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REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE		
ENGINEERS' STAMP & SIGNATURE		APPROVALS	ENGINEER		DATE	* * * * *			
		ORC Chairman				APPROVED FOR CONSTRUCTION			
		Transportation							
		Water/Wastewater							
		Hydrology							
		Parks & Recreation							
		CIP							
City Project No.					Sheet	Of			
6526.03						1			

GENERAL NOTES

5. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION THROUGH UPDATE #8, WILL BE REFERRED TO HEREIN AS "STANDARD SPECIFICATIONS".
6. ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY OR EASEMENTS MUST BE DONE FROM APPROVED WORK ORDER DOCUMENTS FROM THE CITY.
7. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
8. CONTRACTOR AGREES THAT HE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
9. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650 SUBPART P.
10. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
11. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. ONLY THE CITY SURVEYOR SHALL REPLACE SURVEY MONUMENTS. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO STANDARD SPECIFICATIONS SECTION 4.4.
12. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL SUBMIT TO DMD CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE DMD CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF STANDARD SPECIFICATIONS.
13. PERMIT REQUESTS MAY BE DENIED OR DELAYED DUE TO CONFLICTS WITH OTHER PROJECTS IN THE AREA.
14. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
15. CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
16. AT HIS OWN EXPENSE, CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENT, PAVEMENT MARKINGS, CURB AND GUTTER, HANDICAP RAMPS, AND SIDEWALK DURING CONSTRUCTION APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE, PER STANDARD SPECIFICATIONS.
17. ALL STREET STRIPING, ALTERED OR DESTROYED, SHALL BE REPLACED WITH THERMOPLASTIC REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR TO SAME LOCATION AS EXISTING, OR AS INDICATED BY THIS PLAN SET.
18. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
19. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND MAINTAIN ALL CONSTRUCTION SIGNING UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY.

WATER & SEWER

15. ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
16. CONTRACTOR SHALL COORDINATE WITH WATER AUTHORITY, (857-8200) SEVEN (7) WORKING DAYS PRIOR TO ANY WORK THAT MAY AFFECT EXISTING WATER AUTHORITY PUBLIC WATER OR SEWER UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR TIMING AND COORDINATION OF WATER SHUTOFF. EXISTING WATER AUTHORITY VALVES TO BE OPERATED BY WATER AUTHORITY PERSONNEL ONLY.
17. PROPOSED WATERLINE MATERIALS SHALL BE PVC PIPE MEETING AWWA C-900: DR18 REQUIREMENTS (6" - 12"), DUCTILE IRON PIPE MEETING AWWA C-150 REQUIREMENTS (6" - 64").
18. ALL FITTINGS ON WATERLINE SHALL HAVE RESTRAINED JOINTS AS NOTED ON THE PLANS.
19. ALL SANITARY SEWER LINE STATIONING REFERS TO SANITARY SEWER CENTERLINE STATIONING.
20. ALL FINAL BACKFILL FOR TRENCHES WITHIN SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY STANDARD SPECIFICATIONS SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2465.
21. ELECTRONIC MARKER SPHERES (EMS) WILL BE PLACED ACCORDING TO SECTION OF THE CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7.

OTHER COMMON NOTES

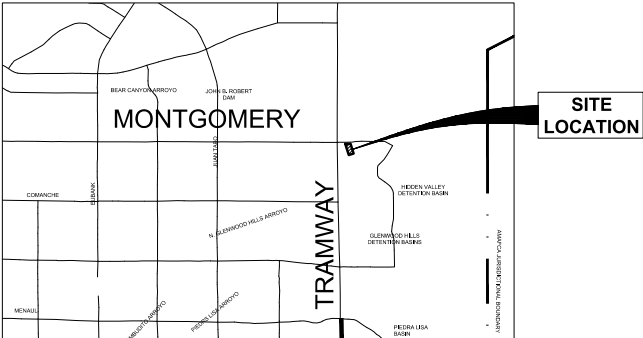
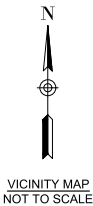
20. RCP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURERS RECOMMENDATION. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF PIPE. RCP JOINTS SHALL NOT BE ROUTED UNLESS DIRECTED BY THE ENGINEER AFTER CITY APPROVAL.
23. CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.
24. CONTRACTOR SHALL DETERMINE IN ADVANCE OF HIS CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF CONTRACTOR.
25. PNM WILL PROVIDE AT NO COST TO THE CITY OR THE CONTRACTOR THE REQUIRED PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
26. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES AND/OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
27. EXISTING UTILITY LINE LOCATION ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.
28. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES.
29. CONTRACTOR SHALL SUPPORT ALL EXISTING, UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND/OR SEWER LINE COSTS.
30. CONTRACTOR IS TO SUPPORT AND MAINTAIN THE INTEGRITY OF ALL UNDERGROUND TELEPHONE, ELECTRIC CABLES AND CABLE TELEVISION UTILITIES AT NO ADDITIONAL COST TO THE OWNER. CABLE IS TO BE SUPPORTED AT A MAXIMUM OF EVERY FIFTEEN (15) FEET. CONTRACTOR SHALL COORDINATE WITH AND MAKE NECESSARY PAYMENT (IF ANY) TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES OR SUPPORT OF CABLES BY THE UTILITY OWNER.
31. ALL FINAL BACKFILL FOR TRENCHES WITHIN THE COA RIGHT-OF-WAY SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY STANDARD SPECIFICATIONS SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2465.
32. CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
33. REMOVALS SHALL BE DISPOSED OF OFF-SITE AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
34. CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIAL IN AN ENVIRONMENTALLY ACCEPTABLE MANNER AT A LOCATION ACCEPTABLE TO THE PROJECT MANAGER. THERE WILL BE NO DIRECT COMPENSATION FOR THIS WORK.
35. CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC.
36. ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR.
37. WHEN ABUTTING EXISTING PAVEMENT TO NEW, SAWCUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE FIELD ENGINEER. REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED.
38. REMOVAL OF EXISTING CURB AND GUTTER OR SIDEWALK SHALL BE TO THE NEAREST JOINT OR SAW CUT.
39. IF CULTURAL RESOURCES, SUCH AS HISTORIC OR PREHISTORIC ARTIFACTS, OR HUMAN REMAINS ARE DISCOVERED DURING EXCAVATION OR CONSTRUCTION, WORK SHALL CEASE AND THE CONSTRUCTION ENGINEER SHALL NOTIFY LOCAL AUTHORITIES. IF HUMAN REMAINS ARE DETERMINED BY THE OFFICE OF THE MEDICAL EXAMINER DETERMINES NOT TO BE RECENT, THE ENGINEER SHALL NOTIFY THE STATE HISTORIC PRESERVATION OFFICER (SHPPO) AT 827-6320.
40. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
41. ANY WORK AFFECTING AN ARTERIAL ROADWAY REQUIRES CONTINUOUS TWENTY-FOUR (24) HOUR CONSTRUCTION.
42. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND MAINTAIN ALL CONSTRUCTION SIGNING UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE AND AMAFCA.
43. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P AND COA STD. DWG. 2465.

- IF A PAVEMENT DROP-OFF IS CREATED DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL INITIATE PROTECTIVE ACTION TO MAINTAIN A SMOOTH TRANSITION. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO PROJECT COMPLETION.
45. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR CONSTRUCTION OBSERVER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
46. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT AGENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
47. DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL SHALL BE DETERMINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE CONSTRUCTION OBSERVER. IDENTIFICATION OF A SITE AND VERIFICATION OF SITE SUITABILITY IS CONSIDERED INCIDENTAL TO THE COST OF PROJECT BID ITEM.
48. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
49. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
50. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
51. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE AT HIS EXPENSE ANY AND ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
52. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE M.U.T.C.D., U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
53. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
54. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENTS, PAVEMENT MARKINGS, CURB & GUTTER, DRIVEWAYS, WHEELCHAIR RAMPS, AND SIDEWALK DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE PER COA STANDARDS, AT HIS OWN EXPENSE.
55. CONTRACTOR IS RESPONSIBLE FOR DRAINAGE MANAGEMENT AND EROSION CONTROL AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
56. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.

ENGINEERS SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
		FIELD NOTES					
		NO.	DATE	COORDINATES ARE MODIFIED (SURFACE) NEW MEXICO STATE PLANE COORDINATES—CENTRAL ZONE, NAD 83. TO OBTAIN TRUE STATE PLANE COORDINATES, MULTIPLY THE COORDINATES HEREON BY THE PROJECT AVERAGE COMBINED GROUND TO GRID FACTOR OF CF= 99962526. ELEVATIONS ARE REFERRED TO SEA LEVEL, NAD 88 AND HAVE BEEN ADJUSTED TO THE C.O.A. CONTROL STATION "17_G22"		CONTRACTOR	
		REMARKS	DATE			WORK ORDERED BY INSPECTOR'S ACCEPTANCE BY VERIFICATION BY DRAWINGS CORRECTED BY	
DESIGNED BY	BZ/MAIL	DATE 7-14-2020				MICRO-FILM INFORMATION	
DRAWN BY	BZ/MAIL	DATE 7-14-2020				RECORDED BY	
CHECKED BY	MAIL	DATE 7-14-2020				NO.	

<div style="text-align: center;"> CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES </div>	
TITLE: JAMES DWYER SUBSTATION PARKING LOT EXPANSION GENERAL NOTES	

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of	
6526.03	G - 23 - Z	2		



GLENWOOD HILLS, UNIT 1 LOT 4, BLOCK 2

LEGAL DESCRIPTION

A TRACT OF LAND SITUATED WITHIN TOWNSHIP 10 NORTH, RANGE 4 EAST, SECTION 2, NEW MEXICO PRINCIPLE MERIDIAN, WITHIN THE CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO, STATE OF NEW MEXICO. SAID TRACT OF LAND BEING DESCRIBED AS LOT 4, BLOCK 2 AS SHOWN ON THE PLAT ENTITLED "UNIT 1, GLENWOOD HILLS, SUBDIVISION, ALBUQUERQUE, NEW MEXICO", BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE GRID, CENTRAL ZONE (NAD83) BEARINGS AND GRID DISTANCES AS FOLLOWS:

COMMENCING AT A FOUND CITY OF ALBUQUERQUE BRASS CAP MONUMENT "I-G23";

THENCE N 84°53'59" W, A DISTANCE OF 3,372.80 FT TO A POINT ON THE WESTERLY RIGHT OF WAY LINE LANDAU STREET TO A FOUND NO. 5 REBAR, BENT;

THENCE, S 72°39'13" W, ALONG THE SOUTHERLY BOUNDARY OF SAID LOT 4, BLOCK 2, A DISTANCE OF 220.13 FT TO A FOUND NO. 5 REBAR, WITH A YELLOW PLASTIC CAP MARKED "PS 11482";

THENCE, N 17°30'30" W, ALONG THE WESTERLY BOUNDARY OF SAID LOT 4, BLOCK 2, COMMON TO THE EASTERLY LINE OF LOT 3A, BLOCK 2 AND ALSO BEING THE EASTERLY BOUNDARY OF A 150 FT WIDE P.N.M. EASEMENT, COMMON TO THE WESTERLY BOUNDARY OF A 10 FT WIDE P.N.M. & M.S.T.&T. EASEMENT, A DISTANCE OF 519.08 FT TO A POINT ON THE NORTHERLY BOUNDARY OF SAID LOT 4, BLOCK 2, AND BEING ON THE SOUTHERLY RIGHT OF WAY LINE MONTGOMERY BOULEVARD TO A POINT NOT SET;

THENCE, N 89°44'38" E, WITH THE SAID SOUTHERLY RIGHT OF WAY LINE AND ON THE NORTHERLY BOUNDARY OF SAID LOT 4, BLOCK 2, A DISTANCE OF 231.10 FT TO THE INTERSECTION OF THE WESTERLY RIGHT OF WAY LINE LANDAU STREET TO A POINT NOT SET;

THENCE, S 17°26'06" E, ON THE SAID RIGHT OF WAY LINE LANDAU STREET AND ON THE EASTERLY BOUNDARY OF SAID LOT 4, BLOCK 2, A DISTANCE OF 451.17 FT TO THE POINT OF BEGINNING;

THE DESCRIBED ENCLOSED AREA CONSISTS OF 106,938.33 SQ. FT. OR 2.4550 ACRES OF LAND, MORE OR LESS.

DOCUMENTS USED TO PREPARE THIS BOUNDARY SURVEY

- Montgomery and Tramway Police Station Site Plan as prepared by Dekker/Perich/Sabatini, dated December 10, 2001, Project No. 6230.91.
- Summary Plat Lots 2A and 3A being a Replat of Lot 3 and a portion of Lot 2 Block 2, Unit 1, Glenwood Hills, Bernalillo County, New Mexico, dated June 1983. Prepared by Ronald A. Forstbauer.
- Unit 1, Glenwood Hills, dated February 1961.
- Tracts X-1-A and X-2-A Block 2, Unit 1, Glenwood Hills, dated March, 1987 as prepared by Thomas T. Mann, Jr., dated April 2, 1987.
- Tract A, Block 1, Unit 1 Glenwood Hills, filed September 18, 1983, C22-32.

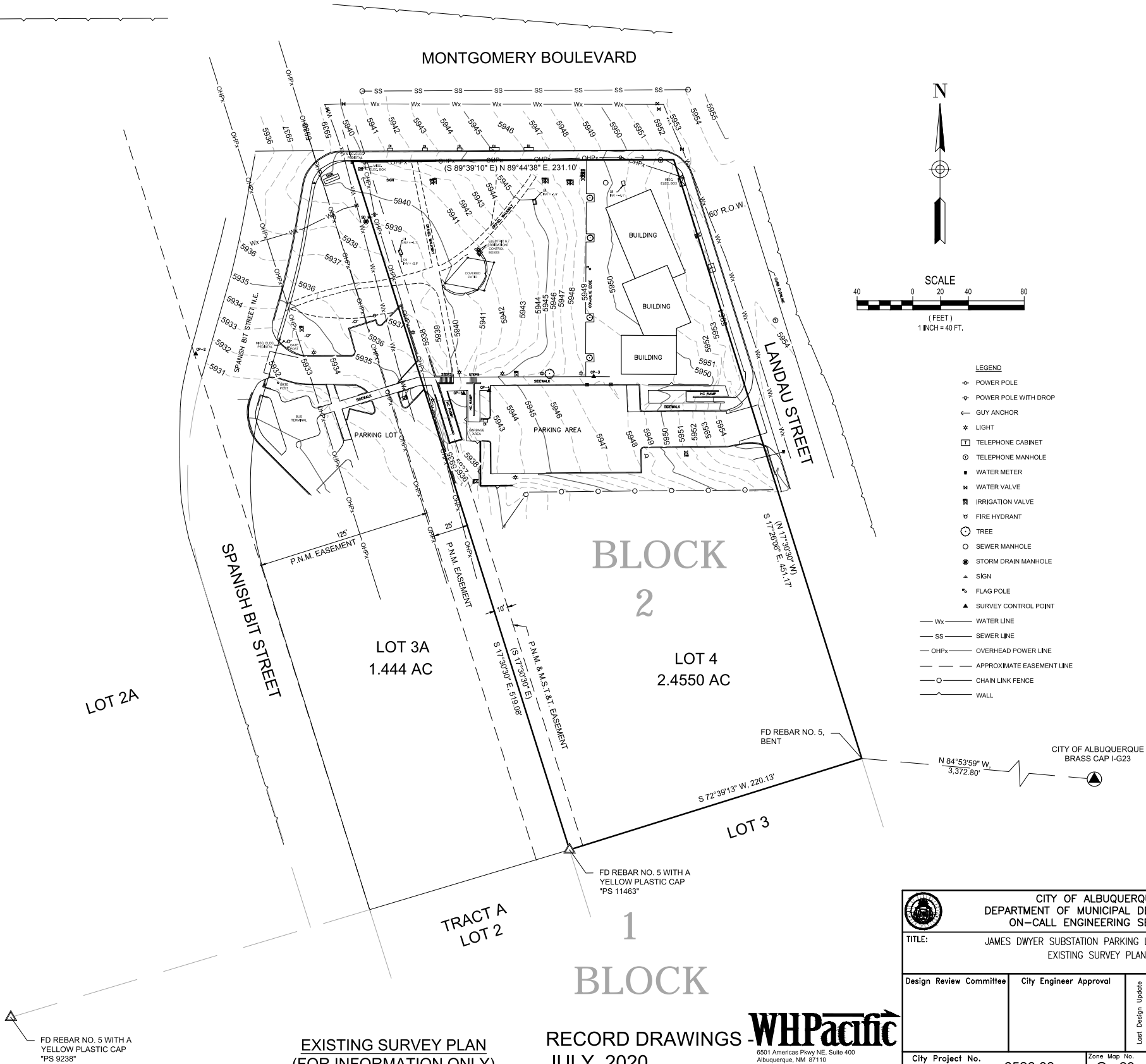
NOTES:

- Survey commenced on July 2, 2018 and was completed on July 31, 2018.
- Surface improvements were located at the time of this survey.
- Control Points shown were set at the time of this survey. Coordinates shown were derived from GPS Static observations as completed by NGS (OPUS).
- The Basis of Bearing for this project is based on GPS (Grid) and the distance shown are grid distances.
- The grid to ground scale factor for this project is 1.000374870. The combined grid scale factor for this project is 0.99962527.
- The purpose of this survey was to define the boundary and provide a topographic survey of the existing conditions on a portion of Lot 3A and a portion of Lot 4. The boundary as shown was taken from the design drawings as provided by the City of Albuquerque, Public Works Department as prepared by Dekker/Perich/Sabatini, dated 8/1/2000.

SURVEYOR'S CERTIFICATE

I, Lynn D. Lantz, New Mexico Professional Surveyor No. 10856, do hereby certify that this Boundary Survey Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that I am responsible for this survey; that this survey meets that Minimum Standards for Surveying in New Mexico; and that it is true and correct to the best of my knowledge and belief. I further certify that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act and that this instrument is a Boundary Survey Plat of an existing tract.

Surveyor's Name PS No. Date



CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES	
TITLE: JAMES DWYER SUBSTATION PARKING LOT EXPANSION EXISTING SURVEY PLAN	
Design Review Committee	City Engineer Approval
Mo./Day/Yr.	Mo./Day/Yr.
City Project No. 6526.03	Zone Map No. G - 23 - Z
Sheet 3	Of

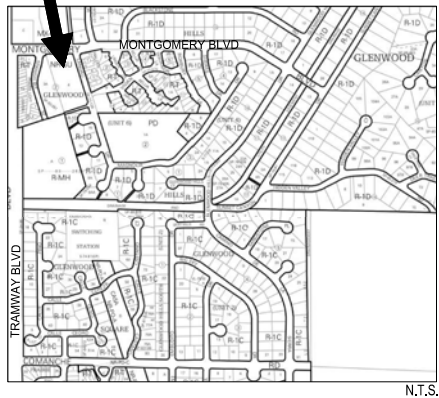
EXISTING SURVEY PLAN
(FOR INFORMATION ONLY)

RECORD DRAWINGS
JULY, 2020

WHPacific
6501 Americas Pkwy NE, Suite 400
Albuquerque, NM 87110
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www.whpacific.com

SITE MAP

PROJECT LOCATION



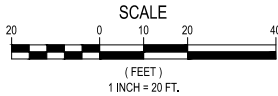
DEMOLITION NOTES

- A. EXISTING UTILITY LINES SHALL BE BLUE STAKED PRIOR TO EXCAVATION. CHECK AND FIELD VERIFY ALL SITE CONDITIONS, UTILITIES AND SERVICES PRIOR TO EXCAVATION.
- B. CONTRACTOR SHALL SALVAGE BOULDERS (LARGER THAN 12" IN ANY DIRECTION) FOUND DURING EXCAVATION FOR LATER USE IN LANDSCAPE. REFER TO LANDSCAPE PLAN.
- C. EXISTING PARKING LOT LIGHTING SHALL REMAIN IN USE DURING CONSTRUCTION, UNLESS OTHERWISE NOTED. FOUNDATIONS, LINES AND FIXTURES SHALL BE PROTECTED, DAMAGE SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL NOTIFY OWNER 48 HOURS IN ADVANCE IF LIGHTING SERVICE SHALL BE DISRUPTED.
- D. EXISTING BENCHMARKS SHALL BE PROTECTED AND/OR MODIFIED PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.

KEY NOTES



1. PROPERTY LINE.
2. UTILITY EASEMENT.
3. EXISTING CURB TO REMAIN.
4. EXISTING LIGHTING & CONCRETE BASE TO REMAIN.
5. EXISTING STORM DRAIN INLET & PIPE TO REMAIN.
6. EXISTING SIDEWALK TO REMAIN.
7. EXISTING CONCRETE RETAINING WALL AND STAIRS TO REMAIN.
8. EXISTING PAVEMENT TO REMAIN.
9. EXISTING WATER LINE TO REMAIN.
10. EXISTING OVERHEAD POWER POLE TO REMAIN.
11. DEMO, REMOVE & DISPOSE EXISTING CONCRETE CURB TO THE NEAREST JOINTS.
12. SAWCUT, REMOVE & DISPOSE EXISTING ASPHALT PAVEMENT.
13. DEMO, REMOVE & DISPOSE EXISTING LIGHT CONCRETE BASE, EXISTING LIGHT TO BE RELOCATED, SEE SITE PLAN & ELECTRICAL PLAN FOR DETAILS.
14. SAWCUT, REMOVE & DISPOSE EXISTING CONCRETE RETAINING WALL.
15. DEMO, REMOVE & DISPOSE EXISTING CONCRETE WALL, CMU WALL, CONCRETE BLEACHER, LIGHT FIXTURES, CONCRETE COLUMNS AND STEEL SHADE COVERS.
16. DEMO, REMOVE & DISPOSE EXISTING GRAVEL WALKWAY & STEEL EDGES.
17. DEMO, REMOVE & DISPOSE EXISTING IRRIGATION VALVE & BOXES.
18. REMOVE & RELOCATE EXISTING IRRIGATION CONTROL BOX & ELECTRICAL METER.
19. EXISTING IRRIGATION VALVE & BOXES TO REMAIN.

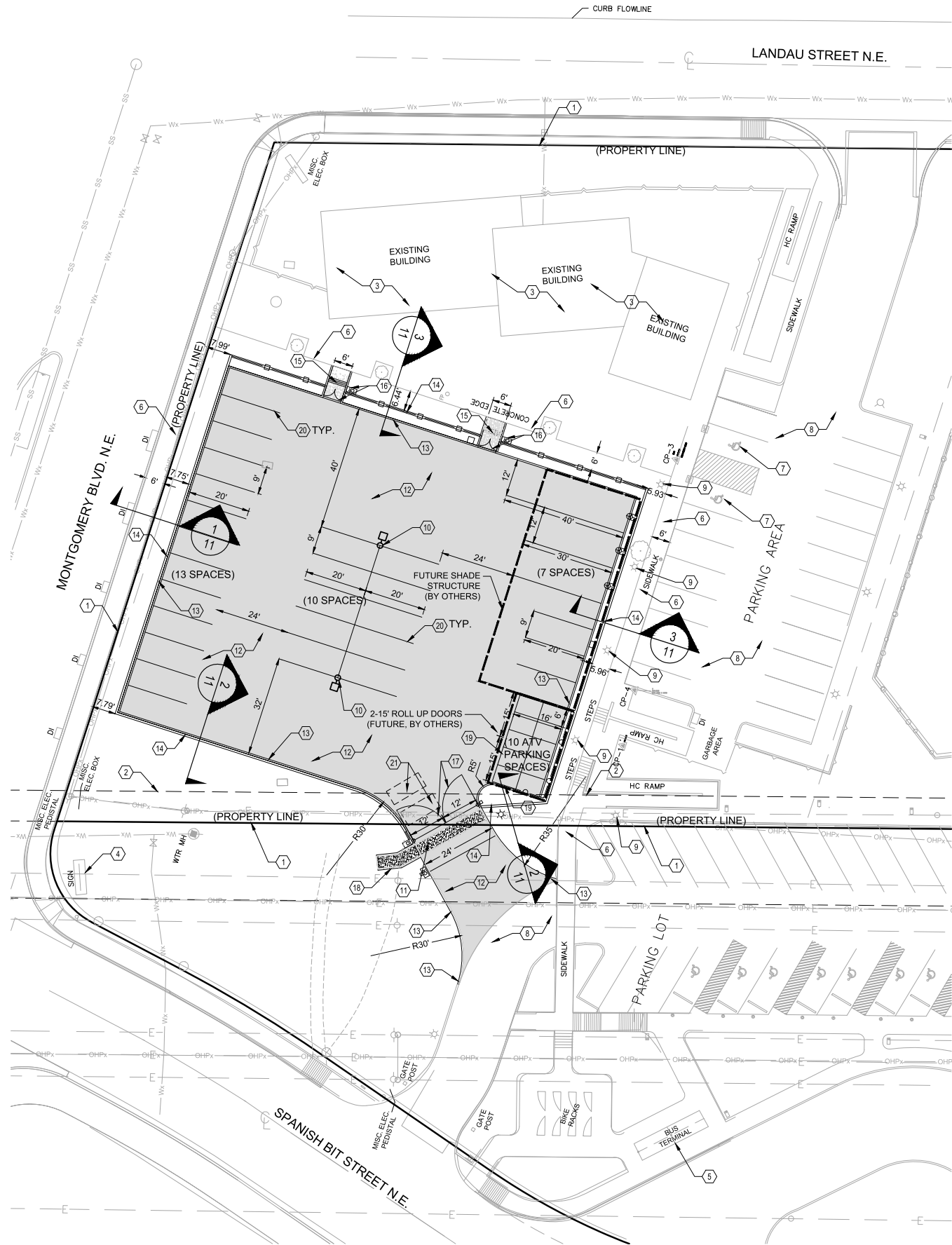
DEMOLITION PLAN
SCALE: 1" = 20'



RECORD DRAWINGS - **WHPacific**
JULY, 2020

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505-247-0294 Fax 505-242-4845
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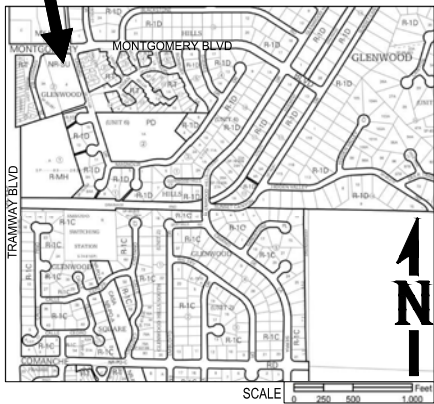
							
CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES							
TITLE: JAMES DWYER SUBSTATION PARKING LOT EXPANSION DEMOLITION PLAN							
Design Review Committee		City Engineer Approval		Mo./Day/Yr.		Mo./Day/Yr.	
City Project No.		6526.03		Zone Map No.		G - 23 - Z	
				Sheet		4 of	



SITE PLAN
SCALE: 1" = 20'

VICINITY MAP

PROJECT LOCATION

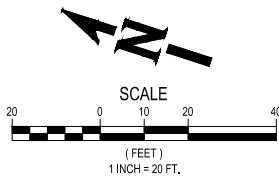


KEY NOTES

1. PROPERTY LINE.
2. EXISTING 10' PNM EASEMENT.
3. EXISTING BUILDING TO REMAIN.
4. EXISTING SIGN TO REMAIN.
5. EXISTING BUS SHELTER TO REMAIN.
6. EXISTING SIDEWALK TO REMAIN.
7. EXISTING HANDICAP PARKING SPACES TO REMAIN.
8. EXISTING ASPHALT PAVEMENT TO REMAIN.
9. EXISTING LIGHT POLE TO REMAIN.
10. NEW LIGHT FIXTURE POLE MOUNTED, MOTION ACTIVATED, SEE ELECTRICAL PLAN FOR DETAIL.
11. CONSTRUCT NEW VALLEY GUTTER PER C.O.A STANDARD DETAIL 2420.
12. CONSTRUCT NEW ASPHALT PAVEMENT, 2.5" ASPHALT OVER 4" BASE COURSE PER DETAIL 1, SHEET 10.
13. CONSTRUCT CONCRETE HEADER CURB PER C.O.A STANDARD DETAIL 2415B.
14. INSTALL NEW 6'-8" SECURITY FENCE, CMU SOLID WALL OR COMBINATION FENCE OF 3' CMU LOWER WALL WITH 3' WROUGHT IRON UPPER FENCE, OR 6' TALL WROUGHT IRON FENCE PER DETAILS 1-3, SHEET 11.
15. CONSTRUCT NEW CONCRETE SIDEWALK, CONCRETE STEP AND GUARD RAIL FOR STEP PER DETAIL 3, SHEET 10.
16. INSTALL NEW PEDESTRIAN ACCESS GATE WITH CARD READER ACCESS.
17. INSTALL TWO 6' TALL BY 12' WIDE, DUAL SWING VEHICLE ACCESS GATES, AMERISTAR COMMERCIAL WELDED STEEL PANEL (BLACK), "MONTAGE PLUS CLASSIC 2-RAIL" WITH 2-GATE OPERATOR OPENERS, ACCESS PAD AND GOOSENECK APPARATUS FOR KEY PAD INCLUDING CONDUIT FOR POWER AND COMMUNICATION. PRE-WIRE FOR POWER TO GATE OPENERS AND KEY PAD LOCATION. KEYPAD AND COMMUNICATION BY OTHERS. WORK SHALL BE COMPLETE AND IN PLACE, OR ENGINEER APPROVED EQUAL. CONTRACTOR TO SUBMIT MATERIALS AND SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO ORDERING OF MATERIALS.
18. NEW 4' WIDE CONCRETE RUNDOWN PER DETAIL 4, SHEET 10.
19. FUTURE ATV SECURITY ENCLOSURE TO BE BUILT BY OTHERS.
20. INSTALL 4" WHITE STRIPPING
21. INSTALL LOOP DETECTOR FOR EXIT WITH AN ADDITIONAL SAFETY LOOP DETECTOR.



CONSTRUCTION NOTES

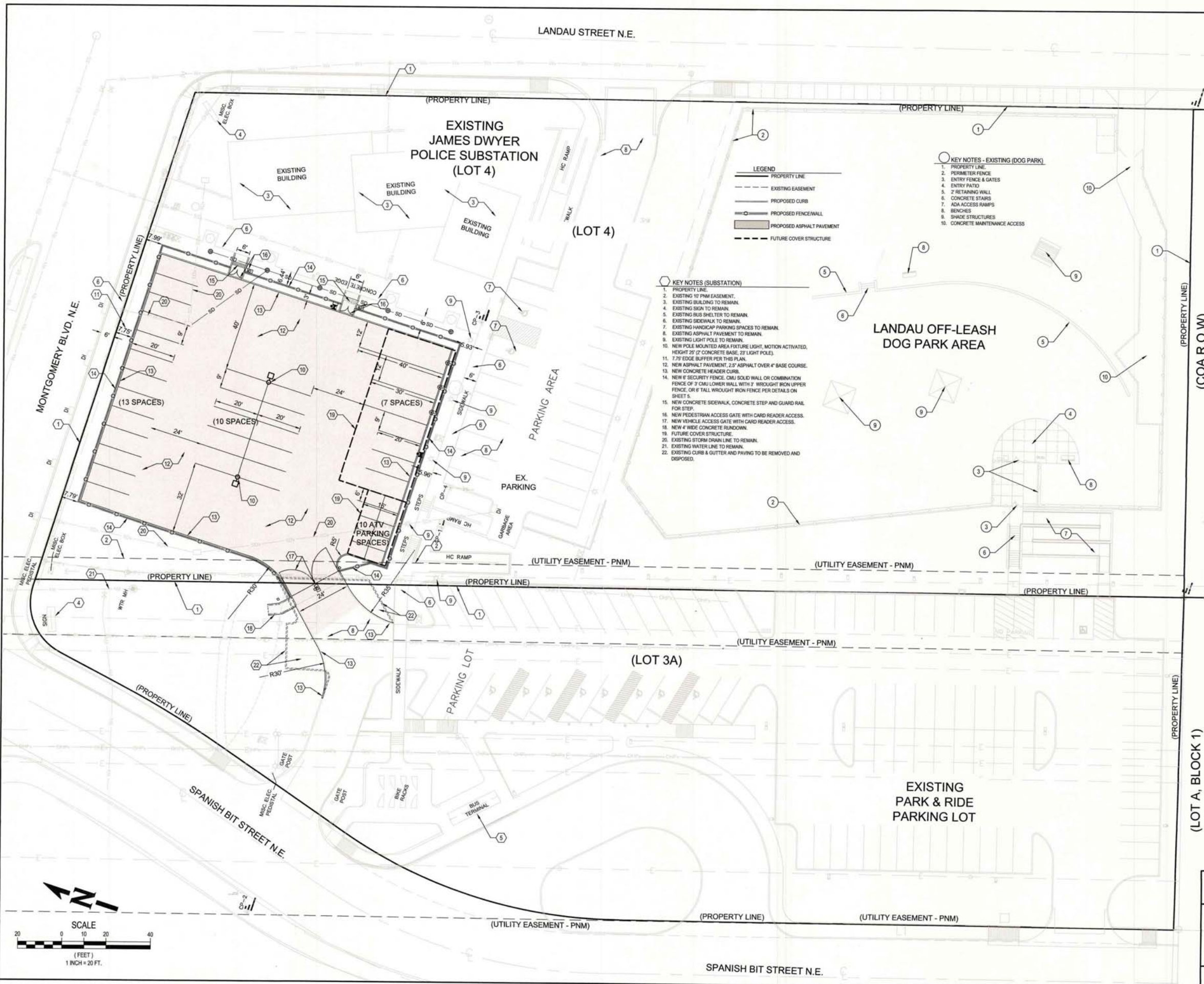
- A. AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- B. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2011.
- C. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.



RECORD DRAWINGS
JULY, 2020



		CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES			
TITLE: JAMES DWYER SUBSTATION PARKING LOT EXPANSION SITE PLAN					
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.	
City Project No.	6526.03	Zone Map No.	G - 23 - Z	Sheet	5 of



VICINITY MAP
PROJECT
LOCATION



PROJECT NUMBER: 2018-001628(1000655)
APPLICATION NUMBER: SI-2018-00172

Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN
FILE #: SI-2018-00172
Consistent with
approved Site Plan -
EPC
APPROVED BY: [Signature] DATE: 30 Jan 2019

Site Development Plan Amendment for
Police Substation, Transit Park and Ride & Dog Park

LEGAL DESCRIPTION: LOTS 3A AND 4, BLOCK 2 GLENWOOD HILLS UNIT 1, ON MONTGOMERY BETWEEN SPANISH BIT AND LANDAU DRIVE. ZONE ATLAS PAGE: G-23-Z, +/- 3.9 ACRES

EX. ZONING: NON-RESIDENTIAL, SPECIAL USE (NR-SU)
PROPOSED ZONING: (NR-SU) NO CHANGE

PROJECT DATA:
PARKING REQUIREMENTS
APD COMMUNITY SUBSTATION

Required Parking: 4,700sf/200	23 spaces
Parking Provided:	23 spaces
Required Accessible Spaces:	2 spaces
Accessible Provided:	2 spaces
Required Van Accessible Spaces:	1 space
Van Accessible Provided:	1 space
Required Bicycle Spaces:	1 per 20 Parking Spaces = 2 spaces

ADDED SECURED NON-PUBLIC PARKING
FOR APD COMMUNITY SUBSTATION

Parking Provided:	30 spaces
ATV Parking Provided:	10 spaces
Park & Ride	4 spaces removed

PARKING REQUIREMENTS
ALBUQUERQUE TRANSIT DEPARTMENT PARK AND RIDE & DOG PARK

Parking Provided:	91 spaces
Required Accessible Spaces:	8 spaces
Accessible Provided:	9 spaces

TOTAL PARKING PROVIDED:

Existing:	110 spaces
Secure:	30 spaces
Revised Accessible Provided:	9 spaces
ATV Parking Provided:	10 spaces
Van Accessible:	1 spaces

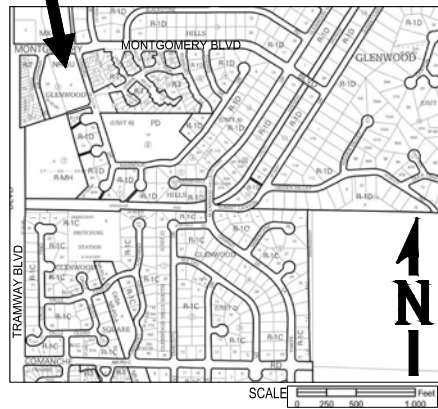
TITLE: JAMES DWYER SUBSTATION PARKING LOT EXPANSION
SITE PLAN AMENDMENT



City Project No.	6526.03	Zone Map No.	G - 23 - Z	Sheet	5A	Of	
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VICINITY MAP

PROJECT LOCATION



FIRM MAP : MAP NUMBER 35001C0163H



PROJECT LOCATION

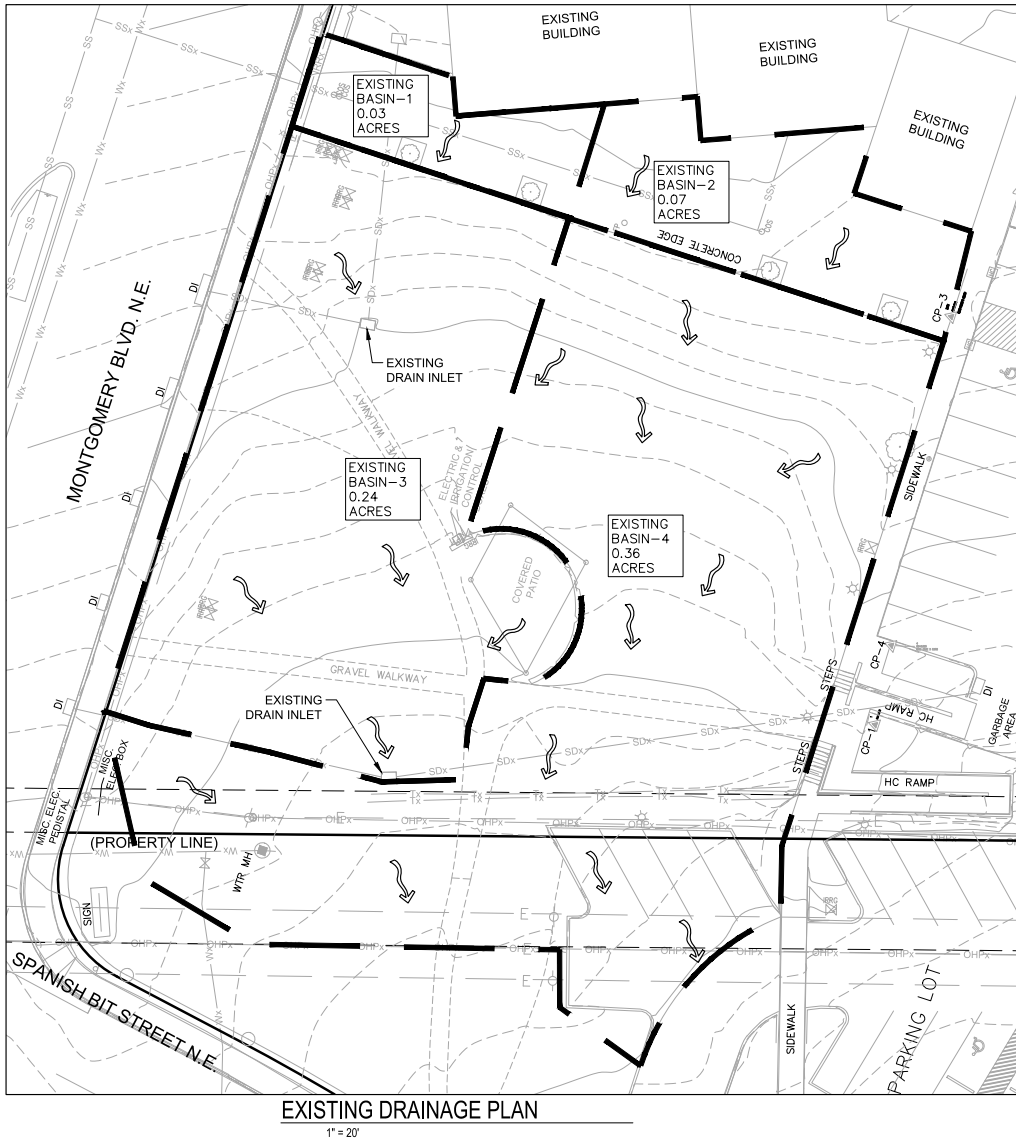
100-YR & 90th PERCENTILE STORM EVENTS HYDROLOGIC CALCULATIONS

BASIN	AREA (ACRES)	LAND TREATMENT				100-YR				90th Percentile Storm Events			
		A (%)	B (%)	C (%)	D (%)	UNIT PEAK DISCHARGE (CFS/AC)	WEIGHTED E (IN)	PEAK DISCHARGE (CFS)	VOLUME 6 HOUR (AC-FT)	UNIT PEAK DISCHARGE (CFS/AC)	WEIGHTED E (IN)	PEAK DISCHARGE (CFS)	VOLUME 6 HOUR (AC-FT)
EXISTING CONDITIONS													
EX 1	0.03	0.0	0.0	0.0	100.0	5.25	2.64	0.16	0.01				
EX 2	0.07	0.0	0.0	0.0	100.0	5.25	2.64	0.37	0.02				
EX 3	0.24	0.0	0.0	100.0	0.0	3.73	1.46	0.90	0.03				
EX 4	0.36	0.0	0.0	88.0	12.0	3.91	1.60	1.41	0.05				
TOTALS	0.70							2.83	0.099			0.00	0.00
PROPOSED CONDITIONS													
1	0.117	0.0	0.0	23.0	77.0	4.90	2.37	0.57	0.02		0.44	0.00	0.004
2	0.035	0.0	0.0	100.0	0.0	3.73	1.46	0.13	0.004				
3	0.058	0.0	0.0	90.0	10.0	3.88	1.58	0.23	0.008				
4	0.41	0.0	0.0	5.0	95.0	5.17	2.58	2.12	0.088		0.44	0.00	0.02
5	0.08	0.0	0.0	100.0	0.0	3.73	1.46	0.30	0.010				
TOTALS	0.70							3.35	0.133			0.00	0.02
PROPOSED VS. EXISTING DIFFERENCE													
								0.52	0.034			0.00	0.02

REFERENCE:

SECTION 22.2, HYDROLOGY, DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA OCTOBER 2008 REVISION, CITY OF ALBUQUERQUE, NEW MEXICO
PRECIPITATION ZONES = ZONE 4
DRAINAGE ORDINANCE DEFINES THE 90th PERCENTILE STORM EVENTS AS 0.44 INCHES.

DETENTION POND				
ELEVATION	AREA (FT ²)	STORAGE (FT ³)	STORAGE (AC-FT)	CUMMULATIVE STORAGE (AC-FT)
5935.0	921	0	0.00	0
5935.5	1125	512	0.01	512
5936.0	1380	626	0.01	1138
5936.5	1710	773	0.02	1910
5937.0	2070	945	0.02	2855
		TOTAL STORAGE	2855	0.07



LEGAL DESCRIPTION
LOTS 3A AND 4, BLOCK 2, UNIT 1, GLENWOOD HILLS TOGETHER

DRAINAGE BASIN AREA
0.54 ACRE; 23,489.04 SF

FLOOD ZONE DESIGNATION
NO PORTION OF THIS SITE LIES WITH A FLOOD PLAIN AS DESIGNATED ON PANEL 163 OF 825 OF THE FEMA FLOOD INSURANCE RATE MAPS, MAP NUMBER 35001C0163H DATED AUGUST 16, 2012.

DRAINAGE CRITERIA
CALCULATIONS FOR EXISTING PEAK DISCHARGE AND VOLUMETRIC RUNOFF WERE PERFORMED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL CHAPTER 22, SECTION 2, HYDROLOGY'S DRAINAGE CRITERIA FOR THE 100-YR, 6 HOUR DESIGN STORM.

HYDROLOGIC STUDY

EXISTING CONDITIONS

THE SITE IS PRESENTLY LANDSCAPED AREA ON THE WEST SIDE OF THE EXISTING JAMES DWYER POLICE SUBSTATION. THERE WAS AN OPEN PAVILION NEAR THE CENTER OF THE PARCEL, AND GRAVEL TRAILS TRAVERSED THE SITE. THE GROUND SURFACE CONTAINED A MODERATE GROWTH OF GRASS AND SHRUBS. IT IS BORDERED BY MONTGOMERY BLVD. TO THE NORTH, LANDAU DRIVE TO THE EAST AND SPANISH BIT DRIVE TO THE WEST. BOTH MONTGOMERY BLVD. AND SPANISH BIT DRIVE HAVE EXISTING STORM DRAIN SYSTEMS WITH INLETS ADJACENT TO THE PROPERTY.

SITE DRAINAGE TRENDED TO THE WEST FROM EXISTING JAMES DWYER POLICE SUBSTATION BUILDING AS SURFACE SHEET FLOW AT SLOPE APPROXIMATELY 8-15%. AN INLET LOCATED AT THE EAST END OF THE SITE ACCEPTS THE EXISTING FLOWS FROM THE POLICE SUBSTATION. ANOTHER INLET LOCATED AT THE WEST END OF THE SITE ACCEPTS THE FLOW WITHIN THE SITE. BOTH INLETS COLLECT FLOWS THEN CONVEYED TO EXISTING STORM DRAIN SYSTEM LOCATED AT MONTGOMERY BLVD. THE REST OF THE AREA SURFACE FLOW TO SPANISH BIT DRIVE. SEE EXISTING DRAIN PLAN FOR EXISTING BASINS.

PROPOSED CONDITIONS

THE PROPOSED SITE IMPROVEMENTS FOR THE SITE WILL CONSIST OF A NEW SECURE PAVED PARKING LOT FOR LAW REINFORCEMENT VEHICLES WITH CMU RETAINING WALL / IRON FENCE, PEDESTRIAN & VEHICLE ACCESS GATES AND ONSITE PARKING LIGHTS.

THE PROPOSED DRAINAGE WILL BE DIVIDED INTO 5 BASINS, WITH OFF-SITE BASIN & ONSITE BASINS. SEE PROPOSED DRAINAGE PLAN FOR BASINS.
BASIN 1 WILL CONSISTED AREAS OF EXISTING SUB STATION CONCRETE SIDEWALK, DRAINAGE FLOW WILL COLLECTED THROUGH NEW INLINE DRAINS BETWEEN THE EXISTING AREA AND NEW IRON FENCE THAT CONNECT TO THE EXISTING STORM DRAIN SYSTEM LOCATED AT MONTGOMERY BLVD.
BASIN 2 RUNOFF WILL BE SURFACE FLOW ALONG THE NORTHWEST WALL TO THE EXISTING DRAIN INLET OUTSIDE THE CMU WALL THAT CONVEYED TO THE SAME STORM DRAIN SYSTEM LOCATED AT MONTGOMERY BLVD.
BASIN 3 WILL BE CONSISTED OF OUTSIDE OF SOUTH WALL AND DRIVEWAY ENTRANCE TO THE NEW GATED PARKING, RUNOFF WILL SURFACE FLOW TO EXISTING PARK & RIDE PARKING LOT THAT CONVEYED TO SPANISH BIT STREET.
BASIN 4 WILL BE ALL AREA WITHIN THE SECURED PARKING. ALL DRAINAGE FLOWS WILL SURFACE FLOW THROUGH PROPOSED VALLEY GUTTER & CONCRETE RUNDOWN THAT LOCATED AT THE FRONT PARKING ENTRANCE.
BASIN 5 CONSISTED EXISTING AREA & PROPOSED DETENTION POND, THE DETENTION POND WILL BE CONSTRUCTED AT THE DOWN STREAM OF THE CONCRETE RUNDOWN TO INTERCEPT THE 90 PERCENTILE RUNOFF & TO RETAIN THE DIFFERENCE OF THE HISTORIC RUNOFF FROM PRE-DEVELOPMENT TO POST-DEVELOPMENT WITH A GRAVEL EMERGENCY SPILLWAY. THE DETENTION POND WILL BE CONSTRUCTED WITH GRAVEL MULCH WITH LANDSCAPING.

DRAINAGE SUMMARY:

EXISTING DISCHARGE TO STORM INLET CONNECTED @ MONTGOMERY:
EX. BASIN 1 & EX. BASIN 3, DISCHARGE = 1.05 CFS, VOLUME = 0.04 AC-FT.

PROPOSED DISCHARGE TO STORM INLET CONNECTED @ MONTGOMERY:
PROP. BASIN 1 & 2, DISCHARGE = 0.70 CFS, VOLUME = 0.03 AC-FT.

NET DISCHARGE TO STORM INLET = -0.35 CFS, VOLUME = -0.01 AC-FT.

EXISTING DISCHARGE TO SPANISH BIT STREET:
EX. BASIN 2 & EX. BASIN 4, DISCHARGE = 1.78 CFS, VOLUME = 0.06 AC-FT.

PROPOSED DISCHARGE TO SPANISH BIT STREET:
PROP. BASIN 3, DISCHARGE = 0.23 CFS, VOLUME = 0.008 AC-FT.

PROPOSED DISCHARGE TO DETENTION POND:
PROP. BASIN 4 & 5, DISCHARGE = 2.40 CFS, VOLUME = 0.10 AC-FT.

PROPOSED DETENTION POND STORAGE: VOLUME = 0.07 AC-FT,
PROPOSED DISCHARGE FROM POND SPILLWAY: 1.50 CFS, VOLUME = 0.05 AC-FT.

TOTAL PROPOSED DISCHARGE TO SPANISH BIT STREET = 1.73 CFS, VOLUME = 0.058 AC-FT.

NET DISCHARGE TO SPANISH BIT STREET = -0.05 CFS, VOLUME = -0.002 AC-FT.

HYDROLOGIC STUDY CONCLUSION

THE EXISTING 100-YR RUNOFF DISCHARGE & VOLUME FROM THE SITE IS 2.83 CFS & 0.10 AC-FT FOR THE 100-YR, 6HR EVENT. THE PROPOSED RUNOFF FROM THE SITE IS 2.66 CFS & 0.088 AC-FT SINCE MOST OF THE SURFACE RUNOFF WILL BE COLLECTED THROUGH THE DETENTION POND ONSITE. THIS RESULTS IN A NET REDUCTION OF 0.17 CFS & 0.012 AC-FT FROM EXISTING TO PROPOSED CONDITIONS. THE PROPOSED PARKING LOT ADDITION WILL HAVE NO IMPACT ON THE DOWNSTREAM AREAS SINCE THE RUNOFF AND DISCHARGE ARE LESS FROM THE PRE-DEVELOPED TO DEVELOPED CONDITION.

THE DETENTION POND HAVE BEEN DEVELOPED ON SITE FOR TWO REASONS:

- 1) TO MITIGATE STORM WATER RUNOFF FROM EXISTING TO PROPOSED CONDITION.
- 2) TO MANAGE 90th PERCENTILE STORM EVENT FIRST FLUSH GENERATED BY CONTRIBUTING IMPERVIOUS SURFACES.



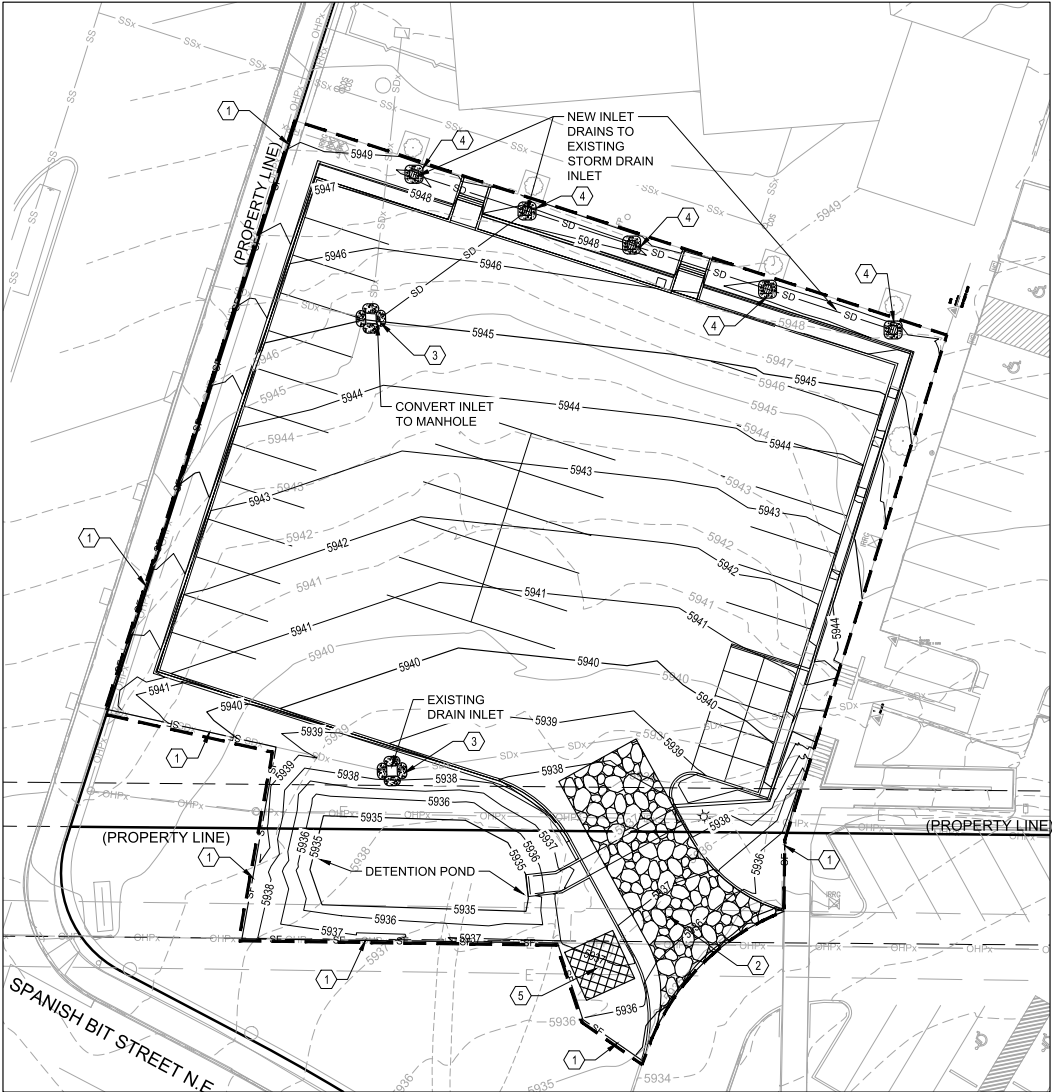
CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ON-CALL ENGINEERING SERVICES

TITLE: JAMES DWYER SUBSTATION PARKING LOT EXPANSION
DRAINAGE PLAN

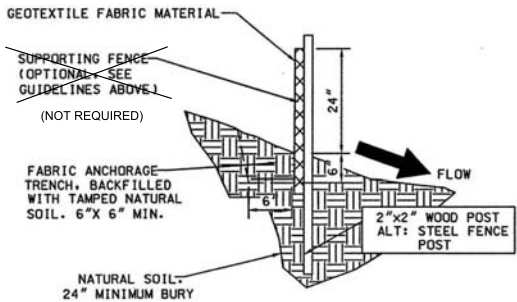
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	6526.03	Zone Map No.	G - 23 - Z
		Sheet	6

RECORD DRAWINGS - **WHPacific**
JULY, 2020

6501 Americas Pkwy NE, Suite 400
Albuquerque, NM 87110
505-247-0204 Fax 505-242-4845
www.whpacific.com

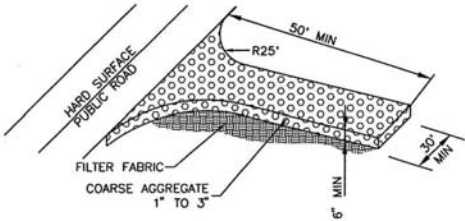


EROSION AND SEDIMENT CONTROL PLAN
SCALE: 1" = 20'



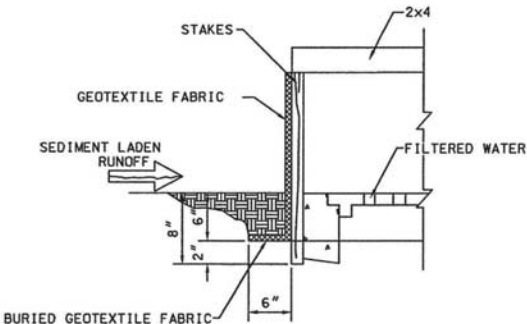
SILT FENCE
SCALE: N.T.S.

1
6A



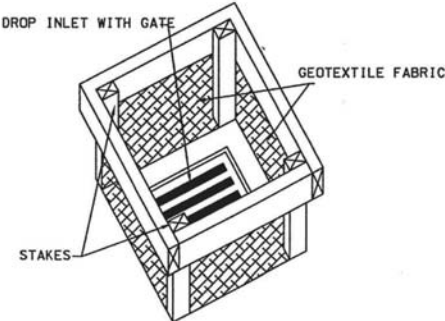
STABILIZED CONSTRUCTION ENTRANCE
SCALE: N.T.S.

2
6A



INLET PROTECTION
SCALE: N.T.S.

3
6A



TYPE I

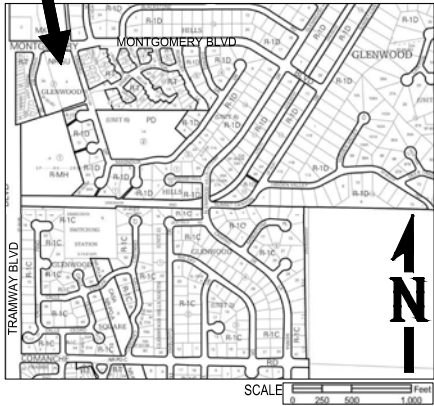
NOTE: WHEN SPECIFIED, ROCKS OR STRAW BALES CAN BE SUBSTITUTED FOR SILT FENCE.

GENERAL NOTES:

1. PARKING AND STAGING AREAS ARE LOCATED OFF DISTURBED SITE IF NOT INDICATED ON THIS DRAWING.
2. NATURAL VEGETATION WILL BE USED AS THE INITIAL BMP.
3. ALL SITE FEATURES (EXISTING/PROPOSED GRADES, EXISTING CONSTRUCTION, FUTURE CONSTRUCTION, ETC.) SHOWN IS FOR INFORMATION ONLY.
4. LOCATE TEMPORARY CONCRETE WASHOUT, CONSTRUCTION ENTRANCE, AND TRASH CONTAINMENT AREA TO MINIMIZE SITE DISTURBANCE DURING CONSTRUCTION ACTIVITY AND MODIFY AS REQUIRED PER SITE REQUIREMENTS.
5. DISTURBED AREAS REMAINING NOT COVERED BY PERMANENT STRUCTURES OR BMPs SHALL BE STABILIZED BY SEEDING LAY CHAPTER 76, ARTICLE 10, SECTION 11-22 NMSA 1978.
6. PROJECT IS REQUIRED TO MAINTAIN A REGIMENT OF STREET SWEEPING AND CLEAN UP MEASURES IN THE EVENT OF TRACK OUT TO MINIMIZE AND PREVENT OFF SITE CONVEYANCES.
7. PERMANENT STABILIZATION:
GRAVEL MULCH
REVEGETATION SEEDING
(PER PROJECT PLANTING PLAN)

VICINITY MAP

PROJECT LOCATION

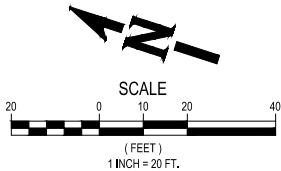


LEGEND



- DISTURBED AREA
- SF - SF - SILT FENCE
- [Pattern] STABILIZED CONSTRUCTION ENTRANCE
- [Pattern] CONCRETE WASH OUT PIT
- [Symbol] INLET PROTECTION

KEY NOTES

1. INSTALL SILT FENCE PER DETAIL 1 ON THIS SHEET.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 2 ON THIS SHEET.
3. INSTALL INLET PROTECTION ON EXISTING DRAIN INLET PER DETAIL 3 ON THIS SHEET.
4. INSTALL INLET PROTECTION ON NEW INLINE DRAIN PER DETAIL 3 ON THIS SHEET.
5. CONCRETE WASH OUT PIT.



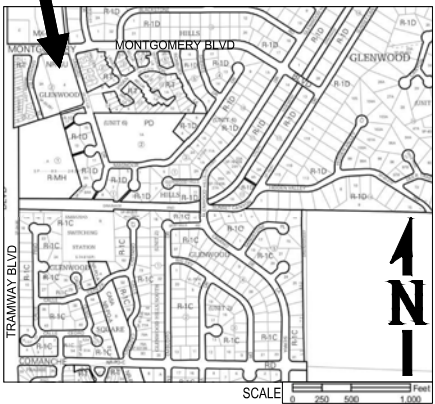
RECORD DRAWINGS - **WHPacific**
JULY, 2020

		CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES		
TITLE: JAMES DWYER SUBSTATION PARKING LOT EXPANSION EROSION AND SEDIMENT CONTROL PLAN				
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	6526.03	Zone Map No.	G - 23 - Z	Sheet 6A of



VICINITY MAP

PROJECT LOCATION



CONSTRUCTION NOTES



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- C. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- D. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- E. ALL ELEVATIONS SHOWN ON THIS PLAN FOR TO FLOW LINE OF CURB, TOP OF SIDEWALK, BOTTOM OF POND, BOTTOM OF WALL, FINISHED GRADE & EXISTING GRADE, UNLESS OTHERWISE NOTED.

KEY NOTES

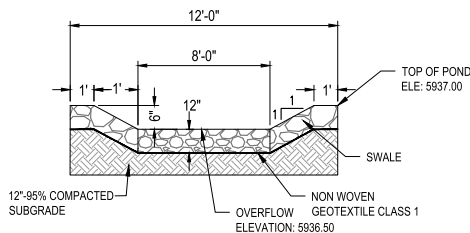
1. TIE TO EXISTING GRADE, CONTRACTOR TO FIELD VERIFY.
2. NEW DETENTION POND, SEE PLANTING PLAN FOR MATERIAL USE ON RETENTION POND.
3. CONSTRUCT RETENTION POND @ 3H: 1V MAX SLOPE.
4. INSTALL 12" HDPE STORM DRAIN PIPE.
5. INSTALL 12" NYLOPLAST INLINE DRAIN BASIN WITH DOME GRATE, OR APPROVED EQUIVALENT.
6. TIE INTO EXISTING CONCRETE DRAIN INLET.
7. CONVERT EXISTING DRAIN INLET INTO STORM DRAIN MANHOLE WITH TRAFFIC RATED LID.
8. EXISTING STORM DRAIN LINE TO REMAIN & PROTECTED THROUGH CONSTRUCTION.
9. EXISTING STORM DRAIN INLET TO REMAIN & PROTECTED THROUGH CONSTRUCTION.
10. CONSTRUCT 4" WIDE CONCRETE VALLEY GUTTER PER C.O.A STANDARD DETAILS.
11. CONSTRUCT 4" WIDE CONCRETE RUNDOWN TO BOTTOM OF RETENTION POND PER DETAIL 4, SHEET 10.
12. INSTALL 10' X 10' RIPRAP PAD PER DETAIL 5, SHEET 10.
13. INSTALL CMU WALL & WROUGHT IRON FENCE PER DETAIL 1, SHEET 11.
14. INSTALL CMU WALL PER DETAIL 2, SHEET 11.
15. INSTALL WROUGHT IRON FENCE AND CMU OR CONCRETE FOUNDATION PER DETAIL 3, SHEET 11.
16. CONSTRUCT CONCRETE STAIRS PER DETAIL 3, SHEET 10.
17. CONSTRUCT RIPRAP OVERFLOW SPILLWAY PER DETAIL 1, SHEET 8 OR DETAIL 6, SHEET 10.
18. SEE PLANTING PLAN SHEET 15 FOR EROSION CONTROL FOR STEEP SLOPE.

RECORD DRAWINGS - JULY, 2020



		CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES			
TITLE: JAMES DWYER SUBSTATION PARKING LOT EXPANSION GRADING PLAN					
Design Review Committee		City Engineer Approval		Last Design Update	
				Mo./Day/Yr.	
				Mo./Day/Yr.	
				Mo./Day/Yr.	
				Mo./Day/Yr.	
City Project No.		Zone Map No.		Sheet	
6526.03		G - 23 - Z		7	
				Of	

SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
FIELD NOTES		COORDINATES ARE MODIFIED (SURFACE) NEW MEXICO STATE PLANE COORDINATES-CENTRAL ZONE, NAD 83. TO OBTAIN TRUE STATE PLANE COORDINATES, MULTIPLY THE COORDINATES HEREON BY THE PROJECT AVERAGE COMBINED GROUND TO GRID FACTOR OF CF=99962526. ELEVATIONS ARE REFERRED TO SEA LEVEL, NAVD 88 AND HAVE BEEN ADJUSTED TO THE C.O.A. CONTROL STATION "17_G22" (PUBLISHED ELEV=5917.74', MEAS. ELEV=5917.64' WITH GPS)		CONTRACTOR	
NO.		DATE		CHECKED BY	
				INSPECTOR'S FIELD VERIFICATION BY	
				CORRECTED BY	
				MICRO-FILM INFORMATION	
				RECORDED BY	
				DATE	
				NO.	



VICINITY MAP



SURVEY CONTROL TABLE				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
73	1502814.00	1566822.00	5947.72	FG-GRATE
74	1502781.50	1566822.00	5947.03	FG-GRATE
75	1502751.50	1566822.00	5947.24	FG-GRATE
76	1502891.50	1566797.93	5947.80	FG
77	1502891.00	1566762.00	5945.79	FG
78	1502891.50	1566738.00	5944.81	FG
79	1502891.00	1566696.00	5942.51	FG
80	1502889.50	1566696.00	5941.00	FG
81	1502855.32	1566691.81	5939.00	FG
82	1502838.69	1566692.00	5938.46	FG
83	1502774.32	1566678.81	5937.44	FL
84	1502757.85	1566696.29	5937.80	FL
85	1502778.32	1566742.45	5949.24	FL-TA
86	1502781.66	1566714.02	5938.40	FL-TA
87	1502783.63	1566700.57	5937.64	FL-TA
88	1502778.69	1566682.93	5937.43	FL
89	1502781.60	1566685.67	5937.50	FL
90	1502764.86	1566703.56	5938.20	FG
91	1502791.58	1566676.05	5935.55	FL
92	1502805.89	1566658.62	5936.50	FG-OVERFLOW
93	1502813.60	1566656.48	5936.50	FG-OVERFLOW
94	1502807.86	1566665.39	5935.00	POND
95	1502815.54	1566663.16	5935.00	POND

ABBREVIATION

FL - FLOW LINE
FG - FINISHED GRADE
SWLK - SIDEWALK
VG - VALLEY GUTTER
T.O.C- TOP OF CURB

<div style="text-align: center;"> CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES </div>				
TITLE: JAMES DWYER SUBSTATION PARKING LOT EXPANSION GRADING POINT TABLES				
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. <div style="font-size: 1.5em; font-weight: bold; text-align: center;">6526.03</div>	Zone Map No. <div style="font-size: 1.5em; font-weight: bold; text-align: center;">G - 23 - Z</div>	Sheet	Of	<div style="font-size: 1.5em; font-weight: bold; text-align: center;">8</div>



UTILITY PLAN
SCALE: 1" = 20'

KEY NOTES

1. PROPERTY LINE.
2. EXISTING 10" PNM EASEMENT.
3. EXISTING FIRE HYDRANT TO REMAIN.
4. EXISTING WATER MAIN.
5. EXISTING SANITARY SEWER MAIN.
6. EXISTING SEWER SERVICE LINE.
7. EXISTING 1-1/4" IRRIGATION LINE.
8. EXISTING STORM DRAIN LINE TO REMAIN.
9. EXISTING STORM DRAIN INLET TO REMAIN.
10. POINT OF CONNECTION FOR 1" WATER SERVICE LINE, CONNECT TO EXISTING WATER SERVICE LINE PAST EXISTING METER.
11. INSTALL 1" WATER SERVICE LINE FOR FREEZE PROOF YARD HYDRANTS. REMOVE & REPLACE EXISTING LANDSCAPE GRAVEL AND CONCRETE SIDEWALK AS NECESSARY.
12. INSTALL FREEZE PROOF YARD HYDRANT WITH 2' X 2' CONCRETE PAD.
13. CONSTRUCT 2' X 2' CONCRETE PAD FOR VEHICLE CHARGE POWER PEDESTAL STATION. SEE ELECTRICAL PLAN FOR CHARGE POWER PEDESTAL STATION DETAILS.
14. BORE UNDER EXISTING CONCRETE SIDEWALK OR REMOVE & REPLACE EXISTING SIDEWALK FOR NEW 1" WATER SERVICE LINE INSTALLATION.
15. NEW ELECTRICAL CONDUITS, SEE ELECTRICAL PLAN FOR DETAILS. BORE UNDER EXISTING CONCRETE SIDEWALK OR REMOVE & REPLACE EXISTING CONCRETE SIDEWALK FOR CONDUIT INSTALLATION.
16. RELOCATED EXISTING PARKING LIGHT, CONSTRUCT CONCRETE BASE PER DETAIL ON ELECTRICAL PLAN.
17. OVERHEAD POWER LINE TO REMAIN & PROTECTED THROUGH CONSTRUCTION.
18. NEW 12" STORM LINES FOR REFERENCE, SEE GRADING PLAN FOR DETAILS.
19. NEW ELECTRICAL POWER CONDUITS & PARKING LIGHTS, SEE ELECTRICAL PLAN FOR DETAILS.

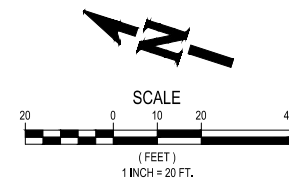
VICINITY MAP

PROJECT LOCATION



CONSTRUCTION NOTES

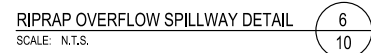
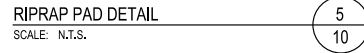
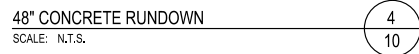
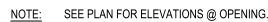
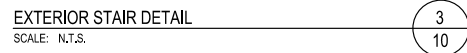
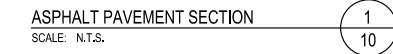
- A. AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- B. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2011.
- C. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- D. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.





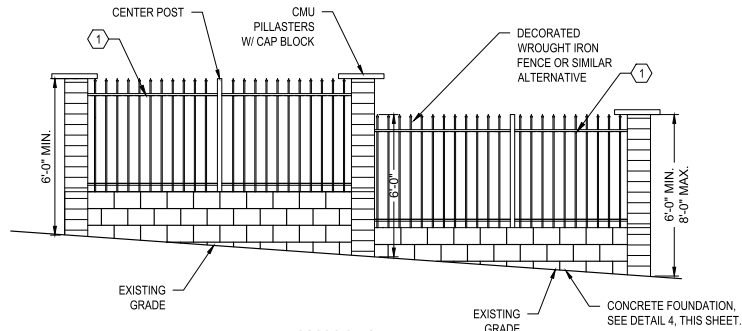
RECORD DRAWINGS
JULY, 2020



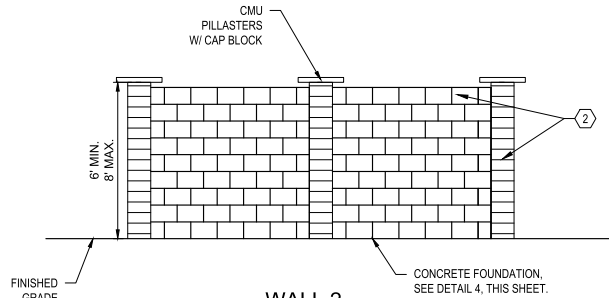
CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES			
TITLE: JAMES DWYER SUBSTATION PARKING LOT EXPANSION UTILITY PLAN			
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	6526.03	Zone Map No.	G - 23 - Z
		Sheet	9 of



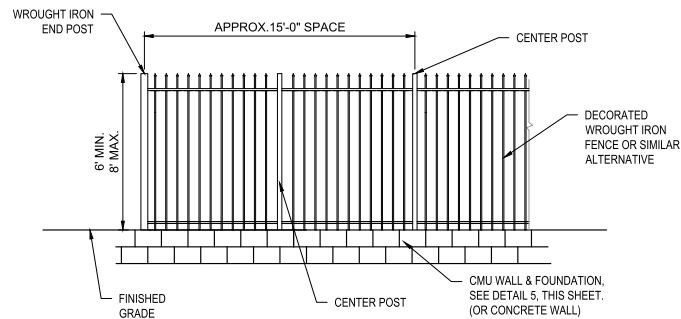
	CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES												
TITLE: JAMES DWYER SUBSTATION PARKING LOT EXPANSION CIVIL DETAILS													
Design Review Committee <div style="border: 1px solid black; height: 100px;"></div>	City Engineer Approval <div style="border: 1px solid black; height: 100px;"></div>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td rowspan="5" style="width: 5%; text-align: center; vertical-align: middle;">Last Design Update</td> <td style="width: 40%; text-align: center;">Mo./Day/Yr.</td> <td style="width: 40%; text-align: center;">Mo./Day/Yr.</td> </tr> <tr><td style="height: 30px;"></td><td></td></tr> <tr><td style="height: 30px;"></td><td></td></tr> <tr><td style="height: 30px;"></td><td></td></tr> <tr><td style="height: 30px;"></td><td></td></tr> </table>	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.								
Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.											
City Project No. <div style="font-size: 24pt; font-weight: bold; text-align: center;">6526.03</div>	Zone Map No. <div style="font-size: 24pt; font-weight: bold; text-align: center;">G - 23 - Z</div>	Sheet <div style="font-size: 24pt; font-weight: bold; text-align: center;">10</div> Of											



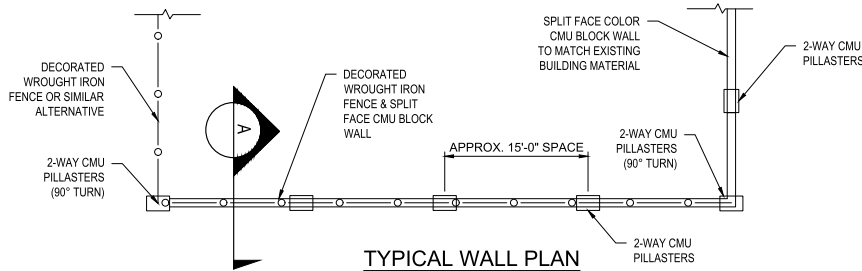
WALL 1
ELEVATION



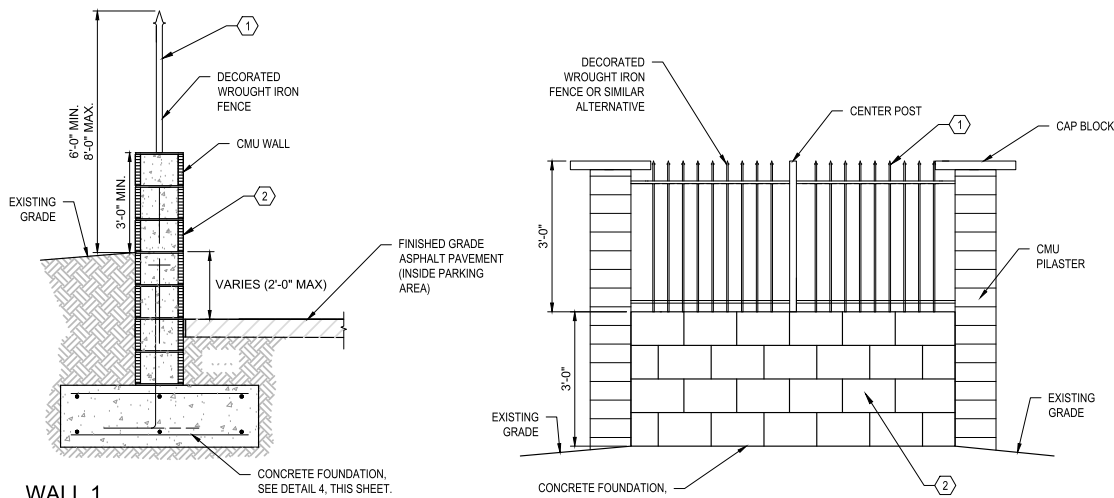
WALL 2
ELEVATION



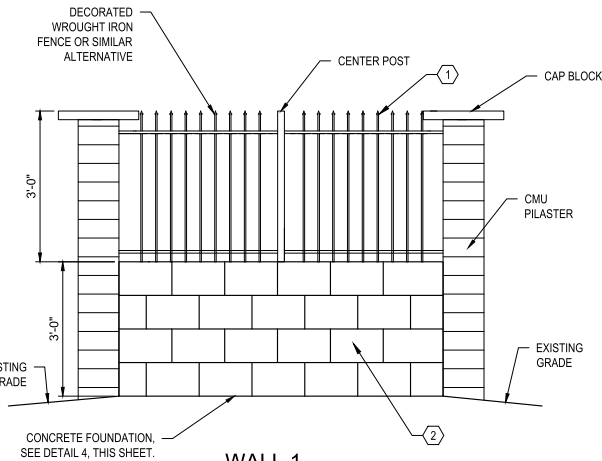
WALL 3
ELEVATION



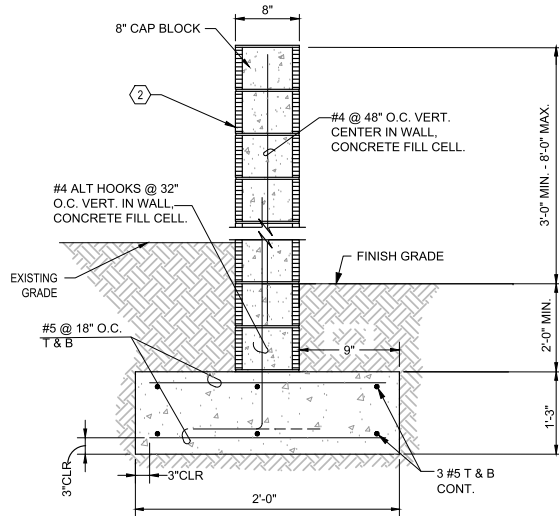
TYPICAL WALL PLAN



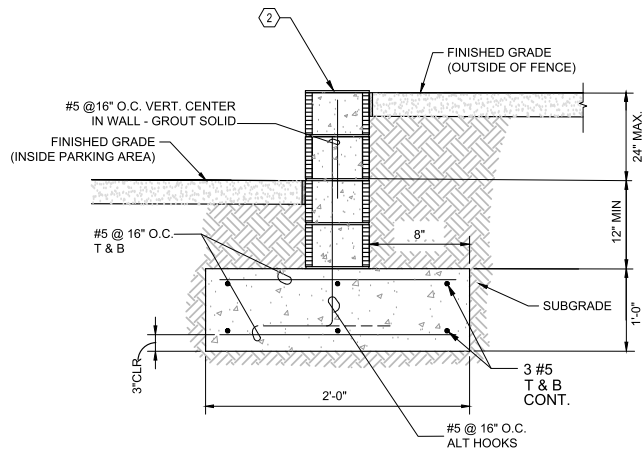
WALL 1
SECTION - A-A



WALL 1
ELEVATION



CMU WALL FOUNDATION DETAIL
SCALE: N.T.S.



CMU WALL FOUNDATION DETAIL @ METAL FENCE
SCALE: N.T.S.

KEYNOTES:

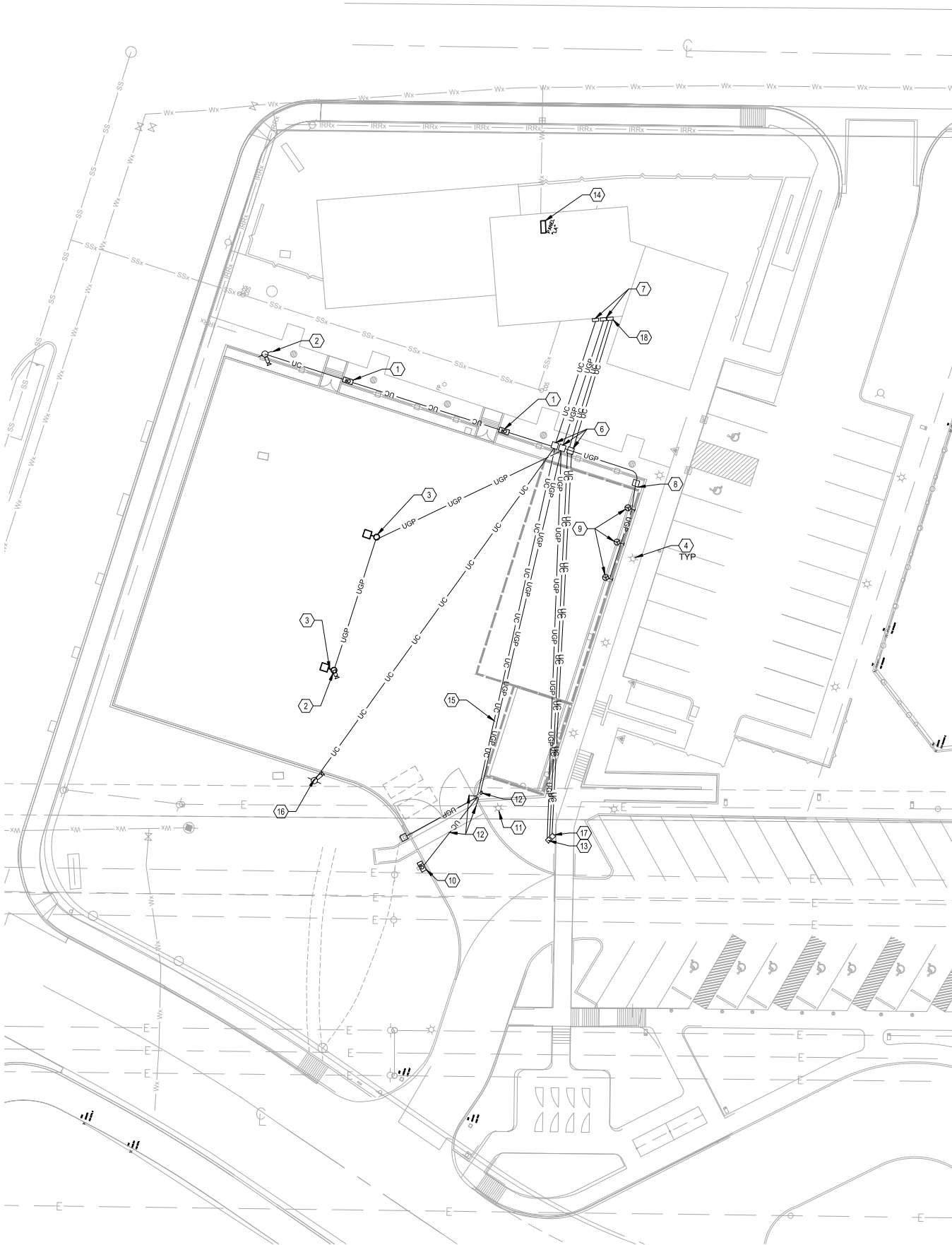
1. AMERISTAR COMMERCIAL WELDED STEEL PANEL, "MONTAGE PLUS CLASSIC 2-RAIL" (BLACK) WITH 2 LOCKING 5'-0" WIDE PEDESTRIAN GATES AT LOCATION SHOWN ON SITE PLAN, OR ENGINEER APPROVED EQUAL. CONTRACTOR TO PROVIDE MATERIALS AND SHOP DRAWINGS FOR REVIEW AND APPROVAL.
2. 6'-8" TALL CMU SINGLE SPLIT FACE (CORAL) WITH CAP BLOCK WITH SPLIT FACE PILASTERS(CORAL) AND PILASTER CAP BLOCK OR APPROVED EQUAL. CONTRACTOR TO PROVIDE MATERIALS AND SHOP DRAWINGS FOR REVIEW AND APPROVAL.

CMU & WROUGHT IRON FENCE DETAIL
SCALE: N.T.S.

RECORD DRAWINGS - **WHPacific**
JULY, 2020

6501 Americas Pkwy NE, Suite 400
Albuquerque, NM 87110
505-247-0294 Fax 505-242-4845
www.whpacific.com

CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES			
TITLE: JAMES DWYER SUBSTATION PARKING LOT EXPANSION CIVIL DETAILS			
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	6526.03	Zone Map No.	G - 23 - Z
		Sheet	11 of X

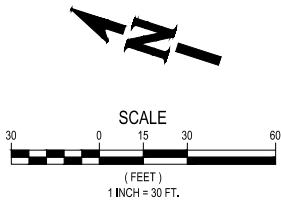


ELECTRICAL SITE PLAN
SCALE: 1" = 20'

- GENERAL ELECTRICAL NOTES**
- A. CONTRACTOR IS STRONGLY ENCOURAGED TO VISIT AND CAREFULLY EXAMINE THOSE PORTIONS OF THE SITE AFFECTED BY THIS WORK BEFORE SUBMITTING PROPOSALS, SO AS TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND DIFFICULTIES THAT WILL AFFECT EXECUTION OF THE WORK.
- B. ALL ELECTRICAL WORK AND MATERIALS MUST CONFORM TO THE LATEST STANDARDS FOR THE NATIONAL ELECTRICAL CODE AND ANY OTHER APPLICABLE CODES. MATERIALS SHALL BE LISTED BY THE UNDERWRITER'S LABORATORIES, INC. SHOULD PLANS AND CODES CONFLICT, THE CODE TAKES PREFERENCE. MAKE NO CHANGES, EVEN IN CASE OF CONFLICT, WITHOUT FIRST OBTAINING APPROVAL OF THE ENGINEER.
- C. PROVIDE AS USED HERE ON THE DRAWINGS, PROVIDE IS AN ALL-INCLUSIVE TERM REQUIRING CONTRACTOR TO FURNISH, INSTALL, WIRE AND CONNECT ALL SPECIFIED EQUIPMENT AS WELL AS COMPONENTS, ACCESSORIES, WIRING, AND MOUNTING HARDWARE TO INSURE THAT SPECIFIED EQUIPMENT FUNCTIONS TO MEET SYSTEM(S) REQUIREMENTS.
- D. UNLESS OTHERWISE NOTED, ALL POWER CIRCUIT CONDUCTORS SHALL BE COPPER AND MINIMUM #12 AWG IN 1/2" CONDUIT.
- E. A GREEN, COPPER GROUND WIRE SHALL BE INSTALLED IN ALL CONDUIT SYSTEMS AND SHALL BE BONDED TO ALL ENCLOSURES, BOXES, AND EQUIPMENT.
- F. EXISTING CONDITIONS AND UTILITIES INDICATED ARE TAKEN FROM EXISTING CONSTRUCTION DOCUMENTS, VARIOUS SURVEYS, AND FIELD INVESTIGATIONS.
- G. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT EXISTING UTILITIES FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE FOR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE COMPLETION OF THIS WORK.



KEY NOTES

- CARD READER FOR GATE. COORDINATE WITH SECURITY CONTRACTOR. PROVIDE CONDUIT AND NEMA 3R BACKBOX. PROVIDE NYLON PULLSTRING. (1)1" CONDUIT TO PULL BOX FOR CARD READER.
- 18' TALL 4" ROUND TAPERED POLE FOR CAMERA. PROVIDE 1" SCHEDULE 40 PVC CONDUIT BACK TO PULL BOX.
- POLE MOUNTED AREA FIXTURE, MOTION ACTIVATED HUBBLE MODEL, ARO LED #ASL-16L-4K-210-4-U-WH-SWPM, 23' POLE, 2#10AWG, 1#10AWG GROUND, 1" CONDUIT. SEE DETAIL SHEET 13. HOMERUN TO PANEL LA-83. CONTROL VIA TIME CLOCK LOCATED NEXT TO PANEL "LA" SPARE CONTROL CONTACTOR #7.
- EXISTING PARKING LIGHT POLE TO REMAIN.
- BORE UNDER EXISTING CONCRETE SIDEWALK OR REMOVE & REPLACE EXISTING SIDEWALK FOR PROPOSED CONDUIT INSTALLATION.
- 18"x18"x12" QUAZITE PULLBOX TIER15.
- 12" X12"X6" NEMA 3R PULLBOX MOUNTED ON SIDE OF BUILDING.
- 18"x18"x12" QUAZITE PULLBOX TIER15 FOR FUTURE LIGHTING AND PHOTOVOLTAIC SYSTEM. PROVIDE (1)1/2-1/2" SCHEDULE 80 PVC CONDUIT FROM BUILDING POWER PULLBOX WITH NYLON PULLSTRING.
- RV PEDESTAL WITH ONE 50 AMP NEMA 14-50R RECEPTACLE, ONE 5-20R2GFCI RECEPTACLE, AND ONE TELEPHONE CONNECTION KIT. MIDWEST ELECTRIC #5S3S2S2SEB OR APPROVED EQUAL. VERIFY EXACT LOCATION WITH OWNER PRIOR TO ROUGH-IN. 3-#8 THWN CU. AND 1-#10 THWN CU. GROUND IN 1" CONDUIT. EXTEND ONE 1" CONDUIT WITH NYLON PULL STRING BACK TO BUILDING COMM PULLBOX. HOME RUN TO PANEL "LA", CIRCUITS LA-73,75, LA-77,79, AND LA-78,80.
- CARD READER FOR SECURITY GATE. PROVIDE NEMA 3R BACKBOX AND (1)3/4" CONDUIT BACK TO GATE CONTROLLER. COORDINATE WITH SECURITY CONTRACTOR.
- EXISTING LIGHT TO BE DEMOLISHED AND MOVED TO THIS LOCATION AND BE RECONNECTED. UTILIZE CIRCUIT CAPTURED DURING DEMOLITION. EXTEND AS NEEDED TO NEW LOCATION AND PROVIDE NEW CONCRETE PEDESTAL. COORDINATE WITH CIVIL.
- 240V, 30AMP, 2POLE, SAFETY DISCONNECT FOR DISCONNECTING MEANS ON GATE CONTROLLER, 2#6AWG, 1#6AWG GROUND, 1" SCHEDULE 80 PVC CONDUIT. HOMERUN TO PANEL LA-81,83. COORDINATE WITH SECURITY CONTRACTOR. PROVIDE (1)3/4" CONDUIT BETWEEN GATE OPERATORS AND (2)3/4" SCHEDULE 80 PVC CONDUITS FOR IN-GROUND LOOP SENSORS.
- 18"x18"x12" QUAZITE PULLBOX TIER15 FOR FUTURE. 1-1" SCHEDULE 80 PVC CONDUIT BACK TO PULL BOX MOUNTED ON BUILDING PROVIDE NYLON PULLSTRING.
- PANEL "LA" LOCATED IN ELECTRICAL CLOSET BACK OF BUILDING.
- ONE 1" SCHEDULE 80 PVC CONDUIT FOR GATE CONTROLLER.
- CAMERA AND POLE NOT INSTALLED.
- 18"x18"x12" QUAZITE PULLBOX TIER15 FOR FUTURE. 2-1/2" SCHEDULE 80 PVC CONDUIT WITH INNERDUCT BACK TO PULL BOX MOUNTED ON BUILDING PROVIDE NYLON PULLSTRING.
- 12" X12"X6" NEMA 3R PULLBOX MOUNTED ON SIDE OF BUILDING.

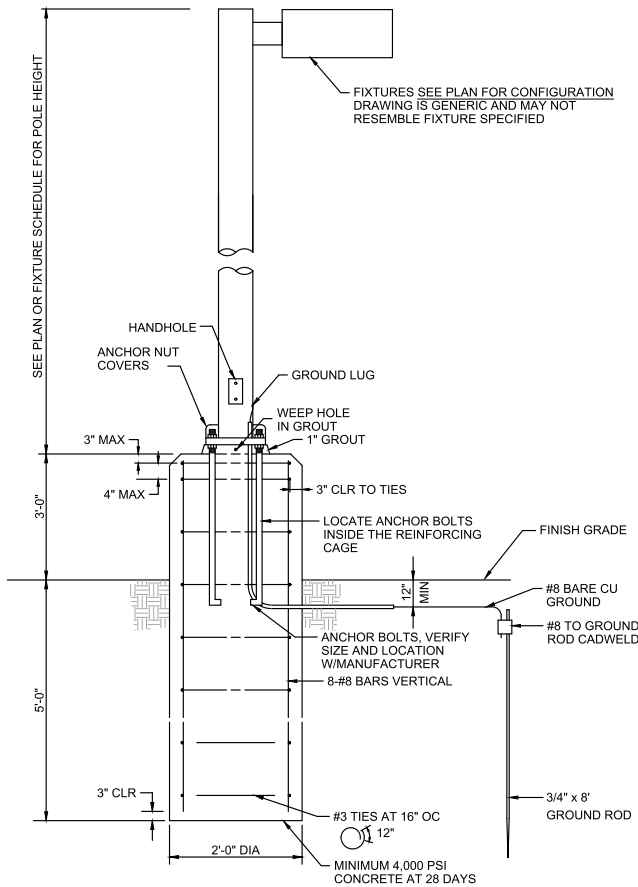


RECORD DRAWINGS - **WHPacific**
JULY, 2020

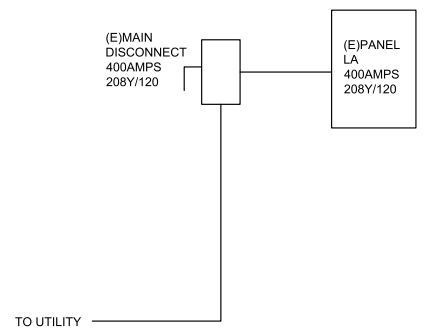
6501 Americas Pkwy NE, Suite 400
Albuquerque, NM 87110
505-247-0294 Fax 505-242-4845
www.whpacific.com

		CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES			
TITLE: JAMES DWYER SUBSTATION PARKING LOT EXPANSION ELECTRICAL SITE PLAN					
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.	
City Project No. 6526.03		Zone Map No. G - 23 - Z	Sheet 12	Of	

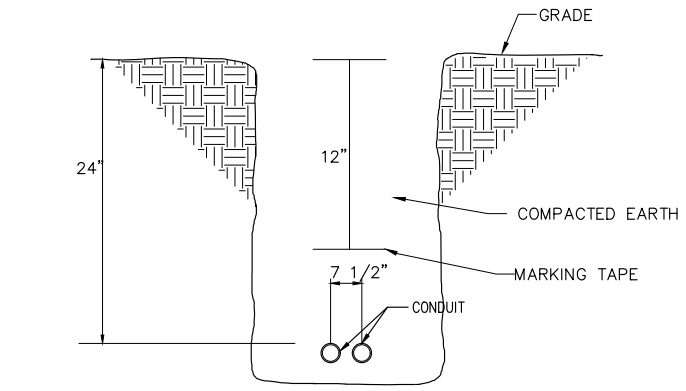
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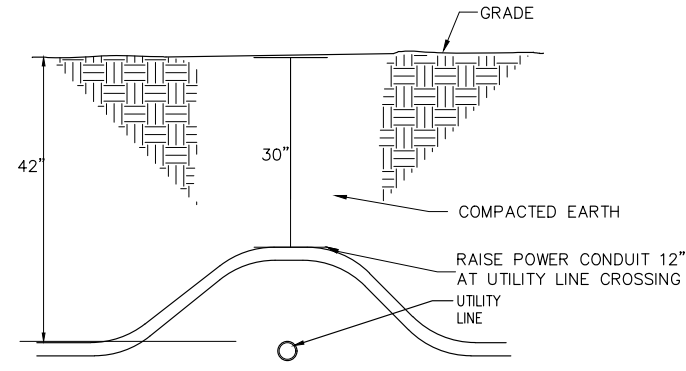
1 LIGHT POLE & FOUNDATION BASE
SCALE: NO SCALE



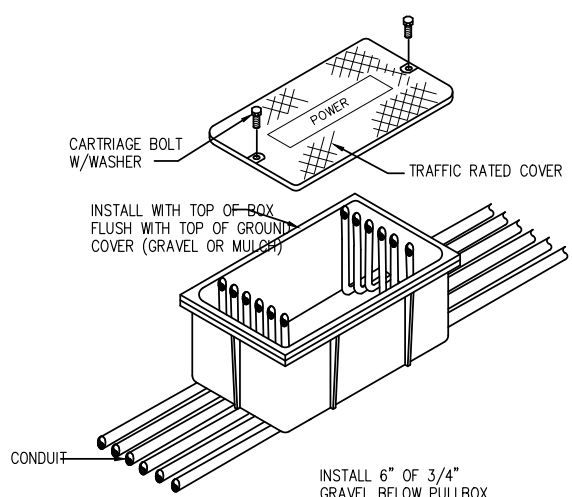
2 ELECTRICAL SINGLE LINE DIAGRAM
SCALE: NO SCALE



3 TRENCH DETAIL
SCALE: NO SCALE



4 POWER UTILITY CROSSING DETAIL
SCALE: NO SCALE

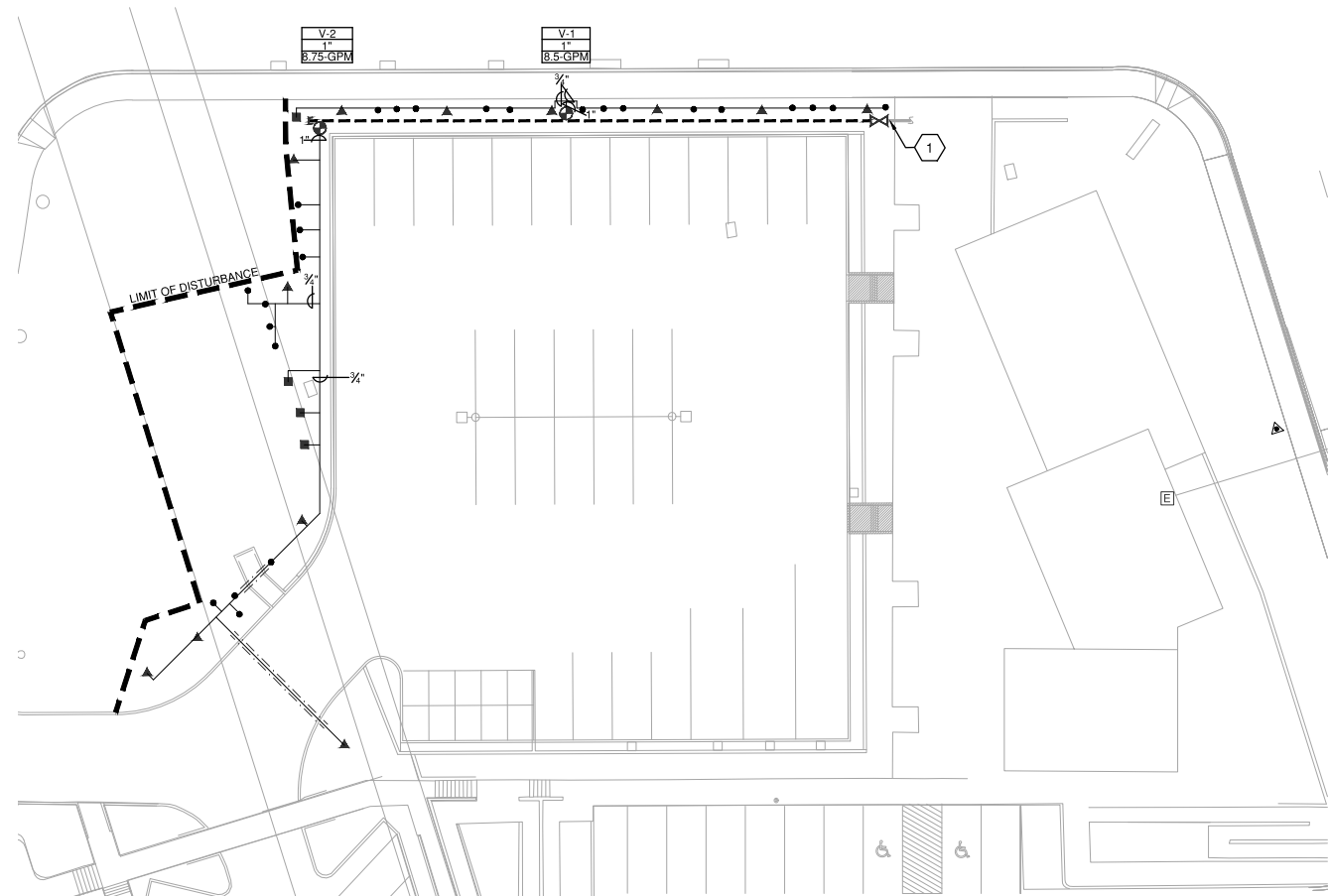


5 PULL BOX DETAIL
SCALE: NO SCALE

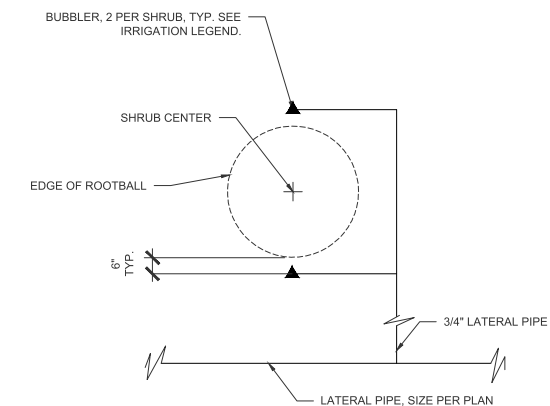
KEY NOTES
1. CIRCUITS IN BOLD ARE NEW.

PANEL 'LA'											
VOLTAGE: 120/208V			FRAME: 400A FRAME			MIN A/C RATING: 22,000					
PHASE: 3 PHASE			MAIN: 400A			CIRCUITS: 42					
WIRE: 4 WIRE			ENCLOSURE: NEMA 1 DOOR-IN-DOOR			MOUNTING: SURFACE					
FEED: BOTTOM			LOCATION: ELECTRICAL ROOM								
CKT NO	BKR RTNG	LOAD DESCRIPTION	VA	CONNECTED VA LOAD			VA	LOAD DESCRIPTION	BKR RTNG	CKT NO	
				A	B	C					
1				683			683	LTG BLDG EXT	20A/1	2	
3	60A/3P	TVSS			330		330	LTG BLDG EXT	20A/1	4	
5						1785	1785	LTG RM 102	20A/1	6	
7	20A/1	LTG RM 106, 108, 109	1420	2140			720	REC RM 108	20A/1	8	
9	20A/1	LTG RM 100, 104, 105	1210		2410		1200	REC REFRIGERATOR	20A/1	10	
11	20A/1	LTG RM 121, 122, 123	1785			2505	720	REC RM 109	20A/1	12	
13	20A/1	LTG RM 115 THRU 120	1285	2005			720	REC RM 104, 105	20A/1	14	
15	20A/1	REC EXTERIOR	1080		1980		900	REC RM 101	20A/1	16	
17	20A/1	ROLL-UP DOOR	360			900	540	REC RM 106	20A/1	18	
19	20A/1	REC RM 112, 114	900	2160			1260	REC RM 102	20A/1	20	
21	20A/1	REC COPIER	1440		1980		540	REC ROOF	20A/1	22	
23	20A/1	REC PRINTER	1440			2880	1440	REC SYS FURN	20A/1	24	
25	20A/1	REC NW ROOM 109	1440	1620			180	REC SW PLUG RM 109	20A/1	26	
27	20A/1	REC SYS FURN	1440		1980		540	REC RM 123	20A/1	28	
29	20A/1	REC SYS FURN	1440			2160	720	REC RM 122	20A/1	30	
31	20A/1	REC SYS FURN	1440	2160			720	REC RM 121	20A/1	32	
33	20A/1	REC DWG, RP2	720		1440		720	REC RM 118	20A/1	34	
35	20A/1	LTG FLAG/SIGN	130			850	720	REC RM 119	20A/1	36	
37	20A/1	LTG EXT	650				1100	LTG PARKING LOT	20A/1	38	
39	20A/1	FACP	1200				888	LTG PARKING LOT	20A/1	40	
41	20A/1	HOT BOX	600				600	PROJECTION SCREEN	20A/1	42	
43			4392	7368			2976			44	
45	50A/3P	RTU-1	4392		7368		2976	RTU-2	40A/3P	46	
47			4392			7368	2976			48	
49			2976	4560			1584			50	
51	40A/3P	RTU-3	2976		4560		1584	RTU-4	30A/2P	52	
53			2976			2976		SPACE		54	
55	30A/2P	RTU-5	1884	2580			696	EF-1	20A/1	56	
57			1884		2580		696	EF-2	20A/1	58	
59		SPACE				360	360	IF-1, IF-2, IF-3	15A/1	60	
61	20A/1	CE-1, WH-1, RP-1	1077	1477			400	CONT. TRANS. 106, 113	20A/1	62	
63	20A/1	PARKING LOT LIGHTING	500		500			SPARE	20A/1	64	
65	20A/1	REC RADIO	1000			1180	180	LTG CONTR. "CA"	20A/1	66	
67			1800	1980			180	REC SW POLE LITE	20A/1	68	
69	20A/3P	ROLL-UP DOOR	1800		1800			SPARE	20A/1	70	
71			1800			1800				72	
73			4000	4000				SURGE PROTECTOR	20A/3P	74	
75	50A/2P	RV PEDESTAL	4000		4000					76	
77			4000			8000	4000			78	
79	50A/2P	RV PEDESTAL	4000	8000			4000	RV PEDESTAL	50A/2P	80	
81			2500		2500			SPACE		82	
83	30A/2P	GATE CONTROLLER	2500			2500		SPACE		84	
CONNECTED LOAD (VA) PER PHASE			40733	33428	35264	109425	TOTAL CONNECTED LOAD (VA)				
						304.1	TOTAL CONNECTED LOAD (AMPS)				

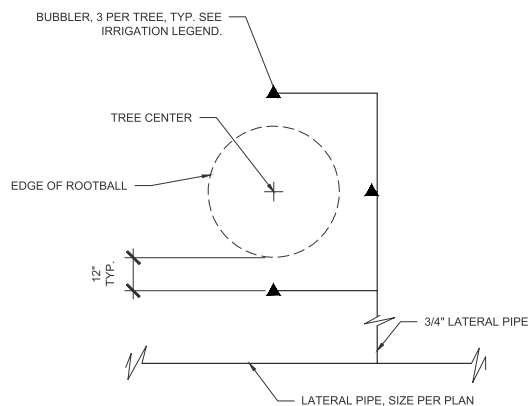
CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES			
TITLE: JAMES DWYER SUBSTATION PARKING LOT EXPANSION ELECTRICAL DIAGRAMS AND SCHEDULES			
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.
City Project No.	6526.03	Zone Map No.	G - 23 - Z
		Sheet	13



A IRRIGATION PLAN



C BUBBLER LAYOUT AT SHRUBS (2)
SCALE: N.T.S.



D BUBBLER LAYOUT AT TREES (3)
SCALE: N.T.S.

IRRIGATION LEGEND

- LATERAL SLEEVE PIPING: CLASS 200, SDR-21, BELL-END, SOLVENT WELD PVC, SEE IRRIGATION NOTE C BELOW.
- EXISTING 1" PVC MAIN LINE.
- IRRIGATION MAIN LINE: SCHEDULE 40, BELL END, SOLVENT WELD PVC, SIZE 1". DEPTH OF BURY 36" FOR CONTINUOUS PRESSURE IRRIGATION MAIN, 18" FOR NON-CONTINUOUS.
- IRRIGATION LATERAL LINE, SCH. 40, BELL-END, SOLVENT WELD PVC. DEPTH OF BURY 18". SIZE AS SHOWN ON PLAN. PIPE CONVEYING LESS THAN 5 GPM SHALL BE 3/4".
- ✕ ISOLATION VALVE: SPEARS SCH. 80 PVC BALL VALVE, SIZE 1". SEE COA STD. DWG. #2707.
- ⦿ REMOTE CONTROL VALVE ASSEMBLY. RAINBIRD PEB SERIES, PLASTIC BODY 24-VOLT AUTOMATIC VALVE (OR APPROVED EQUAL), SIZE AS SHOWN ON PLAN, WITH HUNTER NODE-100 BATTERY OPERATED CONTROLLER. SEE COA STD. DWG. 2705.
- ▽ FEBCO 825Y BACKFLOW PREVENTER IN HEATED INSULATED ENCLOSURE. PRESSURE COMPENSATING BUBBLER ASSEMBLIES, RAIN BIRD 1400 SERIES, SEE COA STD. DWG. 2712.

MODEL NO.	GPM	PSI
1401	0.25	30
1401	0.5	30
1401	0.75	30

- 2 PER SHRUB, SEE DETAIL C/14
- 3 PER TREE, SEE DETAIL D/14
- ⊥ SOLVENT WELD CAP: SCH. 40 PVC, LINE SIZE.
- ☐ IRRIGATION CONTROLLER. CONTROLLER SHALL BE RAIN BIRD ESPACE FOUR-STATION EXTERIOR CONTROLLER INSTALLED IN RAIN BIRD LXMMPED PEDESTAL. SEE DETAIL B/14.
- ⓔ EXISTING IRRIGATION CONTROLLER.

IRRIGATION KEYED NOTES

- IRRIGATION POINT OF CONNECTION. CONNECT TO EXISTING 1" PVC IRRIGATION MAIN LINE.

IRRIGATION GENERAL NOTES



- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO CONSTRUCT THE PROPOSED IRRIGATION SYSTEM IN ACCORDANCE WITH THE PLANS, DETAILS, AND SPECIFICATIONS.
- THIS SYSTEM WAS DESIGNED TO OPERATE AT A MINIMUM STATIC PRESSURE OF 60 PSI AT THE POINT OF CONNECTION. THE CONTRACTOR SHALL VERIFY ACTUAL PSI AND DELIVER RESULTS TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. IN THE EVENT THE ACTUAL PSI IS LESS THAN 60 PSI THE CONTRACTOR SHALL RECEIVE DIRECTION FROM LANDSCAPE ARCHITECT REGARDING POSSIBLE DESIGN MODIFICATIONS PRIOR TO INSTALLATION OF ANY IRRIGATION COMPONENTS. THE PRESSURE READING SHALL BE PERFORMED IN THE PRESENCE OF THE OWNER'S AUTHORIZED REPRESENTATIVE. RESULTS SHALL BE INCLUDED IN THE CONTRACTOR'S IRRIGATION EQUIPMENT SUBMITTAL INDICATING DATE AND TIME OF PRESSURE READING AND THE NAME OF ATTENDING OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL INSTALL LATERALS IN SLEEVE PIPING AT ALL LOCATIONS WHERE LATERALS CROSS BENEATH PAVING. SLEEVES SHALL BE LOCATED A MIN. 6" BEYOND EACH EDGE OF PAVEMENT. CONTRACTOR SHALL COORDINATE SLEEVE INSTALLATION WITH ALL TRADES TO ENSURE SLEEVES ARE INSTALLED PRIOR TO INSTALLATION OF CURB AND GUTTER, CONCRETE AND ASPHALT PAVEMENT, SIDEWALKS, SLABS, WALLS, ETC.
- IRRIGATION PIPE ROUTING IS SHOWN DIAGRAMMATICALLY AND MAY REQUIRE MINOR FIELD ADJUSTMENTS. IN THE CASE OF MAJOR ADJUSTMENTS OR CHANGES TO THE DESIGN, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK. ACTUAL PIPE ROUTING AND EQUIPMENT LOCATIONS SHALL BE COMPLETELY AND ACCURATELY NOTED IN THE PROJECT AS-BUILTS TO BE PROVIDED BY THE CONTRACTOR.
- IRRIGATION PIPING SHALL NOT BE INSTALLED WITHIN THE DRIP LINE OF TREES. ALL ELBOWS AND TEES SHALL BE INSTALLED IN LANDSCAPE AREAS UNLESS OTHERWISE NOTED. IRRIGATION EQUIPMENT SHALL BE LOCATED IN LANDSCAPE AREAS.
- CONTRACTOR SHALL PROVIDE ONE 120V, 20 AMP CIRCUIT FROM ELECTRICAL PANEL TO IRRIGATION CONTROLLER. SEE ELECTRICAL DRAWINGS. WORK AND MATERIALS BE IN COMPLIANCE WITH LOCAL CODES AND THE NATIONAL ELECTRIC CODE (N.E.C.).

RECORD DRAWINGS JULY 2020

The Landscape Architect has compiled for and delivered to the Owner a set of Record Documents conforming to the construction records of the Contractor as provided to the Landscape Architect. This set of documents consists of corrected plans showing the reported location of the work. These Record Drawings have been prepared, in part, based upon information furnished by others. While the information submitted by the Contractor and incorporated by the Landscape Architect into the Record Drawings is assumed to be reliable, the Landscape Architect has not verified the accuracy and/or completeness of the information and shall not be responsible for any errors or omissions which may be incorporated herein as a result. Those relying on these Record Documents are advised to obtain independent verification of their accuracy before applying it for any purpose.

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 CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES			
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Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.
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ENGINEERS SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	



PLANT LEGEND

SYMBOL	COMMON NAME	BOTANICAL NAME	QTY	MIN. INSTALLED SIZE	CONTAINER	MATURE SIZE
TREES						
PP	PINON PINE	PINUS EDULIS	3	MIN 4" HT	B&B	15' HT & SPD
CT	CHASTE TREE	VITEX AGNUS-CASTUS	3	2" CAL, 12'-14" HT	B&B	20' HT & SPD
WH	WASHINGTON HAWTHORN	CRATAEGUS PHAENOPYRUM	6	MIN 2" CAL	B&B	15' HT & SPD
SHRUBS						
CH	CHAMISA	CHRYSOTHAMNUS NAUSEOSUS	4	MIN 18" HT	5-GAL	6' HT & SPD
MM	CURL LEAF MOUNTAIN MAHOGANY	CERCOCARPUS LEDIFOLIUS	4	MIN 36" HT	15-GAL	8' HT & SPD
RY	RED YUCCA	HESPERALOE PARVIFLORA	7	MIN 12" SPD	5-GAL	3' HT X 4' SPD
BM	BLUE MIST SPIREA	CARYOPTERIS CLANDONENSIS	10	MIN 18" HT	5-GAL	5' HT X 5' SPD
BG	BEAR GRASS	NOLINA MICROCARPA	4	MIN 18" HT.	5-GAL	3' HT X 6' SPD
	LANDSCAPE BOULDERS		14			

KEYED NOTES

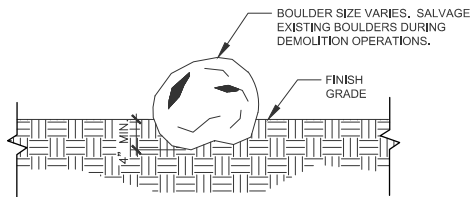
- EXISTING TREE TO REMAIN.
- POND. SEE CIVIL.
- TOP OF GRAVEL MULCH SHALL BE 1" BELOW TOP OF CONCRETE COLLAR AT DROP INLET.
- BOULDER PLACEMENT IS SHOWN DIAGRAMMATICALLY. CONTRACTOR SHALL INSTALL BOULDERS AT BASE OF SLOPES IN EXCESS OF 3:1 IN ORDER TO REDUCE GRADE TO KEEP GRAVEL MULCH IN PLACE ON SLOPES. SEE GENERAL NOTE F.

HATCH LEGEND

- 3/4" GRAVEL MULCH. SEE GENERAL NOTE B.
- REVEGETATION SEEDING. SEE GENERAL NOTE G.

GENERAL NOTES

- A. IF THERE IS A DISCREPANCY BETWEEN PLANT QUANTITIES LISTED IN THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLANTING PLAN, QUANTITIES SHOWN ON THE PLAN SHALL GOVERN. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID. ADDITIONAL PAYMENT WILL NOT BE MADE FOR ANY DISCREPANCY IN QUANTITIES BETWEEN THE PLANTING PLAN AND THE PLANT SCHEDULE.
- B. CONTRACTOR SHALL INSTALL A 4" DEPTH OF "MOUNTAINAIR BROWN" 3/4" GRAVEL MULCH S AVAILABLE FROM JPR GRAVEL (505-877-4913) OVER FILTER FABRIC. FILTER FABRIC SHALL BE MIN. 3.6 OZ/SY NONWOVEN NEEDLE PUNCHED POLYPROPYLENE, MIRAFI MSCAPE OR EQUIVALENT). OVERLAP ENDS 3", TURN DOWN EDGES 6". TOP OF GRAVEL MULCH SHALL BE 1/2" BELOW TOP OF ADJACENT PAVING. CONTRACTOR SHALL PROVIDE SAMPLE OF GRAVEL MULCH FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- C. IF THERE IS A DISCREPANCY IN THE FIELD OR NURSERY BETWEEN THE CONTAINER SIZE LISTED UNDER "CONTAINER" AND HEIGHT & SPREAD LISTED UNDER "INSTALLED SIZE", THE SPECIFIED PLANT SHALL MEET HEIGHT & SPREAD REQUIREMENTS SPECIFIED UNDER "INSTALLED SIZE". IF A LARGER CONTAINER SIZE IS REQUIRED TO MEET THESE SPECIFICATIONS, IT SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- D. TREES SHALL BE PLANTED PER C.O.A. STANDARD DRAWINGS 2714, 2715, 2716.
- E. SHRUBS SHALL BE PLANTED PER C.O.A. STANDARD DRAWING 2717.
- F. INSTALL LANDSCAPE BOULDERS PER DETAIL B/15. BOULDERS SHALL BE SALVAGED FROM SITE AND RE-USED. SEE CIVIL. QUANTITY SHOWN IS APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY QUANTITY OF EXISTING BOULDERS.
- G. REVEGETATION SEEDING SHALL BE "GRAVELLY UPLANDS AND SLOPES" MIX PER COA STANDARD SPECIFICATIONS. CONTRACTOR SHALL INSTALL REVEGETATION SEED PER COA STANDARD SPECIFICATIONS.



NOTE:

- SOIL BENEATH BOULDER SHALL BE EXCAVATED APPROXIMATELY 4" DEEP BEFORE PLACING BOULDER.

B LANDSCAPE BOULDER
1/2" = 1'

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