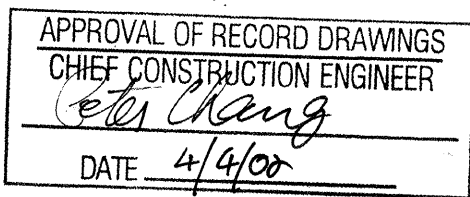


CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT PLANS FOR CONSTRUCTION

SMITH SUBDIVISION SEWER AND WATER IMPROVEMENTS



INDEX TO DRAWINGS

| SHEET NO. | TITLE |
|-----------|--|
| 1 | TITLE SHEET, VICINITY MAP, SHEET INDEX |
| 2 | GENERAL NOTES, LEGEND, & SURVEY CONTROL |
| 3 | WATER PLAN AND PROFILE STATION 10+00.00 TO STATION 13+70.98 |
| 4 | SEWER PLAN AND PROFILE STATION 10+00.00 TO STATION 14+41.42 |
| 5 | PLAT |

SURVEYOR'S CERTIFICATION:

I STEPHEN E. WALKER, A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE "AS BUILT" SURVEYS PERFORMED BY ME, OR UNDER MY SUPERVISION, INFORMATION SHOWN ON THESE DRAWINGS ARE CORRECT.

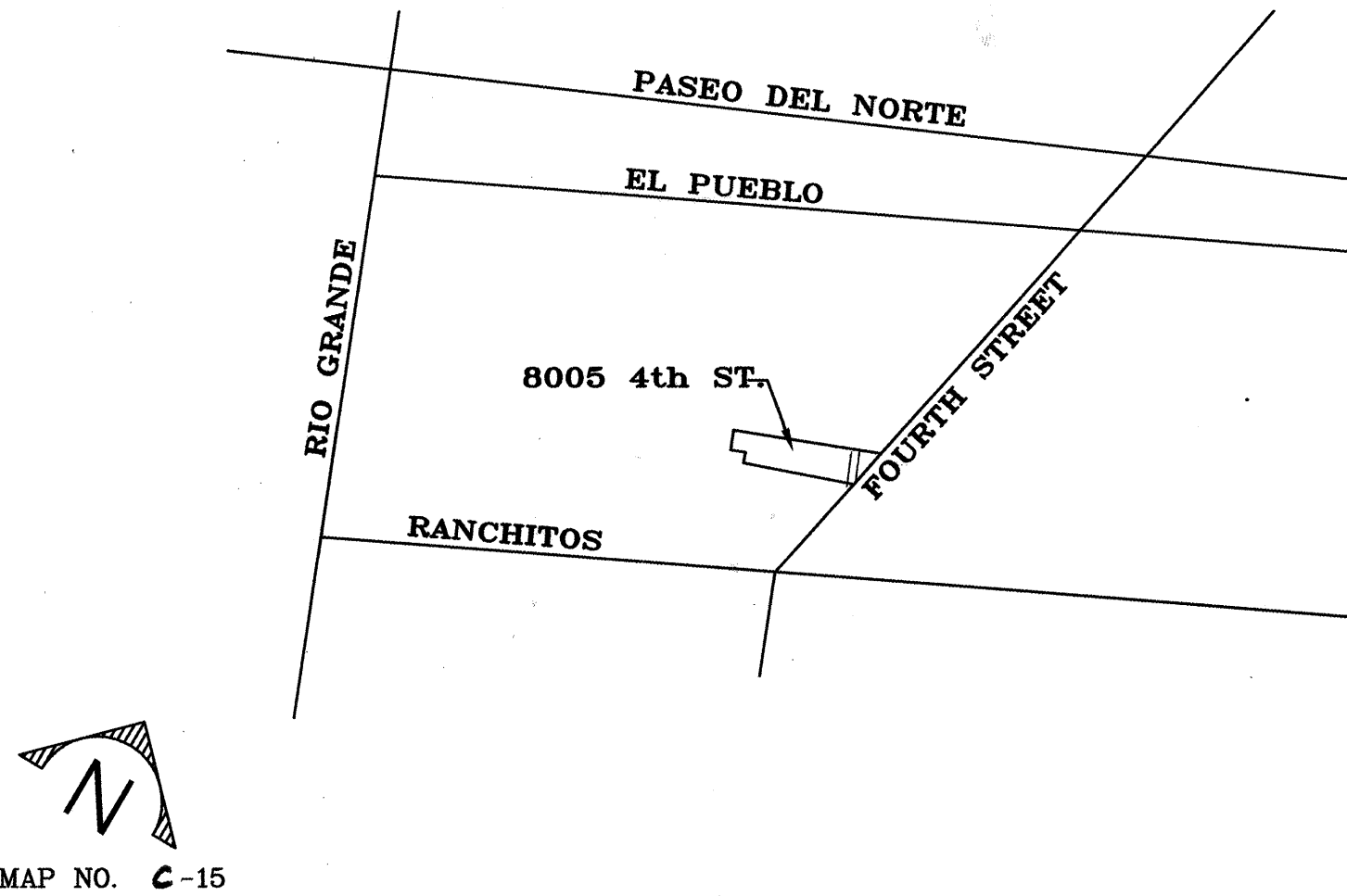
Stephen E. Walker
STEPHEN E. WALKER N.M.P.S. # 6401 DATE 03/22/02

RECORD DRAWINGS:

THE INFORMATION CONTAINED ON THESE DRAWINGS GENERALLY REFLECTS THE CONSTRUCTION OF THE PROJECT. BASED ON INFORMATION GATHERED DURING FIELD OBSERVATION BY JIM SPINELLO, AS-BUILT INFORMATION PROVIDED BY WALKER SURVEYING, AND INFORMATION PROVIDED BY CONDORE CONSTRUCTION, THE CONTRACTOR, THESE PLAN DRAWINGS, AS CONSTRUCTED, ARE IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLAN DRAWINGS.

John P. Giersch 3/22/02
JOHN P. GIERSCH NMPE 14063 DATE

VICINITY MAP



UTILITY COMPANY CONTACTS

PNM - ELECTRIC
WARREN ARTHUR
4201 Edith Blvd., NE
Albuquerque, New Mexico 87107
(505) 241-3490

AT&T
DAVID CROWEL
111 Third ST., NW
Albuquerque, New Mexico 87103
(505) 842-2911

QWEST / US WEST
DAVID MULLER
(505) 245-8706
201 Third Street NW
Suite 700
Albuquerque, New Mexico 87102

E-SPIRE (ACSI)
JOHN MARES
505 Marquette NE
Suite 1605
Albuquerque, New Mexico 87102
(505) 998-2274

MCI / WORLD-COM
MCIWorldCom
ANDY DARNELL
3700 SINGER NE, SUITE A
ALBUQUERQUE, NM 87109
(505) 346-4476
Dept. 2855 / 642
(972) 656-4574

GAS CO.
KELLY BOUSKA
4625 Edith Blvd., NE
Albuquerque, New Mexico 87107
(505) 241-7752

COMCAST CABLE
RITA ERICKSON
4611 Montbel Pl., NE
P.O. Box 27138
Albuquerque, New Mexico 87125-7138
(505) 761-6235

**CITY OF ALBUQUERQUE
(WATER & SEWER)**
GREG OLSEN
PWD/Utility Development
P.O. Box 1293
Albuquerque, New Mexico 87103
(505) 768-2719

TIME WARNER TELECOM
ROYAL HARRISON
3830 Singer Blvd. NE
Suite 1000
Albuquerque, New Mexico 87109
(505) 938-7339



| REV. | SHEETS | CITY ENGINEER | DATE | USER DEPARTMENT | DATE | USER DEPARTMENT | DATE |
|-----------------------------|--------|--------------------------------|------------------------|-----------------|--------------|-----------------|------|
| ENGINEERS STAMP & SIGNATURE | | APPROVED | ENGINEER | DATE | | | |
| | | DRC Chairman | <i>John P. Giersch</i> | 1-31-02 | | | |
| | | Transportation | N/A JR | | | | |
| | | Water/Wastewater | <i>John P. Giersch</i> | Oct 26, 2001 | | | |
| | | Hydrology | N/A JR | | | | |
| | | CIP | <i>John P. Giersch</i> | 1-26-01 | | | |
| | | Village of Los Ran. | <i>John P. Giersch</i> | | | | |
| | | Director - Planning & Building | <i>John P. Giersch</i> | | | | |
| PROJECT NUMBER | | | | 6524.81 | SHEET 1 OF 5 | | |

SCANNED BY
MESA REPRO

- 1 THREE (3) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR WILL SUBMIT A DETAILED CONSTRUCTION SCHEDULE TO THE CITY CONSTRUCTION COORDINATION DIVISION. TWO (2) DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF SPECIFICATIONS.
- 2 THE CONTRACTOR WILL NOTIFY THE FIELD ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK, IN ORDER THAT THE FIELD ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. THE CONTRACTOR WILL NOTIFY THE ENGINEER IF A MONUMENT IS DISTURBED. REPLACEMENT WILL BE DONE ONLY BY THE ~~COA CITY SURVEYOR~~. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR WILL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4 OF SPECIFICATIONS.
- 3 THE SPECIFICATIONS USED FOR THIS PROJECT ARE THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1994 EDITION, UPDATE NO.6.
- 4 ALL NEW MANHOLES SHALL BE TYPE "E" (COA DWG. 2102) UNLESS OTHERWISE NOTED ON THE PLANS.
- 5 THE CONTRACTOR WILL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS, INCLUDING, BUT NOT LIMITED TO HAZARDOUS WASTE AT DISPOSAL SITES APPROVED BY GOVERNMENTAL AGENCIES REGULATING THE DISPOSAL OF SUCH MATERIALS.
- 6 ALL WATER VALVE BOXES AND MANHOLES IN THE STREET CONSTRUCTION ARE TO BE ADJUSTED TO FINISH GRADE AND WILL BE MEASURED AND PAID PER EACH.
- 7 THE WATER SYSTEMS DIVISION (857-8200) WILL BE NOTIFIED BY THE CONTRACTOR FIVE (5) WORKING DAYS IN ADVANCE OF ANY WORK WHICH MAY AFFECT THE EXISTING PUBLIC WATER FACILITIES. REFER TO SECTION 18 OF SPECIFICATIONS.
- 8 ALL EXCAVATION WILL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 9 ALL SIGNS AND CODING WILL BE IN ACCORDANCE WITH THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" CURRENT EDITION PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION.
- 10 THE CONTRACTOR IS TO EXERCISE CARE TO AVOID DISTURBING ANY EXISTING UNDERGROUND UTILITIES. IT WILL BE HIS RESPONSIBILITY TO COORDINATE WITH THE UTILITY COMPANIES IN ORDER TO PREVENT ANY SERVICE DISRUPTION. SEE SECTION 18 "UTILITIES", CITY OF ALBUQUERQUE, STANDARD SPECIFICATIONS FOR CONTRACTOR REQUIREMENTS.
- 11 WHEN ABUTTING NEW PAVEMENT TO EXISTING INTERSECTING STREETS, SAW CUT EXISTING PAVEMENT TO A STRAIGHT LINE AND AT RIGHT ANGLES AND REMOVE ANY BROKEN OR CRACKED PAVEMENT. NO DIRECT PAYMENT WILL BE MADE FOR SAW CUTTING.
- 12 ALL GAS VALVES, GAS MANHOLES, ELECTRICAL MANHOLES, TELEPHONE MANHOLES, AND UTILITY POLES WILL BE ADJUSTED TO GRADE BY EACH UTILITY COMPANY. CONTRACTOR WILL COORDINATE THROUGH CITY UTILITY COORDINATOR.
- 13 THE CONTRACTOR WILL NOTIFY THE UTILITY COMPANIES BY CALLING NEW MEXICO ONE CALL SYSTEM 260-1990 TWO (2) WORKING DAYS PRIOR TO COMMENCING WORK IN NEW AREAS.
- 14 CONTRACTOR WILL MAKE ALL WATER VALVES AND MANHOLES ACCESSIBLE TO THE CITY AT ALL TIMES.
- 15 CONTRACTOR WILL PLACE BITUMINOUS MATERIAL WITH THE USE OF A LAYDOWN MACHINE WHERE PAVEMENT IS 8 FEET IN WIDTH OR WIDER.
- 16 ALL SUBGRADE AND SUBBASE MATERIAL ENCOUNTERED IN PAVEMENT REMOVAL AND REPLACEMENT THAT IS DETERMINED BY THE FIELD ENGINEER TO MEET THE SPECIFICATIONS, CAN BE REUSED. HOWEVER, THE MATERIAL WILL BE PROCESSED AND COMPACTED TO MEET MOISTURE CONTENT AND PERCENT COMPACTION REQUIRED BY THE SPECIFICATIONS.
- 17 CONTRACTOR WILL NOT PAVE OVER ANY SURFACE FEATURE, I.E., GAS VALVE, MANHOLE COVER, ETC. WITHOUT PRIOR APPROVAL FROM THE CITY FIELD ENGINEER.
- 18 CONTRACTOR WILL CONFINE HIS WORK WITHIN THE CONSTRUCTION EASEMENT LIMITS AND/OR RIGHT-OF-WAY, OR PROVIDE COPIES OF AGREEMENTS WITH ADJACENT LANDOWNERS TO THE CITY OF ALBUQUERQUE.

- 19 ALL WATER VALVES AND FIRE HYDRANTS REMOVED TO BE SALVAGED AND RETURNED TO THE C.O.A.
- 20 MINIMUM BOTTOM WIDTH OF TRENCHES FOR RIGID PIPE SHALL BE EQUAL TO THE OUTSIDE DIAMETER PLUS 16 INCHES. BEDDING MATERIAL SHALL BE CLASS II, III, OR IV UNLESS OTHERWISE SPECIFICALLY NOTED ON THE PLANS.
- 21 MINIMUM BOTTOM WIDTH OF TRENCHES FOR NON-RIGID PIPE SHALL BE EQUAL TO THE OUTSIDE DIAMETER PLUS 12 INCHES. BEDDING MATERIAL SHALL BE CLASS I, II, OR III.
- 22 THE CONTRACTOR AGREES TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA, WHICH INCLUDE BUT ARE NOT LIMITED TO: MAINTAINING ADEQUATE WARNING SIGNS, BARRICADES, LIGHTS, GUARD FENCES, WALKS AND BRIDGES.
- 23 PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL CONFLICTING UTILITIES. SHOULD A CONFLICT EXIST BETWEEN THE FIELD INFORMATION AND THE PLANS, THE CONTRACTOR WILL NOTIFY THE CITY FIELD ENGINEER SO THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
- 24 THE REPLACEMENT OF THE EXISTING UTILITIES AND THE INSTALLATION OF NEW UTILITY LINES WILL BE COMPLETED IN ADVANCE OF STARTING THE PAVEMENT WORK. TEMPORARY PAVEMENT WILL BE PLACED IN ALL TRENCHES REQUIRED FOR THE UTILITY REPLACEMENTS IN THOSE AREAS THAT MUST MAINTAIN TRAFFIC UNTIL THE FINAL PAVEMENT WORK STARTS IN EACH AREA. TEMPORARY STRIPING SHALL BE THE CONTRACTOR'S RESPONSIBILITY. MAINTENANCE OF THE TEMPORARY PAVING AND STRIPING WILL BE AT THE CONTRACTOR'S EXPENSE.
- 25 TACK COAT FOR SURFACE COURSE REQUIREMENTS WILL BE DETERMINED BY THE FIELD ENGINEER.
- 26 THE CONTRACTOR WILL CONTACT THE CITY OF ALBUQUERQUE TRAFFIC DIVISION 764-1599, ONE (1) WEEK IN ADVANCE OF ANY CHANGES REQUIRED IN THE TRAFFIC SIGNALIZATION OF THIS PROJECT. ALL WORK ASSOCIATED WITH NEW TRAFFIC SIGNALIZATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 27 ALL NEW STREET PAVING, DRIVEWAYS, SIDEWALKS, AND CURB AND GUTTERS, ABUTTING EXISTING AREAS SHALL MATCH THE ELEVATION OF THOSE AREAS.
- 28 PERMANENT PAVEMENT STRIPING AND MARKINGS WILL BE PLACED BY THE CONTRACTOR. ROAD SHALL NOT BE OPENED TO TRAFFIC UNTIL IT IS STRIPED. ALL STRIPING, PAVEMENT MARKINGS INCLUDING CROSSWALKS, ARROWS AND LINE MARKINGS ARE TO BE CONSTRUCTED OF HOT PLASTIC OR COLD PLASTIC IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- 29 ALL EXCAVATED MATERIAL THAT IS NOT REQUIRED TO BE REUSED MUST BE REMOVED FROM THE PROJECT AREA WITHIN FOUR DAYS OF EXCAVATION. SPOIL PILES WILL BE ALLOWED ONLY AS DIRECTED BY THE CITY FIELD ENGINEER.
- 30 THE CONTRACTOR WILL COORDINATE THE CONSTRUCTION ACTIVITIES WITH ALL OTHER CONTRACTORS AND UTILITY COMPANIES WORKING IN THE SAME AREA. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE THEIR ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCE CAUSED BY UTILITY COMPANY WORK CREWS. A CONTRACT EXTENSION MAY BE ALLOWED AS DELINEATED IN CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
- 31 ALL CONSTRUCTION EASEMENTS ON PRIVATE PROPERTY WILL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE BEGINNING OF CONSTRUCTION.
- 32 ALL TRAFFIC CONTROL DEVICES REQUIRED FOR CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR AND WILL BE PAID AS SPECIFIED IN THE TECHNICAL SPECIFICATIONS AND BID PROPOSAL. PRIOR TO PLACING THE TRAFFIC CONTROL DEVICES, THE CONTRACTOR WILL NOTIFY THE AFFECTED OWNERS IN ACCORDANCE WITH THE SPECIFICATIONS. CONTRACTOR MUST MAKE PROVISIONS TO PROVIDE ACCESS TO PROPERTIES. REFER TO SECTION 19 OF THE SPECIFICATIONS.

- 33 ALL UTILITY LINES WHICH ARE NOT SPECIFICALLY DESIGNATED TO BE REMOVED AND REPLACED ON THE PLANS, WILL BE MAINTAINED IN SERVICE. SHORING, SHEETING AND OTHER MEANS OF SUPPORT SHALL BE EMPLOYED BY THE CONTRACTOR TO PREVENT DAMAGE OR LOSS OF THESE EXISTING UTILITIES. BEAM AND CABLE OR OTHER ADEQUATE SUPPORTS WILL BE USED FOR TEMPORARY SUPPORT OF ALL UTILITY LINES WHICH CROSS THE TRENCH. ANY DAMAGE TO EXISTING UTILITIES WILL PROMPTLY BE REPAIRED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SIGNIFICANT DEVIATION OF EXPOSED UTILITIES FROM THE LOCATIONS SHOWN ON THE PLANS SO THAT CONFLICTS CAN BE RESOLVED IN A TIMELY MANNER.
- 34 THE CONTRACTOR WILL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING ~~COUNTY AND~~ COA INFRASTRUCTURE (C & G, PAVING, ETC.) DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS, AND WILL REPAIR OR REPLACE SAME AT HIS OWN EXPENSE. HE WILL SUITABLY PROTECT THE CURB AND GUTTER FROM INCIDENTAL SPLASHING DURING THE TACK COAT APPLICATION AND WILL BE RESPONSIBLE FOR CLEANING SAME AT HIS OWN COST SHOULD SPLASHING OCCUR.
- 35 ALL INTERFERING PORTIONS OF ABANDONED UTILITY LINES WHICH ARE EXPOSED AS A RESULT OF CONSTRUCTION WILL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.
- 36 SHORING COSTS WILL BE CONSIDERED INCIDENTAL TO THE TRENCH AND BACKFILL COSTS.
- 37 THE CONTRACTOR WILL BE RESPONSIBLE FOR SECURING NPDES PERMITS REQUIRED BY APPLICABLE CITY, STATE, AND FEDERAL REGULATIONS.
- 38 THE TERM REMOVE USED IN THIS PLAN SET INCLUDES THE DISPOSAL OF SAID MATERIAL IN ACCORDANCE WITH CITY OF ALBUQUERQUE SPECIFICATIONS, LATEST EDITION.
- 39 CONTRACTOR WILL SURVEY AND LOG EXISTING ELEVATIONS OF CURB-AND-GUTTER, SIDEWALK, AND PAVEMENT WHICH WILL BE REMOVED FOR CONSTRUCTION OF IMPROVEMENTS. CONTRACTOR WILL REPLACE REMOVE CURB-AND-GUTTER, SIDEWALK, DRIVE PADS, AND PAVEMENT TO ELEVATIONS PRIOR TO REMOVAL UNLESS OTHERWISE INDICATED ON THE PLANS.
- 40 PRE-WETTING OF THE EMBANKMENT FOUNDATION AND KEY TRENCH SHALL BE CONSIDERED INCIDENTAL TO THE CONSTRUCTION OF THE EMBANKMENT. NO ADDITIONAL PAYMENT WILL BE MADE FOR THIS WORK.
- 41 ANY WORK TO BE PERFORMED WITHIN THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT (M.R.G.C.D.) RIGHT-OF-WAY SHALL BE CLOSELY COORDINATED WITH THE M.R.G.C.D. ENGINEERING DEPARTMENT AND APPROPRIATE FILED OFFICE. PHONE: (505) 247-0234.
- 42 NO WORK IS TO BE DONE ON FACILITIES OR STRUCTURES BELONGING TO, OR OPERATED BY THE M.R.G.C.D. BETWEEN MARCH 1 AND OCTOBER 31 INCLUSIVE. HOWEVER, WORK MAY BE PERMITTED BY THE M.R.G.C.D. IF IT CAN BE SHOWN THAT THE WORK WILL NOT INTERFERE WITH OPERATIONS OF THE M.R.G.C.D. FACILITY. ALL WORK TO BE DONE WITHIN THE M.R.G.C.D. FACILITIES MUST BE APPROVED BY THE M.R.G.C.D. ENGINEER PRIOR TO COMMENCING WORK.
- 43 THE CONTRACTOR SHALL NOT STORE EQUIPMENT, NEW MATERIALS OR DEBRIS WITHIN DISTRICT RIGHT-OF-WAY WHICH MAY INTERFERE WITH OPERATIONS AND MAINTENANCE OF THE M.R.G.C.D. FACILITY.
- 44 THE CONTRACTOR SHALL NOT SERVICE VEHICLES OR EQUIPMENT WITHIN M.R.G.C.D. RIGHT-OF-WAY.
- 45 SEEDING OF DISTURBED AREAS WITHIN M.R.G.C.D. RIGHT-OF-WAYS IS REQUIRED PER THE M.R.G.C.D. SEEDING SPECIFICATIONS.
- 46 THE CONTRACTOR MUST MAINTAIN A MINIMUM COVER OF 3' OVER ALL CULVERT CROSSINGS USED FOR ACCESS TO THE PROJECT SITE.
- 47 THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING AND OR REPLACEMENT OF ANY STRUCTURES REMOVED AND OR DAMAGED DUE TO THE CONTRACTOR'S ACTIVITIES WITHIN THE DISTRICT'S RIGHT-OF-WAY. SHOULD ANY TURNOUTS, CULVERT PIPES AND OR STRUCTURES REQUIRE REPLACEMENT DUE TO LEAKAGE AND OR DAMAGE BY THE CONTRACTOR, NEW TURNOUTS, AND NEW CULVERT PIPES AND OR NEW STRUCTURES SHALL REPLACE THE DAMAGED ITEM. REPAIRS AND OR REPLACEMENTS WITHIN THE DISTRICT'S RIGHT-OF-WAY MUST COMPLY WITH THE DISTRICT'S SPECIFICATIONS.
- 48 ALL DAMAGED CULVERT CROSSINGS AND CULVERT CROSSINGS REMOVED AND OR DISTURBED MUST BE RESTORED AND/OR REPLACED TO THE SATISFACTION OF THE M.R.G.C.D. AND COMPLY WITH M.R.G.C.D. SPECIFICATIONS.
- 49 ALL SALVAGEABLE CULVERTS, IRRIGATION GATES, ETC. MUST BE RETURNED TO THE M.R.G.C.D.
- 50 THE CONTRACTOR IS RESPONSIBLE FOR EXECUTING A "SPECIAL USE LICENSE AGREEMENT" WITH THE M.R.G.C.D. PRIOR TO CONSTRUCTION.

- 51 IF CULTURAL RESOURCES, SUCH AS HISTORIC OR PREHISTORIC ARTIFACTS, OR HUMAN REMAINS ARE DISCOVERED DURING EXCAVATION OR CONSTRUCTION, WORK SHALL CEASE AND THE CONSTRUCTION ENGINEER SHALL BE NOTIFIED. THE CONSTRUCTION ENGINEER SHALL NOTIFY LOCAL POLICE. IF THE OFFICE OF MEDICAL EXAMINERS DETERMINES THAT THE HUMAN REMAINS ARE NOT RECENT THEN NOTIFY THE STATE HISTORIC PRESERVATION OFFICER (SHPO) AT 827-6320. WORK MAY PROCEED AFTER COORDINATION WITH SHPO IS COMPLETE.

EXISTING FEATURES LEGEND:

| | |
|--|---|
| | EXISTING CHAIN-LINK FENCE |
| | EXISTING GAS LINE W/ VALVE |
| | EXISTING WATERLINE W/ VALVE |
| | EXISTING WATERLINE METER |
| | EXISTING FIRE HYDRANT |
| | EXISTING SANITARY SEWER LINE W/ MANHOLE |
| | EXISTING STORM DRAIN |
| | EXISTING UTILITY POLE |
| | EXISTING CURB & GUTTER |
| | EXISTING CONCRETE |
| | EXISTING BUILDING LINE |
| | EXISTING EASEMENT LINE |
| | EXISTING 12" IRRIGATION |

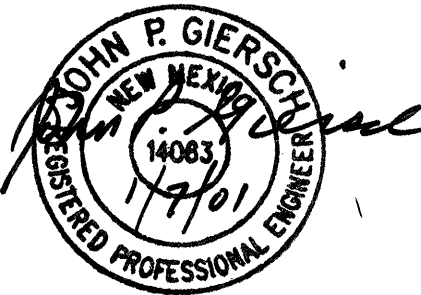
NEW FEATURES LEGEND:

| | |
|--|------------------------------------|
| | CONSTRUCTION CENTERLINE |
| | NEW WATERLINE W/ VALVE |
| | NEW WATERLINE METER |
| | NEW FIRE HYDRANT |
| | NEW SANITARY SEWER LINE W/ MANHOLE |
| | NEW STORM DRAIN |
| | NEW EASEMENT LINE |
| | POT HOLE LOCATION W/ NO. |
| | NEW EDGE OF PAVEMENT |

LOCAL SURVEY CONTROL INFORMATION

| POINT NUMBER | NORTHING | EASTING | ELEVATION | DESCRIPTION |
|--------------|----------|---------|-----------|-----------------------------|
| 10-D15 | -- | -- | 4991.102 | RANCHITOS AND FOURTH |
| 11-D15 | -- | -- | 4993.29 | CHAMISAL LATERAL AND FOURTH |

| | | | | | | | |
|------------------------|------|-------------|----|--------------------|----|----------------|--|
| AS BUILT INFORMATION | | BENCH MARKS | | SURVEY INFORMATION | | ENGINEERS SEAL | |
| CONTRACTOR | DATE | NO. | BY | NO. | BY | SEAL | |
| WORK STARTED BY | DATE | | | | | | |
| ACCEPTED BY | DATE | | | | | | |
| FIELD ENGINEER | DATE | | | | | | |
| DESIGNED BY | DATE | | | | | | |
| CHECKED BY | DATE | | | | | | |
| RECORDED BY | DATE | | | | | | |
| NO. | | | | | | | |
| COA/Elav 35m 10 sp III | | | | | | | |

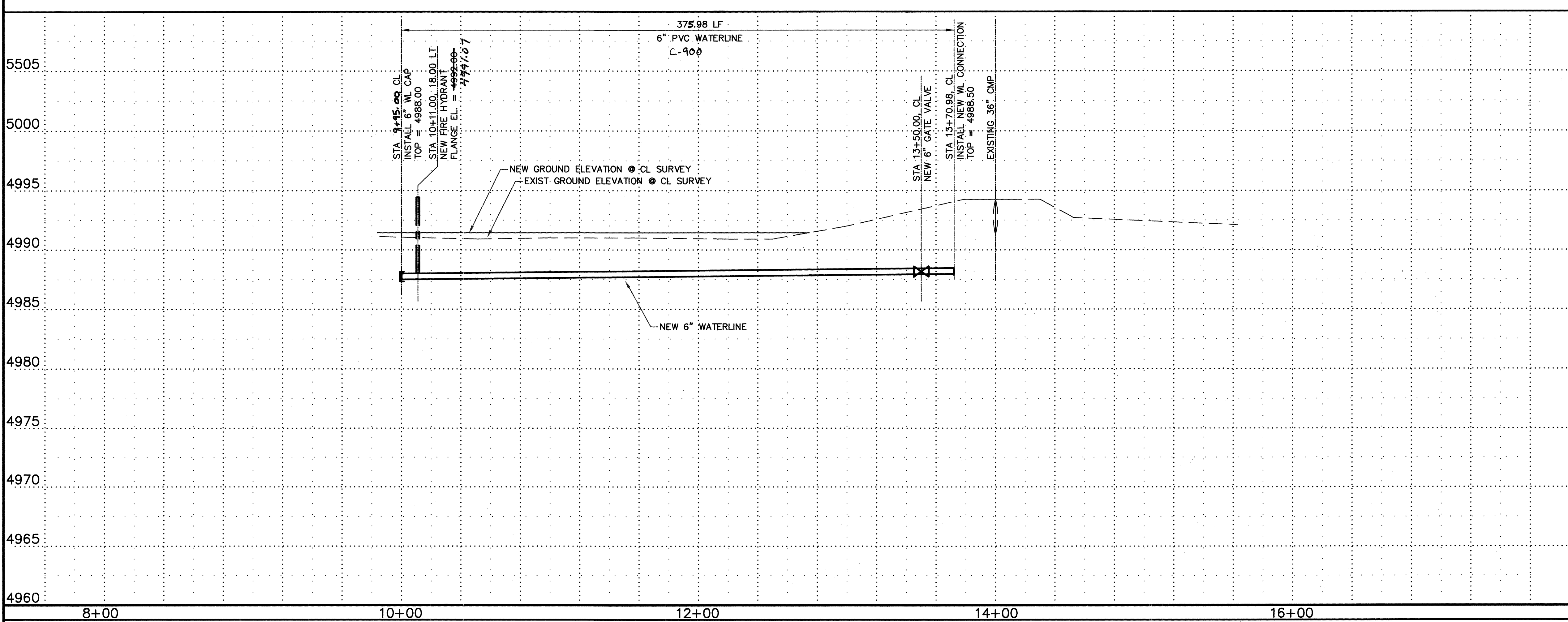
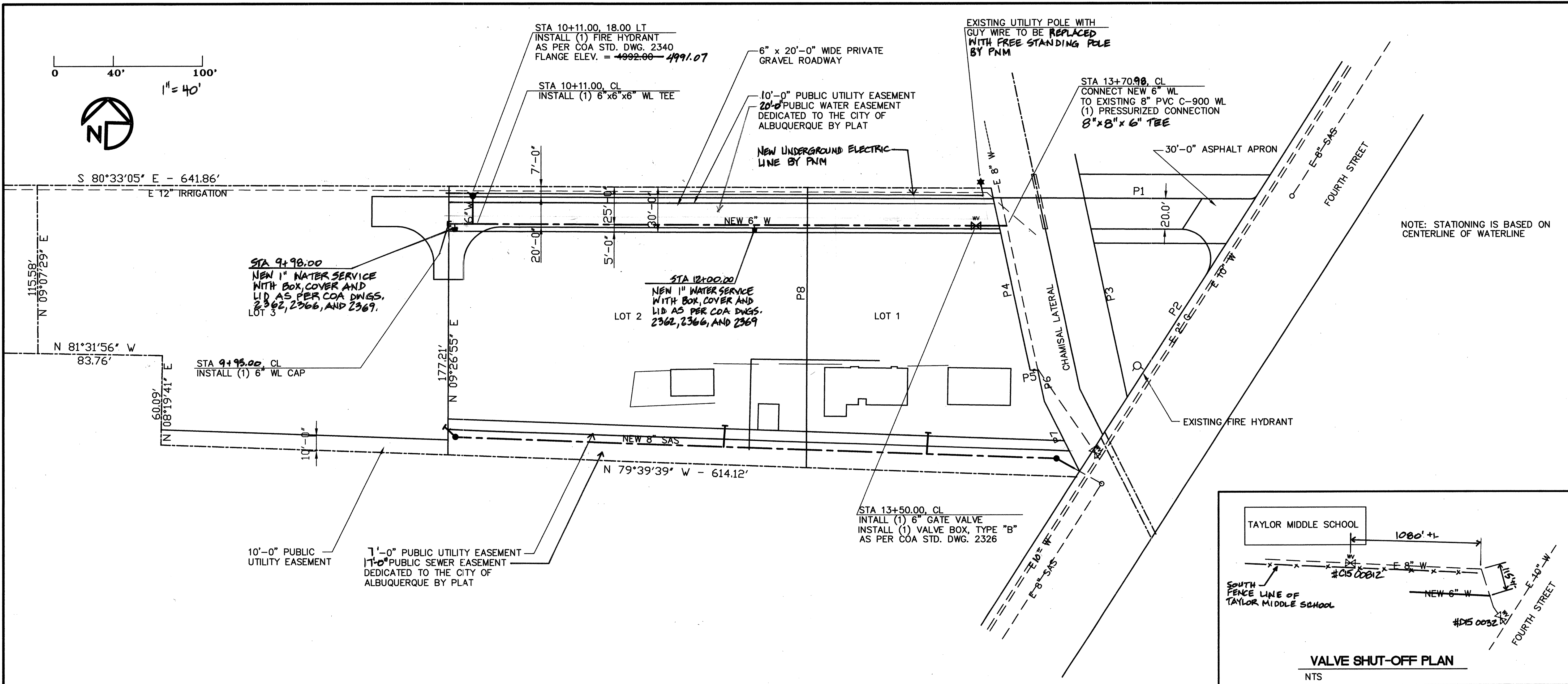


| | |
|-------------|------|
| REMARKS | BY |
| DESIGN | |
| DESIGNED BY | JPG |
| DRAWN BY | JPG |
| CHECKED BY | JPG |
| DATE | 1/01 |
| DATE | 1/01 |
| DATE | 1/01 |

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

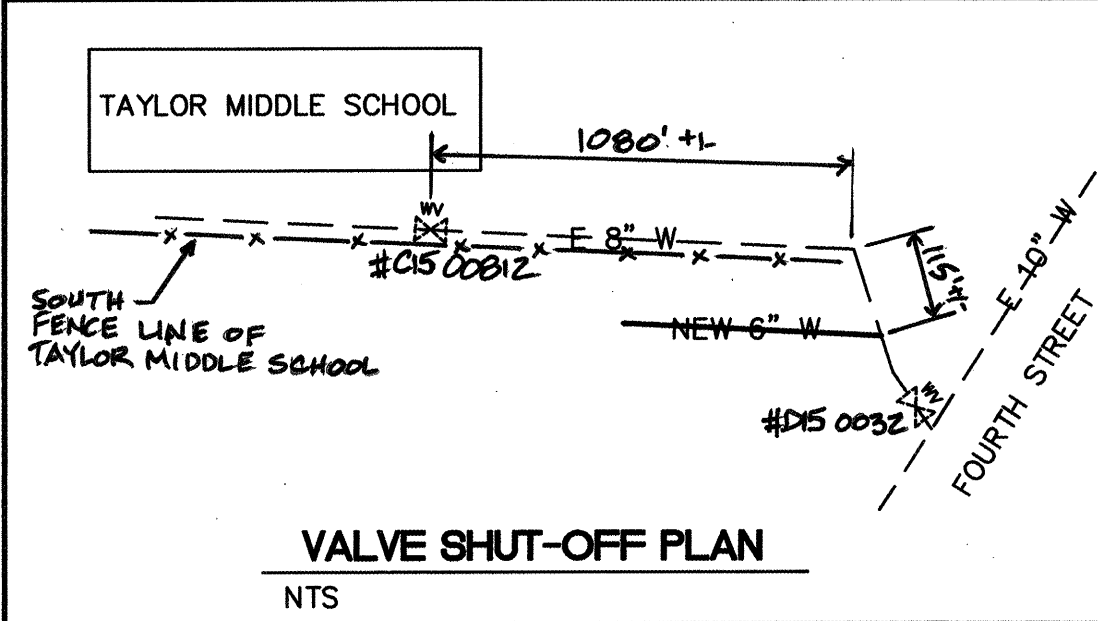
TITLE:
GENERAL NOTES, LEGEND, & SURVEY CONTROL

| | | | | |
|--|---|--------------------|-----------------|-----------------|
| Design Review Committee | City Engineer Approval | Last Design Update | No. / Day / Yr. | No. / Day / Yr. |
| APPROVED JAN 31 2002 DESIGN REVIEW COMMITTEE | APPROVED FEB - 8 2002 CITY ENGINEER | | | |
| City Project No. | Zone Map No. | Sheet | Of | |
| 6524.81 | C-15 | 2 | 5 | |



| TABLE OF PROPERTY LINE BEARING AND DISTANCES | | |
|--|---------------|----------|
| DESIGNATION | BEARING | DISTANCE |
| P1 | S 80°39'42" E | 114.72' |
| P2 | S 41°52'32" W | 158.50' |
| P3 | N 03°05'54" W | 136.83' |
| P4 | S 03°05'54" E | 121.77' |
| P5 | S 81°04'38" E | 5.12' |
| P6 | S 03°05'54" E | 24.55' |
| P7 | S 17°31'34" E | 45.99' |
| P8 | N 09°26'55" E | 180.99' |
| -- | -- | -- |
| -- | -- | -- |

| WATERLINE RESTRAINT LENGTHS | |
|-----------------------------|-----|
| 6"x6"x6" TEE | 20' |
| CAP | 60' |
| VALVE | 60' |
| 8"x8"x6" TEE | 40' |



| AS BUILT INFORMATION | |
|------------------------|-------------------------------|
| CONTRACTOR | CANDACE |
| WORK STARTED BY | W.S. |
| DATE | 9/02 |
| INSPECTED BY | J.S. |
| DATE | " |
| FIELD BY | CDA |
| DATE | " |
| VERIFICATION BY | W.S. |
| CORRECTED BY | " |
| MICRO-FILM INFORMATION | |
| RECORDED BY | NO. |
| DATE | DATE |
| NO. | COA FILE NO. J. Smith 10-2-03 |

| BENCH MARKS | |
|-------------|--|
| 10-D15 | INTERSECTION OF FOURTH STREET AND RANCHITOS, ELEVATION = 4991.102, NN CORNER, MAY 29 |
| 11-D15 | EAST SIDE OF FOURTH STREET AT THE CHAMISAL LATERAL, ELEVATION = 4993.29 |

| SURVEY INFORMATION | |
|--------------------|------|
| FIELD NOTES | DATE |
| BY | |
| NO. | |

| ENGINEERS SEAL | |
|----------------------------------|------|
| JOHN P. GIERSCHEIDT | 1701 |
| REGISTERED PROFESSIONAL ENGINEER | |

| REVISIONS | |
|-------------|------|
| NO. | DATE |
| REMARKS | BY |
| DESIGN | |
| DESIGNED BY | JPG |
| DATE | 1/01 |
| DRAWN BY | JPG |
| DATE | 1/01 |
| CHECKED BY | JPG |
| DATE | 1/01 |

| | |
|---|---|
| CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP | |
| TITLE: WATERLINE PNP SMITH SUBDIVISION | |
| Design Review Committee APPROVED JAN 31 2002 DESIGN REVIEW COMMITTEE | City Engineer Approval APPROVED FEB - 8 2002 CITY ENGINEER |
| City Project No. 6524.81 | Zone Map No. C-15 |
| Sheet 3 | Of 5 |

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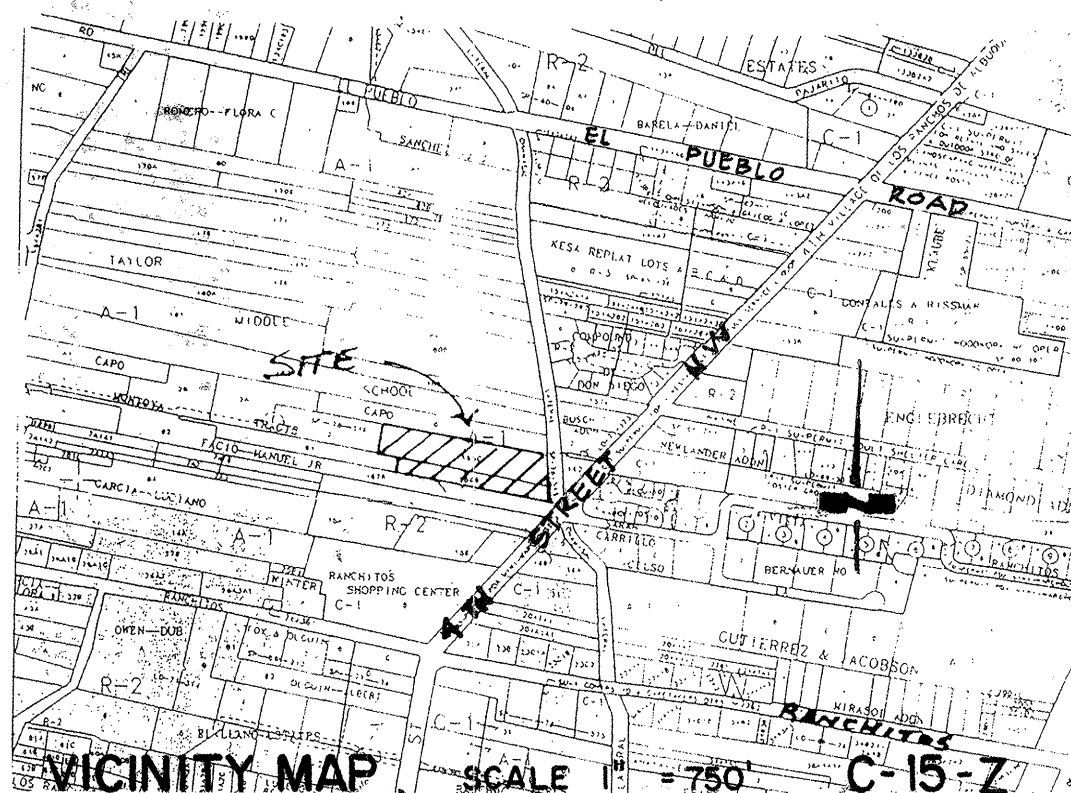
| | | | |
|------------------|--------------|-------|----|
| City Project No. | Zone Map No. | Sheet | Of |
| 6524.81 | C-15 | 4 | 5 |

SP 00110210260333

REPLAT OF
LOTS 1, 2, 3 AND TRACT 162
LANDS OF JAMES C. SMITH
COMPRISING TRACTS 185C, 186B AND TRACT 162, M.R.G.C.D. MAP NO. 24
WITHIN NW 1/4, PROJECTED SECTION 21, T.11N., R.3., N.M.P.M.

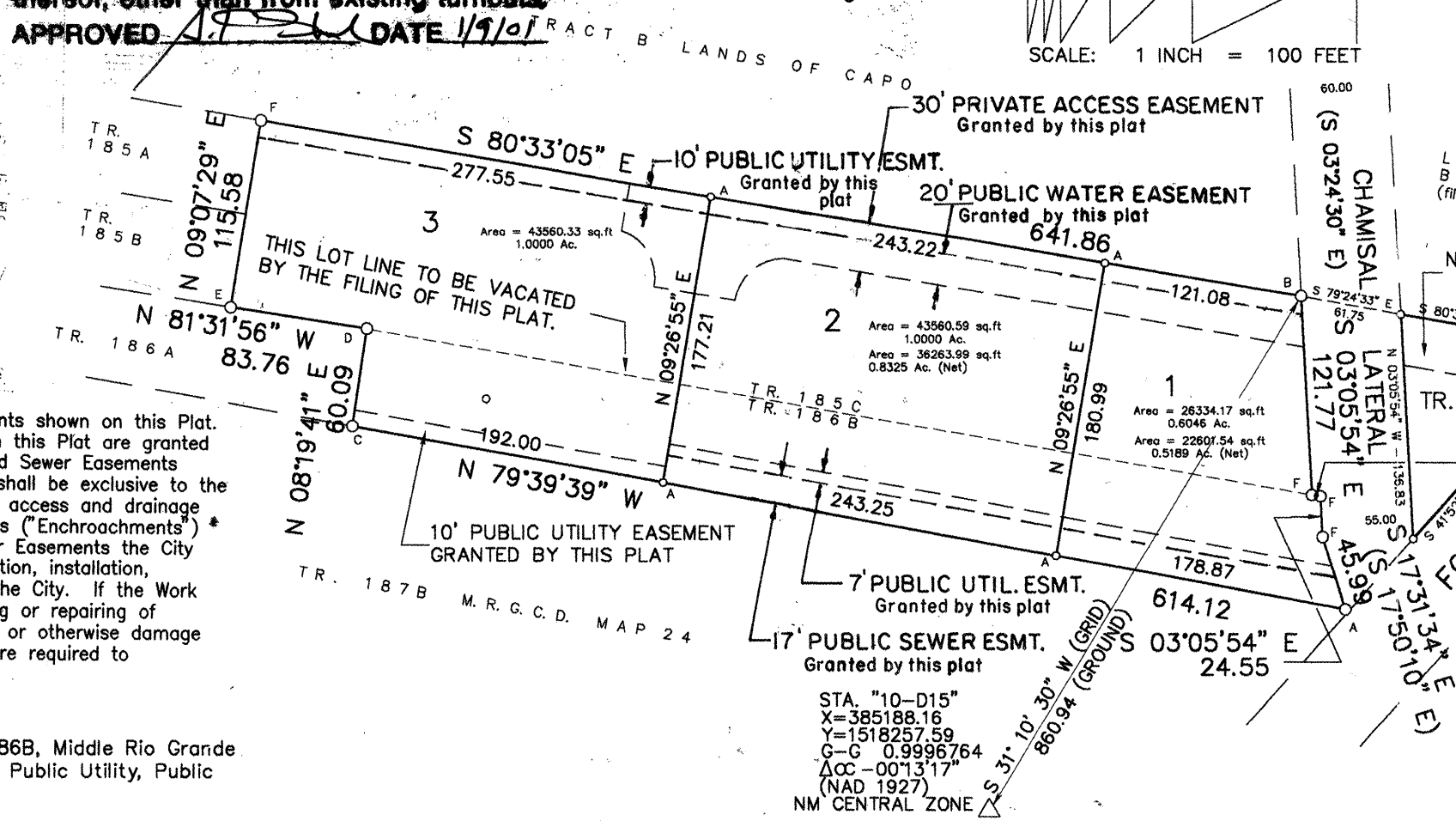
VILLAGE OF LOS RANCHOS DE ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JANUARY 2001



APPROVED on the condition that all rights of the Middle Rio Grande Conservancy District in easements, rights of way, assessments and liens, are fully reserved to said District, and that if provision for irrigation source and easements are not provided for by the subdivider for the subdivision, addition, or plat, said District is absolved of all obligations to furnish irrigation waters and services to any portions thereof, other than from existing turnouts.

A 10' irrigation easement is recorded lying along the northern boundary of the parcels & pipe lines 10' below ground.



Public Utility Easements shown on this plat do not include public water and sewer line easements shown on this Plat. The public sanitary sewer and waterline easements ("Water and Sewer Easements") granted with this Plat are granted exclusively to the City of Albuquerque, its successors and assigns ("City"), except for Water and Sewer Easements granted within public rights-of-way or private access easements (collectively "Streets"), which shall be exclusive to the City for underground water and sanitary sewer lines, but surface uses such as ingress, egress, access, and drainage (but not including ponding) shall be allowed. In the event Grantor constructs any improvements ("Encroachments") (but not including road surfacing or curb and gutter within Streets) within the Water and Sewer Easements the City shall have the right to enter upon Grantor's property at any time and perform whatever inspection, installation, maintenance, repair, modification, or removal ("Work") it deems appropriate without liability to the City. If the Work affects any Encroachments, the City will not be financially or otherwise responsible for rebuilding or repairing of Encroachments. If, in the opinion of the City, the Work could endanger the structural integrity or otherwise damage the Encroachments, the Grantor shall, at its own expense, take whatever protective measures are required to safeguard the Encroachments.

NOTES

- This plat has been prepared for the purposes of dividing Tracts 185C and 186B, Middle Rio Grande Conservancy District Property Map No. 24 into three lots together with grant of Public Utility, Public Water and Sewer Easements and Access Easement.
- No street right-of-way has been dedicated with this plat.
- Easements granted by this plat are as follows:
 - Ten foot (10') wide Public Utility Easement and Twenty foot (20') wide Public Water Easement granted along the North line of Lots 1 and 2.
 - Seven foot (7') wide Public Utility Easement and Seventeen foot (17') wide Public Sewer Easement granted along the South line of Lots 1 and 2.
 - Ten foot (10') wide Public Utility Easement granted along the North and South lines of Lot 3.
 - Thirty foot (30') wide Private Access Easement granted along North line of Lots 1 and 2.
- Net areas annotated hereon (Acreage and Square Footage) excludes areas of granted Private Access Easements.
- PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:
 - PNM Electric Services for the installation, maintenance, and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
 - PNM Gas Services for the installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
 - Qwest Communications for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services including, but not limited to, above ground pedestals and closures.
 - Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV Services.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No buildings, signs, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric of Safety Code caused by construction of pools, decking, or any structures adjacent to, within or near easements shown on plat.
- Public Utility Easements shown on the plat are not exclusive and are granted for the common and joint use of the utilities designated on the plat, their successors and assigns and for the use of any other public utilities whose use of said easements is deemed to be in the public interest of the Village of Los Ranchos de Albuquerque. Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No buildings, signs, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric of Safety Code caused by construction of pools, decking, or any structures adjacent to, within or near easements shown on plat.
- This plat is based on the following documents:
 - Warranty Deed dated March 16, 1973, recorded September 24, 1979 in Book D104-A, page 166, records of Bernalillo County, New Mexico (Tract 186B).
 - Release of Deed of Trust dated February 17, 1967, recorded February 24, 1967 in Vol. Misc. 60, pages 17 and 18, records of Bernalillo County, New Mexico (Tract 185C).
 - Bearings shown hereon are New Mexico State Plane, Central Zone, NAD 1927.
 - Perimeter distances shown are measured distances between recovered and accepted monuments or monuments set as based on other reliable field evidence.
 - Tract 162 has been shown for the purpose of showing the location of a Thirty foot (30') Access Easement.
 - () Bearing Shown with in brackets per M.R.G.C.D. DWG #163--S18--4258

Approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

MONUMENTATION

- Set 1/2" rebar, w/cap "HALL ENG 7264"
- Found 1/2" rebar, attached tag, "HALL ENG 7264"
- Found 5/8" rebar, attached tag, "HALL ENG 7264"
- Found 3/4" rebar, attached tag, "HALL ENG 7264"
- Found 3/8" rebar w/ tag "HUGO", attached tag, "HALL ENG 7264"
- Found 1/2" rebar w/ yellow cap, "HALL ENG 7264"

DESCRIPTION

A tract of land in the Village of Los Ranchos, Bernalillo County, New Mexico, within the NW 1/4 of Section 21, Township 11 North, Range 3 East, New Mexico Principal Meridian (as projected), being and comprising Tracts 185C and 186B as shown and designated on Middle Rio Grande Conservancy Property Map No. 24, said land being more particularly described as follows:
BEGINNING at the northeast corner of the herein described land, said corner being the Northeast corner of Tract 185C and being a point on the Westerly right-of-way line of the M.R.G.C.D. Chama Lateral, from which point ACS Station 10-D15 (X=385188.16, Y=1518257.59, NM Central Zone, NAD 1927) bears S 31°10'30" W, a distance of 860.94 feet and running from said beginning point along the westerly right-of-way line of the Chama Lateral, S 03°05'54" E, a distance of 121.77 feet; thence, continuing along said right-of-way, S 81°04'38" E, a distance of 5.12 feet; thence, continuing along said right-of-way, S 03°05'54" E, a distance of 24.55 feet; thence, continuing along said right-of-way, S 17°31'34" E, a distance of 45.99 feet to the Southeast corner of the herein described land, said corner being the Southeast corner of Tract 186B; thence, N 79°39'39" W, a distance of 614.12 feet to the Southwest corner of Tract 186B; thence, N 08°19'41" E, a distance of 60.09 feet; thence, N 81°31'56" E, a distance of 83.76 feet to the Westernmost corner of the herein described land, said corner being the Southwest corner of Tract 185C; thence, N 09°07'29" E, a distance of 115.58 feet to the Northwest corner of the herein described land, said corner being the Northwest corner of Tract 185C; thence, S 80°33'05" E, a distance of 641.86 feet to the Northeast corner of the herein described land and the place of beginning, containing 2.6046 acres, more or less.

FREE CONSENT

The replat of Tracts 185C, 186B and Tract 162, as shown on Middle Rio Grande Conservancy District Property Map No. 24, now comprising Lots 1, 2, 3 and Tract 162 of the LANDS OF JAMES C. SMITH, together with the grant of Public Utility Easements, Public Water and Sewer Easements and Private Access Easement is with the free consent and in accordance with desires of the undersigned owner.

James C. Smith 1/8/2001
James C. Smith a married man.
Dealing in his sole and separate property.

ACKNOWLEDGMENT

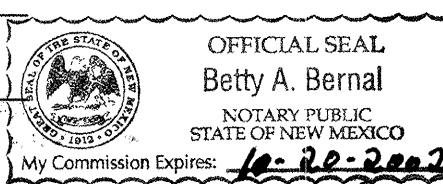
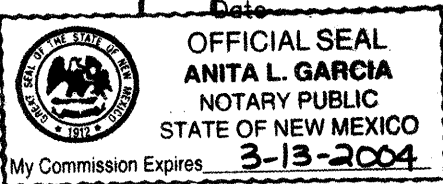
STATE OF NEW MEXICO
COUNTY OF BERNALILLO } ss

On this day of , 2001, the foregoing Instrument was acknowledged before me by James C. Smith

My Commission expires MARCH 13, 2004

Antita S. Garcia
Notary Public

Beth Smith 1-16-2002
Beth Smith joining perform.



APPROVALS as specified by the Village of Los Ranchos de Albuquerque Subdivision Ordinance

Mayor, Village of Los Ranchos de Albuquerque
Clerk, Village of Los Ranchos de Albuquerque
PNM Gas Services 1-12-01
PNM Electric Services 1-12-01
Qwest Communications 1-10-01
Comcast Cable 1-8-01
Middle Rio Grande Conservancy District 1-9-01

David R. Olson CHAIRMAN 2/27/2001
Maya S. Simon Sec. P&Z Commission 2/27/2001

DISCLOSURE STATEMENT

The purpose of this Plat is to divide Tracts 185C, 186B and Tract 162, Middle Rio Grande Conservancy District Map No. 24 into three lots together with grant of Public Utility and Public Water and Sewer Easements.

This is to certify that taxes are current and paid on

UPC #

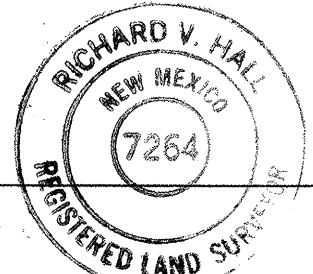
Property owner of record:

Bernalillo County Treasurer's Office

SURVEYOR'S CERTIFICATION

I, Richard V. Hall, a duly qualified Registered Professional Land Surveyor licensed under the laws of the State of New Mexico, do hereby certify that the plat inscribed hereon was prepared by me, shows all easements of record and made known to me by the Utility Companies or by the owner, meets the minimum requirements for monumentation and surveys of the State of New Mexico, and is true and correct to the best of my knowledge and belief.

Richard V. Hall
Richard V. Hall
N.M.P.S. No. 7264



HALL ENGINEERING COMPANY INC.
ENGINEERING • SURVEYING • PLANNING • CONSTRUCTION
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