

City Inspector: City Project Manager: Joe Baca Stacy Herrera

Franklin's Earthmoving, Inc. Contractor: Rio Grande Survey Co. Surveyor:

City Urban Program Supv: N/A

City Construction Manager: Adam Bergstrasser

Letter of Acceptance Date: 04/16/2020

CITY OF ALBUQUERQUE NEW MEXICO

DEPARTMENT OF MUNICIPAL DEVELOPMENT **CONSTRUCTION PLANS FOR**

JAMES DWYER SUBSTATION PARKING LOT EXPANSION

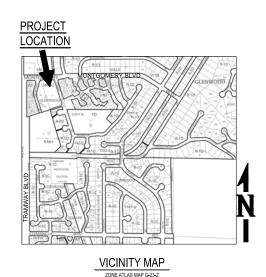
COA TASK PROJECT 6526.03

RECORD DRAWINGS, JULY 2020

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UTILITY CONTACTS

MERRILL, STEVE

DARNELL, AND

BOUSKA, KELL

ERICKSON, RITA

KELLY, LARRY

MUELLER, RICK

JOHNSON, KRIS

WEATHERS, ROGE

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RECORD DRAWINGS - JULY. 2020

GENERAL NOTES

- 1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION THROUGH UPDATE #8, WILL BE REFERRED TO HEREIN AS "STANDARD SPECIFICATIONS"
- 2. ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY OR EASEMENTS MUST BE DONE FROM APPROVED WORK ORDER DOCUMENTS FROM THE CITY
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, AND REGULATIONS CONCERNING CONSTRUCTION
- 4. CONTRACTOR AGREES THAT HE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE CON IMACTOR AGREES THAT ITS SHALL ASSUME THE SOLD AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- 5. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE
- 6. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURE PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION, ONLY THE CITY SURVEYOR SHALL REPLACE SURVEY MONUMENTS. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED. CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO STANDARD SPECIFICATIONS SECTION
- SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL SUBMIT TO DMD, CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE DMD, CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF STANDARD SPECIFICATIONS.

PERMIT REQUESTS MAY BE DENIED OR DELAYED DUE TO CONFLICTS WITH OTHER PROJECTS IN THE

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED
- 11. AT HIS OWN EXPENSE, CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENT, PAVEMENT MARKINGS, CURB AND GUTTER, HANDICAP RAMPS, AND SIDEWALK DURING CONSTRUCTION APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE, PER STANDARD SPECIFICATIONS.
- 12. ALL STREET STRIPING, ALTERED OR DESTROYED, SHALL BE REPLACED WITH TERMOPLASTIC REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR TO SAME LOCATION AS EXISTING, OR AS INDICATED BY THIS PLAN SET.
- 13. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPOR
- 14. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND MAINTAIN ALL CONSTRUCTION SIGNING UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY.

WATER & SEWER

- 15. ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- 16. CONTRACTOR SHALL COORDINATE WITH WATER AUTHORITY, (857-8200) SEVEN (7) WORKING DAYS PRIOR TO ANY WORK THAT MAY AFFECT EXISTING WATER AUTHORITY PUBLIC WATER OR SEWER UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR TIMING AND COORDINATION OF WATER SHUTOFF. EXISTING WATER AUTHORITY VALVES TO BE OPERATED BY WATER AUTHORITY PERSONNEL
- 17. PROPOSED WATERLINE MATERIALS SHALL BE PVC PIPE MEETING AWWA C-900: DR18 REQUIREMENTS (6" - 12"), DUCTILE IRON PIPE MEETING AWWA C-150 REQUIREMENTS (6" - 64")
- 18. ALL FITTINGS ON WATERLINE SHALL HAVE RESTRAINED JOINTS AS NOTED ON THE PLANS
- 19. ALL SANITARY SEWER LINE STATIONING REFERS TO SANITARY SEWER CENTERLINE STATIONING.
- 20. ALL FINAL BACKFILL FOR TRENCHES WITHIN SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY STANDARD SPECIFICATIONS SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2465.
- 21. ELECTRONIC MARKER SPHERES (EMS) WILL BE PLACED ACCORDING TO SECTION OF THE CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7.

OTHER COMMON NOTES

- 22. RCP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURES RECOMMENDATION. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF PIPE. RCP JOINTS SHALL NOT BE ROUTED UNLESS DIRECTED BY THE ENGINEER AFTER CITY APPROVAL
- CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL DETERMINE IN ADVANCE OF HIS CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY
- PNM WILL PROVIDE AT NO COST TO THE CITY OR THE CONTRACTOR THE REQUIRED PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
- 26. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND PRIOR TO CONSTIUDITION, CONTRACTOR SPALL EXCAVATE AND VERTIT THE HORIZONTIAL AN VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES AND/OR OBSTRUCTIONS. SHOUL CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- EXISTING UTILITY LINE LOCATION ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.
- 28 THE ENGINEER HAS LINDERTAKEN NO FIELD VERIFICATION OF THE LOCATION DEPTH SIZE OR TYPE OF THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTLITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES.
- 29. CONTRACTOR SHALL SUPPORT ALL EXISTING, UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND/OR SEWER LINE COSTS
- 30. CONTRACTOR IS TO SUPPORT AND MAINTAIN THE INTEGRITY OF ALL UNDERGROUND TELEPHONE, ELECTRIC CABLES AND CABLE TELEVISION UTILITIES AT NO ADDITIONAL COST TO THE OWNER. CABLE IS TO BE SUPPORTED AT A MAXIMUM OF EVERY FIFTEEN (15) FEET. CONTRACTOR SHALL COORDINATE WITH AND MAKE NECESSARY PAYMENT (IF ANY) TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES OR SUPPORT OF CABLES BY THE UTILITY OWNER.
- ALL FINAL BACKFILL FOR TRENCHES WITHIN THE COA RIGHT-OF-WAY SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY STANDARD SPECIFICATIONS SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2465.
- CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS SO THAT THE EXCAVATED WITHERIAL IS NO SUSCEPTIBLE TO BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY
- 33. REMOVALS SHALL BE DISPOSED OF OFF-SITE AND SHALL BE THE RESPONSIBILITY OF THE
- 34. CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIAL IN AN ENVIRONMENTALLY ACCEPTABLE MANNER AT A LOCATION ACCEPTABLE TO THE PROJECT MANAGER. THERE WILL BE NO DIRECT
- CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER WHICH WILL MINIMIZE INTERFERENCE
- ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR
- WHEN ABUTTING EXISTING PAVEMENT TO NEW, SAWCUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE FIELD ENGINEER. REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED.
- 38. REMOVAL OF EXISTING CURB AND GUTTER OR SIDEWALK SHALL BE TO THE NEAREST JOINT OR SAW
- 39. IF CULTURAL RESOURCES, SUCH AS HISTORIC OR PREHISTORIC ARTIFACTS, OR HUMAN REMAINS ARE DISCOVERED DURING EXCAVATION OR CONSTRUCTION, WORK SHALL CEASE AND THE CONSTRUCTION ENGINEER SHALL NOTIFY LOCAL AUTHORITIES. IF HUMAN REMAINS ARE DETERMINED BY THE OFFICE OF THE MEDICAL EXAMINER DETERMINES NOT TO BE RECENT, THE ENGINEER SHALL NOTIFY THE STATE HISTORIC PRESERVATION OFFICER (SHPO) AT 827-6320.
- 40. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS SO THAT THE EXCAVATED MATERIAL IS NO: SUSCEPTIBLE TO BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY
- 41. ANY WORK AFFECTING AN ARTERIAL ROADWAY REQUIRES CONTINUOUS TWENTY-FOUR (24) HOUR
- 42. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND MAINTAIN ALL CONSTRUCTION SIGNING UNTIL HE PROJECT HAS BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE AND AMAFCA.
- 43. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P AND COA STD. DWG. 2465.

- 44 IF A PAYEMENT DROP-OFF IS CREATED DURING THE COURSE OF CONSTRUCTION. THE CONTRACTOR SHALL INITIATE PROTECTIVE ACTION TO MAINTAIN A SMOOTH TRANS CONSIDERED INCIDENTAL TO PROJECT COMPLETION.
- VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THI CONTRACTOR SHALL NOTIFY THE ENGINEER OR CONSTRUCTION OBSERVER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 46. ALL ELECTRICAL, TELEPHONE, CABLE TV. GAS AND OTHER UTILITY LINES, CABLES AND ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED
- 47 DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE CONSTRUCTION OBSERVER, IDENTIFICATION OF A SITE AND VERIFICATION OF SITE SUITABILITY IS CONSIDERED INCIDENTAL TO THE COST OF PROJECT BID ITEM
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER
- 49. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE AT HIS EXPENSE ANY AND ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION, ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- 52. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE M.U.T.C.D., U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITIO
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL ASSUME RESPONSIBLITY FOR ANY DAMAGE TO EXISTING PAVEMENTS PAVEMENT MARKINGS, CURB & GUTTER, DRIVEPADS, WHEELCHAIR RAMPS, AND SIDEWALK DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE PER COA STANDARDS, AT HIS OWN EXPENSE
- 55. CONTRACTOR IS RESPONSIBLE FOR DRAINAGE MANAGEMENT AND EROSION CONTROL AT ALL TIMES
- 56. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH

AS BUILT INFORMATION						MICRO-FILM INFORMATIC	DATE		
AS BUI	CONTRACTOR	WORK STACKED BY	INSPECTOR'S ACCEPTANCE BY	FIELD VERIFICATION BY	DRAWINGS CORRECTED BY	MICRO-F	RECORDED BY	NO.	
BENCH MARKS	COORDINATES ARE MODIFIED (SURFACE) NEW MEXICO STATE CONTRACTOR	DATE PLANE COORDINATES-CENTRAL ZONE, NAD 83. TO OBTAIN STACKED BY	TRUE STATE PLANE COORDINATES, MULTIPLY THE	COORDINATES HEREON BY THE PROJECT AVERAGE COMBINED VERIFICATION BY	GROUND TO GRID FACTOR OF CF=.99962526. ELEVATIONS CORRECTED BY	ARE REFERRED TO SEA LEVEL, NAVD 88 AND HAVE BEEN	ADJUSTED TO THE C.O.A. CONTROL STATION "17_G22"	(PUBLISHED ELEV =5917.74, MEAS. ELEV =5917.64' WITH	(PS)
SURVEY INFORMATION	FIELD NOTES	NO. DATE							
ENGINEERS SEAL									
				DATE			-2020	-2020	-2020
				REMARKS			DATE 7-14-2	DATE 7-14-2	DATE 7-14-2
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	TITLE:	JAMES	DWYER SUBST GEI	ATION PARK NERAL NOTE)T EXPANSION	
•	Design Review	Committee	City Engineer	Approval	ast Design Update	Mo./Day/Yr.	Mo./Day/Y

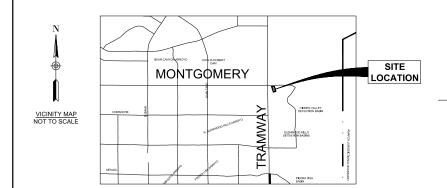
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JULY, 2020

RECORD DRAWINGS - WHPacific

City Project No.



LEGAL DESCRIPTION

A TRACT OF LAND SITUATED WITHIN TOWNSHIP 10 NORTH, RANGE 4 EAST, SECTION 2, NEW MEXICO PRINCIPLE MERIDIAN, WITHIN THE CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO, STATE OF NEW MEXICO. SAID TRACT OF LAND BEING DESCRIBED AS LOT 4, BLOCK 2 AS SHOWN ON THE PLAT ENTITLED "UNIT 1, GLENWOOD HILLS, SUBDIVISION, ALBUQUERGUE, NEW MEXICO", BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE GRID, CENTRAL ZONE (NAD83) BEARINGS AND GRID DISTANCES AS FOLLOWS:

COMMENCING AT A FOUND CITY OF ALBUQUERQUE BRASS CAP MONUMENT "I-G23";

THENCE N 84°53′59° W, A DISTANCE OF 3,372.80 FT TO A POINT ON THE WESTERLY RIGHT OF WAY LINE LANDAU STREET TO A FOUND NO. 5 REBAR, BENT;

THENCE, S 72°39'13" W, ALONG THE SOUTHERLY BOUNDARY OF SAID LOT 4, BLOCK 2, A DISTANCE OF 220.13 FT TO A FOUND NO. 5 REBAR, WITH A YELLOW PLASTIC CAP MARKED "PS 11482";

THENCE, N 17°30'30" W, ALONG THE WESTERLY BOUNDARY OF SAID LOT 4, BLOCK 2, COMMON TO THE EASTERLY LINE OF LOT 3A, BLOCK 2 AND ALSO BEING THE EASTERLY BOUNDARY OF A 150 FT WIDE P.N.M. EASEMENT, COMMON TO THE WESTERLY BOUNDARY OF A 10 FT WIDE P.N.M. & M.S.T.&T. EASEMENT, A DISTANCE OF 519.08 FT TO A POINT ON THE NORTHERLY BOUNDARY OF SAID LOT 4, BLOCK 2, AND BEING ON THE SOUTHERLY RIGHT OF WAY LINE MONTGOMERY BOULEVARD TO A POINT NOT SET:

THENCE, N 89°44'38" E, WITH THE SAID SOUTHERLY RIGHT OF WAY LINE AND ON THE NORTHERLY BOUNDARY OF SAID LOT 4, BLOCK 2, A DISTANCE OF 231.10 FT TO THE INTERSECTION OF THE WESTERLY RIGHT OF WAY LINE LANDAU STREET TO A POINT NOT SET;

THENCE, S 17°26°06° E, ON THE SAID RIGHT OF WAY LINE LANDAU STREET AND ON THE EASTERLY BOUNDARY OF SAID LOT 4, BLOCK 2, A DISTANCE OF 451.17 FT TO THE POINT OF BEGINNING;

THE DESCRIBED ENCLOSED AREA CONSISTS OF 106,938.33 SQ. FT. OR 2.4550 ACRES OF LAND, MORE OR LESS.

DOCUMENTS USED TO PREPARE THIS BOUNDARY SURVEY

- Montgomery and Tramway Police Station Site Plan as prepared by Dekker/Perich/Sabatini, dated December 10, 2001, Project No. 6230.91.
- Summary Plat Lots 2A and 3A being a Replat of Lot 3 and a portion of Lot 2 Block 2, Unit 1, Glenwood Hills, Bernalillo County, New Mexico, dated June 1983. Prepared by Ronald A. Forstbauer.
- Unit 1, Glenwood Hills, dated February 1961.
- 4. Tracts X-1-A and X-2-A Block 2, Unit 1, Glenwood Hills, dated March, 1987 as prepared by Thomas T. Mann, Jr., dated April 2, 1987.
- 5. Tract A, Block 1, Unit 1 Glenwood Hills, filed September 18, 1983, C22-32.

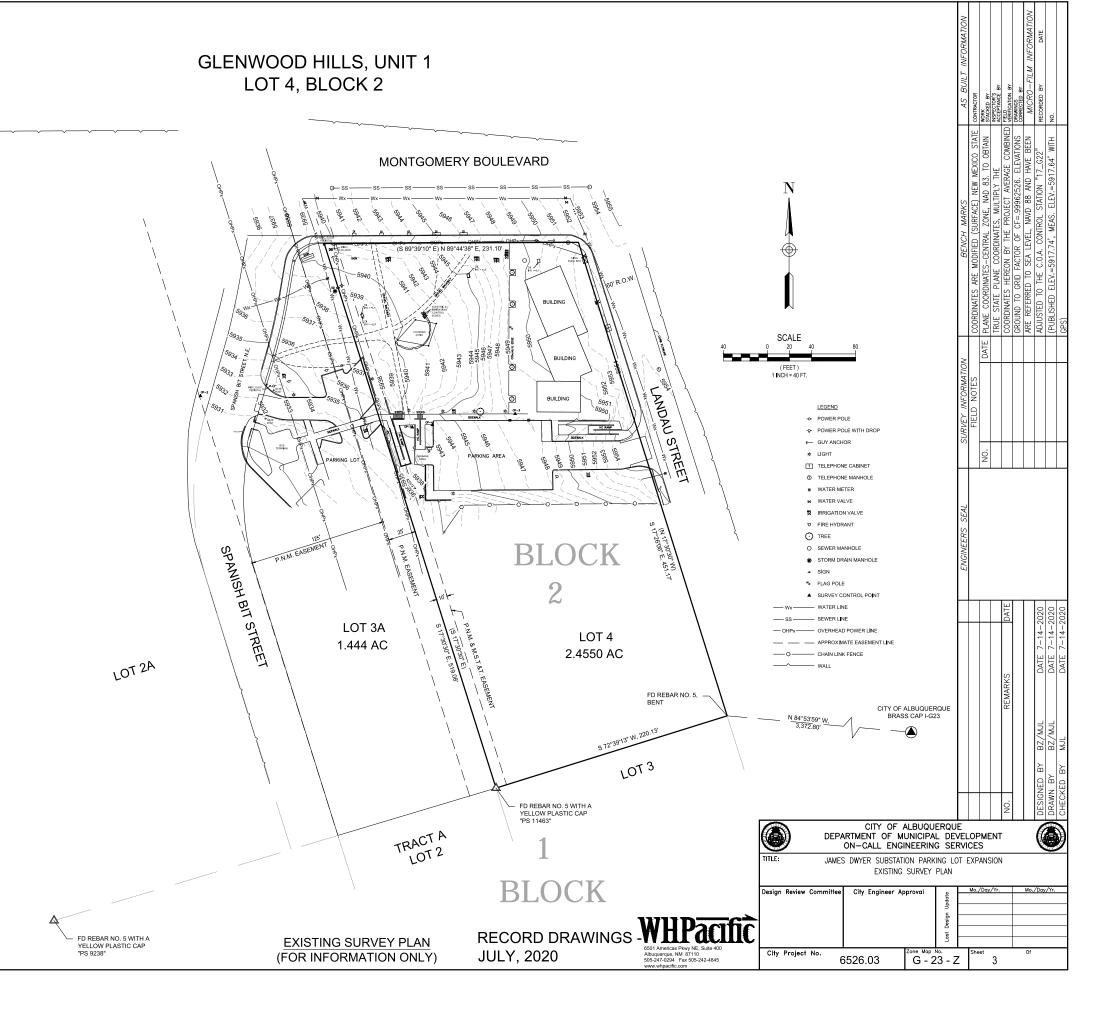
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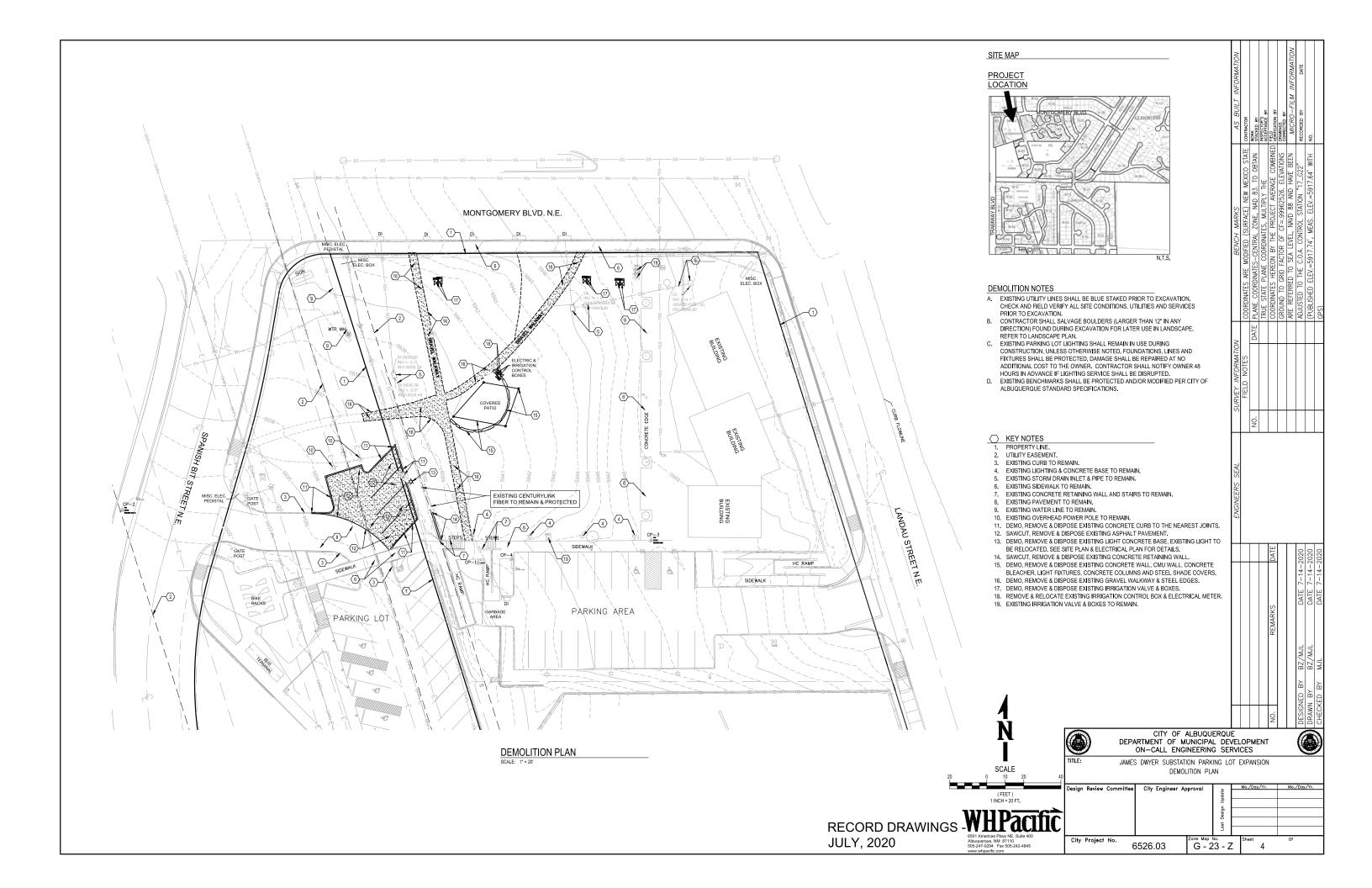
- Survey commenced on July 2, 2018 and was completed on July 31, 2018.
- Surface improvements were located at the time of this surve
- Control Points shown were set at the time of this survey. Coordinates shown were derived from GPS Static observations as completed by NGS (OPUS).
- 4. The Basis of Bearing for this project is based on GPS (Grid) and the distance shown are grid distances.
- 5. The grid to ground scale factor for this project is 1.000374870. The combined grid scale factor for this project is 0.99962527.
- 5. The purpose of this survey was to define the boundary and provide a topographiic survey of the existing conditions on a portion of Lot 3A and a portion of Lot 4. The boundary as shown was taken from the design drawings as provided by the City of Albuquerque, Public Works Department as prepared by Dekker/Perich/Sabatini, dated 8/1/2000.

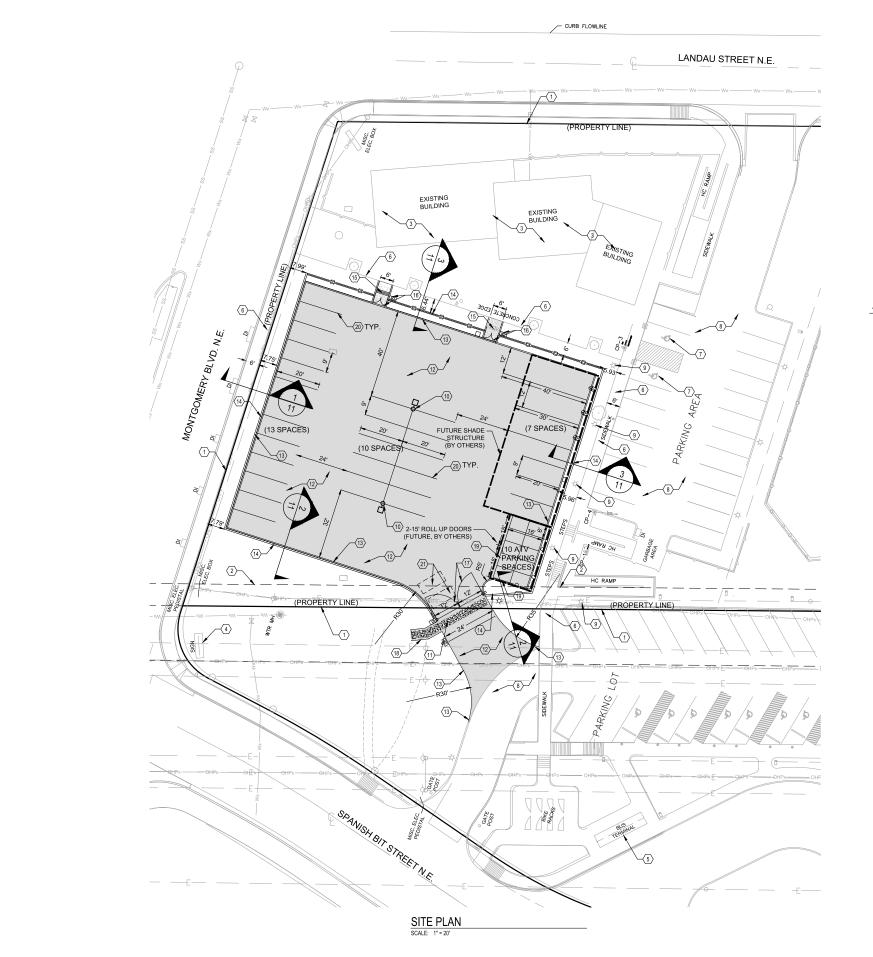
SURVEYOR'S CERTIFICATE

I, Lynn D. Lantz, New Mexico Professional Surveyor No. 10856, do hereby certify that this Boundary Survey Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that I am responsible for this survey; that this survey meets that Minimum Standards for Surveying in New Mexico; and that it is true and correct to the best of my knowledge and belief. I further certify that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act and that this instrument is a Boundary Survey Plat of an existing tract.

Surveyor's Name PS No. Date







VICINITY MAP

PROJECT LOCATION



KEY NOTES

- PROPERTY LINE.
 EXISTING 10' PNM EASEMENT.
- EXISTING BUILDING TO REMAIN.
- EXISTING SIGN TO REMAIN.
 EXISTING BUS SHELTER TO REMAIN.
- EXISTING SIDEWALK TO REMAIN.
- EXISTING HANDICAP PARKING SPACES TO REMAIN.
 EXISTING ASPHALT PAVEMENT TO REMAIN.
- EXISTING LIGHT POLE TO REMAIN.
- NEW LIGHT FIXTURE POLE MOUNTED, MOTION ACTIVATED, SEE ELECTRICAL PLAN FOR DETAIL.
- 11. CONSTRUCT NEW VALLEY GUTTER PER C.O.A STANDARD DETAIL 2420.

 12. CONSTRUCT NEW ASPHALT PAVEMENT, 2.5" ASPHALT OVER 4"
- BASE COURSE PER DETAIL 1, SHEET 10.

 13. CONSTRUCT CONCRETE HEADER CURB PER C.O.A STANDARD
- INSTALL NEW 6'-8' SECURITY FENCE, CMU SOLID WALL OR COMBINATION FENCE OF 3' CMU LOWER WALL WITH 3' WROUGHT IRON UPPER FENCE, OR 6' TALL WROUGHT IRON FENCE PER DETAILS 1-3, SHEET 11.
 15. CONSTRUCT NEW CONCRETE SIDEWALK, CONCRETE STEP AND
- GUARD RAIL FOR STEP PER DETAIL 3, SHEET 10.
- 16. INSTALL NEW PEDESTRIAN ACCESS GATE WITH CARD READER ACCESS.
- 7. INSTALL TWO 6' TALL BY 12' WIDE, DUAL SWING VEHICLE ACCESS GATES, AMERISTAR COMMERCIAL WELDED STEEL PANEL (BLACK), "MONTAGE PLUS CLASSIC 2-RAIL" WITH 2-GATE OPERATOR OPENERS, ACCESS PAD AND GOOSENECK APPARATUS FOR KEY PAD INCLUDING CONDUIT FOR POWER AND COMMUNICATION. PRE-WIRE FOR POWER TO GATE OPENERS AND KEY PAD LOCATION. KEYPAD AND COMMUNICATION BY OTHERS. WORK SHALL BE COMPLETE AND IN PLACE, OR ENGINEER APPROVED EQUAL. CONTRACTOR TO SUBMIT MATERIALS AND SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO ORDERING OF MATERIALS.
- 18. NEW 4' WIDE CONCRETE RUNDOWN PER DETAIL 4, SHEET 10.
- 19. FUTURE ATV SECURITY ENCLOSURE TO BE BUILD BY OTHERS.
- 20. INSTALL 4" WHITE STRIPPING
- 21. INSTALL LOOP DETECTOR FOR EXIT WITH AN ADDITIONAL SAFETY LOOP DETECTOR.

CONSTRUCTION NOTES

- A. AN EXCAVATION / CONSTRUCTION PERMIT WIL REQUIRED BEFORE BEGINNING ANY WORK WIT
- REQUIRED BEFORE BEGINNING ANY WORK WITH CITY RIGHT-OF-WAY.

 B. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED O PROVIDED HEREON, SHALL BE CONSTRUCTED II ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTION, 2011.

 C. TWO WORKING DAYS PRIOR TO ANY EXCAVATIC CONTRACTOR MUST CONTACT LINE LOCATING SERVICE FOR LOCATION OF STRING IT III TIES
- SERVICE FOR LOCATION OF EXISTING UTILITIES
 D. PRIOR TO CONSTRUCTION, THE CONTRACTOR
- SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY

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ITH I N	4		DATE							
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FION, G =e	NEY I	FIELD								

ENGINEERS S							
	7/3/19	3/18/19	DATE		2020	2020	2020
			REMARKS		DATE 7-14-2020	DATE 7-14-2020	DATE 7-14-2020
	FENCE TYPE REVISIONS	SNOIS			BZ/MJL	BZ/MJL	MJL
	FENCE TYF	PLAN REVISIONS			SIGNED BY BZ/MJL	AWN BY	HECKED BY
		_	O		SIG	ΑW	ECH

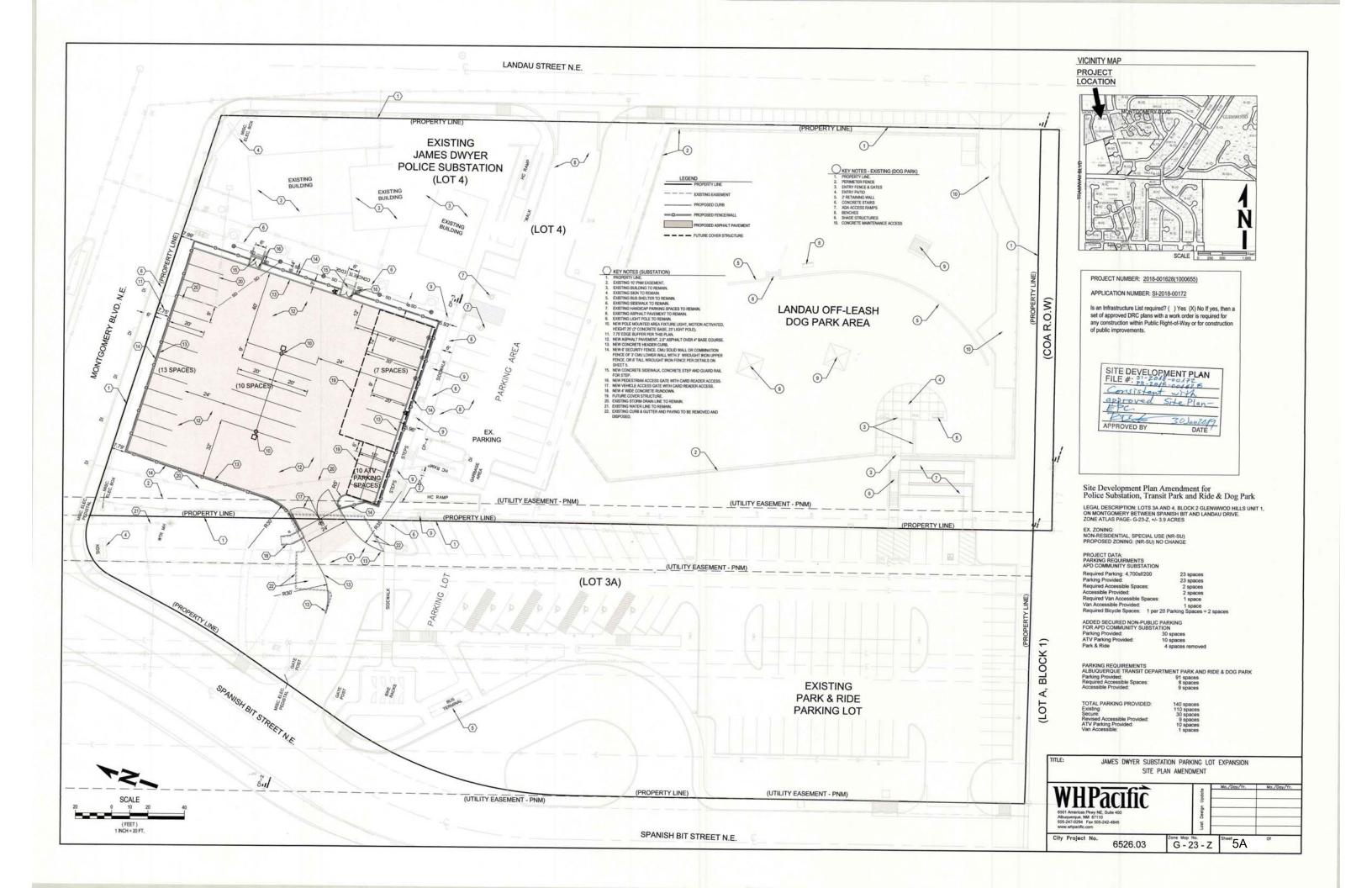


RECORD DRAWINGS -WHPacific JULY, 2020

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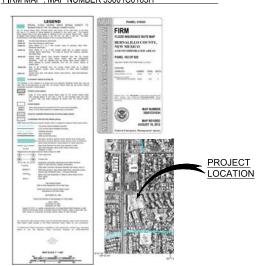
CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ON-CALL ENGINEERING SERVICES JAMES DWYER SUBSTATION PARKING LOT EXPANSION SITE PLAN

esign Review Committee		Last Design Updat	Mo./Day/Y	r. Mo./Do	y/Yr.
City Project No.	6526.03 Zone M	1ap No. - 23 - Z	Sheet 5	Of	



VICINITY MAP PROJECT LOCATION

FIRM MAP: MAP NUMBER 35001C0163H



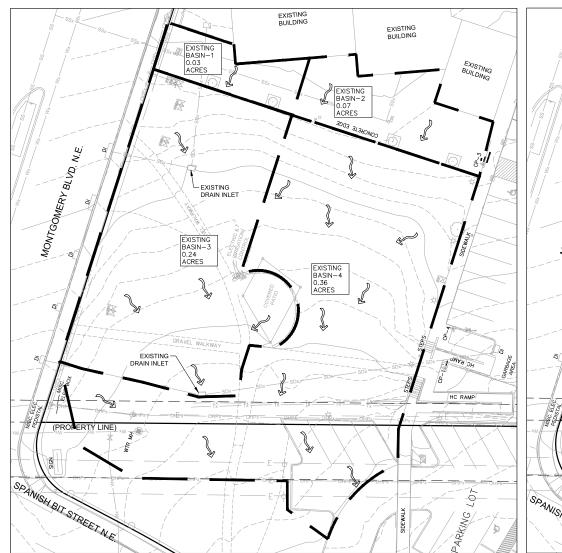
100-YR & 90th PERCENTILE STORM EVENTS HYDROLOGIC CALCULATIONS

		LA	AND TR	EATME	NT		100	-YR		90th Percentil	e Storm Events		
BASIN	AREA (ACRES)	A (%)	B (%)	C (%)	D (%)	UNIT PEAK DISCHARGE (CFS/AC)	WEIGHTED E (IN)	PEAK DISCHARGE (CFS)	VOLUME 6 HOUR (AC-FT)	UNIT PEAK DISCHARGE (CFS/AC)	WEIGHTED E (IN)	PEAK DISCHARGE (CFS)	6 HOUR (AC-FT)
							EXISTING	CONDITIONS					
EX 1	0.03	0.0	0.0	0.0	100.0	5.25	2.64	0.16	0.01				
EX 2	0.07	0.0	0.0	0.0	100.0	5.25	2.64	0.37	0.02				
EX 3	0.24	0.0	0.0	100.0	0.0	3.73	1.46	0.90	0.03				
EX 4	0.36	0.0	0.0	88.0	12.0	3.91	1.60	1.41	0.05				
TOTALS	0.70							2.83	0.099			0.00	0.00
							PROPOSE	D CONDITIONS					
1	0.117	0.0	0.0	23.0	77.0	4.90	2.37	0.57	0.02		0.44	0.00	0.004
2	0.035	0.0	0.0	100.0	0.0	3.73	1.46	0.13	0.004				
3	0.058	0.0	0.0	90.0	10.0	3.88	1.58	0.23	0.008				
4	0.41	0.0	0.0	5.0	95.0	5.17	2.58	2.12	0.088		0.44	0.00	0.02
5	0.08	0.0	0.0	100.0	0.0	3.73	1.46	0.30	0.010				
TOTALS	0.70							3.35	0.133			0.00	0.02
PROPOSE	D VS. EXI	STING	DIFFE	RENCE				0.52	0.034			0.00	0.02
							•			•		-	

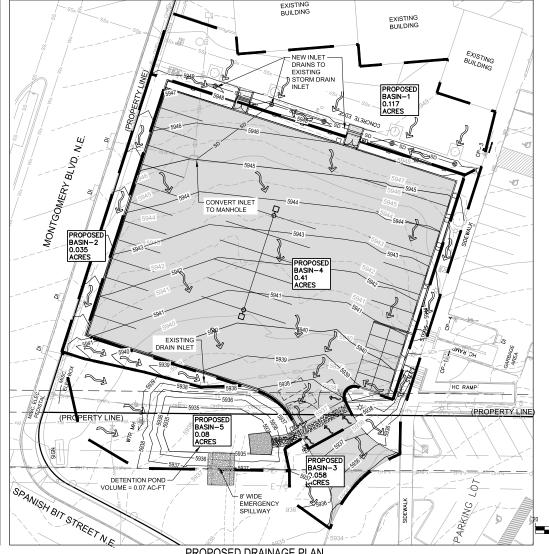
REFERENCE:

SECTION 22.2, HYDROLOGY, DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CIRITERIA OCTOBER 2008 REVISION, CITY OF ALBUQUERQUE, NEW MEXICO RAINAGE ORDINANCE DEFINES THE 90th PERCENTILE STORM EVENTS AS 0.44 INCHES.

	DETENTION POND											
ELEVATION	AREA (FT ²)	STORAGE (FT³)	STORAGE (AC-FT)	CUMMULATIVE STORAGE (FT ³)	CUMMULATIVE STORAGE (AC-FT)							
5935.0	921	0	0.00	0	0.00							
5935.5	1125	512	0.01	512	0.01							
5936.0	1380	626	0.01	1138	0.03							
5936.5	1710	773	0.02	1910	0.04							
5937.0	2070	945	0.02	2855	0.07							
		TOTAL	STORAGE	2855	0.07							



EXISTING DRAINAGE PLAN



PROPOSED DRAINAGE PLAN

LEGAL DESCRIPTION

LOTS 3A AND 4, BLOCK 2, UNIT 1, GLENWOOD HILLS TOGETHER

DRAINAGE BASIN AREA

<u>FLOOD ZONE DESIGNATION</u> NO PORTION OF THIS SITE LIES WITH A FLOOD PLAIN AS DESIGNATED ON PANEL 163 OF 825 OF THE FEMA FLOOD INSURANCE RATE MAPS, MAP NUMBER 35001C0163H DATED AUGUST 16, 2012.

<u>DRAINAGE CRITERIA</u>
CALCULATIONS FOR EXISTING PEAK DISCHARGE AND VOLUMETRIC RUNOFF WERE PERFORMED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL CHAPTER 22, SECTION 2, HYDROLOGY'S DRAINAGE CRITERIA FOR THE 100-YR, 6 HOUR DESIGN STORM.

HYDROLOGIC STUDY

THE SITE IS PRESENTLY LANDSCAPED AREA ON THE WEST SIDE OF THE EXISTING JAMES DWYER POLICE SUBSTATION. THERE WAS AN OPEN PAVILION NEAR THE CENTER OF THE PARCEL, AND GRAVEL TRAILS TRAVERSED THE SITE. THE GROUND SURFACE CONTAINED A MODERATE GROWTH OF GRASS AND SHRUBS. IT IS BORDERED BY MONTGOMERY BLVD. TO THE NORTH, LANDAU DRIVE TO THE EAST AND SPANISH BIT DRIVE TO THE WEST. BOTH MONTGOMERY BLVD. AND SPANISH BIT DRIVE HAVE EXISTING STORM DRAIN SYSTEMS WITH INLETS AD IACENT TO THE PROPERTY

SITE DRAINAGE TRENDED TO THE WEST FROM EXISTING JAMES DWYER POLICE SUBSTATION BUILDING AS SURFACE SHEET FLOW AT SLOPE APPROXIMATELY 8-15%. AN INLET LOCATED AT THE EAST END OF THE SITE ACCEPTS THE EXISTING FLOWS FROM THE POLICE SUBSTATION. ANOTHER INLET LOCATED AT THE WEST END OF THE SITE ACCEPTS THE FLOW WITHIN THE SITE. BOTH INLETS COLLECT FLOWS THEN CONVEYED TO EXISTING STORM DRAIN SYSTEM LOCATED AT MONTGOMERY BLVD. THE REST OF THE AREA SURFACE FLOW TO SPANISH BIT DRIVE. SEE EXISTING DRAIN PLAN FOR EXISTING BASINS.

PROPOSED CONDITIONS
THE PROPOSED SITE IMPROVEMENTS FOR THE SITE WILL CONSIST OF A NEW SECURE PAVED PARKING LOT FOR LAW REINFORCEMENT VEHICLES WITH CMU RETAINING WALL / IRON FENCE. PEDESTRIAN & VEHICLE ACCESS GATES AND ONSITE PARKING LIGHTS.

THE PROPOSED DRAINAGE WILL BE DIVIDED INTO 5 BASINS, WITH OFF-SITE BASIN & ONSITE BASINS. SEE PROPOSED DRAINAGE PLAN FOR BASINS.

BASIN 1 WILL CONSISTED AREAS OF EXISTING SUB STATION CONCRETE SIDEWALK, DRAINAGE FLOW WILL COLLECTED THROUGH NEW INLINE DRAINS BETWEEN THE EXISTING AREA AND NEW IRON FENCE THAT CONNECT TO THE EXISTING STORM DRAIN SYSTEM LOCATED AT MONTGOMERY BLVD. BASIN 2 RUNOFF WILL BE SURFACE FLOW ALONG THE NORTHWEST WALL TO THE EXISTING DRAIN INLET OUTSIDE THE CMU WALL THAT CONVEYED TO THE SAME STORM DRAIN SYSTEM LOCATED AT MONTGOMERY BLVD.

BASIN 3 WILL BE CONSISTED OF OUTSIDE OF SOUTH WALL AND DRIVEWAY ENTRANCE TO THE NEW GATED PARKING, RUNOFF WILL SURFACE FLOW TO EXISTING PARK & RIDE PARKING LOT THAT CONVEYED TO SPANISH BIT STREET.

BASIN 4 WILL BE ALL AREA WITHIN THE SECURED PARKING. ALL DRAINAGE FLOWS WILL SURFACE FLOW THROUGH PROPOSED VALLEY GUTTER & CONCRETE RUNDOWN THAT LOCATED AT THE FRONT PARKING ENTRANCE.

BASIN 5 CONSISTED EXISTING AREA & PROPOSED DETENTION POND, THE DETENTION POND WILL BE CONSTRUCTED AT THE DOWN STREAM OF THE CONCRETE RUNDOWN TO INTERCEPT THE 90
PERCENTILE RUNOFF & TO RETAIN THE DIFFERENCE OF THE HISTORIC RUNOFF FROM PRE-DEVELOPEMENT TO POST-DEVELOPMENT WITH A GRAVEL EMERGENCY SPILL WAY THE DETENTION POND WILL BE CONSTRUCTED WITH GRAVEL MULCH WITH LANDSCAPING

DRAINAGE SUMMARY:
EXISTING DISCHARGE TO STORM INLET CONNECTED @ MONTGOMERY:
EX. BASIN 1 & EX. BASIN 3, DISCHARGE = 1.05 CFS, VOLUME = 0.04 AC-FT.

PROPOSED DISCHARGE TO STORM INLET CONNECTED @ MONTGOMERY: PROP. BASIN 1 & 2, DISCHARGE = 0.70 CFS, VOLUME = 0.03 AC-FT.

NET DISCHARGE TO STORM INLET = -0.35 CFS, VOLUME = -0.01 AC-FT.

EXISTING DISCHARGE TO SPANISH BIT STREET:

EX. BASIN 2 & EX. BASIN 4. DISCHARGE = 1.78 CFS. VOLUME = 0.06 AC-FT.

PROPOSED DISCHARGE TO SPANISH BIT STREET PROP. BASIN 3, DISCHARGE = 0.23 CFS, VOLUME = 0.008 AC-FT.

PROPOSED DISCHARGE TO DETENTION POND: PROP. BASIN 4 & 5, DISCHARGE = 2.40 CFS, VOLUME = 0.10 AC-FT

PROPOSED DISCHARGE FROM POND SPILLWAY: 1,50 CFS. VOLUME = 0.05 AC-FT TOTAL PROPOSED DISCHARGE TO SPANISH BIT STREET = 1.73 CFS, VOLUME = 0.058 AC-FT.

NET DISCHARGE TO SPANISH BIT STREET = -0.05 CFS, VOLUME = -0.002 AC-FT.

THE EXISTING 100-YR RUNOFF DISCHARGE & VOLUME FROM THE SITE IS 2.83 CFS & 0.10 AC-FT FOR THE 100-YR, 6HR EVENT. THE PROPOSED RUNOFF FROM THE SITE IS 2.66 CFS & 0.088 AC-FT SINCE MOST OF THE SURFACE RUNOFF WILL BE COLLECTED THROUGH THE DETENTION POND ONSITE. THIS RESULTS IN A NET REDUCTION OF 0.17 CES & 0.012 AC-FT FROM EXISTING TO PROPOSED CONDITIONS. THE PROPOSED PARKING LOT ADDITION WILL HAVE NO IMPACT ON THE DOWNSTREAM AREAS SINCE THE RUNOFF AND DISCHARGE ARE LESS FROM THE PRE-DEVELOPED TO DEVELOPED CONDITION

THE DETENTION POND HAVE BEEN DEVELOPED ON SITE FOR TWO REASONS:

TO MITIGATE STORM WATER RUNOFF FROM EXISTING TO PROPOSED CONDITION. TO MANGE 90th PERCENTILE STORM EVENT FIRST FLUSH GENERATED BY CONTRIBUTING



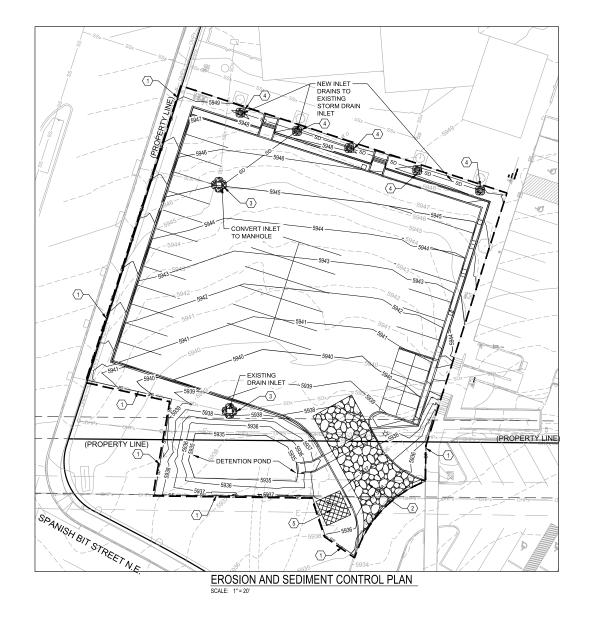
DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES JAMES DWYER SUBSTATION PARKING LOT EXPANSION

City Engineer Approva City Project No. 6526.03

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JULY, 2020

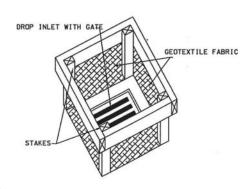
RECORD DRAWINGS -WHPacific



GENERAL NOTES:

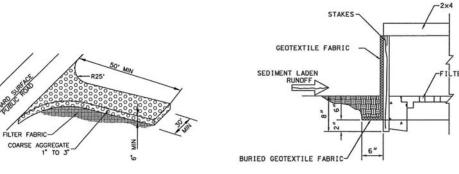
- PARKING AND STAGING AREAS ARE LOCATED OFF DISTURBED SITE IF NOT INDICATED ON THIS
- NATURAL VEGETATION WILL BE USED AS THE INITIAL BMP.
- ALL SITE FEATURES (EXISTING/PROPOSED GRADES, EXISTING CONSTRUCTION, FUTURE CONSTRUCTION, ETC.) SHOWN IS FOR INFORMATION ONLY.
- LOCATE TEMPORARY CONCRETE WASHOUT, CONSTRUCTION ENTRANCE, AND TRASH CONTAINMENT AREA TO MINIMIZE SITE DISTURBANCE DURING CONSTRUCTION ACTIVITY AND MODIFY AS REQUIRED PER SITE REQUIREMENTS.
- DISTURBED AREAS REMAINING NOT COVERED BY PERMANENT STRUCTURES OR BMPS SHALL BE STABILIZED BY SEEDING LAY CHAPTER 76, ARTICLE 10, SECTION 11-22 NMSA 1978.
- PROJECT IS REQUIRED TO MAINTAIN A REGIMENT OF STREET SWEEPING AND CLEAN UP MEASURES IN THE EVENT OF TRACK OUT TO MINIMIZE AND PREVENT OFF SITE CONVEYANCES.
- PERMANENT STABILIZATION:

GRAVEL MULCH REVEGETATION SEEDING (PER PROJECT PLANTING PLAN)



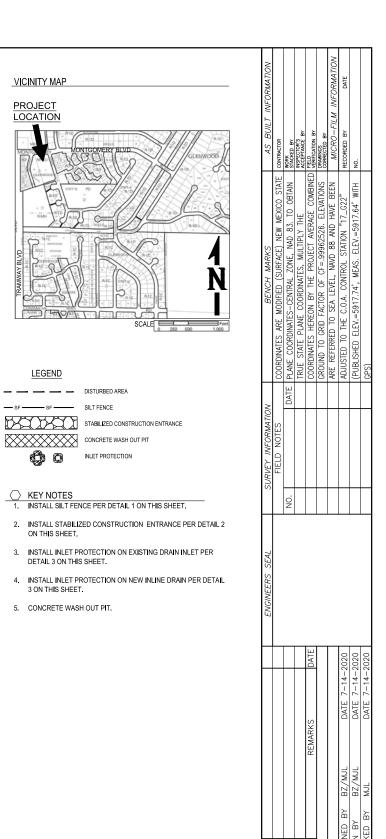
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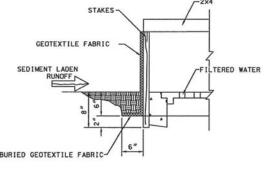
NOTE: WHEN SPECIFIED. ROCKS OR STRAW BALES CAN BE SUBSTITUTED FOR SILT FENCE.



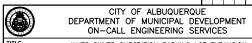
INLET PROTECTION SCALE: N.T.S.

JULY, 2020





RECORD DRAWINGS -WHPacific



JAMES DWYER SUBSTATION PARKING LOT EXPANSION EROSION AND SEDIMENT CONTROL PLAN

City Engineer Approval 6526.03 G - 23 - Z 6A

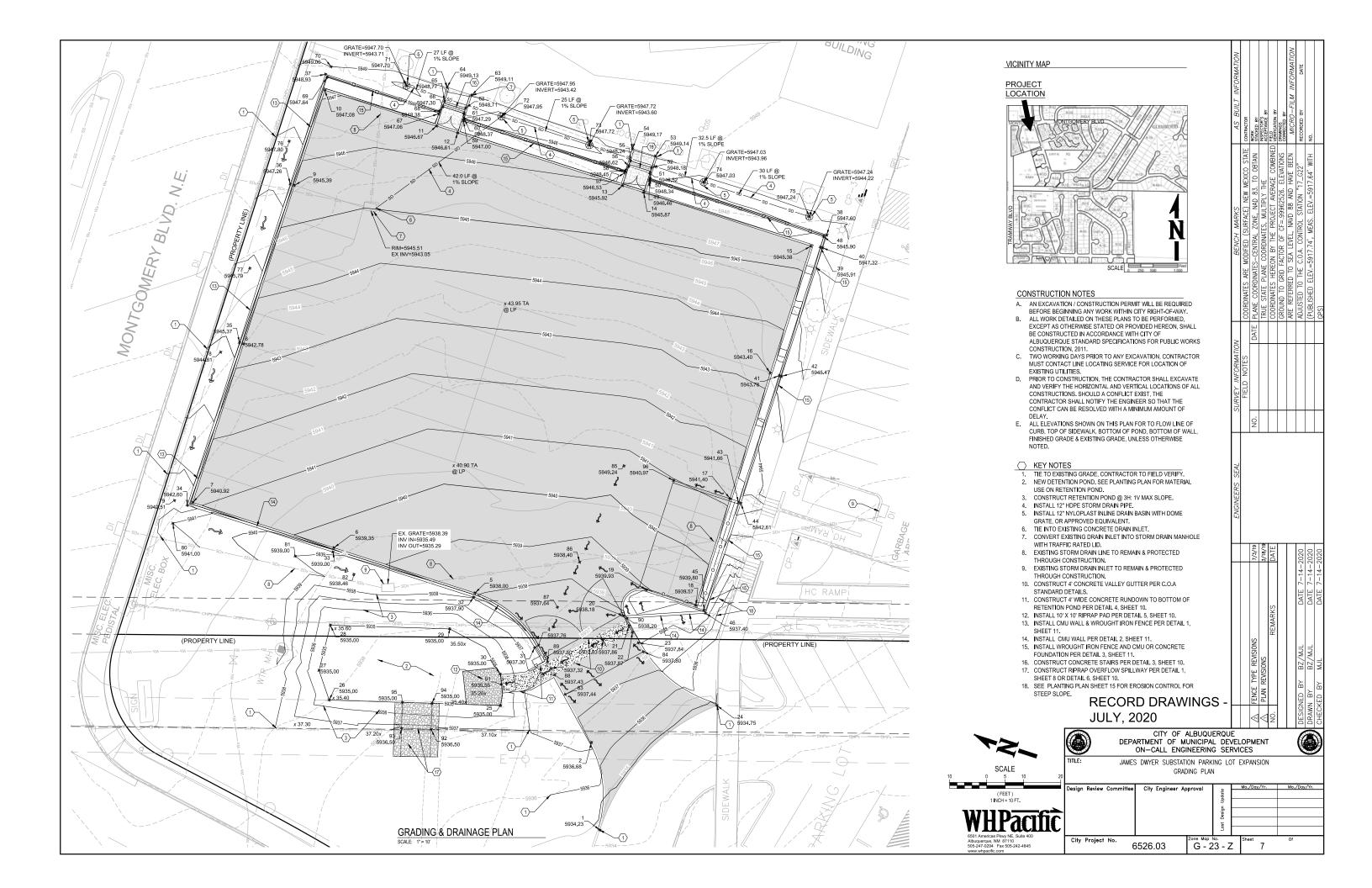
SILT FENCE STABILIZED CONSTRUCTION ENTRANCE SCALE: N.T.S. SCALE: N.T.S. EROSION AND SEDIMENT CONTROL DETAILS

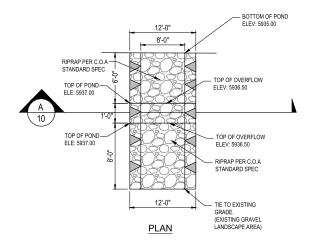
GEOTEXTILE FABRIC MATERIAL-

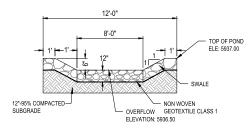
NATURAL SOIL-24" MINIMUM BURY

SUPPORTING FENCE (OPTIONAL SEE GUIDELINES ABOVE)

(NOT REQUIRED)







SECTION A RIPRAP OVERFLOW SPILLWAY DETAIL SCALE: N.T.S.

	SU	RVEY CONTR	EVEY CONTROL TABLE						
POINT#	NORTHING	EASTING	ELEVATION	DESCRIPTION					
1	1502754.11	1566646.85	5934.23	FL					
2	1502763.58	1566668.68	5936.68	FL					
3	1502780.14	1566684.28	5937.32	FL-VG					
4	1502785.31	1566689.17	5937.76	FL					
5	1502806.00	1566697.34	5938.00	FL					
6	1502846.06	1566697.18	5939.35	FL					
7	1502886.12	1566697.02	5940.92	FL					
8	1502886.30	1566742.02	5942.78	FL					
9	1502886.48	1566787.02	5945.39	FL					
10	1502886.58	1566814.02	5947.08	FL					
11	1502854.87	1566814.14	5946.67	FL					
12	1502848.87	1566814.17	5946.61	FL					
13	1502802.08	1566814.35	5945.92	FL					
14	1502796.08	1566814.38	5945.87	FL					
15	1502748.60	1566814.56	5945.38	FL					
16	1502748.46	1566778.56	5943.40	FL					
17	1502748.32	1566742.90	5941.40	FL					
18	1502748.20	1566712.56	5939.57	FL					
19	1502762.18	1566712.50	5939.93	FL					
20	1502765.92	1566703.87	5938.18	FL					
21	1502763.68	1566701.76	5937.86	FL-VG					
22	1502762.23	1566700.39	5937.87	FL					
23	1502759.85	1566698.16	5937.84	FL					
24	1502734.40	1566688.65	5934.75	FL					

	SURVEY CONTROL TABLE											
POINT#	NORTHING	EASTING	ELEVATION	DESCRIPTION								
25	1502790.02	1566670.57	5935.00	POND								
26	1502834.55	1566657.65	5935.00	POND								
27	1502839.63	1566664.40	5935.00	POND								
28	1502840.50	1566677.00	5935.00	POND								
29	1502809.50	1566686.00	5935.00	POND								
30	1502792.74	1566678.60	5935.00	POND								
31	1502786.11	1566688.31	5937.30	EG								
32	1502806.00	1566696.17	5937.90	EG								
33	1502845.94	1566696.01	5939.00	EG								
34	1502887.29	1566695.85	5942.60	EG								
35	1502887.47	1566742.02	5945.37	EG								
36	1502887.65	1566787,01	5947,26	EG								
37	1502887.77	1566818.18	5948.93	EG								
38	1502745.45	1566818.75	5947.60	EG								
39	1502746.08	1566815.07	5945.91	FG								
40	1502745.43	1566815.08	5947.32	EG								
41	1502745.95	1566778.61	5943.78	FG								
42	1502745.29	1566778.61	5945.47	EG								
43	1502745.81	1566742.62	5941,66	FG								
44	1502745.15	1566742.62	5942.61	EG								
45	1502745.70	1566712.07	5939.80	FG								
46	1502745.03	1566711.41	5937.40	FG								
47	1502769.17	1566695.94	5937.83	FL								
48	1502746.12	1566818.07	5945.90	FG								

SURVEY CONTROL TABLE									
POINT#	NORTHING	EASTING	ELEVATION	DESCRIPTION					
49	1502795.60	1566817.88	5946.46	FG					
50	1502795.60	1566818.55	5948.34	FG					
51	1502796.10	1566819.88	5946.52	STAIR					
52	1502796.11	1566821.43	5948.18	STAIR					
53	1502796.12	1566824.68	5949.14	SWLK					
54	1502802.62	1566824.71	5949.17	SWLK					
55	1502802.11	1566821.40	5948.24	STAIR					
56	1502802.10	1566819.85	5946.62	STAIR					
57	1502802.60	1566817.85	5946.53	FG					
58	1502802.60	1566818.52	5948.45	FG					
59	1502848.38	1566817.68	5947.00	FG					
60	1502848.39	1566818.34	5948.37	FG					
61	1502848.89	1566819.67	5947.29	STAIR					
62	1502848.90	1566821.22	5948.71	STAIR					
63	1502848.41	1566825.03	5949.11	SWLK					
64	1502855.41	1566825.00	5949.13	SWLK					
65	1502854.90	1566821.19	5948.77	STAIR					
66	1502854.89	1566819.64	5947.30	STAIR					
67	1502855.38	1566817.44	5947.06	FG					
68	1502855.39	1566818.31	5948.38	FG					
69	1502887.10	1566817.52	5947.64	FG					
70	1502886.96	1566820.58	5949.00	FG					
71	1502866.00	1566822.00	5947.70	FG-GRATE					
72	1502839.00	1566822.00	5947.95	FG-GRATE					

	SU	JRVEY CONTR	ROL TABLE	
POINT#	NORTHING	EASTING	ELEVATION	DESCRIPTION
73	1502814.00	1566822.00	5947.72	FG-GRATE
74	1502781.50	1566822.00	5947.03	FG-GRATE
75	1502751.50	1566822.00	5947.24	FG-GRATE
76	1502891.50	1566797.93	5947.80	FG
77	1502891.00	1566762.00	5945.79	FG
78	1502891.50	1566738.00	5944.81	FG
79	1502891.00	1566696.00	5942.51	FG
80	1502889.50	1566690.00	5941.00	FG
81	1502855.32	1566691.81	5939.00	FG
82	1502838.69	1566692.00	5938.46	FG
83	1502774.32	1566678.81	5937.44	FL
84	1502757.85	1566696.29	5937.80	FL
85	1502778.32	1566742.45	5949.24	FL-TA
86	1502781.66	1566714.02	5938.40	FL-TA
87	1502783.63	1566700.57	5937.64	FL-TA
88	1502778.69	1566682.93	5937.43	FL
89	1502781.60	1566685.67	5937.50	FL
90	1502764.86	1566703.56	5938.20	FG
91	1502791.58	1566676.05	5935.55	FL
92	1502805.89	1566658.62	5936.50	FG-OVERFLOW
93	1502813.60	1566656.48	5936.50	FG-OVERFLOW
94	1502807.86	1566665.39	5935.00	POND
95	1502815.54	1566663.16	5935.00	POND

VICINITY MAP

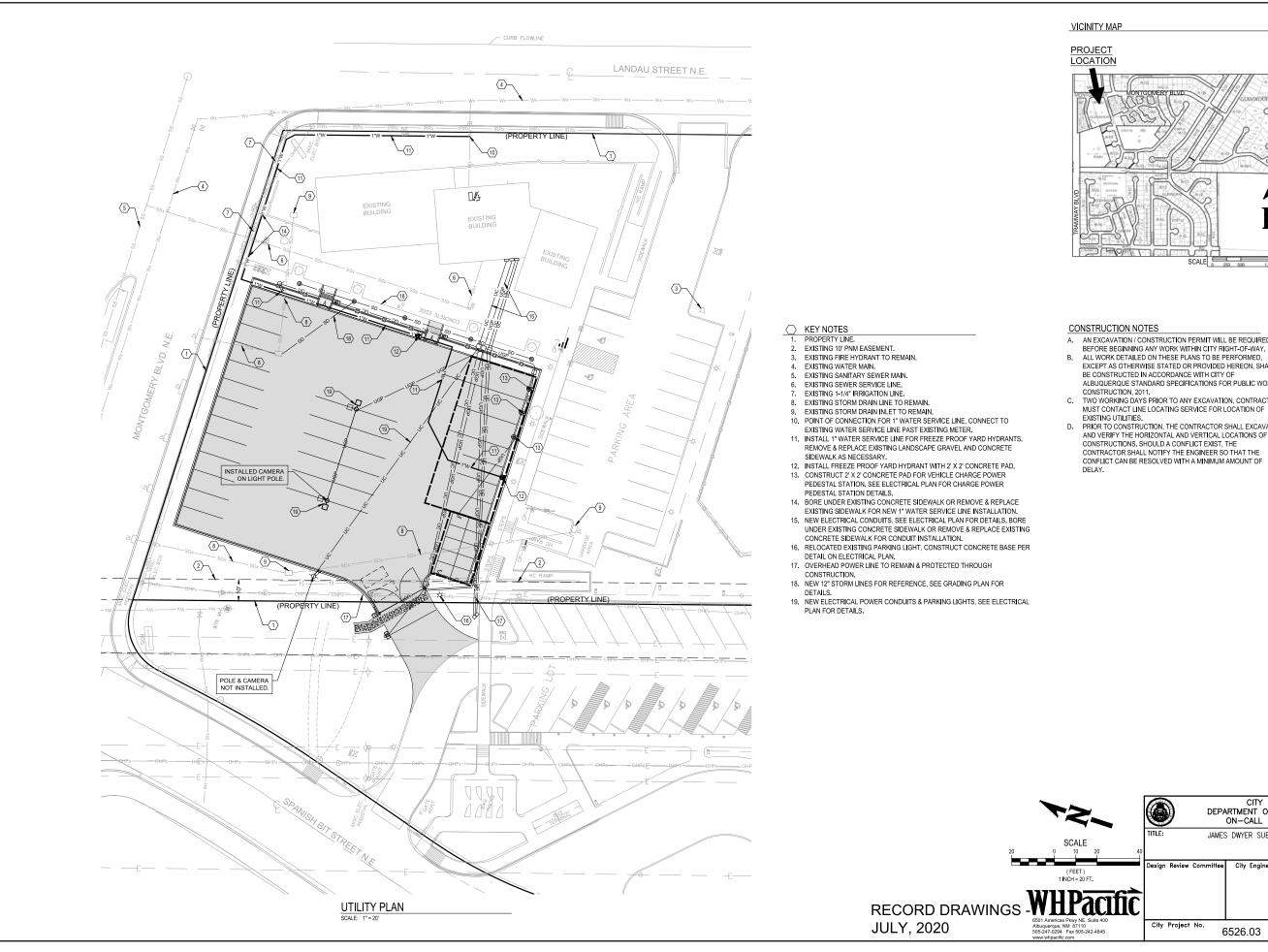
PROJECT LOCATION

ABBREVIATION FL - FLOW LINE FG - FINISHED GRADE SWLK - SIDEWALK VG - VALLEY GUTTER T.O.C- TOP OF CURB

		CITY OF ALBUQU ARTMENT OF MUNICIPA ON-CALL ENGINEERIN	L DE	VELOPMENT
TITLE:	JAMES	DWYER SUBSTATION PARK GRADING POINT TA		OT EXPANSION
Design Review	Committee	City Engineer Approval	Jpdate	Mo./Day/Yr.

RECORD DRAWINGS -WHPacif JULY, 2020

	TITLE:		JAMES	S DWYE		TION PARK POINT TA		T EXPANS	ION	,
C	Design	Review	Committee	City	Engineer	Approval	Last Design Update	Mo./Day,	Yr.	Mo./Day/Yr.
	City	Project	No.	3526	03	Zone Map	No.	Sheet	<u> </u>	Of





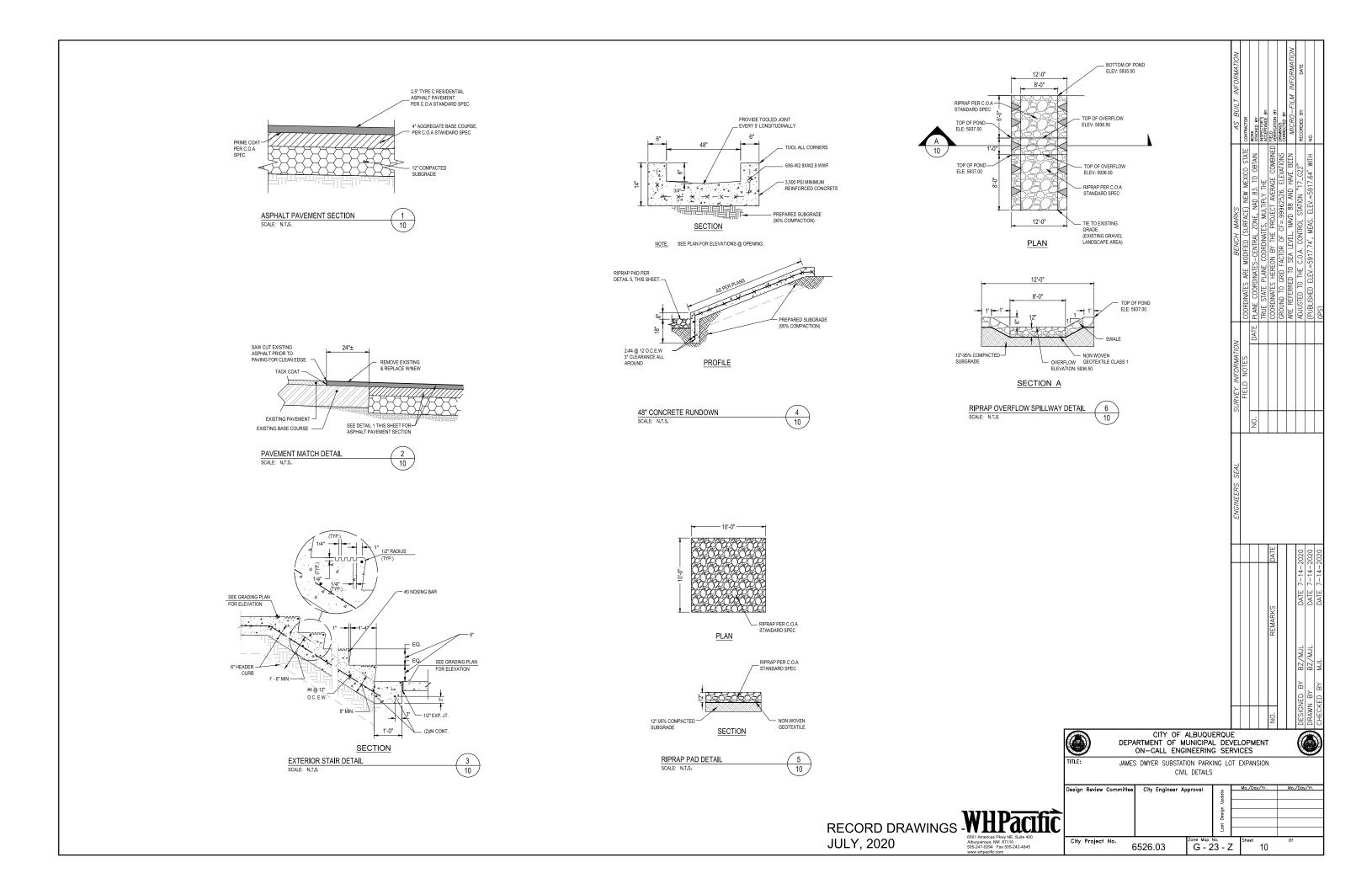
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- CONSTRUCTION, 2011.

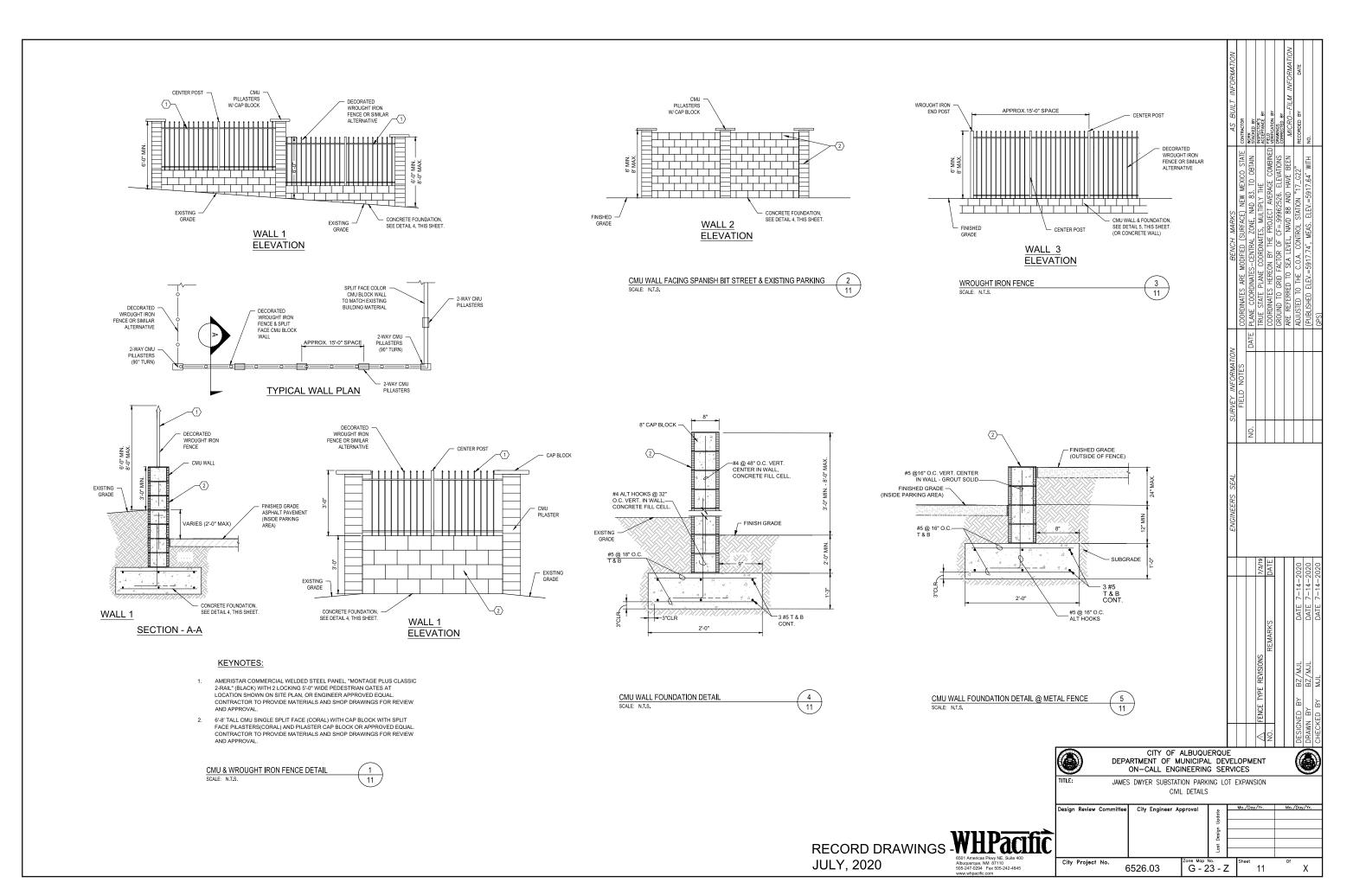
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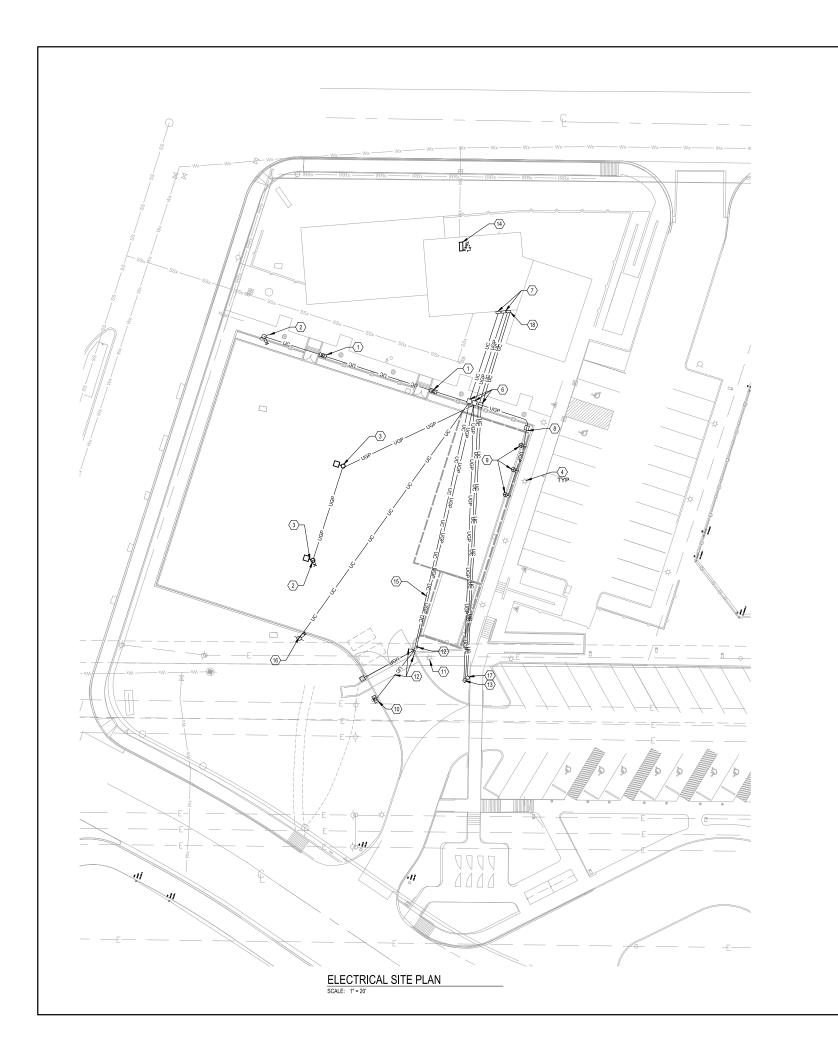


CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ON-CALL ENGINEERING SERVICES JAMES DWYER SUBSTATION PARKING LOT EXPANSION UTILITY PLAN

City Engineer Approval 6526.03 G - 23 - Z







- GENERAL ELECTRICAL NOTES

 A. CONTRACTOR IS STRONGLY ENCOURAGED TO VISIT AND CAREFULLY EXAMINE THOSE PORTIONS OF THE SITE AFFECTED BY THIS WORK BEFORE SUBMITTING PROPOSALS, SO AS TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND DIFFICULTIES THAT WILL AFFECT EXECUTION OF THE WORK.
- B. ALL ELECTRICAL WORK AND MATERIALS MUST CONFORM TO THE LATEST STANDARDS FOR THE NATIONAL ELECTRICAL CODE AND ANY OTHER APPLICABLE CODES. MATERIALS SHALL BE LISTED BY THE UNDERWRITER'S LABORATORIES, INC. SHOULD PLANS AND CODES CONFLICT, THE CODE TAKES PREFERENCE. MAKE NO CHANGES, EVEN IN CASE OF CONFLICT, WITHOUT FIRST OBTAINING APPROVAL OF THE ENGINEER.
- C. PROVIDE AS USED HERE ON THE DRAWINGS, PROVIDE IS AN ALL-INCLUSIVE TERM REQUIRING CONTRACTOR TO FURNISH, INSTALL, WIRE AND CONNECT ALL SPECIFIED EQUIPMENT AS WELL AS COMPONENTS, ACCESSORIES, WIRING, AND MOUNTING HARDWARE TO INSURE THAT SPECIFIED EQUIPMENT FUNCTIONS TO MEET SYSTEM(S) REQUIREMENTS.
- D. UNLESS OTHERWISE NOTED, ALL POWER CIRCUIT CONDUCTORS SHALL BE COPPER AND MINIMUM #12 AWG IN 1/2* CONDUIT.
- A GREEN, COPPER GROUND WIRE SHALL BE INSTALLED IN ALL CONDUIT SYSTEMS AND SHALL BE BONDED TO ALL ENCLOSURES, BOXES, AND
- EXISTING CONDITIONS AND UTILITIES INDICATED ARE TAKEN FROM EXISTING CONSTRUCTION DOCUMENTS, VARIOUS SURVEYS, AND FIELD INVESTIGATIONS
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT EXISTING UTILITIES FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE FOR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE COMPLETION OF THIS WORK.

- KEY NOTES

 1. CARD READER FOR GATE. COORDINATE WITH SECURITY CONTRACTOR. PROVIDE CONDUIT AND NEMA 3R BACKBOX. PROVIDE NYLON PULLSTRING. (1)1" CONDUIT TO PULL BOX FOR CARD READER.
 2. 18' TALL 4" ROUND TAPERED POLE FOR CAMERA, PROVIDE 1" SCHEDULE 40 PVC CONDUIT
- BACK TO PULL BOX.
- POLE MOUNTED AREA FIXTURE, MOTION ACTIVATED HUBBLE MODEL, AIRO LED #ASL-16L-4K-210-4-U-WH-SWPM, 23' POLE, 2#10AWG, 1#10AWG GROUND, 1" CONDUIT. SEE DETAIL SHEET 13 . HOMERUN TO PANEL LA 63. CONTROL VIA TIME CLOCK LOCATED NEXT TO PANEL "LA" SPARE CONTROL CONTACTOR #7.
- EXISTING PARKING LIGHT POLE TO REMAIN.
- BORE UNDER EXISTING CONCRETE SIDEWALK OR REMOVE & REPLACE EXISTING SIDEWALK FOR PROPOSED CONDUIT INSTALLATION.
- 18"X18"X12" QUAZITE PULLBOX TIER15.
- 12" X12"X6" NEMA 3R PULLBOX MOUNTED ON SIDE OF BUILDING.
 18"X18"X12" QUAZITE PULLBOX TIER15 FOR FUTURE LIGHTING AND PHOTOVOLTAIC
- SYSTEM. PROVIDE (1)2-1/2" SCHEDULE 80 PVC CONDUIT FROM BUILDING POWER PULLBOX
- WITH NYLON PULLSTRING.
 9. RV PEDESTAL WITH ONE 50 AMP NEMA 14-50R RECEPTACLE, ONE 5-20R2GFCI RECEPTACLE, AND ONE TELEPHONE CONNECTION KIT. MIDWEST ELECTRIC #5S3S2S2SEB OR APPROVED EQUAL. VERIFY EXACT LOCATION WITH OWNER PRIOR TO ROUGH-IN. 3.#8 THWN CU. AND 1.#10 THWN CU. GROUND IN 1" CONDUIT. EXTEND ONE 1" CONDUIT WITH NYLON PULL STRING BACK TO BUILDING COMM PULLBOX. HOME RUN TO PANEL "LA",
- CIRCUITS LA-73,75, LA-77,79, AND LA-78,80.

 10. CARD READER FOR SECURITY GATE, PROVIDE NEMA 3R BACKBOX AND (1)3/4" CONDUIT BACK TO GATE CONTROLLER. COORDINATE WITH SECURITY CONTRACTOR.
- 11. EXISTING LIGHT TO BE DEMOLISHED AND MOVED TO THIS LOCATION AND BE RECONNECTED. UTILIZE CIRCUIT CAPTURED DURING DEMOLITION. EXTEND AS NEEDED TO NEW LOCATION AND PROVIDE NEW CONCRETE PEDESTAL. COORDINATE WITH CIVIL.
- 240V, 30AMP, 2POLE, SAFETY DISCONNECT FOR DISCONNECTING MEANS ON GATE CONTROLLER. 2#6AWG, 1#6AWG GROUND, 1" SCHEDULE 80 PVC CONDUIT. HOMERUN TO PANEL LA-81,83. COORDINATE WITH SECURITY CONTRACTOR. PROVIDE (1)3/4" CONDUIT BETWEEN GATE OPERATORS AND (2)3/4" SCHEDULE 80 PVC CONDUITS FOR IN-GROUND LOOP SENSORS.
- 13. 18"X18"X12" QUAZITE PULLBOX TIER15 FOR FUTURE . 1-1" SCHEDULE 80 PVC CONDUIT BACK TO PULL BOX MOUNTED ON BUILDING PROVIDE NYLON PULLSTRING.
- 14. PANEL "LA" LOCATED IN ELECTRICAL CLOSET BACK OF BUILDING.
- ONE 1" SCHEDULE 80 PVC CONDUIT FOR GATE CONTROLLER.
 CAMERA AND POLE NOT INSTALLED.
- 17. 18"X18"X12" QUAZITE PULLBOX TIER15 FOR FUTURE . 2-4" SCHEDULE 80 PVC CONDUIT WITH INNERDUCT BACK TO PULL BOX MOUNTED ON BUILDING PROVIDE NYLON PULL STRING
- 18. 12" X12"X6" NEMA 3R PULLBOX MOUNTED ON SIDE OF BUILDING.

EI VI	_				ENGINEERS SEAL		SURVEY INFORMATION		BENCH MARKS
OF	⋖	PLAN REVISIONS		9/09/19			FIELD NOTES		COORDINATES ARE MODIFIED (SURFACE) NEW MEXICO STATE
МЕ	⊲	PLAN REVISIONS		4/16/19		9		ATE F	DATE PLANE COORDINATES-CENTRAL ZONE, NAD 83. TO OBTAIN
NT	\triangleleft	PLAN REVISIONS		3/18/19					TRUE STATE PLANE COORDINATES, MULTIPLY THE
	NO.		REMARKS	DATE					COORDINATES HEREON BY THE PROJECT AVERAGE COMBINED
									GROUND TO GRID FACTOR OF CF=.99962526. ELEVATIONS
									ARE REFERRED TO SEA LEVEL, NAVD 88 AND HAVE BEEN
	DESIG	SNED BY PJS	DATE 7	DATE 7-14-2020					ADJUSTED TO THE C.O.A. CONTROL STATION "17_G22"
ä	DRAW	IN BY PJS	DATE 7	DATE 7-14-2020					PUBLISHED ELEV.=5917.74', MEAS. ELEV.=5917.64' WITH
A	CHEC	KED BY BF	DATE 7	DATE 7-14-2020				_	(PS)



CITY OF ALBUQUERQ DEPARTMENT OF MUNICIPAL DI ON-CALL ENGINEERING S JAMES DWYER SUBSTATION PARKING LOT

6526.03

esian Review Committee City Engineer Approva

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ELECTRICAL SITE PLAN

JULY, 2020

hot-water pipes. Install horizontal raceway runs above water and steam piping. Products: Subject to compliance with requirements, provide product indicated on Anchor Bolts, Leveling Nuts, Bolt Caps, and Washers: Hot-dip galvanized after fabrication unless Install grounding electrode for each pole. SECTION 260519 - LOW-VOLTAGE ELECTRICAL POWER CONDUCTORS AND CABLES Comply with requirements in Section 260529 "Hangers and Supports for Electrica Drawings or an approved equal. Substitutions: When proposing alternate fixtures, submit lighting calculations showing PART 1 - GENERAL Systems" for hangers and supports. Arrange stub-ups so curved portions of bends are not visible above finished slab. Install grounding conductor and conductor protector 1.1 SUMMARY Type: Setscrew or compression illumination levels in footcandles at the surface of the parking area and out to the street on two Section Includes Install no more than the equivalent of three 90-degree bends in any conduit run excepsides, and 10' beyond the other two sides. Show average levels, maximum, minimum Anchor-Bolt Template: Plywood or steel ntrol wiring conduits, for which fewer bends are allowed. Support within 12 inches (300 max-to-min and avg-to-min for the lot separately and for the overall calculation. Use a Light Loss naction in an argument of the x separately and or the overall calculation, see a big in the second of 0.90 of less and a point spacing of five feet. Fixtures cannot be located in the sidewalks between the two center rows of parking. Equal or better results, using fixtures similar in appearance and acceptable to Owner, will be considered for substitution.

C. Illumination Results: The design as shown results in an average of 0.89, maximum of 1.7, Building wires and cables rated 600 V and less m) of changes in direction.

Conceal conduit and EMT within finished walls, ceilings, and floors unless otherwise dictated. Intall conduits parallel or perpendicular to building lines.

Support conduit within 12 inches (300 mm)of enclosures to which attached. Ground metallic components of pole accessories and foundations Handhole: Oval-shaped, with minimum clear opening of 2-1/2 by 5 inches (65 by 130 Expansion Fittings: PVC or steel to match conduit type, complying with UL 651, rated for environmental conditions where installed, and including flexible external bonding jumper. mm), with cover secured by stainless-steel captive screws. Provide on all poles.

E. Concrete Pole Foundations: Cast in place, with anchor bolts to match pole-base flange.

Concrete, reinforcement, and formwork are specified in Section 033000 "Cast-in-Place END OF SECTION 265600 Connectors, splices, and terminations rated 600 V and less Raceways extending from above to below grade:
Change from steel to IMC/PVC before turning to below grade, and to first elbow. minimum of 0.2 footcandles in the parking lot. 2.2 GENERAL REQUIREMENTS FOR LUMINAIRES ALUMINUM POLES Threaded Conduit Joints, Exposed to Wet, Damp, Corrosive, or Outdoor Conditions Coating for Fittings for PVC-Coated Conduit: Minimum thickness of 0.040 inch Apply listed compound to threads of raceway and fittings before making up joints. Follow 1.2 ACTION SUBMITTALS Luminaires shall comply with UL 1598 and be listed and labeled for installation in wet Poles: Seamless, extruded structural tube complying with ASTM B 429/B 429M, Alloy B. Poles: ASTM B 209 (ASTM B 209M), 5052-H34 marine sheet alloy with access handhole in pole wall. Product Data: For each type of product. (1 mm), with overlapping sleeves protecting threaded joints. ound manufacturer's written instructions. locations by an NRTL acceptable to authorities having jurisdic Coat field-cut threads on PVC-coated raceway with a corrosion-preventing conductive J. Coat field-out threads on PVC-coated raceway with a corrosion-preventing conductive compound prior to assembly.

K. Raceway Terminations at Locations Subject to Moisture or Vibration: Use insulating bushings to protect conductors including conductors smaller than No. 4 AWG.

L. Terminate threaded conduits into threaded those or with locknuts on inside and outside of boxes or cabinets. Install bushings on conduits up to 1-114-inch (35-mm) trade size and insulated 1.3 INFORMATIONAL SUBMITTALS LER Tests Incandescent Fixtures: Where LER is specified, test according to NEMA LE 5A. 1.3 INI-DOMM LONAL SUBMIT I ALS
A. Field quality-control reports. PART 2 - PRODUCTS
2.1 CONDUCTORS AND CABLES
A. Copper Conductors: Comply with NEMA WC 70/ICEA S-95-658.
B. Conductor Insulation: Comply with NEMA WC 70/ICEA S-95-658 for Type THHN/THWN-2. Joint Compound for IMC, GRC, or ARC: Approved, as defined in NFPA συπι συπιρούτει οι πίνο, στις, οι Απις: Approved, as defined in N 70, by authorities having jurisdiction for use in conduit assemblies, and compounded for use to lubricate and protect threaded conduit joints from corrosion and to enhance their conductivity. Shape: Square, straight LER Tests HID Fixtures: Where LER is specified, test according to NEMA LE 5B. Mounting Provisions: Butt flange for bolted mounting on foundation or breakaway support. throat metal bushings on 1-1/2-inch (41-mm) trade size and larger conduits terminated with 2.2 NONMETALLIC CONDUITS, TUBING, AND FITTINGS Lateral Light Distribution Patterns: Comply with IESNA RP-8 for parameters of lateral locknuts. Install insulated throat metal grounding bushings on service conduits. A. Listing and Labeling: Nonmetallic conduits, tubing, and fittings shall be listed and labeled as defined in NFPA 70, by a qualified testing agency, and 2.2 CONNECTORS AND SPLICES Install pull wires in empty raceways. Use polypropylene or monofilament plastic line with light distribution patterns indicated for luminaires C. Pole-Top Tenons: Fabricated to support luminaire or luminaires and brackets indicated, Description: Factory-fabricated connectors and splices of size, ampacity rating, material, not less than 200-lb (90-kg) tensile strength. Leave at least 12 inches (300 mm) of slack at each Metal Parts: Free of burrs and sharp corners and edges. type, and class for application and service indicated marked for intended location and application end of pull wire. Cap underground raceways designated as spare above grade alongside Sheet Metal Components: Corrosion-resistant aluminum unless otherwise indicated and securely fastened to pole top. Sheel Metal Components: Corrosion-resistant aluminum unless otherwise indicated.
 Form and support to prevent warping and sagging.
 E. Housings: Rigidly formed, weather- and light-light enclosures that will not warp, sag, or deform in use. Provide filter/breather for enclosed furnianises.
 F. Doors, Frames, and Other Internal Access: Smooth operating, free of light leakage under operating conditions, and designed to permit relaming without use of tools. Designed to prevent doors, frames, lenses, diffusers, and other components from falling accidentally during relamping and securely testened to pole top.

D. Grounding and Bonding Lugs: Welded 1/2-inch (13-mm) threaded lug, complying with requirements in Section 260526 "Grounding and Bonding for Electrical Systems," listed for attaching grounding and bonding on odructors of type and size listed in that Section, and accessible through handhole.

E. Brackets for Luminaires: Detachable, with pole and adapter fittings of cast aluminum. Adapter fitting welded to pole and bracket, then bolled together with stainless-steel bolts. ENT: Comply with NEMA TC 13 and UL 1653. raceways in use.

N. Support boxes of three gangs or more from more than one side by spanning two framing members or mounting on brackets specifically designed for the purpose.

O. Fasten junction and pull boxes to or support from building structure. Do not support 2.3 SYSTEM DESCRIPTION RNC: Type EPC-40-PVC, complying with NEMA TC 2 and UL 651 2.3 ST31EM USSURFITION.

A Electrical Components, Devices, and Accessories: Listed and labeled as defined in NFPA 70, by a qualified testing agency, and marked for intended location and application.

B. Comply with NFPA 70.

LOW-VOLTAGE ELECTRICAL POWER CONDUCTORS AND CABLES 280519 - 1 s otherwise indicated.
LFNC: Comply with UL 1660.
Continuous HDPE: Comply with UL 651B.
Collable HDPE: Preassembled with conductors or cables, and complying boxes by conduits.
INSTALLATION OF UNDERGROUND CONDUIT Sandia Vista Elementary School New Parking Lot Improvement 08/201 with ASTM D 3485 Direct-Buried Conduit and when secured in operating position. Doors shall be removable for cleaning or replacing Fittings for ENT and RNC: Comply with NEMA TC 3; match to conduit or Tapered oval cross section, with straight tubular end section to accommodate luminaire. PART 3 - EXECUTION lenses. Designed to disconnect ballast when door opens. 3.1 CONDUCTOR MATERIAL APPLICATIONS Excavate trench bottom to provide firm and uniform support for conduit. Exposed Hardware Material: Stainless steel. Plastic Parts: High resistance to yellowing and other changes due to aging, exposure to Fittings for LFNC: Comply with UL 514B. Branch Circuits: Copper. Solid for No. 10 AWG and smaller; stranded for No. 8 AWG and L. Solvent cements and adhesive primers shall have a VOC content of 510 and 550 g/L or less, respectively, when calculated according to 40 CFR 59, Subpart D (EPA Method 24). Finish: Same as luminaire. After installing conduit, backfill and compact. Start at tie-in point, and work toward end of conduit run, leaving conduit at end of run free to move with expansion and contraction as temperature changes during this process. Firmly hand tamp backfill around conduit to provide maximum Branch Circuits: Type THHN/THWN-2, single conductors in raceway Light Shields: Metal baffles, factory installed and field adjustable, arranged to block light bution to indicated portion of normally illuminated area or field.

Reflecting surfaces shall have minimum reflectance as follows unless otherwise ated: 3.2 INSTALLATION OF CONDUCTORS AND CABLES
A. Conceal cables in finished walls, ceilings, and floors unless otherwise indicated.
B. Complete raceway installation between conductor and cable termination points according to Section 200333 "Raceways and Bowes for Electrical Systems" prior to pulling conductors and Prime-Coat Finish: Manufacturer's standard prime-coat finish ready for field painting.
Aluminum Finish: Comply with NAAMM's "Metal Finishes Manual for Architectural and Products" for recommendations for applying and designating finishes. 2.3 BOXES, ENCLOSURES, AND CABINETS supporting strength. After placing controlled backfill to within 12 inches (300 mm) of finished A. General Requirements for Boxes, Enclosures, and Cabinets: Boxes, enclosures, and cabinets installed in wet locations shall be listed for use in wet grade, make final conduit connection at end of run and complete backfilling with normal White Surfaces: 85 percent. compaction as specified in Section 312000 "Earth Moving." Finish designations prefixed by AA comply with the system established by the Aluminum Sheet Metal Outlet and Device Boxes: Comply with NEMA OS 1 and UL Use manufacturer-approved pulling compound or lubricant where necessary; compound used must not deteriorate conductor or insulation. Do not exceed manufacturer's recor Install manufactured duct elbows for stub-up at poles and equipment and at building entrance: Specular Surfaces: 83 percent naximum pulling tensions and sidewall pressure values Small Sheet Metal Pull and Junction Boxes: NEMA OS 1. brough floor unless otherwise indicated. Encase elbows for stub-up ducts throughout length of Use pulling means, including fish tape, cable, rope, and basket-weave wire/cable grips, Natural Satin Finish: Provide fine, directional, medium satin polish (AA-M32); buff complying with Diffusing Specular Surfaces: 75 percent To be planting means, including list raper, cause, rope, and besiderweave whereave is that will not damage cables or raceway.
 Install exposed cables parallel and perpendicular to surfaces of exposed structural members, and follow surface contours where possible. 2.4 HANDHOLES AND BOXES FOR EXTERIOR LINDERGROUND WIRING AA-M20; and seal aluminum surfaces with clear, hard-coat wa Install manufactured rigid steel conduit elbows for stub-ups at poles and equipment and at Class I, Clear Anodic Finish: AA-M32C22A41 (Mechanical Finish: medium satin; Chemical Finish: etched, medium matte; Anodic Coating: Architectural Class I, clear coating 0.018 mm or thicker) complying with AAMA 611. oxes and handholes for use in underground systems shall be designed and Lenses and Refractors Gaskets: Use heat- and aging-resistant resilient gaskets to seal building entrances through floor. 3.3 CONNECTIONS and cushion lenses and refractors in luminaire doors.

L. Luminaire Finish: Manufacturer's standard paint applied to factory-assembled and -tested Tighten electrical connectors and terminals according to manufacturer's published torque-tightening values. If manufacturer's torque values are not indicated, use those specified in Couple steel conduits to ducts with adapters designed for this purpose, and encase coupling with luminaire before shipping. Where indicated, match finish process and color of pole or support Boxes installed in wet areas shall be listed and labeled as defined in NFPA 70. 3 inches (75 mm) of concrete for a minimum of 12 inches (300 mm) on each side of the coupling Make splices, terminations, and taps that are compatible with conductor material and by a qualified testing agency, and marked for intended location and application Factory-Applied Finish for Aluminum Luminaires: Comply with NAAMM's "Metal Finishes Class I, Color Anodic Finish: AA-M32C22A42/A44 (Mechanical Finish: medium satin; Chemical that possess equivalent or better mechanical strength and insulation ratings than unspliced Manual for Architectural and Metal Products" for recommendations for applying and designating Finish: etched, medium matte; Anodic Coating: Architectural Class I, integrally colored or electrolytically deposited color coating 0.018 mm or thicker) complying with AAMA 611. u.

For stub-ups at equipment mounted on outdoor concrete bases and where conduits penetrate building foundations, extend steet conduit horizontally a minimum of 60 inches (1500 mm) from edge of foundation or equipment base. Install insulated grounding bushings on terminations at B. Polymer-Concrete Handholes and Boxes with Polymer-Concrete Cover: Molded of sand and aggregate, bound together with polymer resin, and reinforced with steel, fiberglass, or a combination of the two. 3.4 IDENTIFICATION Finish designations prefixed by AA comply with the system established by the Aluminum Color-code conductors to identify phase, neutral, and ground.

Identify each spare conductor at each end with identify number and location of other end Standard: Comply with SCTE 77 of conductor, and identify as spare conductor. Install lamps in each luminaire.
Fasten luminaire to indicated structural supports. Natural Satin Finish: Provide fine, directional, medium satin polish (AA-M32); buff complying with 3.5 FIFLD QUALITY CONTROL AA-M20; and seal aluminum surfaces with clear, hard-coat was Use fastening methods and materials selected to resist seismic forces defined for the Perform the following tests and inspections:
 LOW-VOLTAGE ELECTRICAL POWER CONDUCTORS AND CABLES 260519 - 2 Configuration: Designed for flush burial with open bottom unless otherwise PROTECTION application and approved by manufacture Protect coatings finishes and cabinets from damage and deterioration EDVITATION CALLED TRANSPORT OF THE ADMINISTRATION OF A STANDARD ST Class I. Clear Anodic Finish: AA-M32C22A41 (Mechanical Finish: medium satin: Chemical 3.2 POLE INSTALLATION Finish: etched, medium matte; Anodic Coating: Architectural Class I, clear coating 0.018 mm or thicker) complying with AAMA 611. 3.2 POLE INSTALLATION
A Alignment Align pole foundations and poles for optimum directional alignment of luminairies and their mounting provisions on the pole.
B. Concrete Pole Foundations, Set anchor boths according to anchor-bott templates furnished by pole manufacturer. Concrete materials, installation, and finishing requirements are specified in Section 33000 "Cast-Picace Concrete".
C. Foundation-Mounted Poles: Mount pole with leveling nuts, and tighten top nuts to torque air damage to galvanized finishes with zinc-rich paint recommended by manufacture Cover: Weatherproof, secured by tamper-resistant locking devices and having structural load rating consistent with enclosure and handhole location. .. Repair damage to PVC coatings or paint finishes with matching touchup coating recommended 4. Class I, Color Anodic Finish: AA-M32C22A42/A44 (Mechanical Finish: medium satin; Chemical Procedures used Cover Finish: Nonskid finish shall have a minimum coefficient of friction of 0.50 Finish; etched, medium matte; Anodic Coating; Architectural Class I, integrally colored or electrolytically deposited color coating 0.018 mm or thicker) complying with AAMA 611 level recommended by pole manufacture Results that comply with requirements B. Protect building surfaces, hardscape, and landscaping from damage. Renair any Cover Legend: Molded lettering, "FLECTRIC.". damage to match original finish. END OF SECTION 260533 Use anchor holts and nuts selected to resist seismic forces defined for the application and N. Factory-Applied Labels: Comply with UL 1598. Include recommended lamps and ballasts. Labels shall be located where they will be readily visible to service personnel, but seen from normal viewing angles when lamps are in place.

1. Label shall include the following lamp and ballast characteristics: SECTION 265600 - EXTERIOR LIGHTING PART 1 - GENERAL Results that do not comply with requirements and corrective action taken to achieve compliance Conduit Entrance Provisions: Conduit-terminating fittings shall mate with entering ducts for secure, fixed installation in enclosure wall. Crout void between pole base and foundation. Use nonshrink or expanding concrete grout firmly packed to fill space. Section Include Cables will be considered defective if they do not pass tests and inspections. "USES ONLY" and include specific lamp type Exterior luminaires with lamps and ballasts 3.1 RACEWAY APPLICATION Install base covers unless otherwise indicated Outdoors: Apply raceway products as specified below unless otherwise indicated Lamp tube configuration (twin, guad, triple), base type, and nominal wattage for compact LOW-VOLTAGE FLECTRICAL POWER CONDUCTORS AND CABLES 260519 - 3 Poles and accessories Exposed Conduit: RNC. Type EPC-40-PVC SECTION 260533 - RACEWAYS AND BOXES FOR ELECTRICAL SYSTEMS Use a short piece of 1/2-inch- (13-mm-) diameter pine to make a drain hole through grout PART 1 - GENERAL Lamp type, wattage, bulb type (ED17, BD56, etc.) and coating (clear or coated) for HID STRUCTURAL ANALYSIS CRITERIA FOR POLE SELECTION
 Dead Load: Weight of luminaire and its horizontal and vertical supports, lowering devices, and supporting structure, applied as stated in AASHTO LTS-4-M.
 Live Load: Single load of 500 lift (224 N), distributed as stated in AASHTO LTS-4-M.
 loe Load: Load of 3 lbf/sq. ft. (145 Pa), applied as stated in AASHTO LTS-4-M loe Load L. Underground Conduit: RNC, Type EPC-40-PVC direct buried D. Poles and Pole Foundations Set in Concrete Paved Areas: Install poles with minimum of 6-inch- (150-mm-) wide, unpaved gap between the pole or pole foundation and the edge of adjacent concrete slab. Fill unpaved ring with pea gravel to a level 1 inch (25 mm) below top of Metal conduits, tubing, and fittings. Indoors: Apply raceway products as specified below unless otherwise indicated Start type (preheat, rapid start, instant start) compact fluorescent luminaire Exposed: FMT or RNC Raise and set poles using web fabric slings (not chain or cable). Nonmetal conduits, tubing, and fittings Wind Load: Pressure of wind on pole and luminaire and banners and banner arms. ANSI ballast type (M98, M57, etc.) for HID luminaires. calculated and applied as stated in AASHTO LTS-4-M.

1. Basic wind speed for calculating wind load for poles 50 feet (15 m) high or less is 100 3.3 CORROSION PREVENTION 3.3 CORROSION PREVENTION

A Aluminum: Do not use in contact with earth or concrete. When in direct contact with a dissimilar metal, protect aluminum by insulating fittings or treatment.

B. Steel Conduits: Comply with Section 260533 "Raceways and Boxes for Electrical Systems." In concrete foundations, wrap conduit with 0.010-inch. (0.254-mm.) thick, pipe-wrapping plastic tape applied with a 50 percent overlap. Polymer concrete handholes Boxes and Enclosures: NEMA 250 Type 1 .. CCT and CRI for all luminaires Minimum Raceway Size: 3/4-inch (21-mm) trade size or as noted. Raceway Fittings: Compatible with raceways and suitable for use and location PART 2 - PRODUCTS 2.1 METAL CONDUITS, TUBING, AND FITTINGS GENERAL REQUIREMENTS FOR POLES AND SUPPORT COMPONENTS

A. Structural Characteristics: Comply with AASHTO LTS-4-M. Listing and Labeling: Metal conduits, tubing, and fittings shall be listed and labeled as defined in NFPA 70, by a qualified testing agency, and marked. Rigid and Intermediate Steel Conduit: Use threaded rigid steel conduit fittings unless otherwise Minimum Design Life: 25 years. A. Ground metal poles and support structures according to Section 260526 "Grounding and Bonding for Electrical Systems." Wind-Load Strength of Poles: Adequate at indicated heights above grade without failure. indicated, Comply with NEMA FB 2.10. for intended location and application. GRC: Comply with ANSI C80.1 and UL 6. permanent deflection, or whipping in steady winds of speed indicated in "Structural Analysis IMC: Comply with ANSI C80.6 and UL 1242.

PVC-Coated Steel Conduit: PVC-coated IMC Velocity Conversion Factors: 1.0. Criteria for Pole Selection" Article PVC Externally Coated, Rigid Steel Conduits: Use only fittings listed for use with this type of Install grounding electrode for each pole unless otherwise indicated. conduit, Patch and seal all joints, nicks, and scrapes in PVC coating after installing conduits and fittings. Use sealant recommended by fitting manufacturer and apply in thickness and number of coats recommended by manufacturer. rength Analysis. For each pole, multiply the actual equivalent projected area of luminaires and ackets by a factor of 1.1 to obtain the equivalent projected area to be used in pole selection Comply with NEMA RN 1. CITY OF ALBUQUERQUE ACTION SUBMITTALS
 A. Product Data: For each luminaire, pole, and support component, arranged in order of Install grounding conductor pigtail in the base for connecting luminaire to grounding system DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES Coating Thickness: 0.040 inch (1 mm), minimum. lighting unit designation. Include data on features, accessories, and finishes.

B. Shop Drawings: Anchor-bolt templates keyed to specific poles and certified by EMT: Use setscrew or compression, steel fittings. Comply with NEMA FB 2.10 Ground nonmetallic poles and support structures according to Section 260526 JAMES DWYER SUBSTATION PARKING LOT EXPANSION B. Luminaire Attachment Provisions: Comply with luminaire manufacturers' mounting "Grounding and Bonding for Electrical Systems. EMT: Comply with ANSI C80.3 and UL 797. FLECTRICAL SPECIFICATIONS requirements. Use stainless-steel fasteners and mounting bolts unless otherwise indicated Fittings for Metal Conduit: Comply with NEMA FB 1 and UL 514B. Flexible Conduit: Use only fittings listed for use with flexible conduit. Comply with NEMA FB 2.20. 1.4 QUALITY ASSURANCE Mountings, Fasteners, and Appurtenances: Corrosion-resistant items compatible with 1.4 OUALITY ASSURANCE
A. Electrical Components, Devices, and Accessories: Listed and labeled as defined in NFPA 70, by a qualified testing agency, and marked for intended location and application.

B. Comply with IEEE C2. "National Electrical Safety Code."
Comply with NFPA 70.

PART 2. PRODUCTS

2. MANIETY INFORM. Design Review Committee City Engineer Approval Conduit Fittings for Hazardous (Classified) Locations: Comply with UL 886 and Materials: Shall not cause galvanic action at contact points. 3.2 INSTALLATION
A. Comply with NECA 1 and NECA 101 for installation requirements except where requirements on Drawings or in this article are stricter. Comply with NECA 102 for aluminum conduits. Comply with NFPA 70 limitations for types of raceways allowed in specific occupancies RECORD DRAWINGS -WHPacific Fittings for EMT 2.1 MANUFACTURERS

JULY. 2020

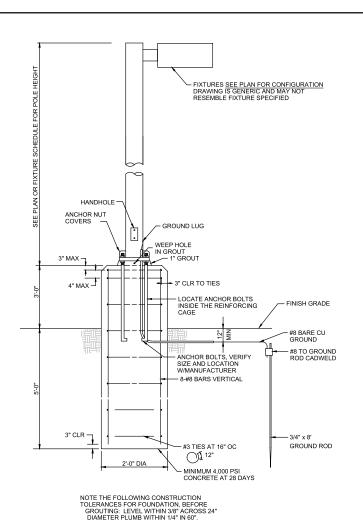
City Project No.

6526.03

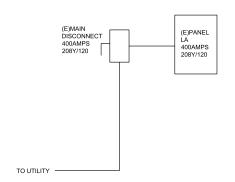
12A

G - 23 - Z

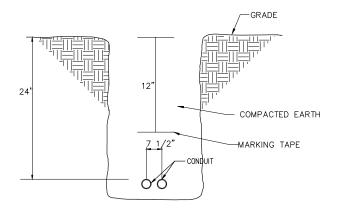
Keep raceways at least 6 inches (150 mm) away from parallel runs of flues and steam o



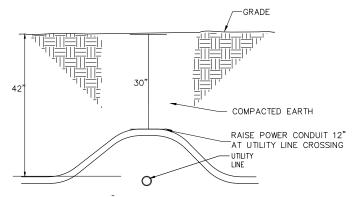
LIGHT POLE & FOUNDATION BASE



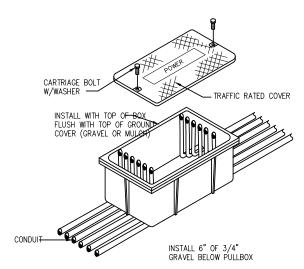
ELECTRICAL SINGLE LINE DIAGRAM



TRENCH DETAIL



POWER UTILITY CROSSING DETAIL



PULL BOX DETAIL

KEY NOTES 1. CIRCUITS IN BOLD ARE NEW.

	TAGE:	120/208V	FRAME:		400A FRA	ME		MIN AIC RATING:	22,000			
PHASE: 3 PHASE			MAIN:		400A			CIRCUITS:	42			
WIR		4 WRE	ENCLOS			OOR-IN-DO	OOR	MOUNTING: SUF		MOUNTING: SUI		E
FEEC):	BOTTOM	LOCATI	-110		CAL ROOM			_	_		
CKT	BKR	LOAD DESCRIPTION	VA	CONN	ECTED VA	LOAD	VA	LOAD DESCRIPTION	BKR RTNG	CK		
1				683			683	LTG BLDG EXT	20A/1	2		
3	60A/3P	TVSS			330		330	LTG BLDG EXT	20A/1	4		
5				1		1785	1785	LTG RM 102	20A/1	6		
7	20A/1	LTG RM 106, 108, 109	1420	2140			720	REC RM 108	20A/1	8		
9	20A/1	LTG RM 100, 104, 105	1210		2410		1200	REC REFRIGERATOR	20A/1	10		
11	20A/1	LTG RM 121, 122, 123	1785			2505	720	REC RM 109	20A/1	12		
13	20A/1	LTG RM 115 THRU 120	1285	2005			720	REC RM 104, 105	20A/1	14		
15	20A/1	REC EXTERIOR	1080		1980		900	REC RM 101	20A/1	16		
17	20A/1	ROLL-UP DOOR	360			900	540	REC RM 106	20A/1	18		
19	20A/1	REC RM 112, 114	900	2160			1260	REC RM 102	20A/1	20		
21	20A/1	REC COPIER	1440		1980		540	REC ROOF	20A/1	22		
23	20A/1	REC PRINTER	1440			2880	1440	REC SYS FURN	20A/1	24		
25	20A/1	REC NW ROOM 109	1440	1620			180	REC SWPLUG RM 109	20A/1	26		
27	20A/1	REC SYS FURN	1440		1980		540	REC RM 123	20A/1	28		
29	20A/1	REC SYS FURN	1440			2160	720	REC RM 122	20A/1	30		
31	20A/1	REC SYS FURN	1440	2160			720	REC RM 121	20A/1	32		
33	20A/1	REC DWC, RP2	720	2.00	1440		720	REC RM 118	20A/1	34		
35		LTG. FLAG/SIGN	130		1915	850	720	REC RM 119	20A/1	36		
37		LTGEXT	650				1100	LTG PARKING LOT	20A/1	38		
39	-	FACP	1200				888	LTG PARKING LOT	20A/1	40		
41	20A/1	HOT BOX	600				600	PROJECTION SCREEN	20A/1	42		
43	-	DOTAL TITLE	4392	7368			2976		1	44		
45	50A/3P	RTU-1	4392	1.000	7368		2976	RTU-2	40A/3P	46		
47			4392		1000	7368	2976		3775	48		
49			2976	4560		1000	1584		_	50		
51	40A/3P	PTIL 2	2976	4300	4560		1584	RTU-4	30A/2P	52		
53	40/436	10-3	2976		4300	2976	1304	SPACE		54		
55	-		1884	2580		2976	696	EF-1	20A/1	56		
57	30A/2P	RTU-5	117555	2580	2580		696	EF-1	7507.50	_		
59		SPACE	1884		2080	360	360	IF-1, IF-2, IF-3	20A/1 15A/1	58		
61	200415		1077	1477		360	400	5.19(0)(5)(5)(5)	15.00	62		
	-	CE-1, WH-1, RP-1	1077	14//	500		400	CONT. TRANS. 106, 113	20A/1	-		
63	20A/1	PARKING LOT LIGHTING	500		500	4400	400	SPARE	20A/1	64		
65	20A/1	REC RADIO	1000	4000		1180	180	LTG CONTR. "CA"	20A/1	66		
67	204.00	noi i innoon	1800	1980	4000		180	REC SWPOLE LITE	20A/1	68		
69	ZUNJP	ROLL-UP DOOR	1800		1800	1000		SPARE	20A/1	70		
71			1800	4000	-	1800		SUBSE PROTECTOR	204/20	72		
73	50A/2P	RV PEDESTAL	4000	4000	4000			SURGE PROTECTOR	20A/3P	74		
75		populary count (#) I	4000		4000	0000	4000		50A/2P -			
77	50A/2P	RV PEDESTAL	4000	0000	-	8000	4000	RV PEDESTAL.				
79	-		4000	8000	0500		4000	on to a	10000	80		
81	30A/2P	GATE CONTROLLER	2500	-	2500			SPACE	-	82		
83			2500	40733		2500	Crack St.	SPACE		84		
CONNECTED LOAD (VA) PER PHASE					33428	35264	109425	TOTAL CONNECTED LOAD (VA)				

CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ON-CALL ENGINEERING SERVICES JAMES DWYER SUBSTATION PARKING LOT EXPANSION

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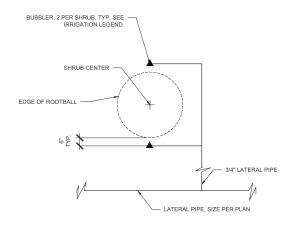
ELECTRICAL DIAGRAMS AND SCHEDULES Design Review Committee City Engineer Approval

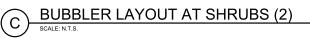
City Project No. 6526.03 G - 23 - Z

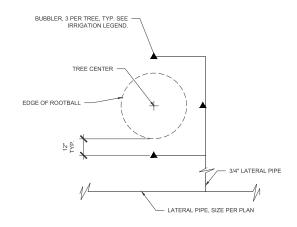
RECORD DRAWINGS

•	WHPacific	
	6501 Americas Pkwy NE, Suite 400 Albuquerque, NM 87110 505-247-0294 Fax 505-242-4845	

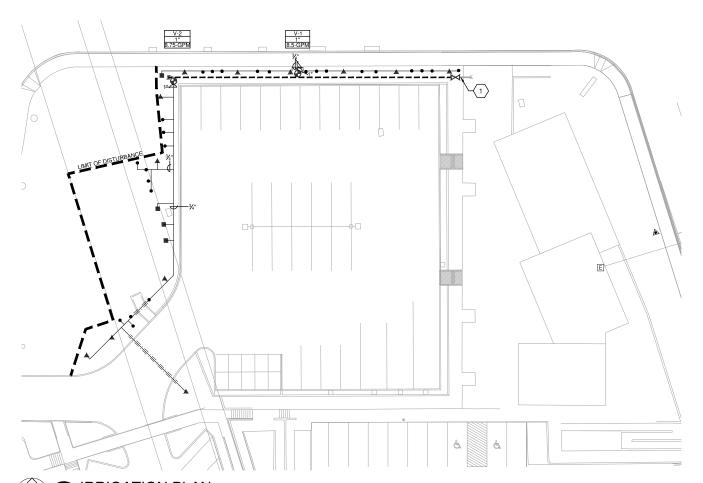
JULY, 2020







BUBBLER LAYOUT AT TREES (3)



IRRIGATION LEGEND

□:□:□:□ LATERAL SLEEVE PIPING: CLASS 200, SDR-21, BELL-END, SOLVENT WELD PVC, SEE IRRIGATION NOTE C BELOW.

EXISTING 1" PVC MAIN LINE.

---- IRRIGATION MAIN LINE: SCHEDULE 40, BELL END, SOLVENT WELD PVC, SIZE
1°. DEPTH OF BURY 36° FOR CONTINUOUS PRESSURE IRRIGATION MAIN, 18° FOR NON-CONTINUOUS.

IRRIGATION LATERAL LINE, SCH. 40, BELL-END, SOLVENT WELD PVC. DEPTH OF BURY 18". SIZE AS SHOWN ON PLAN. PIPE CONVEYING LESS THAN 5 GPM SHALL BE 3/4".

- ISOLATION VALVE: SPEARS SCH. 80 PVC BALL VALVE, SIZE 1*. SEE COA STD. DWG. #2707.
- REMOTE CONTROL VALVE ASSEMBLY. RAINBIRD PEB SERIES, PLASTIC BODY 24-VOLT AUTOMATIC VALVE (OR APPROVED EQUAL), SIZE AS SHOWN ON PLAN, WITH HUNTER NODE-100 BATTERY OPERATED CONTROLLER. SEE COA STD. DWG. 2705.
- FEBCO 825Y BACKFLOW PREVENTER IN HEATED INSULATED ENCLOSURE. PRESSURE COMPENSATING BUBBLER ASSEMBLIES, RAIN BIRD 1400 SERIES, SEE COA STD. DWG. 2712.

	MODEL NO.	GPM	PSI	
•	1401	0.25	30	
	1401	0.5	30	2 PER SHRUB, SEE DETAIL C/14
A	1401	0.75	30	3 PER TREE, SEE DETAIL D/14

- SOLVENT WELD CAP: SCH. 40 PVC, LINE SIZE.
- [C] IRRIGATION CONTROLLER. CONTROLLER SHALL BE RAIN BIRD ESP4ME FOUR-STATION EXTERIOR CONTROLLER INSTALLED IN RAIN BIRD LXMMPED PEDESTAL. SEE DETAIL B/14.
- E EXISTING IRRIGATION CONTROLLER.

□ IRRIGATION KEYED NOTES

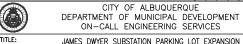
. IRRIGATION POINT OF CONNECTION. CONNECT TO EXISTING 1" PVC IRRIGATION MAIN LINE

IRRIGATION GENERAL NOTES

- A. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO CONSTRUCT THE PROPOSED IRRIGATION SYSTEM IN ACCORDANCE WITH THE PLANS, DETAILS, AND SPECIFICATIONS.
- B. THIS SYSTEM WAS DESIGNED TO OPERATE AT A MINIMUM STATIC PRESSURE OF 60 PSI AT THE POINT OF CONNECTION. THE CONTRACTOR SHALL VERIFY ACTUAL PSI AND DELIVER RESULTS TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. IN THE EVENT THE ACTUAL PSI IS LESS THAN 60 PSI THE CONTRACTOR SHALL RECEIVED DIRECTION FROM LANDSCAPE ARCHITECT REGARDING POSSIBLE DESIGN MODIFICATIONS PHIOR TO INSTALLATION OF ANY IRRIGATION COMPONENTS. THE PRESSURE READING STALL BE PERFORMED IN THE PRESSURE READING SHALL BE PERFORMED IN THE FORESENCE OF THE OWNER'S AUTHORIZED REPRESENTATIVE. RESULTS SHALL BE INCLUDED IN THE CONTRACTOR'S IRRIGATION EQUIPMENT SUBMITTAL INDICATING DATE AND TIME OF PRESSURE READING SHOW FOR THE OWNER'S AUTHORIZED REPRESENTATIVE.
- C. CONTRACTOR SHALL INSTALL LATERALS IN SLEEVE PIPING AT ALL LOCATIONS WHERE LATERALS CROSS BENEATH PAVING. SLEEVES SHALL BE LOCATED A MIN. 6" BEYOND EACH EDGE OF PAVEMENT. CONTRACTOR SHALL COORDINATE SLEEVE INSTALLATION WITH ALL TRADES TO ENSURE SLEEVES ARE INSTALLED PRIOR TO INSTALLATION OF CUIDE AND GUTTER, CONCRETE AND ASPHALT PAVEMENT, SIDEWALKS, SLABS, WALLS, ETC.
- D. IRRIGATION PIPE ROUTING IS SHOWN DIAGRAMMATICALLY AND MAY REQUIRE MINOR FIELD ADJUSTMENTS. IN THE CASE OF MAJOR ADJUSTMENTS OR CHANGES TO THE DESIGN, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK. ACTUAL PIPE ROUTING AND EQUIPMENT LOCATIONS SHALL BE COMPLETELY AND ACCURATELY NOTED IN THE PROJECT AS BUILTS TO BE PROVIDED BY THE CONTRACTOR.
- E. IRRIGATION PIPING SHALL NOT BE INSTALLED WITHIN THE DRIP LINE OF TREES. ALL ELBOWS AND TEES SHALL BE INSTALLED IN LANDSCAPE AREAS UNLESS OTHERWISE NOTED. IRRIGATION EQUIPMENT SHALL BE LOCATED IN LANDSCAPE AREAS.
- F. CONTRACTOR SHALL PROVIDE ONE 120V, 20 AMP CIRCUIT FROM ELECTRICAL PANEL TO IRRIGATION CONTROLLER. SEE ELECTRICAL DRAWINGS. WORK AND MATERIALS BE IN COMPLIANCE WITH LOCAL CODES AND THE NATIONAL ELECTRIC CODE (N.E.C.).

RECORD DRAWINGS JULY 2020

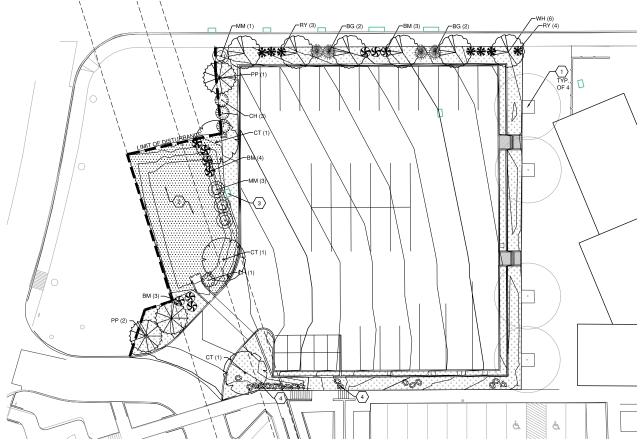
The Landscape Architect has compiled for and delivered to the Owner as et of Record Documents conforming to the construction records of the Contractor as provided to the Landscape Architect. This set of documents consists of corrected plans showing the reported location of the work. These Record Drawings have been prepared, in part, based upon information furnished by others. While the information submitted by the Contractor and incorporated by the Landscape Architect has not verified the accuracy and/or completeness of the information and shall not be responsible for any errors or omissions which may be incorporated herein as a result. Those relying on these Record Documents are advised to obtain independent verification of their accuracy before applying it for any purpose.	NO.	ш	DRAWN BY WM
CITY OF ALBUQUEROUE		1	ıÜ



JAMES DWYER SUBSTATION PARKING LOT EXPANSION IRRIGATION PLAN

groundworkstudio Design

n Review Committee	City Engineer Ap	oproval	Last Design Update	Mo./Day	/Yr.	Mo./Day/Yr.	_
Project No.	6526.03	Zone Map N		Sheet	14	Of	



PLANT LEGEND

PLAINT	LEGEND					
SYMBOL	COMMON NAME	BOTANICAL NAME	QTY	MIN. INSTALLED SIZE	CONTAINER	MATURE SIZE
TREES						
PP	PINON PINE	PINUS EDULIS	3	MIN 4' HT	B&B	15' HT & SPD
CT	CHASTE TREE	VITEX AGNUS-CASTUS	3	2" CAL, 12'-14' HT	B&B	20' HT & SPD
WH	WASHINGTON HAWTHORN	CRATAEGUS PHAENOPYRUM	6	MIN 2" CAL	B&B	15' HT & SPD
SHRUBS						
СН	CHAMISA	CHRYSOTHAMNUS NAUSEOSUS	4	MIN 18" HT	5-GAL	6' HT & SPD
MM	CURL LEAF MOUNTAIN MAHOGANY	CERCOCARPUS LEDIFOLIUS	4	MIN 36" HT	15-GAL	8' HT & SPD
RY	RED YUCCA	HESPERALOE PARVIFLORA	7	MIN 12" SPD	5-GAL	3' HT X 4' SPD
ВМ	BLUE MIST SPIREA	CARYOPTERIS CLANDONENSIS	10	MIN 18" HT	5-GAL	5' HT X 5' SPD
BG	BEAR GRASS	NOLINA MICROCARPA	4	MIN 18" HT.	5-GAL	3' HT X 6' SPD
(2)	LANDSCAPE BOULDERS		14			

KEYED NOTES

- EXISTING TREE TO REMAIN.
- 2. POND. SEE CIVIL.
- TOP OF GRAVEL MULCH SHALL BE 1" BELOW TOP OF CONCRETE COLLAR AT DROP INLET.
- BOULDER PLACEMENT IS SHOWN DIAGRAMMATICALLY.
 CONTRACTOR SHALL INSTALL BOULDERS AT BASE OF SLOPES IN EXCESS OF 3:1 IN ORDER TO REDUCE GRADE TO KEEP GRAVEL MULCH IN PLACE ON SLOPES. SEE GENERAL NOTE F.

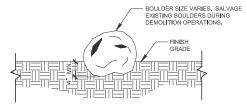
HATCH LEGEND

N₆" GRAVEL MULCH. SEE GENERAL NOTE B.

PEVEGETATION SEEDING. SEE GENERAL NOTE G.

GENERAL NOTES

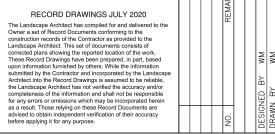
- A. IF THERE IS A DISCREPANCY BETWEEN PLANT QUANTITIES LISTED IN THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLANTING PLAN, QUANTITIES SHOWN ON THE PLAN SHALL GOVERN. CONTRACTOR SHALL VERIEY ALL QUANTITIES PRIOR TO BID. ADDITIONAL PAYMENT WILL NOT BE MADE FOR ANY DISCREPANCY IN QUANTITIES BETWEEN THE PLANTING PLAN AND THE PLANT SCHEDULE.
- B. CONTRACTOR SHALL INSTALL A 4" DEPTH OF "MOUNTAINAIR BROWN" χ_{6} " GRAVEL MULCH S AVAILABLE FROM JPR GRAVEL (505-877-4913) OVER FILTER FABRIC. FILTER FABRIC. FILTER FABRIC SHALL BE MIN 3.6 OZ/SY NONWOVEN NEEDLE PUNCHED POLYPROPYLENE, MIRAFI MSCAPE OR EQUIVALENT). OVERLAP ENDS 3", TURN DOWN EDGES 6". TOP OF GRAVEL MULCH SHALL BE 1/2" BELOW TOP OF ADJACENT PAVING. CONTRACTOR SHALL PROVIDE SAMPLE OF GRAVEL MULCH FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- C. IF THERE IS A DISCREPANCY IN THE FIELD OR NURSERY BETWEEN THE CONTAINER SIZE LISTED UNDER "CONTAINER" AND HEIGHT & SPREAD LISTED UNDER "INSTALLED SIZE". THE SPECIFIED PLANT SHALL MEET HEIGHT & SPREAD REJURIEMENTS SPECIFIED UNDER "INSTALLED SIZE". IF A LARGER CONTAINER SIZE IS REQUIRED TO MEET THESE SPECIFICATIONS, IT SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- D. TREES SHALL BE PLANTED PER C.O.A. STANDARD DRAWINGS 2714, 2715, 2716.
- E. SHRUBS SHALL BE PLANTED PER C.O.A. STANDARD DRAWING 2717.
- F. INSTALL LANDSCAPE BOULDERS PER DETAIL B/15. BOULDERS SHALL BE SALVAGED FROM SITE AND RE-USED. SEE CIVIL. QUANTITY SHOWN IS APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY QUANTITY OF EXISTING BOULDERS.
- G. REVEGETATION SEEDING SHALL BE "GRAVELLY UPLANDS AND SLOPES" MIX PER COA STANDARD SPECIFICATIONS. CONTRACTOR SHALL INSTALL REVEGETATION SEED PER COA STANDARD SPECIFICATIONS.



SOIL BENEATH BOULDER SHALL BE EXCAVATED APPROXIMATELY 4" DEEP BEFORE PLACING BOULDER.



6526.03





CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ON-CALL ENGINEERING SERVICES

JAMES DWYER SUBSTATION PARKING LOT EXPANSION PLANTING PLAN

Design Review Committee City Engineer Approval

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