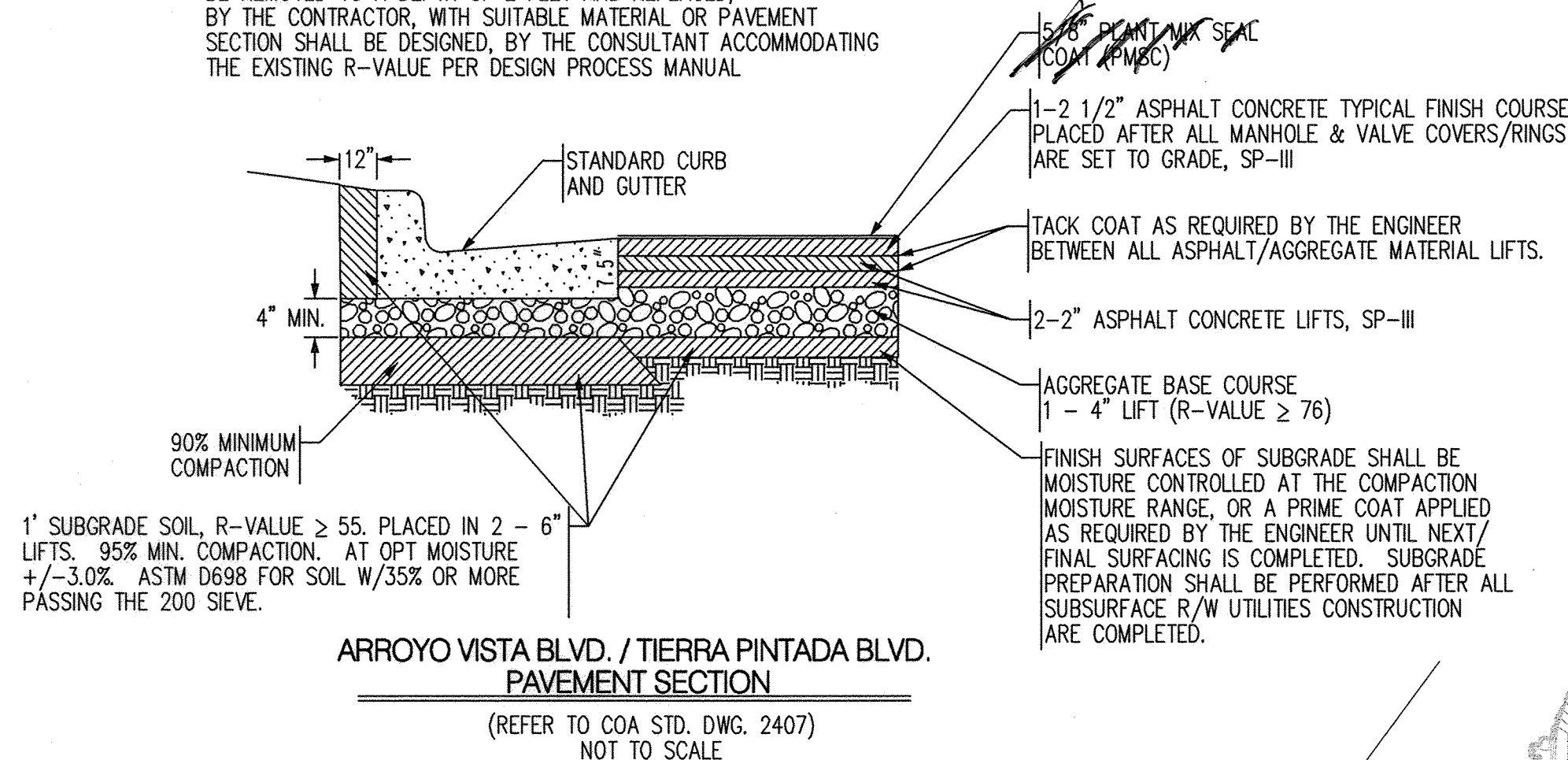
SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
FIELD NOTES					
NO.	BY	DATE		CONTRACTOR	DATE
			USC&GS BRASS DISC STAMPED "REWARD 1969"	<b>F&amp;E</b>	<b>5/13</b>
			GEOGRAPHIC POSITION (NAD 83)	WORK BY <b>SPURWAY LLC</b>	DATES <b>6/4/13</b>
			N.M. STATE PLANE COORDINATES	INSPECTED BY <b>CHI</b>	DATE <b>5/13</b>
			(CENTRAL ZONE)	ACCEPTANCE BY <b>CHI</b>	DATE <b>5/13</b>
			N=1437364.063 E=1491190.819	REVISION BY <b>CHI</b>	DATE <b>5/13</b>
			GROUND TO GRID = 0.999675005	DRAWINGS CORRECTED BY <b>CHI</b>	DATE <b>5/13</b>
			DELTA ALPHA = -007°12.26"	MICRO-FILM INFORMATION	
			NAVD 1988 ELEVATION = 5319.688	RECORDED BY	DATE
				NO.	DATE

<input checked="" type="checkbox"/>	A		4-18-12 REMOVAL OF TEMP CROSSOVER & PERTINENT INFO DUE TO CONSTRUCTION OF CPN #670274 CONCURRENTLY SHEET 4A REPLACES SHEET 4  BID LOT B	REMARKS	BY
				DESIGN REVISIONS DESIGN	
				DESIGNED BY YPM	DATE 04/2012
				DRAWN BY ARR	DATE 04/2012
				CHECKED BY VBM	DATE 04/2012



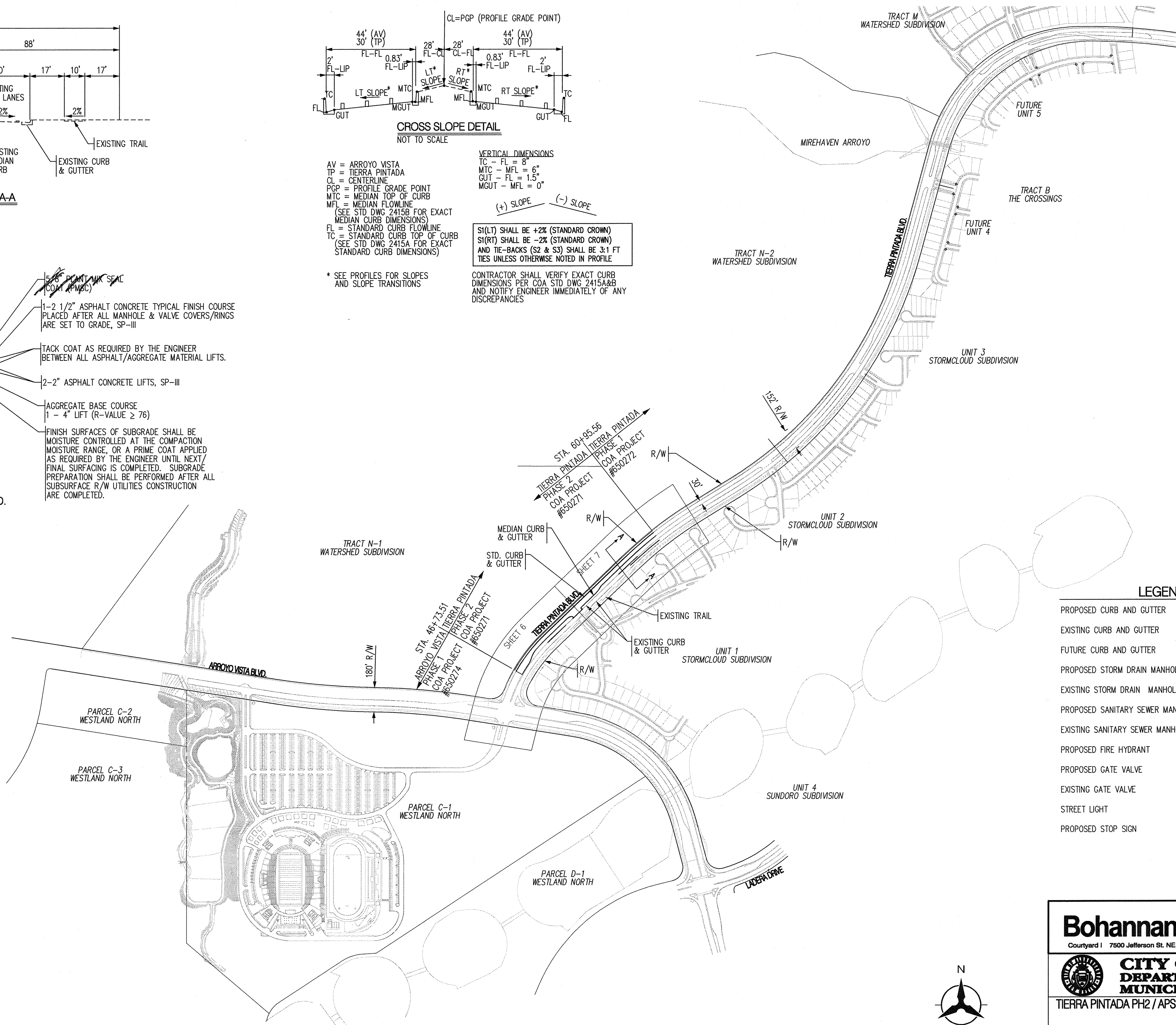


NOTE:  
SOIL NOT HAVING THE MINIMUM R-VALUE  $\geq 55$ , SHALL BE REMOVED TO A DEPTH OF 2 FEET AND REPLACED, BY THE CONTRACTOR, WITH SUITABLE MATERIAL OR PAVEMENT SECTION SHALL BE DESIGNED, BY THE CONSULTANT ACCOMMODATING THE EXISTING R-VALUE PER DESIGN PROCESS MANUAL.



\* SEE PROFILES FOR SLOPES AND SLOPE TRANSITIONS

CONTRACTOR SHALL VERIFY EXACT CURB DIMENSIONS PER COA STD DWG 2415A&B AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES



LEGEND

PROPOSED CURB AND GUTTER	=====
EXISTING CURB AND GUTTER	=====
FUTURE CURB AND GUTTER	=====
PROPOSED STORM DRAIN MANHOLE	⊙
EXISTING STORM DRAIN MANHOLE	⊙
PROPOSED SANITARY SEWER MANHOLE	●
EXISTING SANITARY SEWER MANHOLE	○
PROPOSED FIRE HYDRANT	●
PROPOSED GATE VALVE	⋈
EXISTING GATE VALVE	⋈
STREET LIGHT	⋆
PROPOSED STOP SIGN	+

**Bohannon & Huston**  
Courtney 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335

**CITY OF ALBUQUERQUE**  
DEPARTMENT OF MUNICIPAL DEVELOPMENT

TIERRA PINTADA PH2 / APS WESTSIDE SPORTS COMPLEX PUBLIC INFRASTRUCTURE

OVERALL PAVING PLAN					
DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL			
<div>APPROVED</div> <div>JUL 24 2012</div> <div>DESIGN REVIEW COMMITTEE</div>		<div>APPROVED</div> <div>AUS 15 2012</div> <div>CITY ENGINEER</div>		LAST DESIGN UPDATE	MO./DAY/YR.
					MO./DAY/YR.
CITY PROJECT NO.		ZONE MAP NO.		SHEET	OF
650271		J-7,J-8,K-7,K-8		5	13



NOTES

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- ALL CURB RETURN RADI SHALL BE 25' UNLESS OTHERWISE SPECIFIED.
- ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
- GRADE ELEVATIONS, WHERE NOTED, ARE ALONG FLOWLINE OF CURB UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR IS TO INSTALL A 4" X 4" X 5' POST AND EMB AT THE END OF EACH SANITARY SEWER SERVICE.
- CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
- ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
- CONTRACTOR SHALL PROVIDE THE INSPECTORS, (CITY AND PRIVATE) WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
- CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
- ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
- REMOVAL OF THE EXISTING CURB AND GUTTER SHALL BE AS PER COA STD. DWG. 2415A (SAWCUT ONLY).
- WHEELCHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB & GUTTER.
- RCP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATIONS. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF PIPE. RCP JOINTS SHALL NOT BE GROUTED UNLESS DIRECTED BY THE ENGINEER AFTER CITY APPROVAL.
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KEYED NOTES

- STD. CURB & GUTTER PER COA STD. DWG. 2415A
- MEDIAN CURB & GUTTER PER COA STD. DWG. 2415B
- BUILD 6' SIDEWALK PER COA STD DWG 2430.
- BUILD WHEEL CHAIR RAMP PER DETAIL (NOT USED)
- BUILD 4" TEXTURED MEDIAN PAVEMENT FROM MEDIAN NOSE TO 10' FROM NOSE OR TO 6' MIN. WIDTH F-F AS SHOWN ON PLANS (BAJA RED) MEDIAN NOSES SHALL BE PAINTED YELLOW TO APPROX. 6' BEHIND PC/PT. PER COA STD. DWG. 2408 & 2502
- EXISTING EDGE OF PAVEMENT CONTRACTOR SHALL INSURE CLEAN EDGE PRIOR TO PAVING. SAWCUT MAY BE NECESSARY.
- PAVEMENT DESIGN SECTION SEE SHEET 5

FOR INFORMATION ON FLOWLINE AND MEDIAN FLOWLINE CALCULATIONS FROM PROFILE GRADE POINT (PGP) SEE CROSS-SECTION DETAIL ON SHEET 5

**Bohannon & Huston**  
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335

**CITY OF ALBUQUERQUE**  
 DEPARTMENT OF  
 MUNICIPAL DEVELOPMENT

TIERRA PINTADA PH2 / APS WESTSIDE SPORTS COMPLEX PUBLIC INFRASTRUCTURE

PAVING PLAN & PROFILE  
 TIERRA PINTADA BLVD.

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
APPROVED JUL 24 2012 DESIGN REVIEW COMMITTEE	APPROVED AUG 15 2012 CITY ENGINEER		
	LAST DESIGN UPDATE		

CITY PROJECT NO. 650271 ZONE MAP NO. J-7,J-8,K-7,K-8 SHEET 6 OF 13

DES	SD	WL	Clearance
A	18" BP	62.51	12" TP 61.04
			1.47

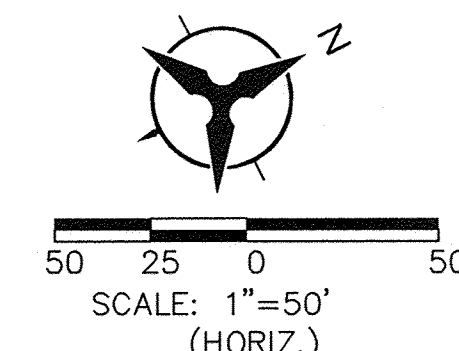
ID	BEARING	LENGTH
T1	S80°33'03"W	35.32'

ID	ARC	RADIUS	DELTA	TANGENT
C3	50.56'	150.00'	19°18'44"	25.52'
C4	66.02'	150.00'	25°13'10"	33.58'
C5	38.76'	50.00'	44°24'55"	20.41'

STATION	OFFSET	ELEVATION
1	47+59.06	8.00' RT 5370.75
2	47+84.35	5.59' RT 5370.57
3	48+08.62	1.56' LT 5370.33
4	48+40.04	10.86' LT 5369.98
5	48+72.48	14.00' LT 5369.64
6	52+04.82	14.00' LT 5368.48
7	52+23.72	10.29' LT 5368.59
8	52+39.81	0.29' RT 5368.70

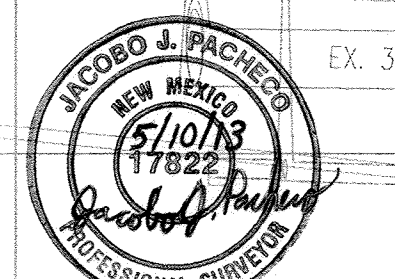
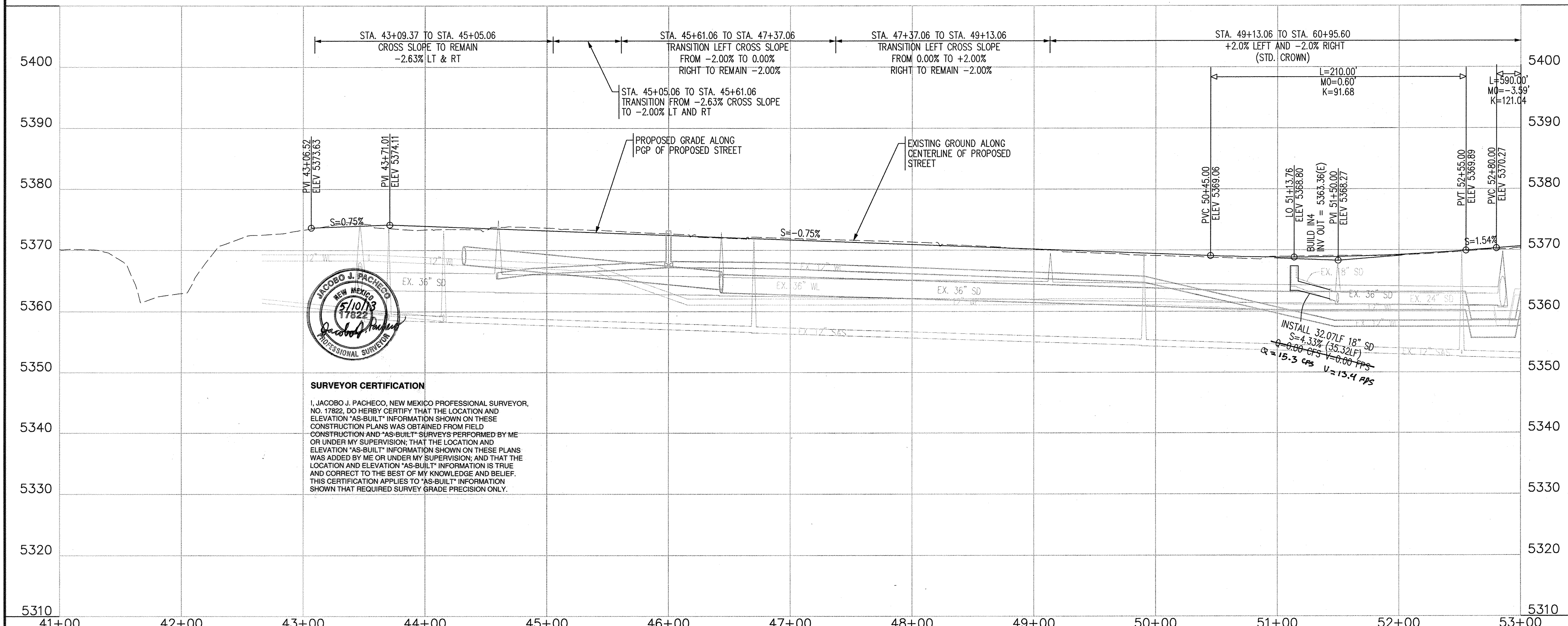
ID	ARC	RADIUS	DELTA	TANGENT
C1	619.41'	1100.00'	32°15'47"	318.16'

ID	BEARING	LENGTH
T1	N13°56'39"E	374.10'
T2	N46°12'26"E	819.92'



TIERRA PINTADA BLVD.

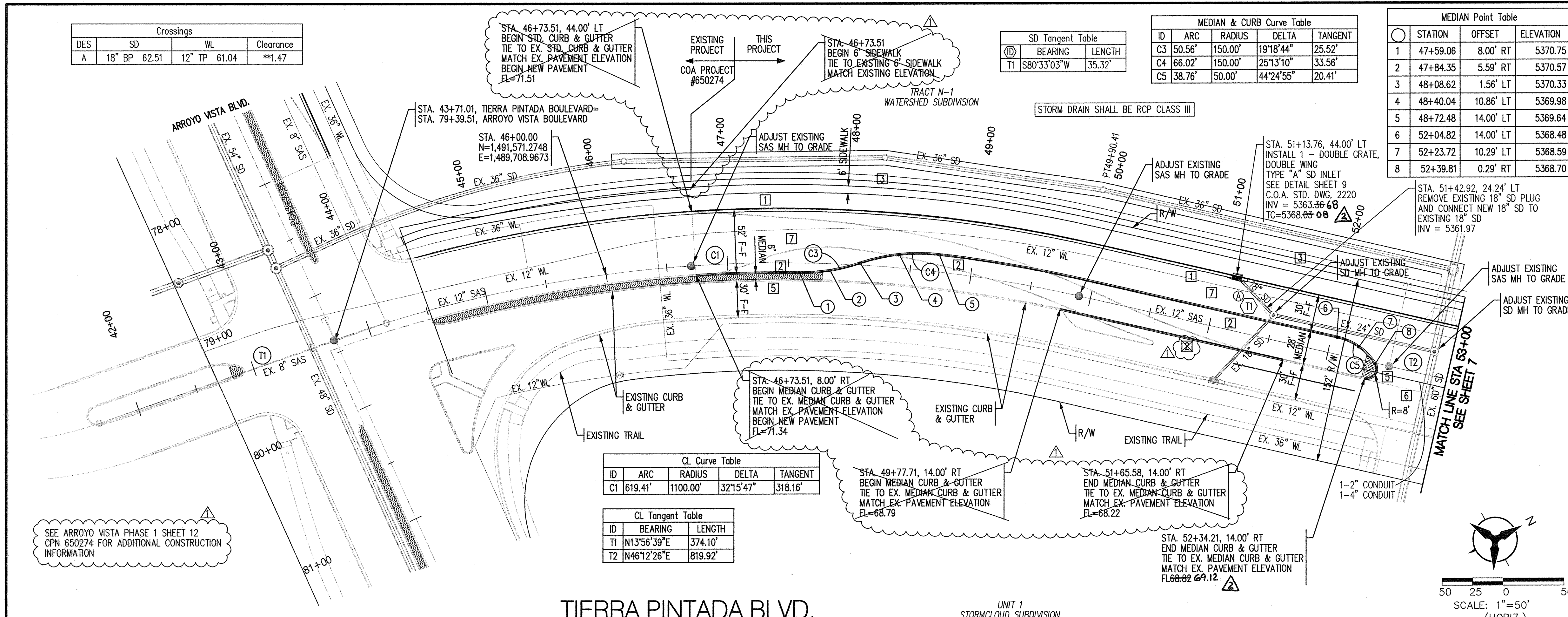
UNIT 1  
 STORMCLOUD SUBDIVISION



SURVEYOR CERTIFICATION

I, JACOBO J. PACHECO, NEW MEXICO PROFESSIONAL SURVEYOR, NO. 17822, DO HEREBY CERTIFY THAT THE LOCATION AND ELEVATION "AS-BUILT" INFORMATION SHOWN ON THESE CONSTRUCTION PLANS WAS OBTAINED FROM FIELD CONSTRUCTION AND "AS-BUILT" SURVEYS PERFORMED BY ME OR UNDER MY SUPERVISION; THAT THE LOCATION AND ELEVATION "AS-BUILT" INFORMATION SHOWN ON THESE PLANS WAS ADDED BY ME OR UNDER MY SUPERVISION; AND THAT THE LOCATION AND ELEVATION "AS-BUILT" INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION APPLIES TO "AS-BUILT" INFORMATION SHOWN THAT REQUIRED SURVEY GRADE PRECISION ONLY.





**NOTES**

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- ALL CURB RETURN RADII SHALL BE 25' UNLESS OTHERWISE SPECIFIED.
- ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
- GRADE ELEVATIONS, WHERE NOTED, ARE ALONG FLOWLINE OF CURB UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR IS TO INSTALL A 4" X 4" X 5' POST AND EMB AT THE END OF EACH SANITARY SEWER SERVICE.
- CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
- ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
- CONTRACTOR SHALL PROVIDE THE INSPECTORS, (CITY AND PRIVATE) WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
- CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
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**Bohannon & Huston**  
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335

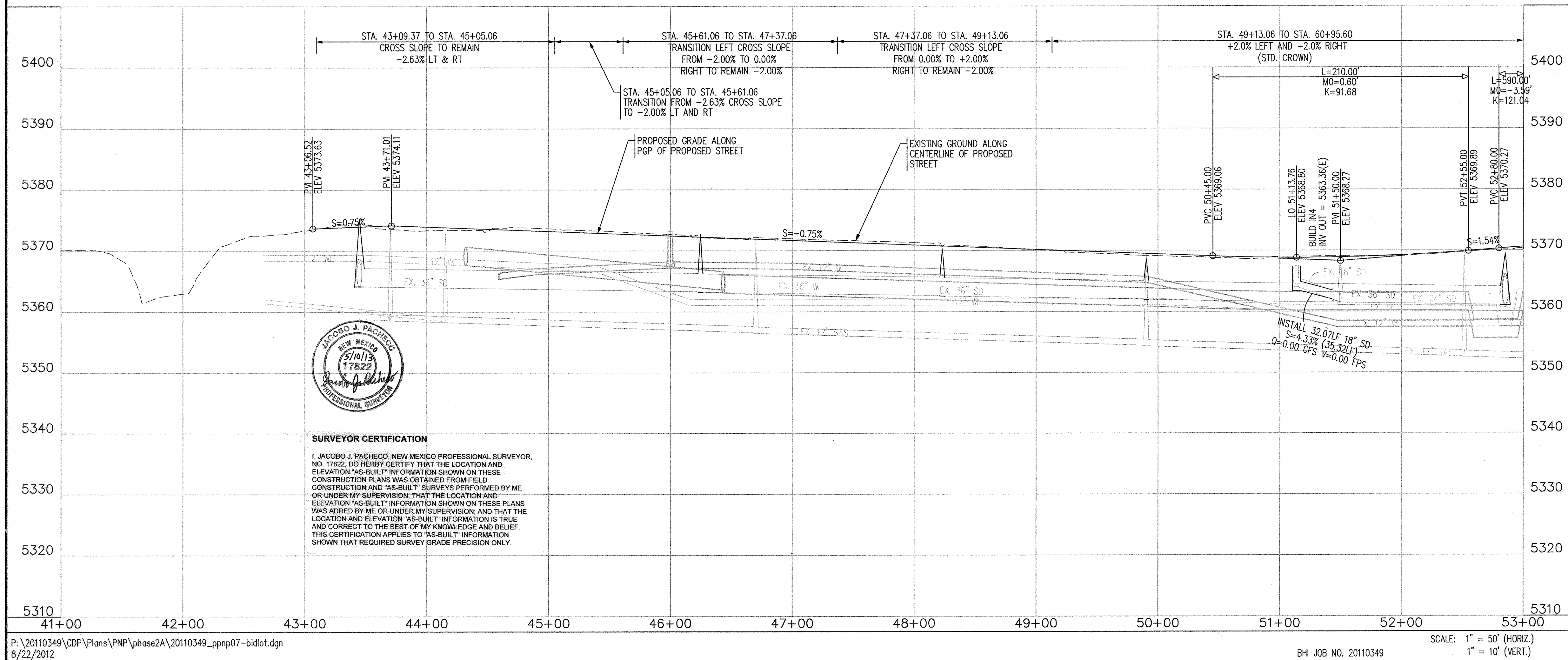
**CITY OF ALBUQUERQUE**  
DEPARTMENT OF MUNICIPAL DEVELOPMENT

PAVING PLAN & PROFILE  
TIERRA PINTADA BLVD.

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

LAST DESIGN UPDATE

QTY PROJECT NO. 650271 ZONE MAP NO. J-7,J-8,K-7,K-8 SHEET 6A OF 13





# RECORD DRAWINGS

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 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

**CITY OF ALBUQUERQUE**  
 DEPARTMENT OF MUNICIPAL DEVELOPMENT

TIERRA PINTADA PH2 / APS WESTSIDE SPORTS COMPLEX PUBLIC INFRASTRUCTURE

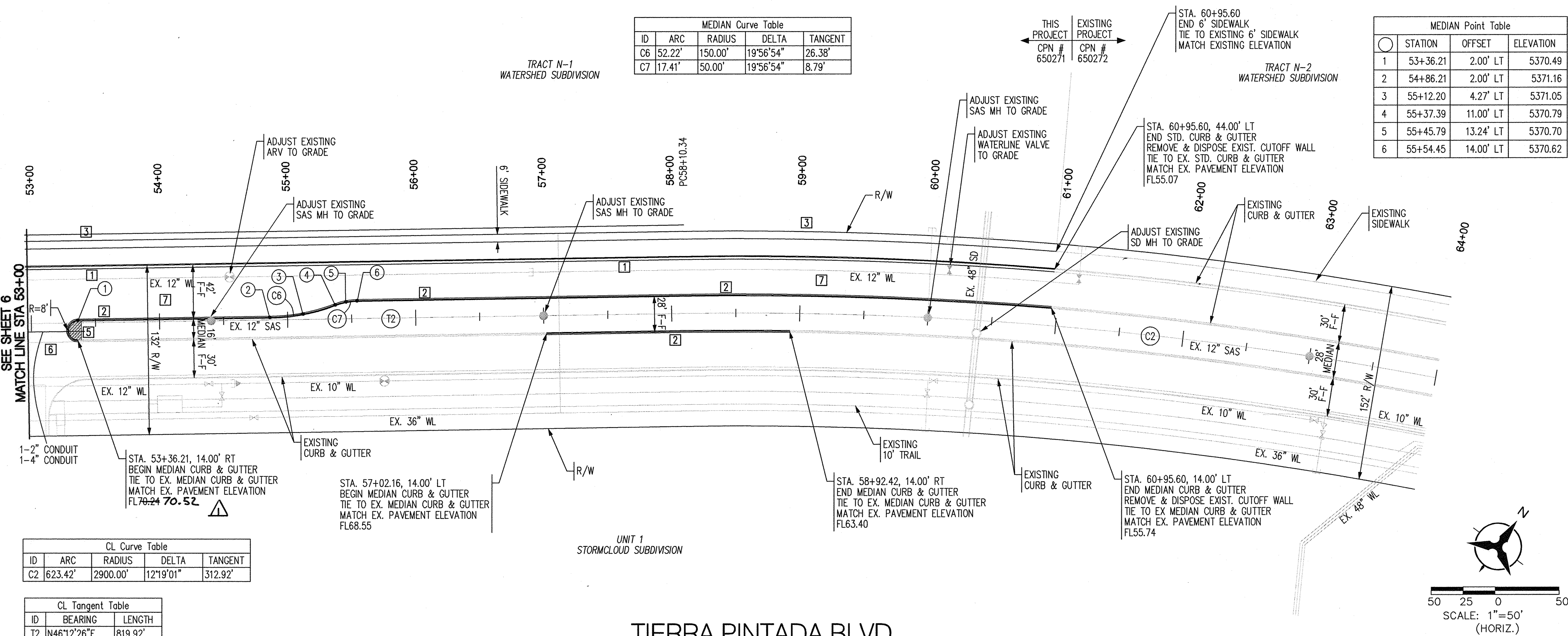
PAVING PLAN & PROFILE  
 TIERRA PINTADA BLVD.

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
APPROVED JUL 24 2012 DESIGN REVIEW COMMITTEE	APPROVED AUG 16 2012 CITY ENGINEER		
LAST DESIGN UPDATE			

CITY PROJECT NO. 650271 ZONE MAP NO. J-7,J-8,K-7,K-8 SHEET 7 OF 13

MEDIAN Point Table			
STATION	OFFSET	ELEVATION	
1	53+36.21	2.00' LT	5370.49
2	54+86.21	2.00' LT	5371.16
3	55+12.20	4.27' LT	5371.05
4	55+37.39	11.00' LT	5370.79
5	55+45.79	13.24' LT	5370.70
6	55+54.45	14.00' LT	5370.62

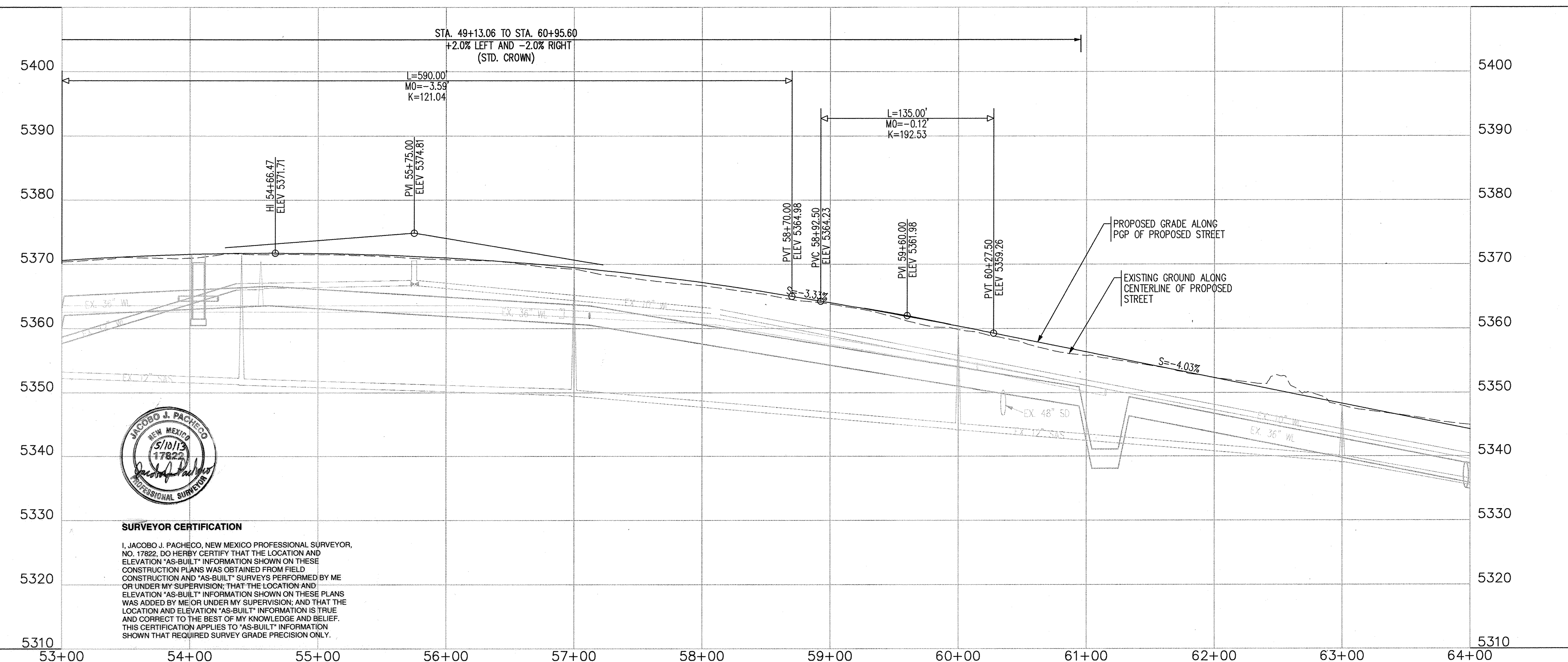
MEDIAN Curve Table				
ID	ARC	RADIUS	DELTA	TANGENT
C6	52.22'	150.00'	19°56'54"	26.38'
C7	17.41'	50.00'	19°56'54"	8.79'



CL Curve Table				
ID	ARC	RADIUS	DELTA	TANGENT
C2	623.42'	2900.00'	12°19'01"	312.92'

CL Tangent Table		
ID	BEARING	LENGTH
T2	N46°12'26"E	819.92'

TIERRA PINTADA BLVD.



### SURVEYOR CERTIFICATION

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 DEPARTMENT OF  
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TIERRA PINTADA PH2 / APS WESTSIDE SPORTS COMPLEX PUBLIC INFRASTRUCTURE

PAVING PLAN & PROFILE  
 TIERRA PINTADA BLVD.

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

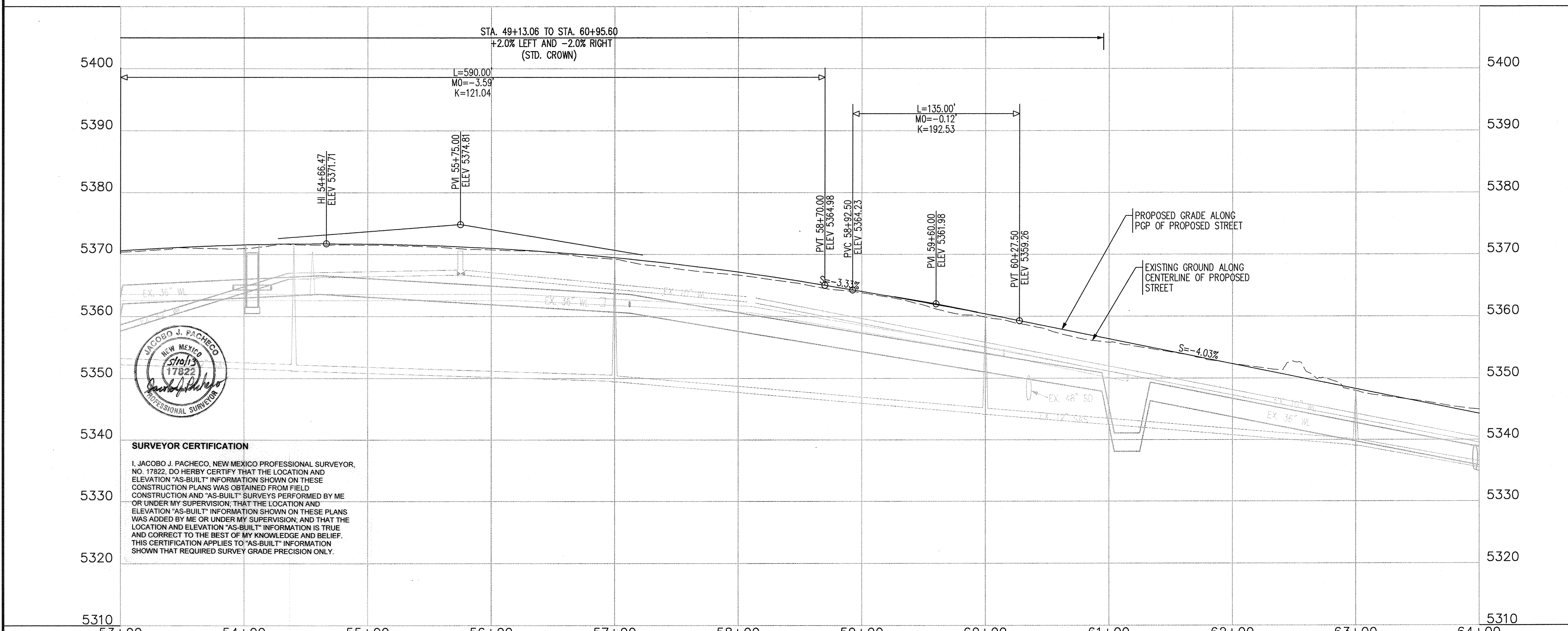
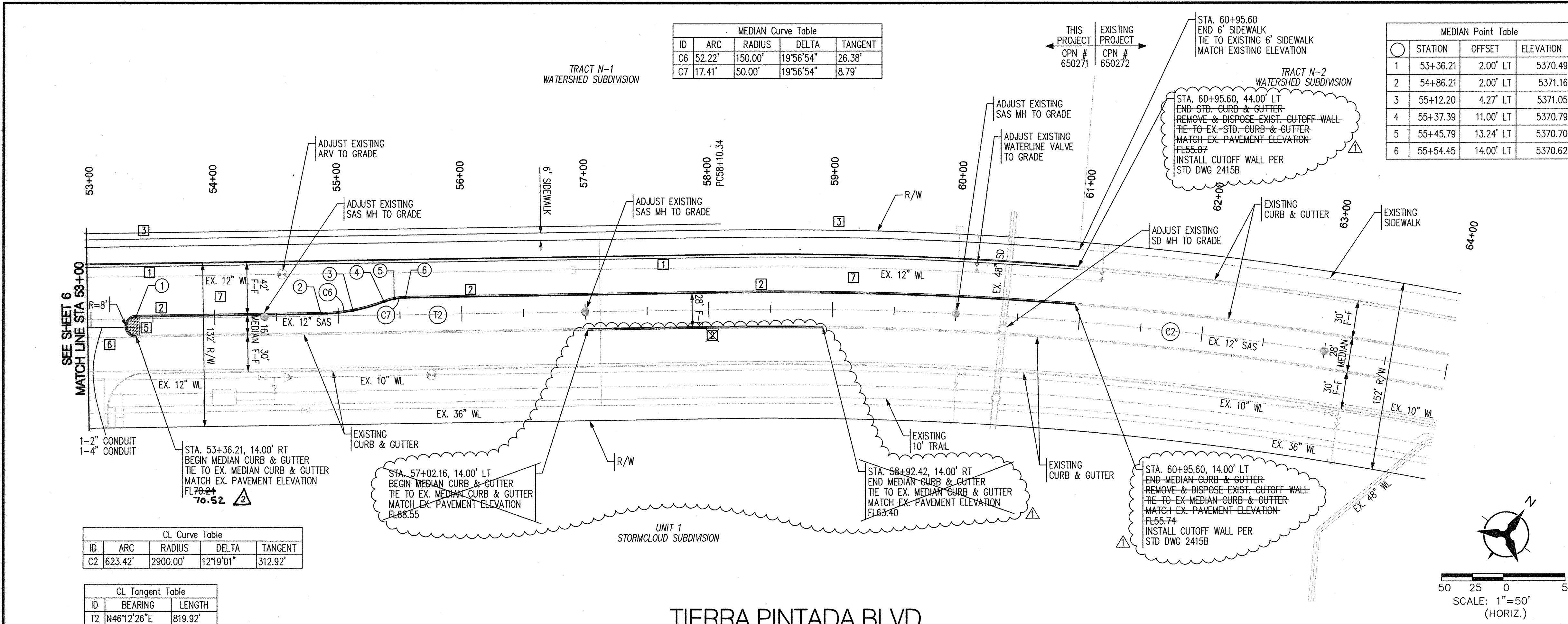
CITY PROJECT NO. 650271 ZONE MAP NO. J-7,J-8,K-7,K-8 SHEET 7A OF 13

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	USC&GS BRASS DISC STAMPED "REWARD 1969"	DATE	NO.	DATE	16035	DATE
WORKED BY	DATE	GEOGRAPHIC POSITION (NAD 83)	DATE	BY	DATE		DATE
INSPECTED BY	DATE	N.M. STATE PLANE COORDINATES	DATE	NO.	DATE		DATE
ACCEPTANCE BY	DATE	(CENTRAL ZONE)	DATE	NO.	DATE		DATE
VERIFICATION BY	DATE	N=1487364.063 E=1491300.819	DATE	NO.	DATE		DATE
DRAWINGS	DATE	GROUND TO GRID = 0.999675005	DATE	NO.	DATE		DATE
CORRECTED BY	DATE	DELTA ALPHA = -0.01712.26"	DATE	NO.	DATE		DATE
MICRO-FILM INFORMATION	DATE	NAVD 1988 ELEVATION = 5319.688	DATE	NO.	DATE		DATE
RECORDED BY	DATE		DATE	NO.	DATE		DATE

16035  
 16035  
 16035

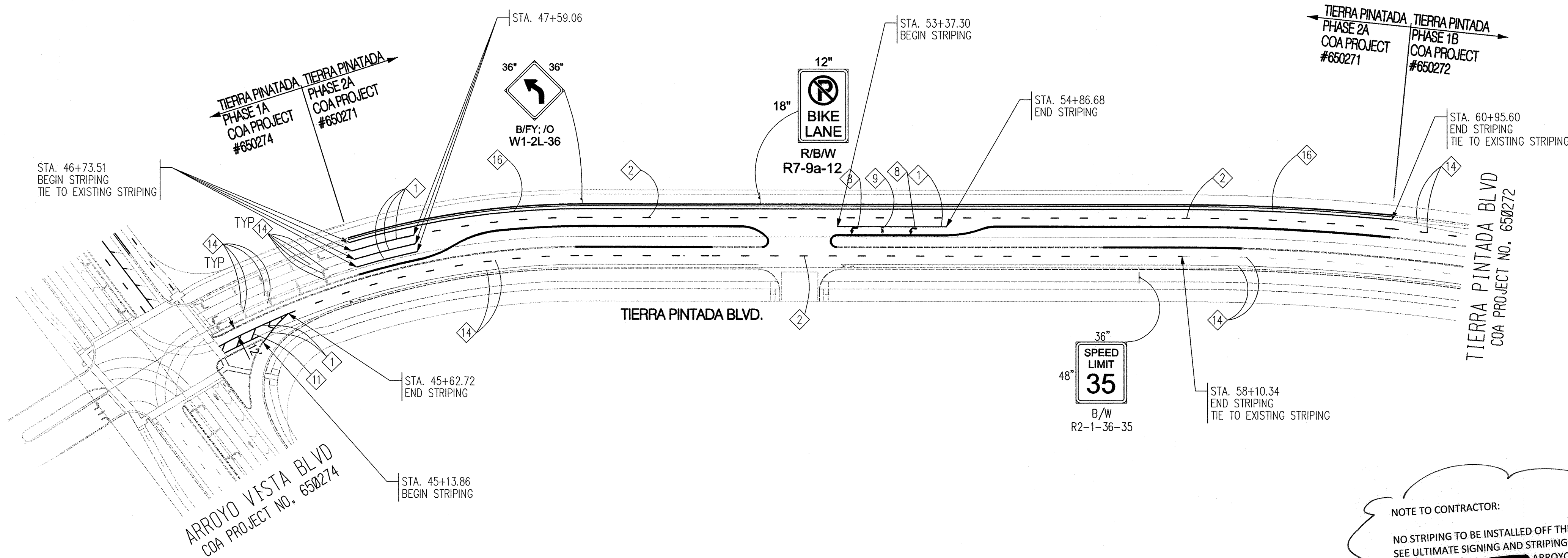
NO.	DATE	REMARKS	BY
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			

DESIGNED BY	YPM	DATE
		04/2012
DRAWN BY	ARR	DATE
		04/2012
CHECKED BY	YPM	DATE
		04/2012



**SURVEYOR CERTIFICATION**  
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NOTE TO CONTRACTOR:

NO STRIPING TO BE INSTALLED OFF THIS PLAN  
SEE ULTIMATE SIGNING AND STRIPING PLAN  
SHEETS 28R, 29, 29A [REDACTED] ARROYO VISTA PHASE 1  
APS RECREATIONAL SITE APS WESTSIDE COMPLEX  
PUBLIC INFRASTRUCTURE CPN 650274 FOR  
PROPOSED STRIPING FOR THE FOLLOWING  
WORKORDER NUMBERS: 650271, 650273

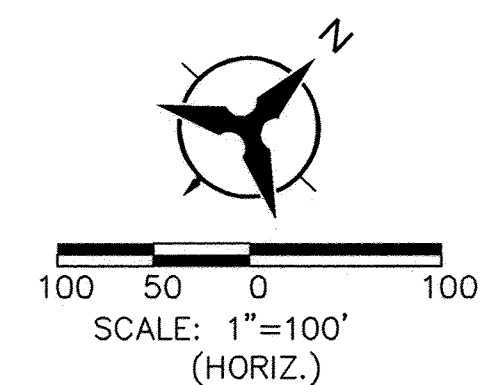
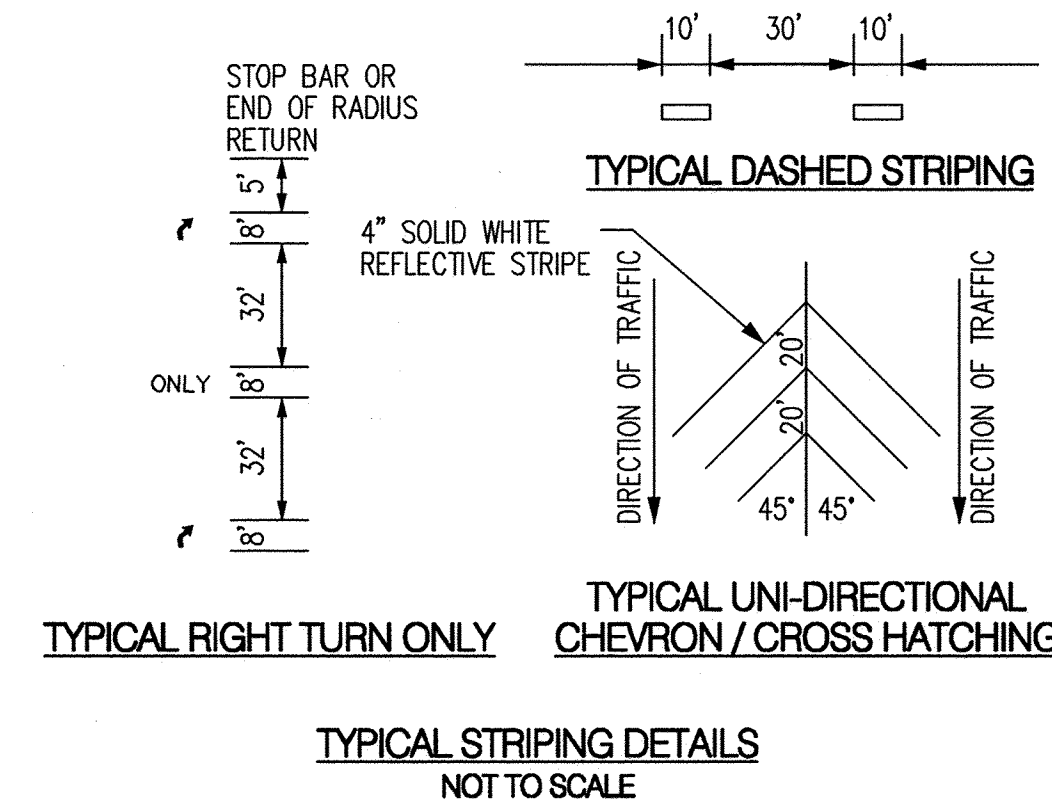
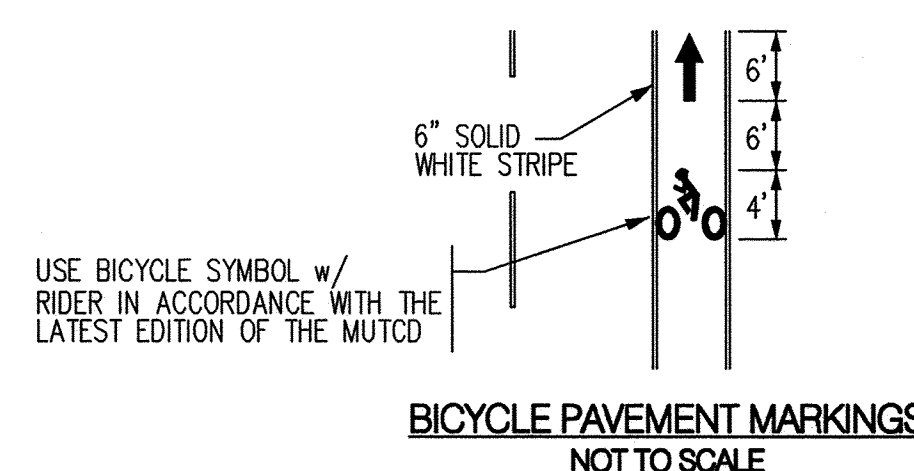
4pm  
10-11-12

### STRIPING LEGEND


- ① REFLECTORIZED THERMOPLASTIC PAVEMENT MARKING – 4" SOLID WHITE STRIPE
- ② REFLECTORIZED THERMOPLASTIC PAVEMENT MARKING – 4" DASHED WHITE STRIPE (10' STRIPE w/ 30' GAP)
- ③ REFLECTORIZED THERMOPLASTIC PAVEMENT MARKING – 4" SOLID YELLOW STRIPE
- ④ REFLECTORIZED THERMOPLASTIC PAVEMENT MARKING – 4" DOUBLE SOLID YELLOW STRIPE
- ⑤ REFLECTORIZED THERMOPLASTIC PAVEMENT MARKING – 12" SOLID WHITE STRIPE
- ⑥ REFLECTORIZED THERMOPLASTIC PAVEMENT MARKING – 24" SOLID WHITE STOP BAR
- ⑦ INSTALL NEW RETROREFLECTIVE PREFORMED PATTERNED PAVEMENT MARKING AND SYMBOL FOR BICYCLE LANES. SEE DETAIL THIS SHEET.
- ⑧ INSTALL NEW RETROREFLECTIVE PREFORMED PATTERNED OR THERMOPLASTIC PAVEMENT MARKING, LEFT ARROW OR RIGHT ARROW. SEE DETAIL THIS SHEET.
- ⑨ INSTALL NEW RETROREFLECTIVE PREFORMED PATTERNED PAVEMENT MARKING, WORD ONLY. SEE DETAIL THIS SHEET.
- ⑩ INSTALL NEW RETROREFLECTIVE PREFORMED PATTERNED OR THERMOPLASTIC PAVEMENT MARKING, THRU- OR CHANNELIZATION ARROW. SEE DETAIL THIS SHEET.
- ⑪ INSTALL NEW 4" SOLID WHITE REFLECTORIZED PAINTED MARKING CHEVRON (35' APART)
- ⑫ INSTALL CROSSWALK PER DETAIL THIS SHEET.
- ⑬ REFLECTORIZED THERMOPLASTIC PAVEMENT MARKING – 4" DOTTED WHITE STRIPE (3' STRIPE w/ 7' GAP)
- ⑭ EXISTING STRIPING TO REMAIN
- ⑮ EXISTING SIGN TO BE REMOVED
- ⑯ REFLECTORIZED THERMOPLASTIC PAVEMENT MARKING – 6" SOLID WHITE STRIPE
- ⑰ REFLECTORIZED THERMOPLASTIC PAVEMENT MARKING – 4" DOTTED YELLOW STRIPE (3' STRIPE w/7' GAP)

## NOTES

1. ALL SIGNING AND STRIPING SHALL BE INSTALLED IN ACCORDANCE WITH MUTCD LATEST EDITION AND COA STANDARD SPECIFICATION SECTION 400.
2. ALL SIGN AND SIGN POST MATERIAL SHALL CONFORM TO COA TRAFFIC ENGINEERING REQUIREMENTS
3. SEE SIGNAL PLANS FOR MASTARM LOCATIONS AND MASTARM SIGNS
4. PAINT ALL APPROACH MEDIAN CURB NOSES WITH REFLECTORIZED YELLOW PAINT
5. CONTRACTOR SHALL REPLACE EXISTING PAVEMENT MARKINGS THAT ARE OBLITERATED FOR TRAFFIC CONTROL REASONS. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO TRAFFIC CONTROL.
6. ALL STRIPING ERADICATION SHALL BE ACCOMPLISHED BY WATER BLASTING OR SURFACE PLANNING TO A MAXIMUM DEPTH OF 0.25 INCHES AND FOR WIDTH EQUAL TO TWO TIMES THE WIDTH OF MARKING TO BE REMOVED.
7. ALL PAVEMENT WITHIN PROJECT LIMITS SHALL BE COVERED WITH ASPHALT SLURRY SEAL PRIOR TO FINAL STRIPING
8. TRANSITION STRIPING FROM PROPOSED WIDTHS TO EXISTING WIDTHS WITHIN 20'



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TIERRA PINTADA PH2 / APS WESTSIDE SPORTS COMPLEX PUBLIC INFRASTRUCTURE  
STRIPING AND SIGNING PLAN

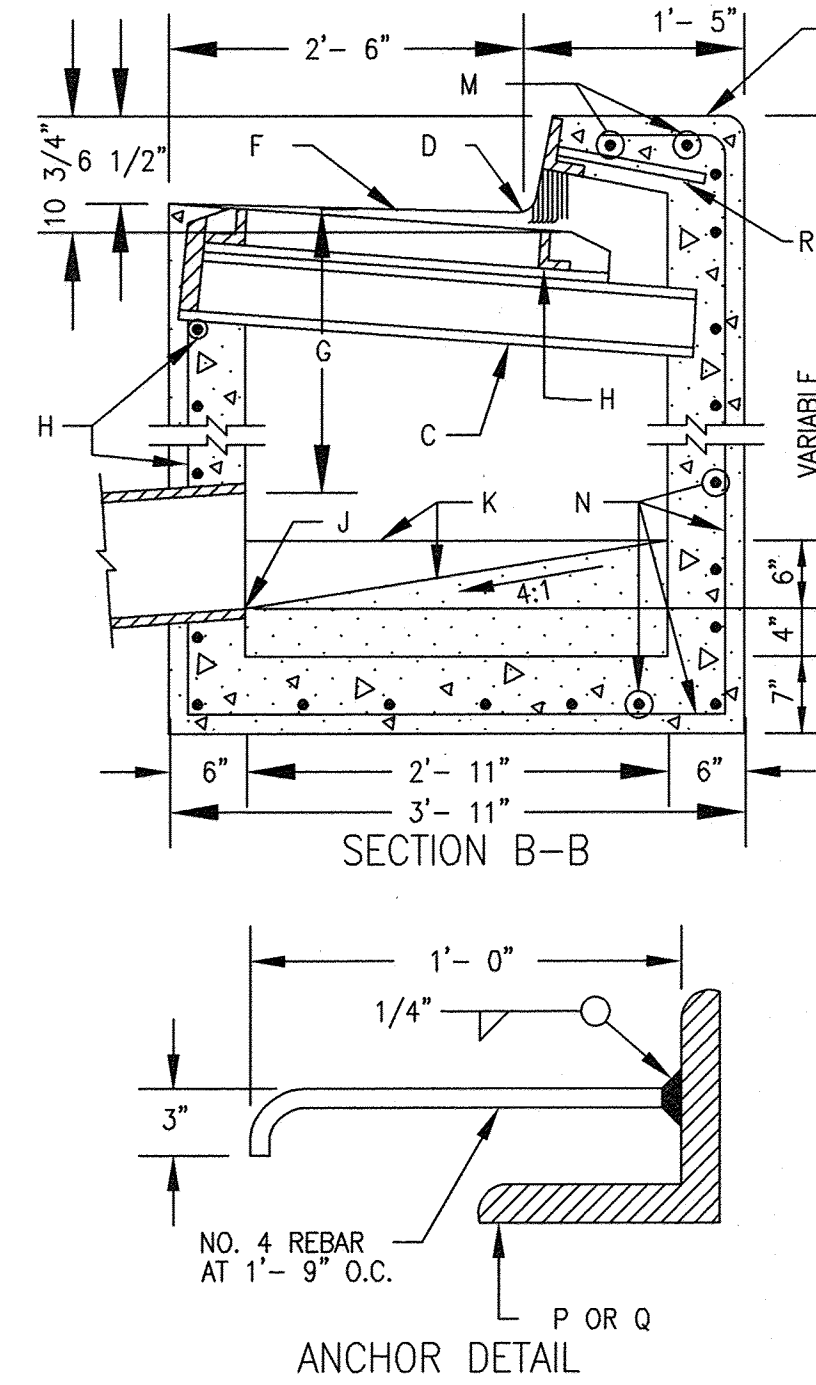
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
APPROVE	APPROVE			
JUL 24 2012	AUG 15 2012			
DESIGN REVIEW COMMITTEE	CITY ENGINEER			

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BHI JOB NO. 20110349




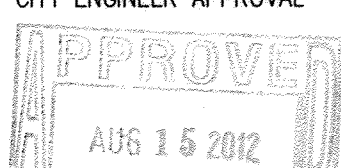

650271	J-7.J-8.K-7.K-8	8	13
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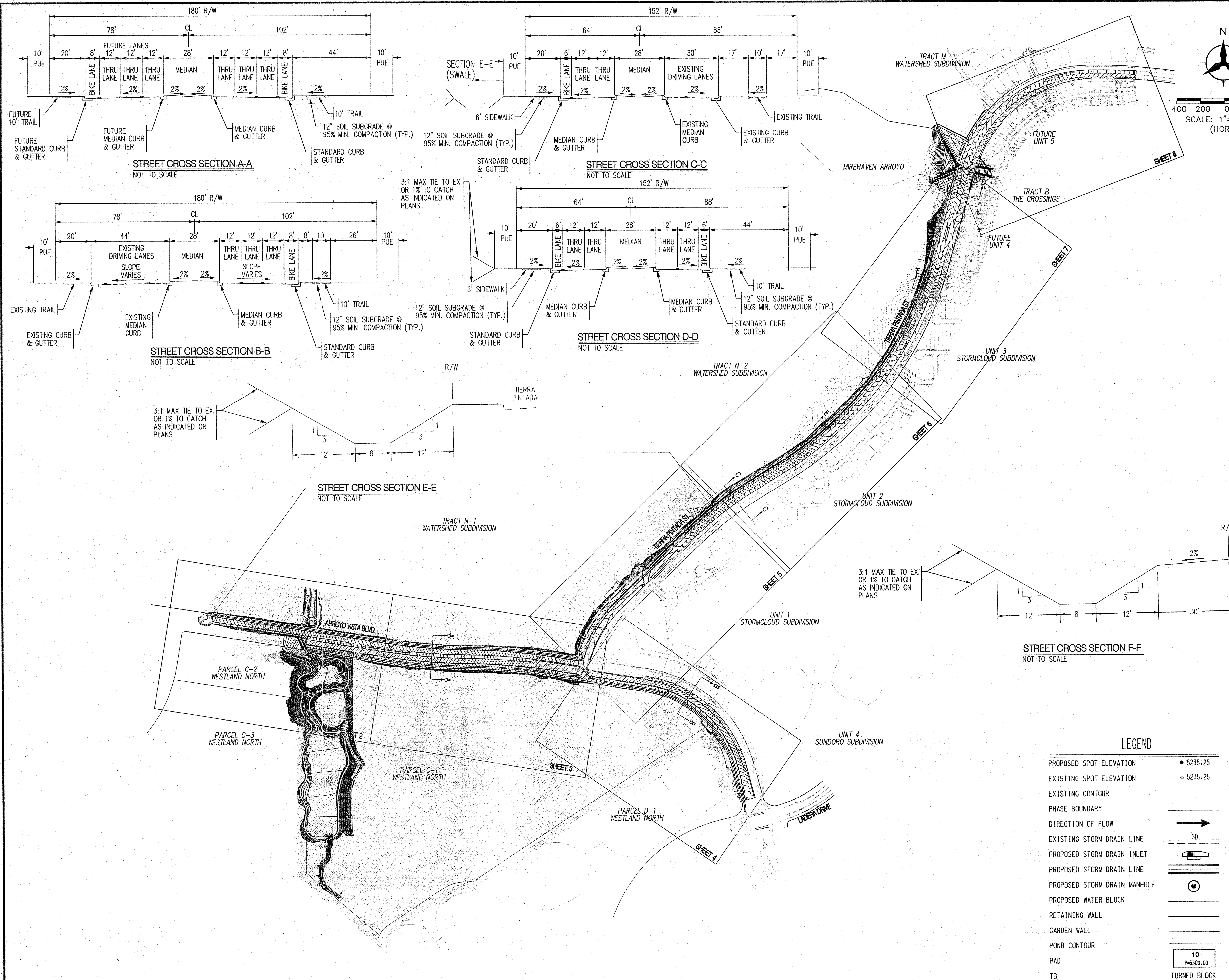
- ## GENERAL NOTES :
1. FOR SINGLE GRATE TYPE STORM INLET DELETE CENTER SUBSECTION AND MOVE ONE END WALL TO FORM NEW SINGLE GRATE INLET.
  2. FOR STORM INLET GUTTER TRANSITION, SEE DWG. 2207.
  3. OUTLET PIPE SIZE, PER DESIGN REQUIREMENT.
  4. FOR FRAME & GRATING, SEE DWG. 2216, 2220 & 2221.
  5. FOR ANCHOR SEE DETAIL.
  6. FOR CENTER SUPPORT ASSEMBLY, SEE DWG. 2215.
- ## CONSTRUCTION NOTES :
- A. GUTTER TRANSITION.
  - B. TOP OF CURB.
  - C. CENTER SUPPORT ASSEMBLY.
  - D. FLOWLINE.
  - E. CONSTRUCTION JOINT.
  - F. NORMAL GUTTER LINE.
  - G. 1'-10" MIN., UNLESS OTHERWISE DIRECTED.
  - H. FRAME AND GRATE.
  - J. INVERT OF OUTLET PIPE.
  - K. CONCRETE FILL, MINIMUM SLOPES AS SHOWN.
  - L. FOR STORM INLET DEPTHS GREATER THAN 4' INSTALL STD STEPS, SEE DWG. 2229, DOWNSTREAM FACE.
  - M. EXTEND NO. 4 REBARS 18" INTO CURB ON EACH SIDE OF STORM INLET.
  - N. NO. 4 BARS AT 6' O.C.
  - P.  $3 \frac{1}{2} \times 1 \frac{1}{2} \times 3 \frac{1}{2} \times 1 \frac{1}{2} \times 4' - 0"$  FOR SINGLE GRATE TYPE "C" STORM INLET.
  - Q.  $3 \frac{1}{2} \times 3 \frac{1}{2} \times 1 \frac{1}{2} \times 1 \frac{1}{2} \times 7' - 6"$  FOR DOUBLE GRATE TYPE "C" STORM INLET.
  - R. ANCHOR.

[illegible]

 <b>Bohannon &amp; Huston</b> Courtyard I   7500 Jefferson St. NE Albuquerque, NM 87109-4335		NO. DATE		DESIGNED BY	DRAWN BY	CHECKED BY
 <b>CITY OF ALBUQUERQUE</b> <b>DEPARTMENT OF</b> <b>MUNICIPAL DEVELOPMENT</b>						
		TIERRA PINTADA PH2 / APS WESTSIDE SPORTS COMPLEX PUBLIC INFRASTRUCTURE MISCELLANEOUS PAVING & UTILITY DETAILS				
DESIGN REVIEW COMMITTEE 	CITY ENGINEER APPROVAL 	LAST DESIGN UPDATE	MO./DAY/YR.		MO./DAY/YR.	
CITY ENGINEER 	ZONE MAP NO. J-7, J-8, K-7, K-8	SHEET	OF			
CITY PROJECT NO. 650271				9		13



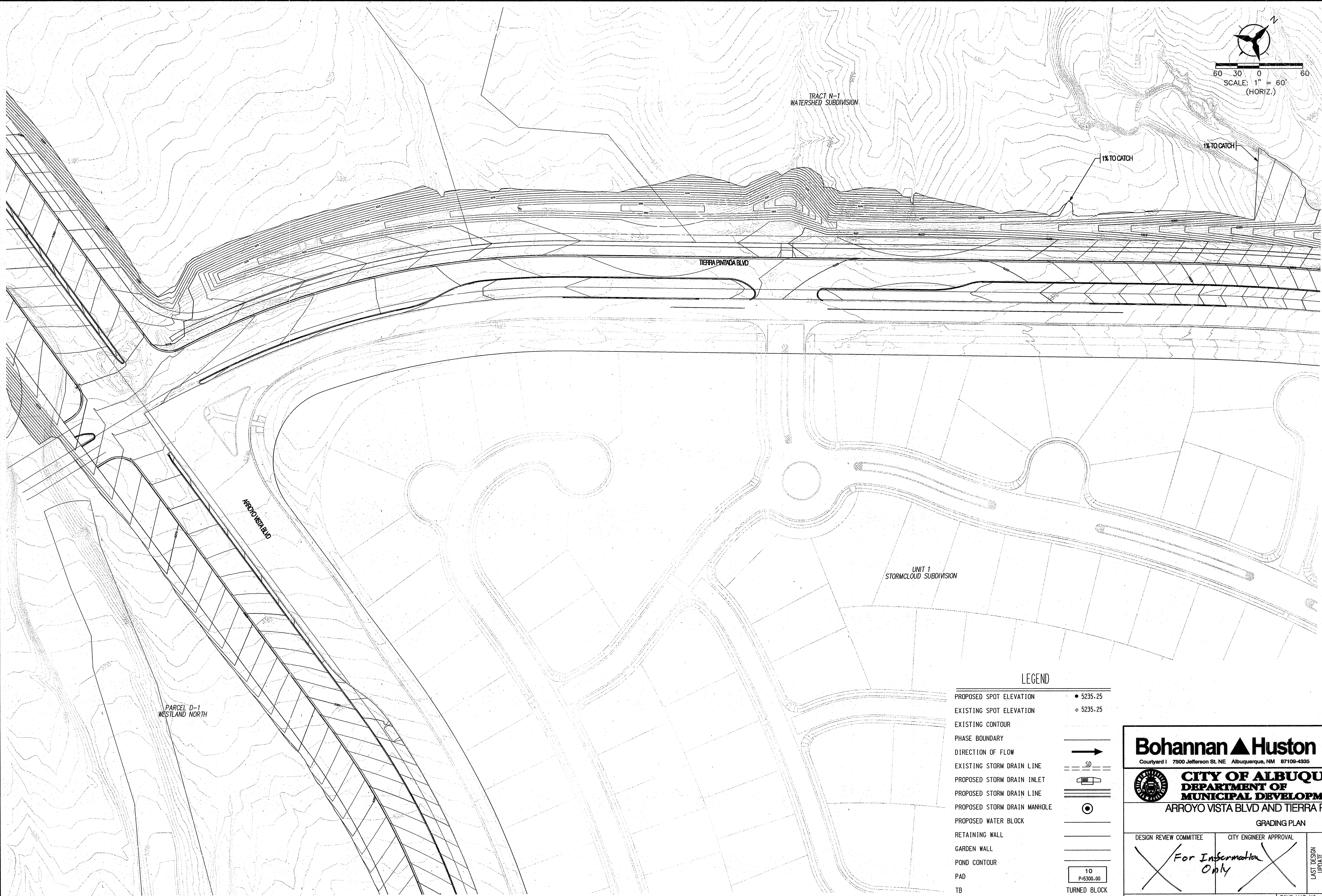
## RECORD DRAWINGS



- GENERAL NOTES:
1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
  2. CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION, PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
  3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT PREPARED BY VINYARDS & ASSOCIATES. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
  4. TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
  5. PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. EXCESS SOIL SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
  6. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
  7. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
  8. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
  9. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
  10. PAVING AND ROADWAY GRADES SHALL BE  $\pm 0.1'$  FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE  $\pm 0.05'$  FROM ELEVATION PLAN ELEVATIONS.
  11. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.

[illegible]





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6/29/2012

BHI JOB NO. 20110349

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		DESIGNED BY		DRAWN BY		CHECKED BY	
CONTRACTOR	DATE	US&GS BRASS DISC STAMPED	REWARD	DATE	BY	NO.	DATE	NO.	DATE	YPM	YPM	YPM	YPM	YPM	YPM
FEZ	5/13	CONTRACTOR	1969												
INSPECTED BY	DATE	GEOGRAPHIC POSITION (NAD 83)		FIELD NOTES		ENGINEER'S SEAL		REVISIONS		DESIGNED BY		DRAWN BY		CHECKED BY	
BHI	5/13					[Seal]		DESIGN		YPM		YPM		YPM	
ACCEPTANCE BY	DATE	N.M. STATE PLANE COORDINATES								DATE 02/2012		DATE 02/2012		DATE 02/2012	
BHI	5/13	(CENTRAL ZONE)													
VERIFICATION BY	DATE	N=1487364.063 E=1491190.819													
BHI	5/13														
DRAWINGS	DATE	GROUND TO GRID = 0.999678005													
5/13	5/13	DELTA ALPHA = -0071712.26"													
MICRO-FILM INFORMATION	DATE														
	DATE														

**Bohannon & Huston**  
Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335

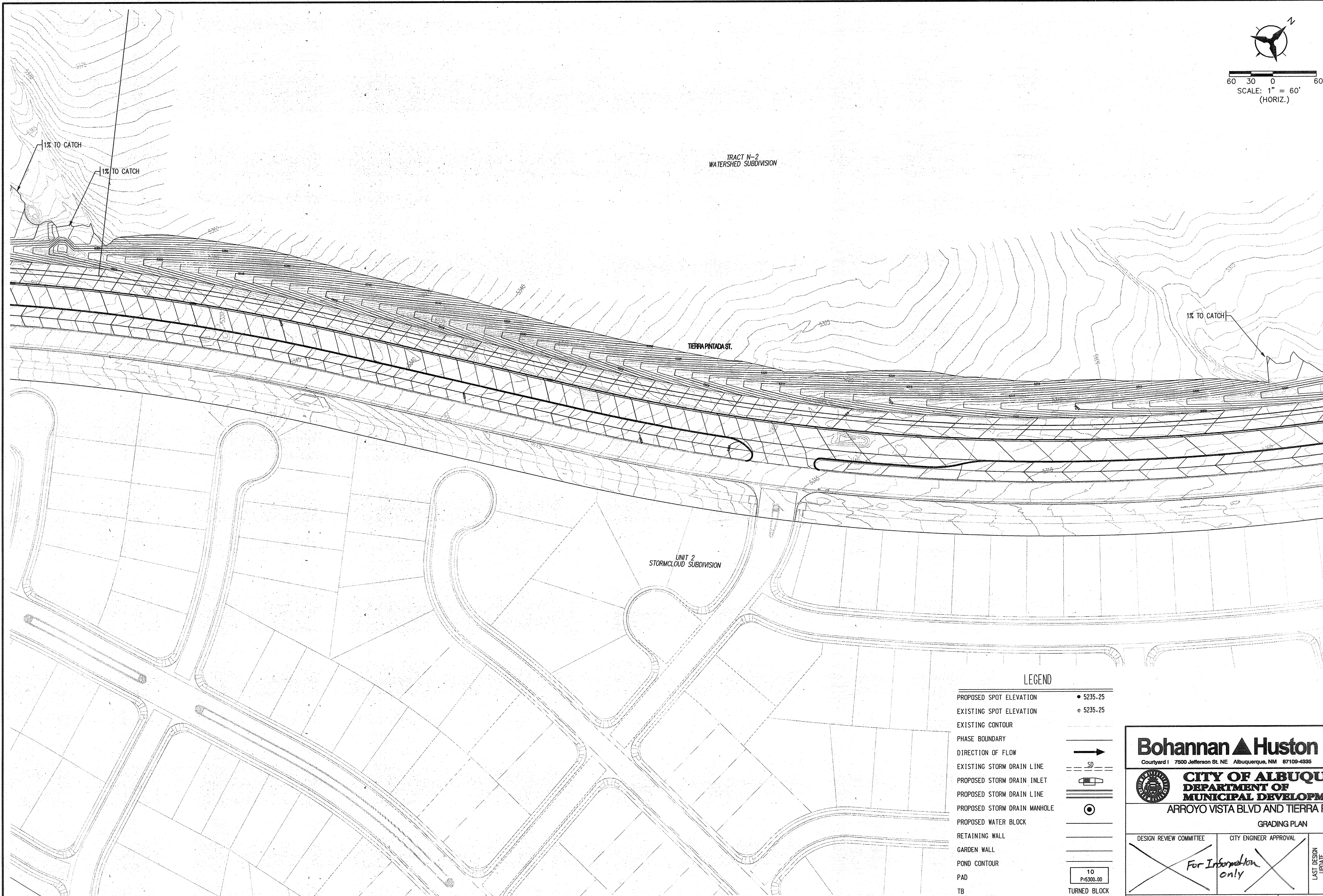
**CITY OF ALBUQUERQUE**  
DEPARTMENT OF MUNICIPAL DEVELOPMENT  
ARROYO VISTA BLVD AND TIERRA PINTADA STREET  
GRADING PLAN

DESIGN REVIEW COMMITTEE: *For Information Only* CITY ENGINEER APPROVAL: *[Signature]*

LAST DESIGN UPDATE: *[Signature]*

CITY PROJECT NO. 650291 ZONE MAP NO. J-7,J-8,K-7,K-8 SHEET 11 OF 15





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4/12/2012

BHI JOB NO. 20110349

LEGEND

- PROPOSED SPOT ELEVATION • 5235.25
- EXISTING SPOT ELEVATION ◦ 5235.25
- EXISTING CONTOUR
- PHASE BOUNDARY
- DIRECTION OF FLOW →
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER BLOCK
- RETAINING WALL
- GARDEN WALL
- POND CONTOUR
- PAD
- TB

10  
P=5300.00  
TURNED BLOCK

**Bohannon & Huston**  
Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4395



**CITY OF ALBUQUERQUE**  
**DEPARTMENT OF**  
**MUNICIPAL DEVELOPMENT**

ARROYO VISTA BLVD AND TIERRA PINTADA STREET

GRADING PLAN

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

MO./DAY/YR.

*For Information only*

LAST DESIGN UPDATE

CITY PROJECT NO.

650271

ZONE MAP NO.

J-7,J-8,K-7,K-8

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