



CITY OF ALBUQUERQUE NEW MEXICO

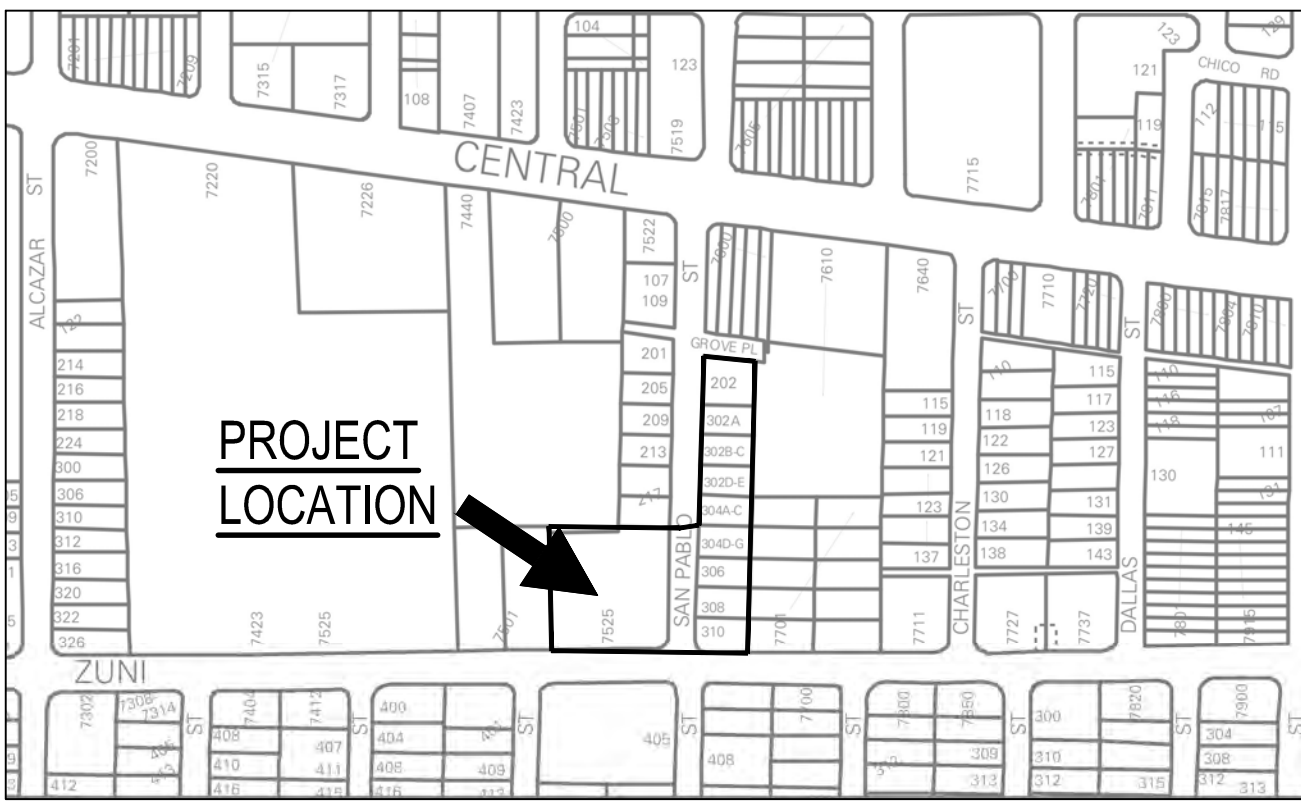
DEPARTMENT OF MUNICIPAL DEVELOPMENT
CONSTRUCTION PLANS FOR

EAST CENTRAL CC - PARKING LOTS
REPAVING PROJECT
COA PROJECT 6526.011

APRIL 2019

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VICINITY MAP
ZONE ATLAS MAP K-19-2
NOT TO SCALE



6501 Americas Pkwy NE, Suite 400
Albuquerque, NM 87110
505-247-0294 Fax 505-242-4845
www.whpacific.com



POTENTIAL UNDERGROUND
FACILITY OWNERS
NEW MEXICO ONE CALL
505-260-1990

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS	ENGINEER	DATE	* * * * *		
		DRC Chairman			APPROVED FOR CONSTRUCTION		
		Transportation					
		Water/Wastewater					
		Hydrology					
		Parks & Recreation					
		CIP					
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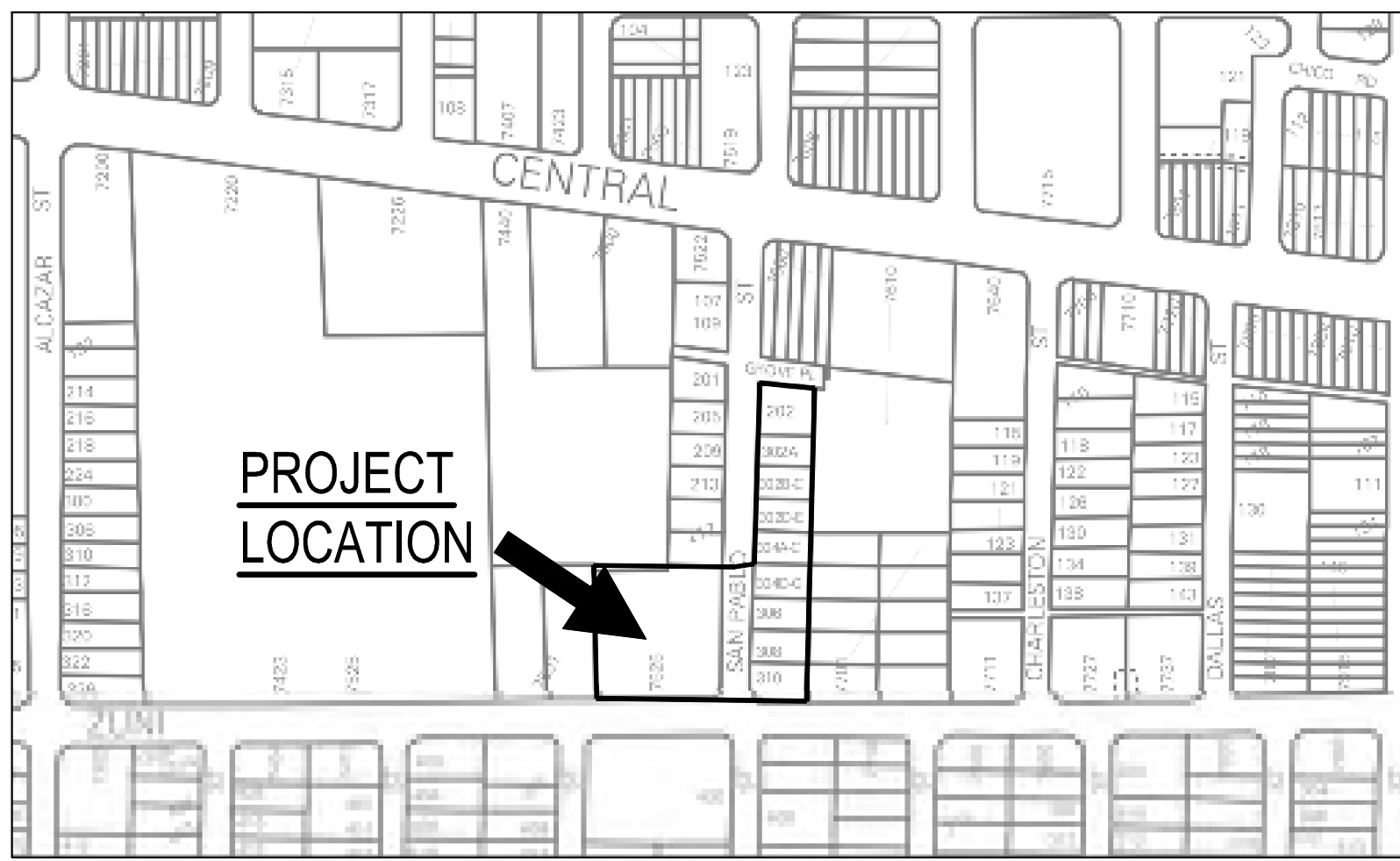
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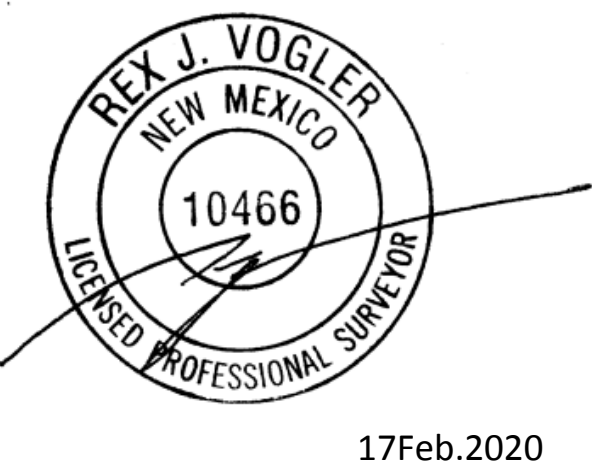
VICINITY MAP
ZONE ATLAS MAP K-19-Z
NOT TO SCALE



Sheets 6 & 7
As-Built Survey By:

Rex J. Vogler
NM PS #10466

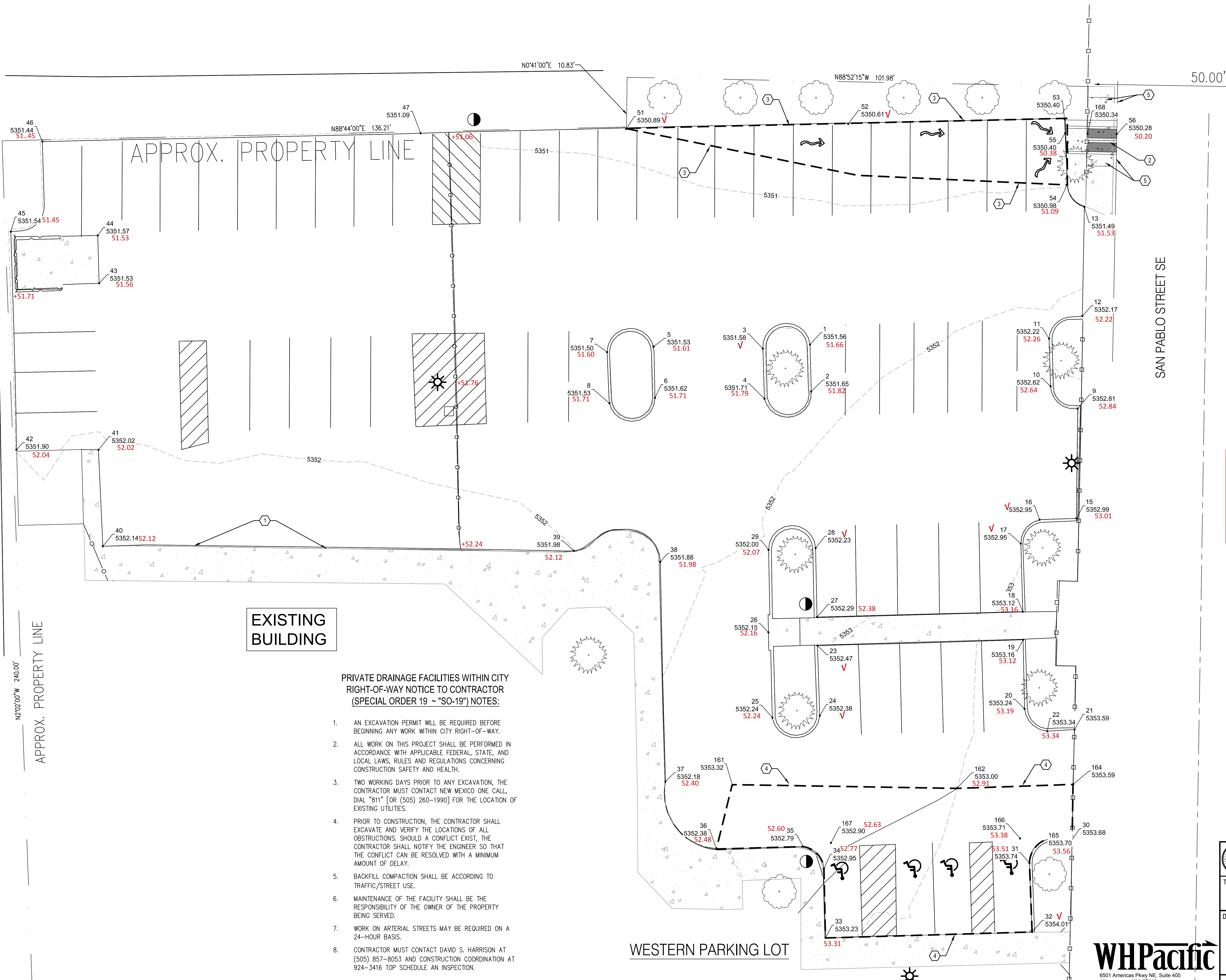
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REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS' STAMP & SIGNATURE		APPROVALS	ENGINEER	DATE	APPROVED FOR CONSTRUCTION		
		DRC Chairman			APPROVED FOR CONSTRUCTION		
		Transportation					
		Water/Wastewater					
		Hydrology					
		Parks & Recreation					
		CIP			City Engineer _____ Date _____		
		City Project No.		Sheet _____ of _____			
		6526.011		1		10	



GENERAL NOTES:

- CONTRACTOR SHALL FIELD VERIFY SITE FOR EXISTING CONDITIONS.
- ALL DIMENSIONS ARE SHOWN AS FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
- MATCH EXISTING ELEVATIONS SHOWN ON PLANS. CONTRACTOR TO FIELD VERIFY.

KEYNOTES:

- MATCH ASPHALT ELEVATION TO EXISTING ROOF DRAIN INVERT ELEVATIONS. LOCATION OF DRAINS ON PLANS ARE APPROXIMATE.
- BUILD 24" DOUBLE SIDEWALK CULVERT DRAIN PER C.O.A. STANDARD DETAIL 2236, SHEET 10. CONTRACTOR SHALL BUILT SIDEWALK CULVERT BY SO-19 PERMIT AND SO-19 NOTES ON THIS SHEET.
- RE-GRADE AREA OUTLINED TO ELEVATIONS PROVIDED TO ACCOMMODATE CONSTRUCTION OF SIDEWALK CULVERT.
- RE-GRADE AREA OUTLINED TO ELEVATIONS PROVIDED TO ACCOMMODATE ADA PARKING SPOTS AT GRADE.
- REMOVE & REPLACE EXISTING CONCRETE SIDEWALK & CURB & GUTTER PER C.O.A. STANDARD DWG.

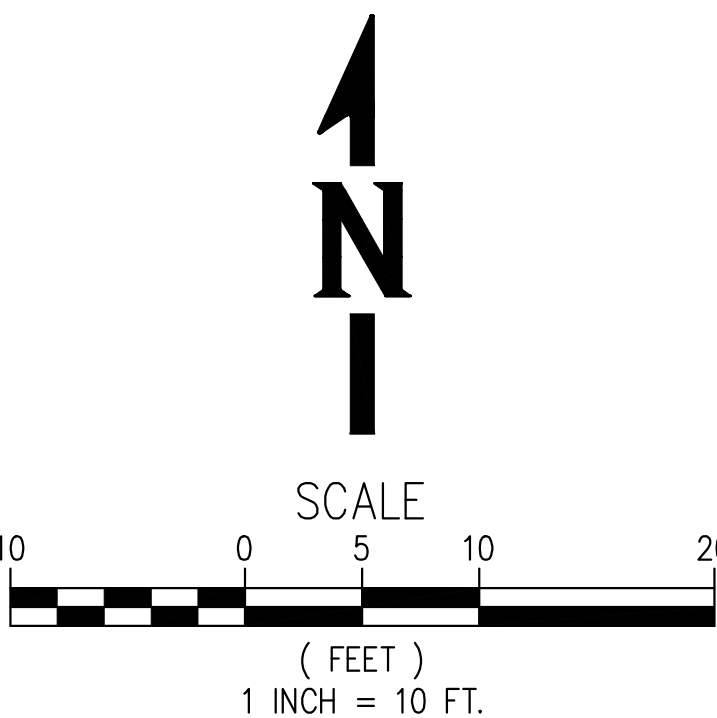
LEGEND:

- 5300--- EXISTING GRADE
- 5300--- FINISH GRADE
- NEW FLOWLINE FOR SWALES

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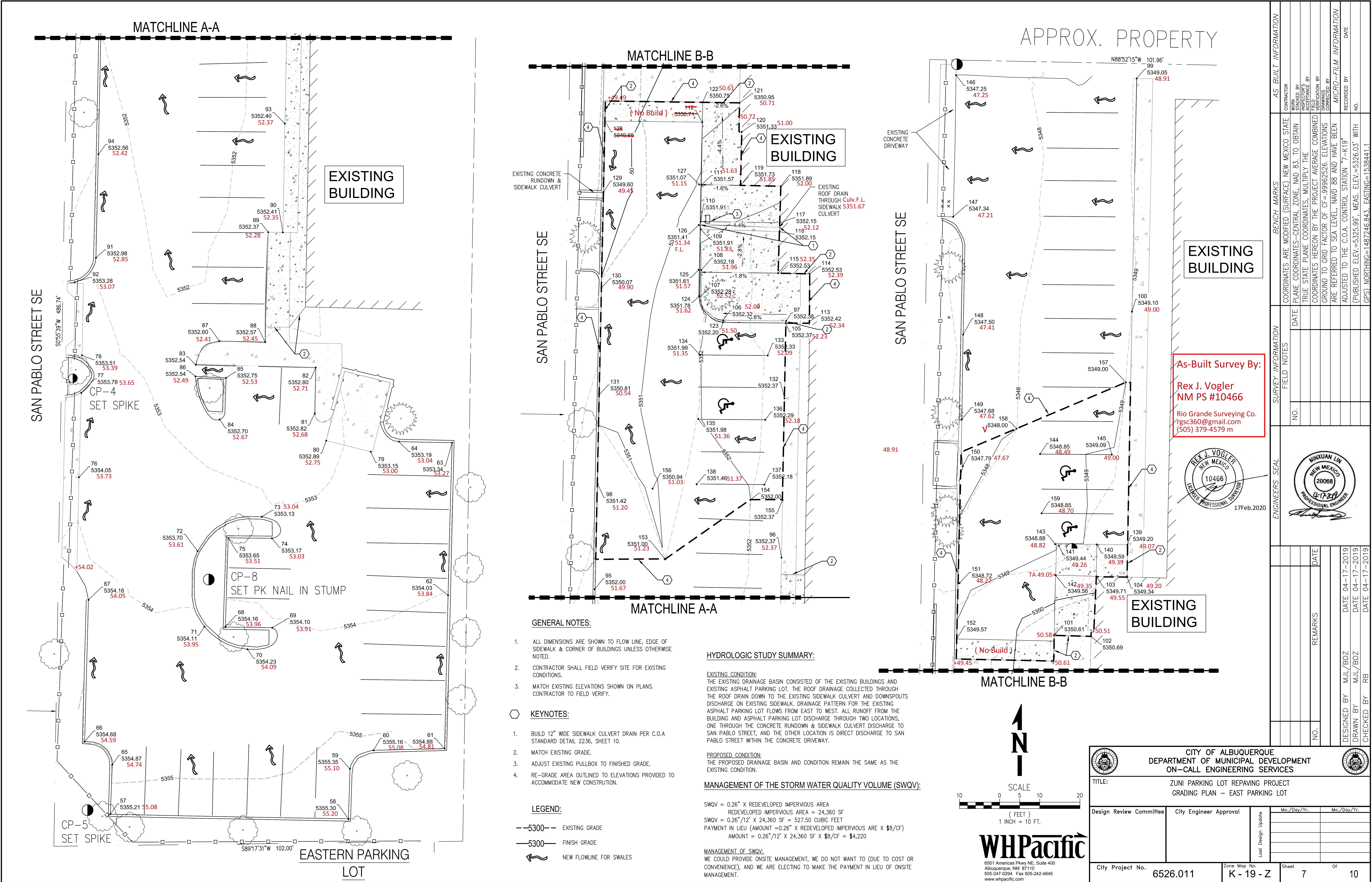
PRIVATE DRAINAGE FACILITIES WITHIN CITY
RIGHT-OF-WAY NOTICE TO CONTRACTOR
(SPECIAL ORDER 19 ~ "SO-19") NOTES:

- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
- CONTRACTOR MUST CONTACT DAVID S. HARRISON AT (505) 857-8053 AND CONSTRUCTION COORDINATION AT 924-3416 TOP SCHEDULE AN INSPECTION.

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CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES	
TITLE: ZUNI PARKING LOT REPAVING PROJECT GRADING PLAN - WEST PARKING LOT	
Design Review Committee	City Engineer Approval
Mo./Day/Yr.	Mo./Day/Yr.
City Project No. 6526.011	Zone Map No. K - 19 - Z
Sheet 6	Of 10



GENERAL NOTES:

- ALL DIMENSIONS ARE SHOWN TO FLOW LINE, EDGE OF SIDEWALK & CORNER OF BUILDINGS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FIELD VERIFY SITE FOR EXISTING CONDITIONS.
- MATCH EXISTING ELEVATIONS SHOWN ON PLANS. CONTRACTOR TO FIELD VERIFY.

KEYNOTES:

- BUILD 12" WIDE SIDEWALK CULVERT DRAIN PER C.O.A. STANDARD DETAIL 2236, SHEET 10.
- MATCH EXISTING GRADE.
- ADJUST EXISTING PULLBOX TO FINISHED GRADE.
- RE-GRADE AREA OUTLINED TO ELEVATIONS PROVIDED TO ACCOMMODATE NEW CONSTRUCTION.

LEGEND:

- 5300--- EXISTING GRADE
- 5300— FINISH GRADE
- ~ NEW FLOWLINE FOR SWALES

HYDROLOGIC STUDY SUMMARY:

EXISTING CONDITION:
THE EXISTING DRAINAGE BASIN CONSISTED OF THE EXISTING BUILDINGS AND EXISTING ASPHALT PARKING LOT. THE ROOF DRAINAGE COLLECTED THROUGH THE ROOF DRAIN DOWN TO THE EXISTING SIDEWALK CULVERT AND DOWNSPOUTS DISCHARGE ON EXISTING SIDEWALK. DRAINAGE PATTERN FOR THE EXISTING ASPHALT PARKING LOT FLOWS FROM EAST TO WEST. ALL RUNOFF FROM THE BUILDING AND ASPHALT PARKING LOT DISCHARGE THROUGH TWO LOCATIONS, ONE THROUGH THE CONCRETE RUNDOWN & SIDEWALK CULVERT DISCHARGE TO SAN PABLO STREET, AND THE OTHER LOCATION IS DIRECT DISCHARGE TO SAN PABLO STREET WITHIN THE CONCRETE DRIVEWAY.

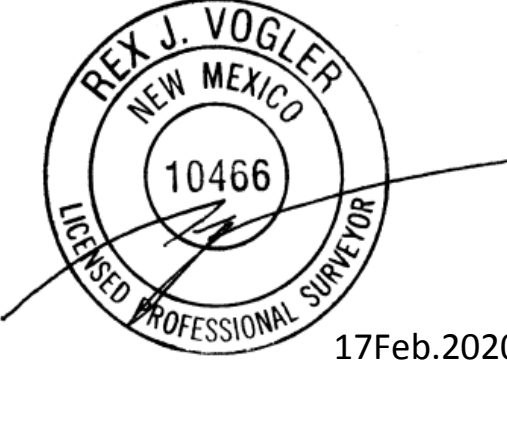
PROPOSED CONDITION:
THE PROPOSED DRAINAGE BASIN AND CONDITION REMAIN THE SAME AS THE EXISTING CONDITION.

MANAGEMENT OF THE STORM WATER QUALITY VOLUME (SWQV):

SWQV = 0.26" X REDEVELOPED IMPERVIOUS AREA = 24,360 SF
REDEVELOPED IMPERVIOUS AREA = 24,360 SF
SWQV = 0.26"/12" X 24,360 SF = 527.50 CUBIC FEET
PAYMENT IN LIEU (AMOUNT = 0.26" X REDEVELOPED IMPERVIOUS ARE X \$8/CF)
AMOUNT = 0.26"/12" X 24,360 SF X \$8/CF = \$4,220

MANAGEMENT OF SWQV:
WE COULD PROVIDE ONSITE MANAGEMENT, WE DO NOT WANT TO (DUE TO COST OR CONVENIENCE), AND WE ARE ELECTING TO MAKE THE PAYMENT IN LIEU OF ONSITE MANAGEMENT.

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CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES	
TITLE: ZUNI PARKING LOT REPAVING PROJECT GRADING PLAN - EAST PARKING LOT	
Design Review Committee	City Engineer Approval
Mo./Day/Yr.	Mo./Day/Yr.
City Project No. 6526.011	Zone Map No. K - 19 - Z
Sheet 7	Of 10

GENERAL NOTES

1.

ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION THROUGH UPDATE #8, WILL BE REFERRED TO HEREIN AS "STANDARD SPECIFICATIONS".
2.

ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY OR EASEMENTS MUST BE DONE FROM APPROVED WORK ORDER DOCUMENTS FROM THE CITY.
3.

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4.

CONTRACTOR AGREES THAT HE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
5.

ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650 SUBPART P.
6.

AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
7.

CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. ONLY THE CITY SURVEYOR SHALL REPLACE SURVEY MONUMENTS. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO STANDARD SPECIFICATIONS SECTION 4.4.
8.

SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL SUBMIT TO DMD, CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE DMD, CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF STANDARD SPECIFICATIONS.

PERMIT REQUESTS MAY BE DENIED OR DELAYED DUE TO CONFLICTS WITH OTHER PROJECTS IN THE AREA.
9.

TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
10.

CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
11.

AT HIS OWN EXPENSE, CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENT, PAVEMENT MARKINGS, CURB AND GUTTER, HANDICAP RAMPS, AND SIDEWALK DURING CONSTRUCTION APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE, PER STANDARD SPECIFICATIONS.
12.

ALL STREET STRIPING, ALTERED OR DESTROYED, SHALL BE REPLACED WITH TERMOPLASTIC REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR TO SAME LOCATION AS EXISTING, OR AS INDICATED BY THIS PLAN SET.
13.

CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
14.

CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND MAINTAIN ALL CONSTRUCTION SIGNING UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY.

WATER & SEWER

15.

ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
16.

CONTRACTOR SHALL COORDINATE WITH WATER AUTHORITY, (857-8200) SEVEN (7) WORKING DAYS PRIOR TO ANY WORK THAT MAY AFFECT EXISTING WATER AUTHORITY PUBLIC WATER OR SEWER UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR TIMING AND COORDINATION OF WATER SHUTOFF. EXISTING WATER AUTHORITY VALVES TO BE OPERATED BY WATER AUTHORITY PERSONNEL ONLY.
17.

PROPOSED WATERLINE MATERIALS SHALL BE PVC PIPE MEETING AWWA C-900: DR18 REQUIREMENTS (6" - 12"), DUCTILE IRON PIPE MEETING AWWA C-150 REQUIREMENTS (6" - 64").
18.

ALL FITTINGS ON WATERLINE SHALL HAVE RESTRAINED JOINTS AS NOTED ON THE PLANS.
19.

ALL SANITARY SEWER LINE STATIONING REFERS TO SANITARY SEWER CENTERLINE STATIONING.
20.

ALL FINAL BACKFILL FOR TRENCHES WITHIN SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY STANDARD SPECIFICATIONS SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2465.
21.

ELECTRONIC MARKER SPHERES (EMS) WILL BE PLACED ACCORDING TO SECTION OF THE CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7.

OTHER COMMON NOTES

22.

RCP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURES RECOMMENDATION. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF PIPE. RCP JOINTS SHALL NOT BE ROUTED UNLESS DIRECTED BY THE ENGINEER AFTER CITY APPROVAL.
23.

CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.
24.

CONTRACTOR SHALL DETERMINE IN ADVANCE OF HIS CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF CONTRACTOR.
25.

PNM WILL PROVIDE AT NO COST TO THE CITY OR THE CONTRACTOR THE REQUIRED PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
26.

PRIOR TO CONSTRUCTION, CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES AND/OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
27.

EXISTING UTILITY LINE LOCATION ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.
28.

THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES. MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES.
29.

CONTRACTOR SHALL SUPPORT ALL EXISTING, UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND/OR SEWER LINE COSTS.
30.

CONTRACTOR IS TO SUPPORT AND MAINTAIN THE INTEGRITY OF ALL UNDERGROUND TELEPHONE, ELECTRIC CABLES AND CABLE TELEVISION UTILITIES AT NO ADDITIONAL COST TO THE OWNER. CABLE IS TO BE SUPPORTED AT A MAXIMUM OF EVERY FIFTEEN (15) FEET. CONTRACTOR SHALL COORDINATE WITH AND MAKE NECESSARY PAYMENT (IF ANY) TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES OR SUPPORT OF CABLES BY THE UTILITY OWNER.
31.

ALL FINAL BACKFILL FOR TRENCHES WITHIN THE COA RIGHT-OF-WAY SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY STANDARD SPECIFICATIONS SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2465.
32.

CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
33.

REMOVALS SHALL BE DISPOSED OF OFF-SITE AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
34.

CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIAL IN AN ENVIRONMENTALLY ACCEPTABLE MANNER AT A LOCATION ACCEPTABLE TO THE PROJECT MANAGER. THERE WILL BE NO DIRECT COMPENSATION FOR THIS WORK.
35.

CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC.
36.

ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR.
37.

WHEN ABUTTING EXISTING PAVEMENT TO NEW, SAWCUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE FIELD ENGINEER. REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED.
38.

REMOVAL OF EXISTING CURB AND GUTTER OR SIDEWALK SHALL BE TO THE NEAREST JOINT.
39.

IF CULTURAL RESOURCES, SUCH AS HISTORIC OR PREHISTORIC ARTIFACTS, OR HUMAN REMAINS ARE DISCOVERED DURING EXCAVATION OR CONSTRUCTION, WORK SHALL CEASE AND THE CONSTRUCTION ENGINEER SHALL NOTIFY LOCAL AUTHORITIES. IF HUMAN REMAINS ARE DETERMINED BY THE OFFICE OF THE MEDICAL EXAMINER DETERMINES NOT TO BE RECENT, THE ENGINEER SHALL NOTIFY THE STATE HISTORIC PRESERVATION OFFICER (SHPO) AT 827-6320.
40.

THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
41.

ANY WORK AFFECTING AN ARTERIAL ROADWAY REQUIRES CONTINUOUS TWENTY-FOUR (24) HOUR CONSTRUCTION.
42.

CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND MAINTAIN ALL CONSTRUCTION SIGNING UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE AND AMAFCA.
43.

ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITES MUST BE CARRIED-OUT IN ACCORDANCE WITH

OSHA 29 CFR 1926.650 SUBPART P AND COA STD. DWG. 2465.

44.

IF A PAVEMENT DROP-OFF IS CREATED DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL INITIATE PROTECTIVE ACTION TO MAINTAIN A SMOOTH TRANSITION. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO PROJECT COMPLETION.
45.

PRIOR TO CONSTRUCTION, CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR CONSTRUCTION OBSERVER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
46.

ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
47.

DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE CONSTRUCTION OBSERVER. IDENTIFICATION OF A SITE AND VERIFICATION OF SITE SUITABILITY IS CONSIDERED INCIDENTAL TO THE COST OF PROJECT BID ITEM.
48.

THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
49.

CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
50.

OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
51.

THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE AT HIS EXPENSE ANY AND ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
52.



ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE M.U.T.C.D., U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
53.

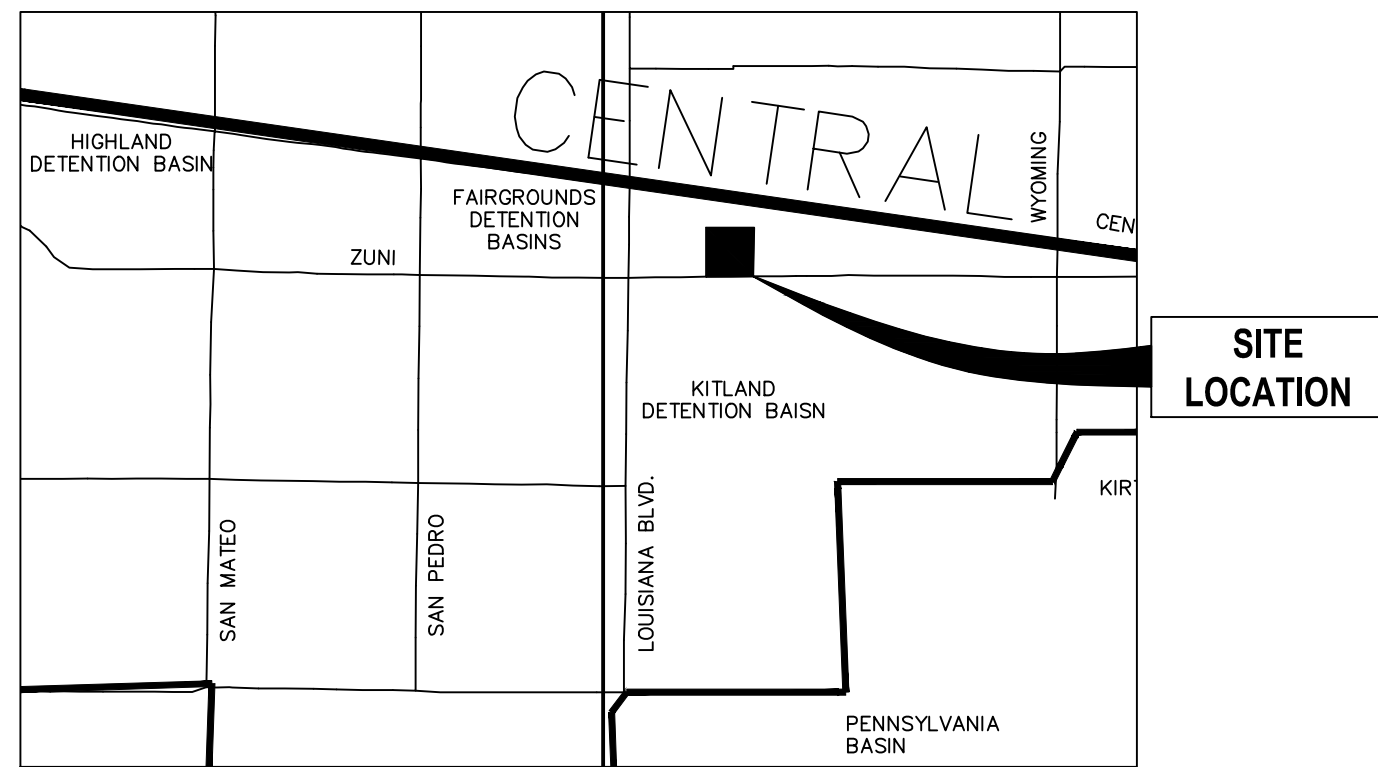
THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
54.

THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENTS, PAVEMENT MARKINGS, CURB & GUTTER, DRIVEPADS, WHEELCHAIR RAMPS, AND SIDEWALK DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE PER COA STANDARDS, AT HIS OWN EXPENSE.
55.

CONTRACTOR IS RESPONSIBLE FOR DRAINAGE MANAGEMENT AND EROSION CONTROL AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
56.

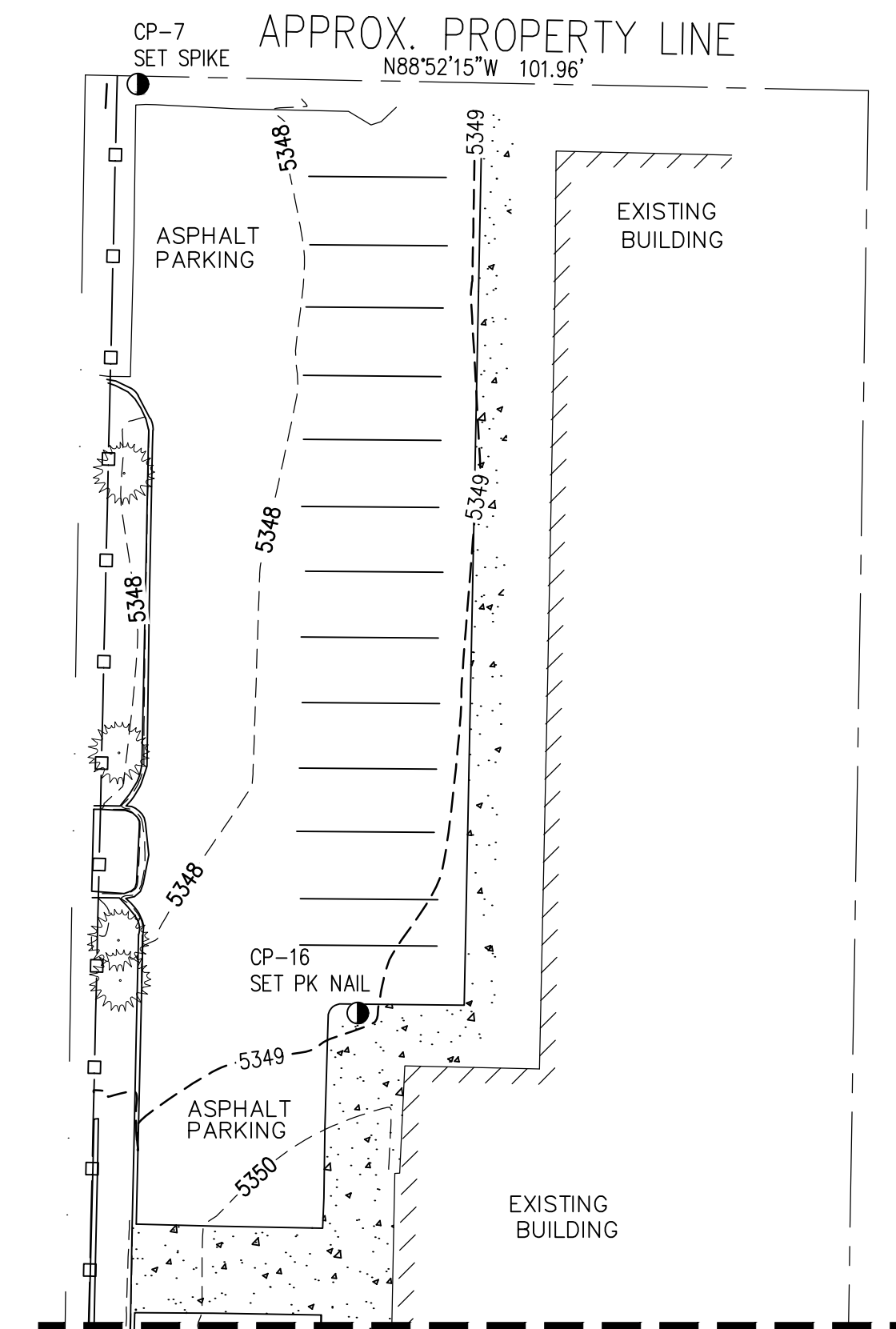
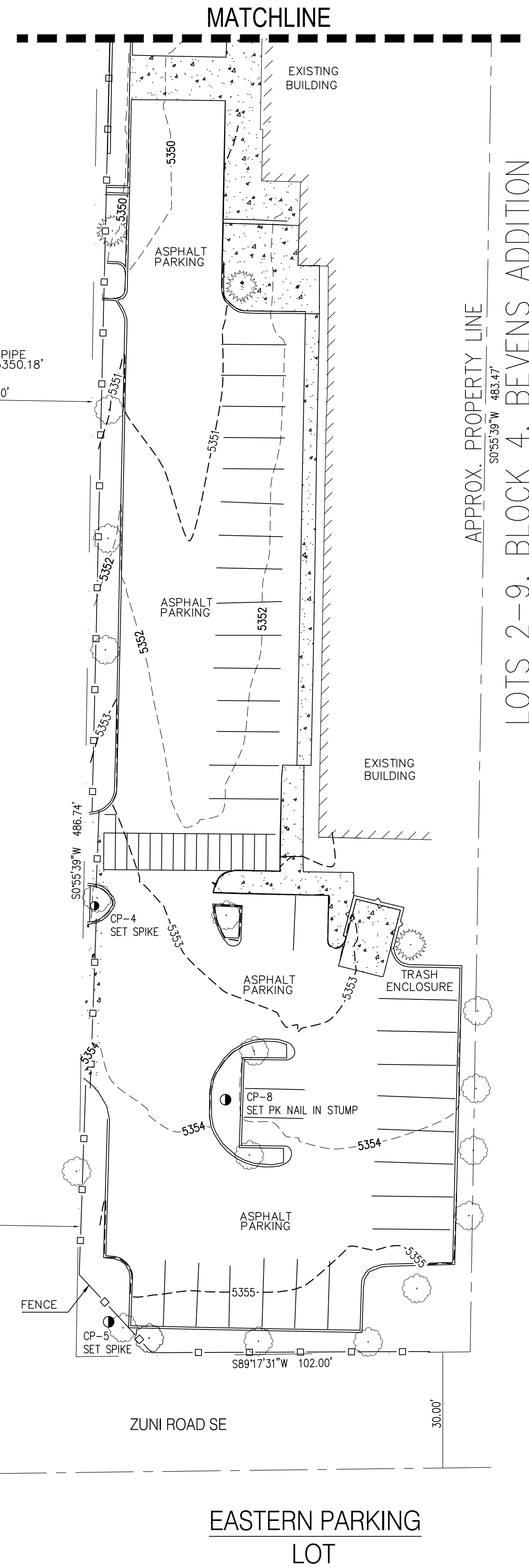
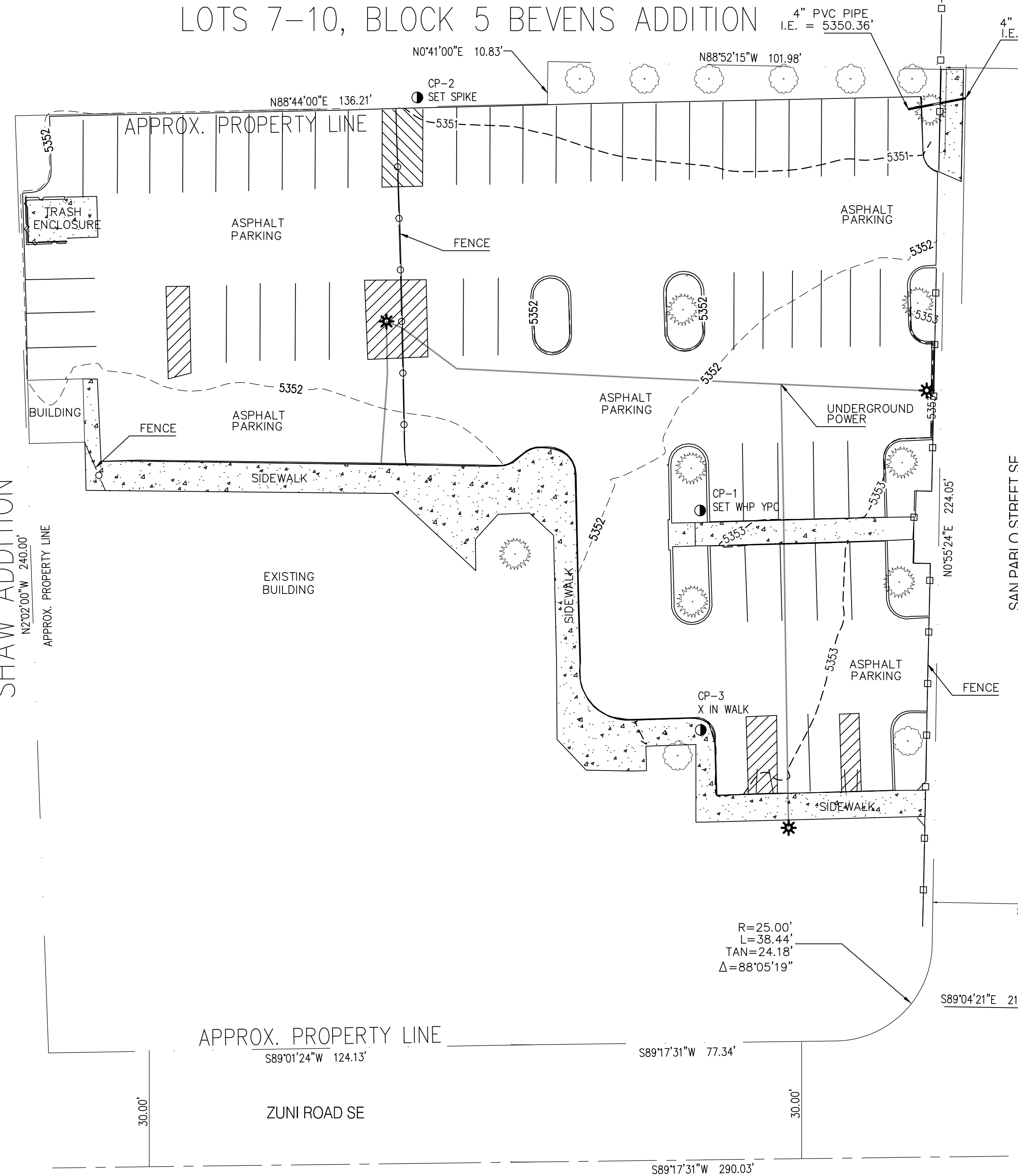
CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.

<div><div></div><div>CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES</div><div></div></div>		
TITLE: ZUNI PARKING LOT REPAVING PROJECT GENERAL NOTES		
Design Review Committee	City Engineer Approval	
Last Design Update	Ms./Day/Yr.	Ms./Day/Yr.
City Project No. 6526.011	Zone Map No. K - 19 - Z	Sheet 2 Of 10



- NOTES
- Bearings shown are grid between CP-1 and CP-3 as computed from an NGS (OPUS) observation on December 18, 2018.
 - The horizontal datum is NAD83 New Mexico Central Zone, and the vertical datum is NAVD88 as tied to the City of Albuquerque monument 7-K19 located at the intersection of Central and Louisiana Streets. The published elevation of the monument is 5325.99. Observed elevation of the monument is 5326.03 using gps technology.
 - The survey commenced on December 18, 2018 and was completed on January 9, 2019.
 - The equipment used to collect the existing topography were 2 Trimble S6 robotic stations and 2 R-6 Trimble gps units.
 - No utility locates were requested at the time of this survey and only surface improvements were located.
 - The control point as shown in the Control table were set at the time of this survey.

LOTS 7-10, BLOCK 5 BEVENS ADDITION



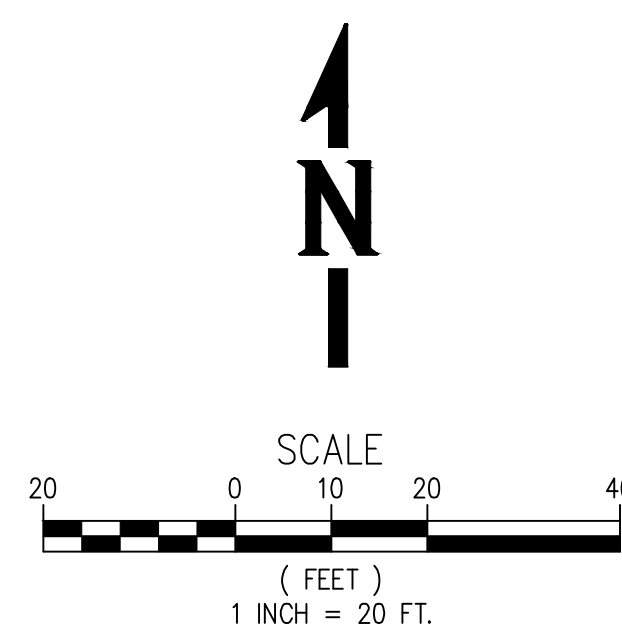
MATCHLINE

PROJECT CONTROL POINTS

PT. NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	1482074.653	1546600.302	5352.55	WHP YELLOW PLASTIC CAP
2	1482180.335	1546527.956	5351.83	SET 10" SPIKE
3	1482018.476	1546600.159	5353.13	X IN SIDEWALK
4	1482056.614	1546714.080	5353.82	SET 10" SPIKE
5	1481948.847	1546717.736	5354.84	SET 10" SPIKE
6	1482303.239	1546750.665	5348.94	X IN SIDEWALK
7	1482425.325	1546724.028	5347.07	SET 10" SPIKE
8	1482006.387	1546747.969	5354.34	SET PK NAIL IN STUMP

LEGEND

- SUBDIVISION BOUNDARY LINE
- RIGHT-OF-WAY LINE
- CENTER LINE
- LOT LINE
- ADJACENT PROPERTY LINE
- EASEMENT LINE
- 4' HIGH METAL FENCE
- PARKING STRIPE
- EXISTING DECIDUOUS TREE
- SET 5/8" REBAR/YELLOWCAP-OR SPIKE
- LOT NUMBER
- LIGHT POLE
- CONCRETE PAD



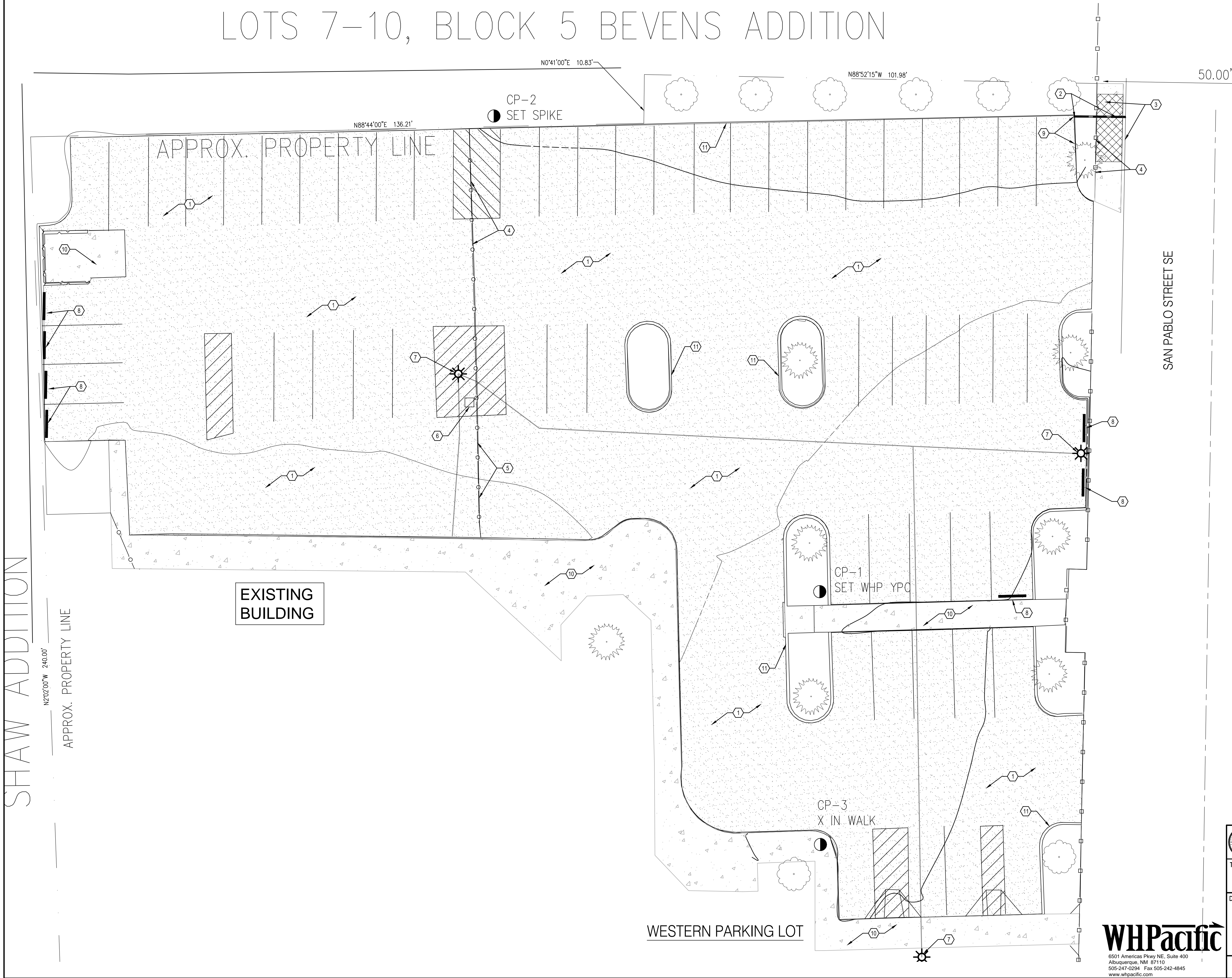
WESTERN PARKING LOT

EASTERN PARKING LOT

FOR REVIEW PURPOSES ONLY

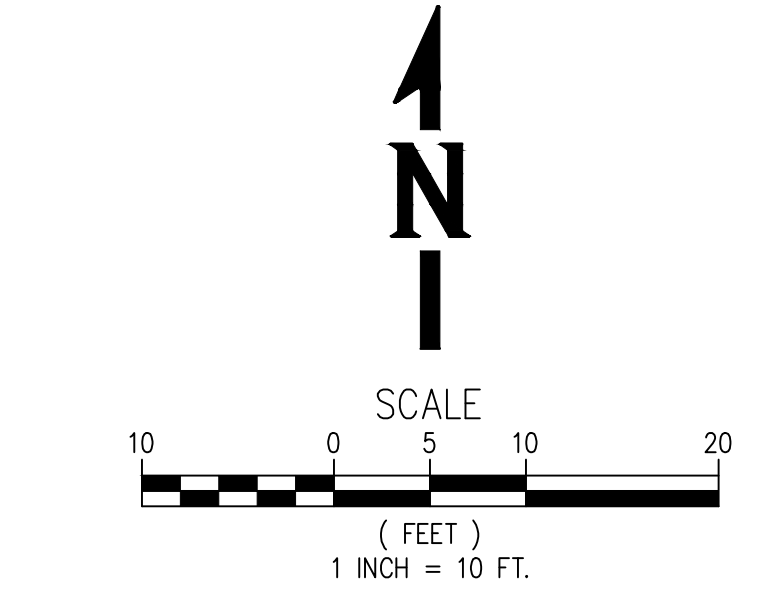
CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES	
TITLE: ZUNI PARKING LOT REPAVING PROJECT EXISTING TOPOGRAPHIC SURVEY	
Design Review Committee	City Engineer Approval
City Project No. 6526.011	Zone Map No. K - 19 - Z
Sheet 3	Of 10




LOTS 7-10, BLOCK 5 BEVENS ADDITION



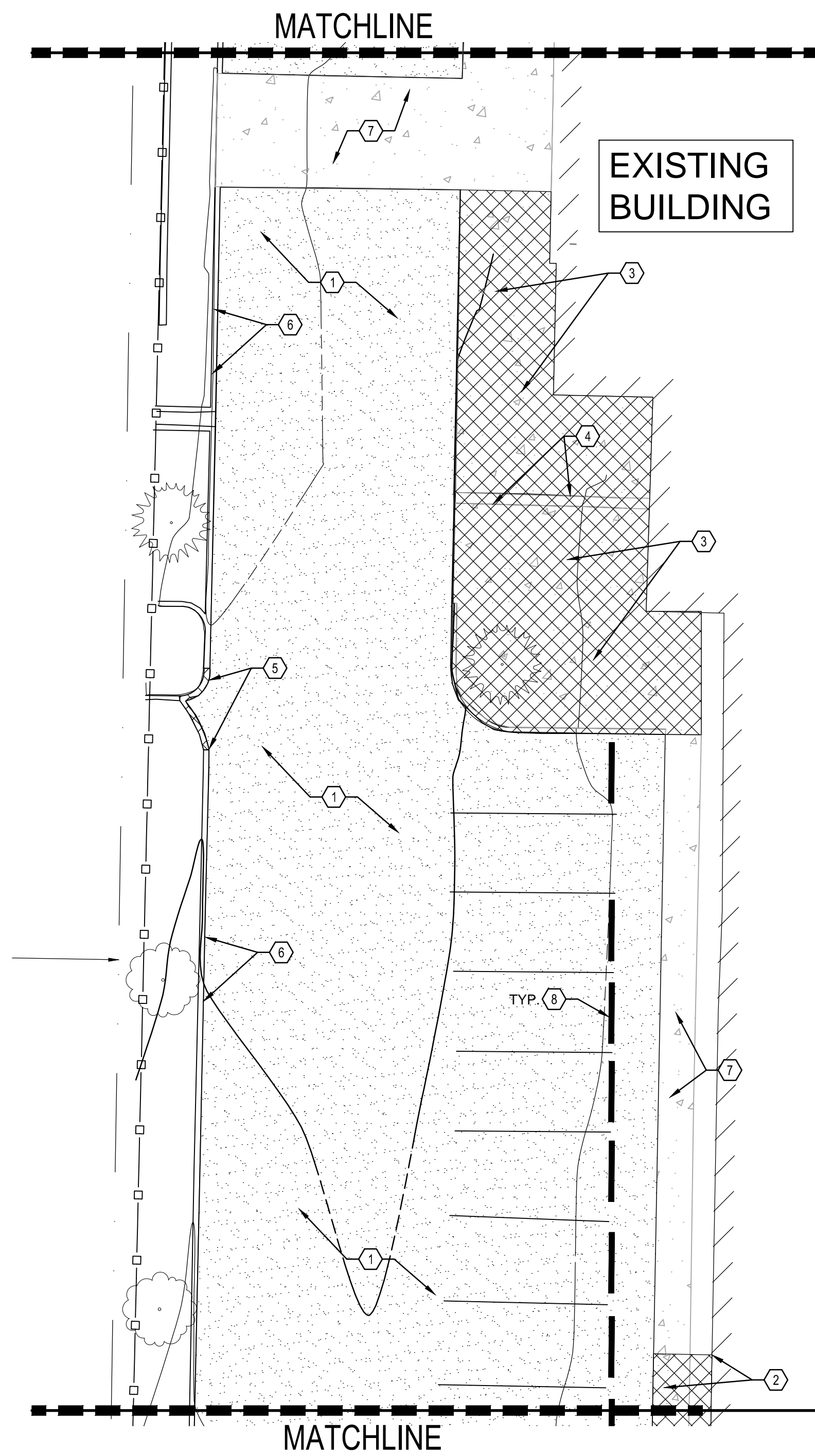
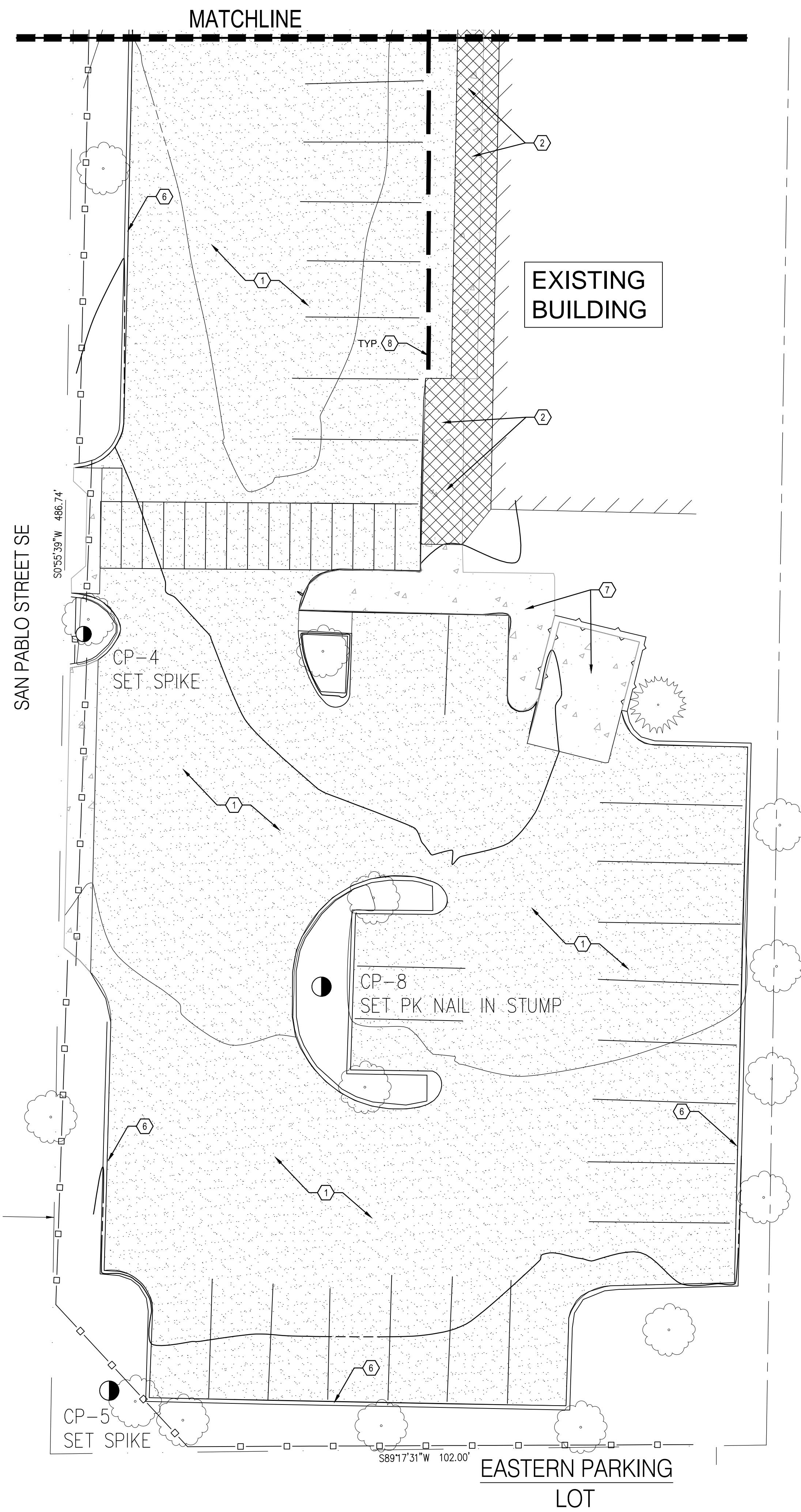
- GENERAL NOTES:**
1. ALL MATERIAL SHALL BE REMOVED AND HANDLED PER CITY ENVIRONMENTAL REGULATIONS. CONTRACTOR SHALL COORDINATE WITH OWNER FOR MATERIAL TO BE SALVAGED, AND TO DISPOSE ALL MATERIALS TO AN APPROVED LANDFILL.
 2. ANY DAMAGE TO SITE FEATURES NOT INDICATED FOR DEMOLITION ON THIS SITE OR ON THE SURROUNDING PROPERTIES SHALL BE REPLACED IN KIND AT THE EXPENSE OF THE CONTRACTOR.
 3. ALL EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE, CONTRACTOR TO FIELD VERIFY EXISTING LOCATION.
 4. CONTRACTOR TO CALL IN FOR UTILITY LINE LOCATES PRIOR TO ANY EXCAVATION.

- KEYED NOTES:**
1. PULVERIZING EXISTING ASPHALT PAVEMENT IN PLACE, COMPACT PULVERIZED ASPHALT MATERIALS 2" BELOW EXISTING GRADE FOR NEW ASPHALT PAVEMENT PLACEMENT.
 2. DEMO, REMOVE & DISPOSE EXISTING 4" PVC STORM PIPE.
 3. DEMO, REMOVE & DISPOSE EXISTING CONCRETE SIDEWALK AND CURB & GUTTER FOR NEW SIDEWALK CULVERT CONSTRUCTION TO EXISTING CONSTRUCTION JOINT.
 4. EXISTING CHAINLINK & METAL FENCE TO REMAIN & PROTECTED THROUGH CONSTRUCTION.
 5. REMOVE & RESET EXISTING METAL RAIL FOR EXISTING ROLLING GATE FOR ASPHALT PULVERIZING.
 6. EXISTING ROLLING GATE OPENER TO REMAIN & PROTECTED THROUGH CONSTRUCTION.
 7. EXISTING LIGHT POLE TO REMAIN & PROTECTED THROUGH CONSTRUCTION.
 8. REMOVE & RESET EXISTING PRE-CAST CONCRETE BUMPER, CONTRACTOR TO FIELD VERIFY LOCATION.
 9. DEMO, REMOVE & REPLACE CONCRETE WALL SECTION AS NECESSARY FOR REMOVAL OF 4" PVC STORM PIPE AND INSTALLATION OF SIDEWALK CULVERT.
 10. EXISTING SIDEWALK & CONCRETE PAVEMENT TO REMAIN & PROTECTED THROUGH CONSTRUCTION.
 11. EXISTING CONCRETE HEADER CURB TO REMAIN & PROTECTED THROUGH CONSTRUCTION.



					
CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES					
TITLE: ZUNI PARKING LOT REPAVING PROJECT DEMOLITION PLAN - WEST PARKING LOT					
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.	
City Project No.	6526.011	Zone Map No.	K - 19 - Z	Sheet	4 of 10

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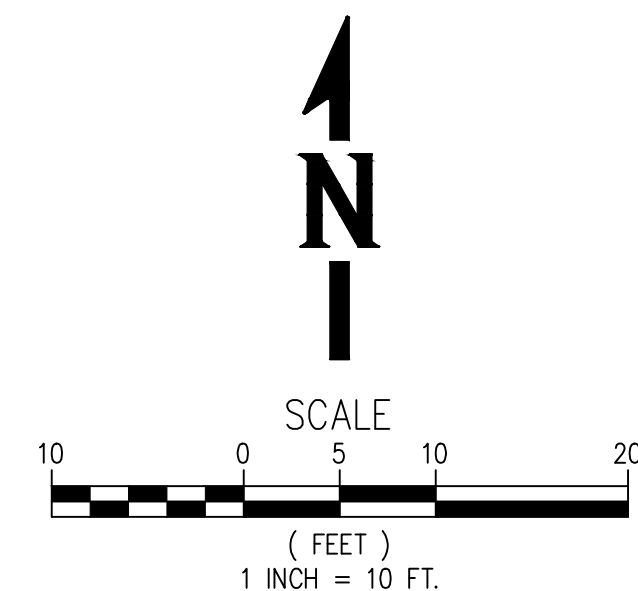
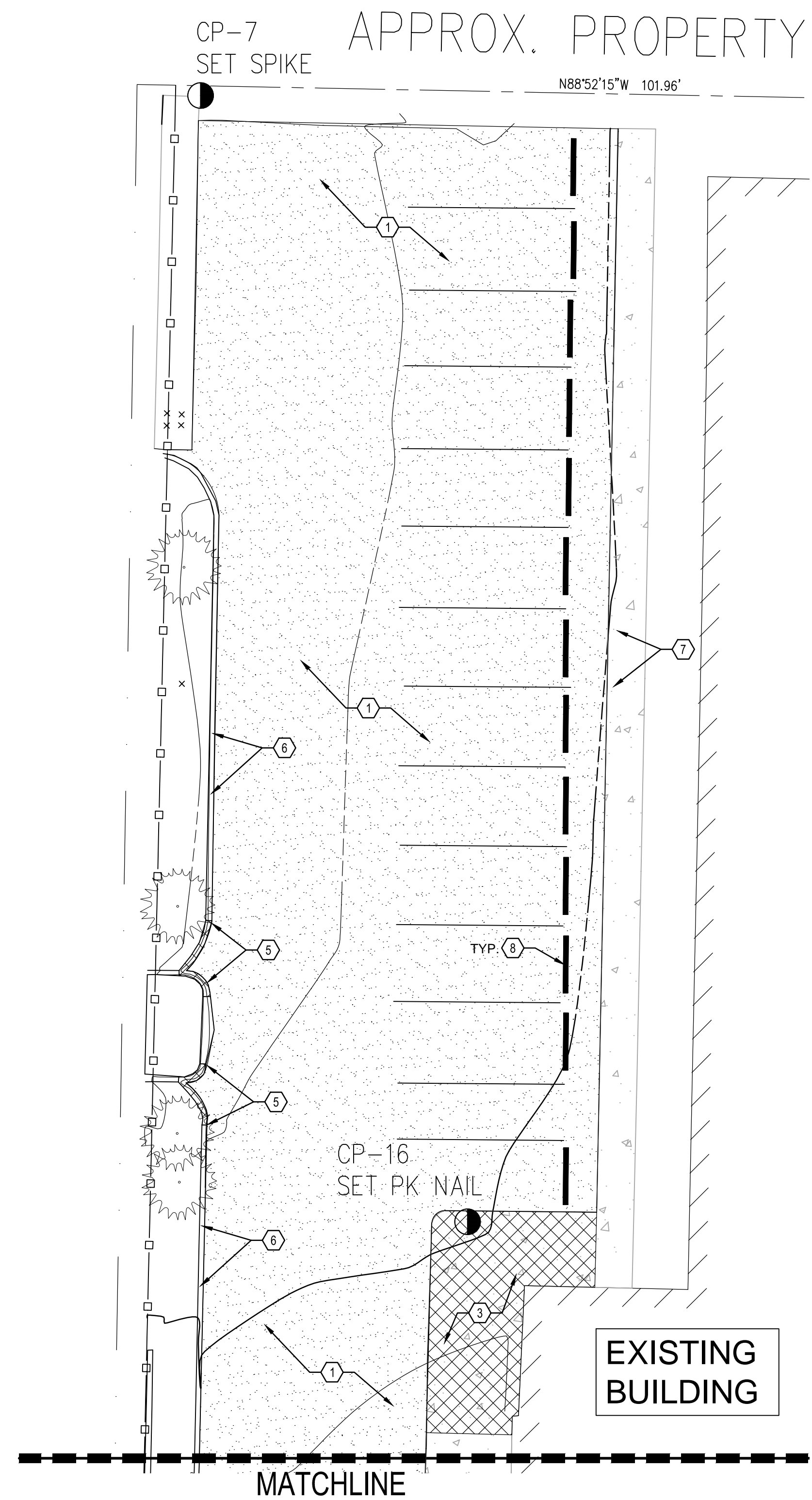


GENERAL NOTES:

1. ALL MATERIAL SHALL BE REMOVED AND HANDLED PER CITY ENVIRONMENTAL REGULATIONS. CONTRACTOR SHALL COORDINATE WITH OWNER FOR MATERIAL TO BE SALVAGED, AND TO DISPOSE ALL MATERIALS TO AN APPROVED LANDFILL.
2. ANY DAMAGE TO SITE FEATURES NOT INDICATED FOR DEMOLITION ON THIS SITE OR ON THE SURROUNDING PROPERTIES SHALL BE REPLACED IN KIND AT THE EXPENSE OF THE CONTRACTOR.
3. ALL EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE, CONTRACTOR TO FIELD VERIFY EXISTING LOCATION.
4. CONTRACTOR TO CALL IN FOR UTILITY LINE LOCATES PRIOR TO ANY EXCAVATION.



KEYED NOTES:


1. PULVERIZING EXISTING ASPHALT PAVEMENT IN PLACE, COMPACT AND PROCESS PULVERIZED ASPHALT MATERIALS 2" BELOW EXISTING GRADE FOR NEW ASPHALT PAVEMENT PLACEMENT. PROCESSED ASPHALT SHALL MEET STANDARDS FOR 12" SUBGRADE PREP. PER SPEC ITEM 301.025 AND SHALL BE TESTED AS SUCH.
2. DEMO, REMOVE & DISPOSE EXISTING CONCRETE SIDEWALK.
3. DEMO, REMOVE & DISPOSE EXISTING CONCRETE SIDEWALK AS NECESSARY FOR ADA ACCESSIBILITY.
4. DEMO, REMOVE & DISPOSE EXISTING SIDEWALK CULVERT AS NECESSARY FOR ADA ACCESSIBILITY.
5. DEMO, REMOVE & DISPOSE EXISTING CONCRETE HEADER CURB.
6. EXISTING CONCRETE HEADER CURB TO REMAIN & PROTECTED THROUGH CONSTRUCTION.
7. EXISTING CONCRETE SIDEWALK TO REMAIN & PROTECTED THROUGH CONSTRUCTION.
8. REMOVE & RESET EXISTING PRE-CAST CONCRETE BUMPER, CONTRACTOR TO FIELD VERIFY LOCATION.

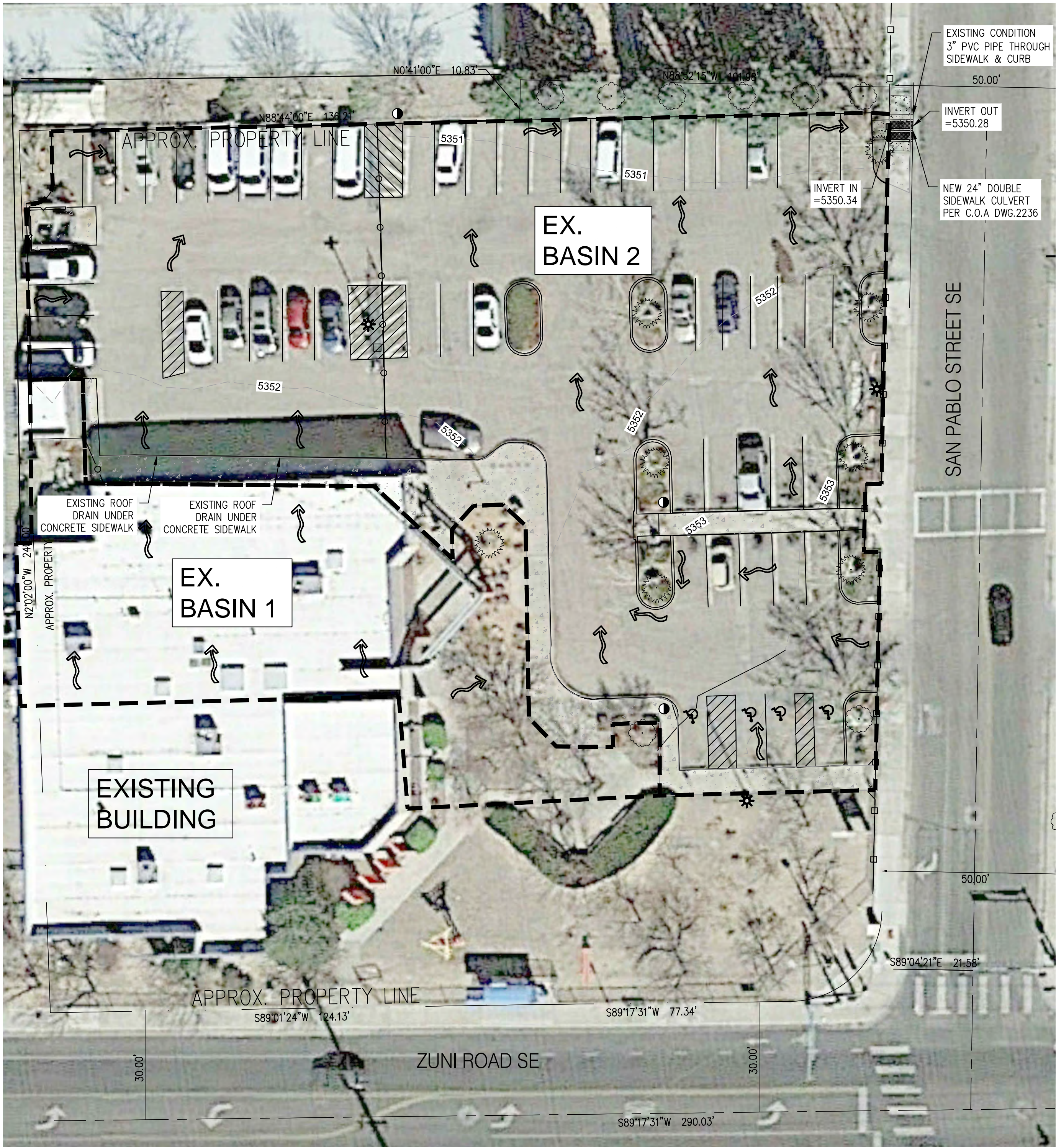


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		CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES			
TITLE: ZUNI PARKING LOT REPAVING PROJECT DEMOLITION PLAN - EAST PARKING LOT					
Design Review Committee	City Engineer Approval	Last Design Update	Ms./Day/Yr.	Ms./Day/Yr.	
City Project No. 6526.011		Zone Map No. K - 19 - Z	Sheet 5	Of 10	

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
		FIELD NOTES		COORDINATES ARE MODIFIED (SURFACE) NEW MEXICO STATE PLANE COORDINATES-CENTRAL ZONE, NAD 83, TO OBTAIN TRUE STATE PLANE COORDINATES. MULTIPLY THE COORDINATES HEREON BY THE PROJECT AVERAGE COMBINED GROUND TO GRID FACTOR OF CF=.99862526. ELEVATIONS ARE REFERRED TO SEA LEVEL, NAD 88 AND HAVE BEEN ADJUSTED TO THE C.O.A. CONTROL STATION "7-K19"		CONTRACTOR WORK STACKED BY ACCEPTANCE BY FIELD VERIFICATION BY DRAWINGS CORRECTED BY	
REMARKS		DATE		NO.		MICRO-FILM INFORMATION	
		DATE 04-17-2019				RECORDED BY	
		DATE 04-17-2019				NO.	
		DATE 04-17-2019				DATE	
		DATE 04-17-2019				GPS: NORTHING=1487246.843, EASTING=1538441.1	



WESTERN PARKING LOT

HYDROLOGIC STUDY SUMMARY:

EXISTING CONDITION:
THE EXISTING DRAINAGE BASIN CONSISTED HALF OF THE EXISTING BUILDING (EX. BASIN 1, 0.22 ACRE) AND ALL THE ASPHALT PARKING AREA WITHIN THE PROJECT SITE (EX. BASIN 2, 0.68 ACRE), TOTAL APPROXIMATELY 0.90 ACRE. THE EXISTING DRAINAGE FOR THE EXISTING BUILDING DIRECTED THROUGH EXISTING ROOF DRAIN UNDER EXISTING CONCRETE SIDEWALK LOCATED NORTH OF THE BUILDING, AND THE RUNOFF SHEET FLOW THROUGH THE ASPHALT PARKING LOT. EXISTING DRAINAGE FOR THE PARKING LOT FLOW FROM SOUTH OF PARKING LOT THROUGH NORTH OF PARKING LOT. ALL RUNOFF FROM THE BUILDING AND ASPHALT PARKING LOT DISCHARGE THROUGH A EXISTING 4" PVC PIPE LOCATED NORTHEAST OF THE SITE UNDER EXISTING SIDEWALK AND CURB & GUTTER ON SAN PABLO STREET ON THE EASTSIDE.

PROPOSED CONDITION:
THE PROPOSED DRAINAGE BASIN AND CONDITION REMAIN THE SAME AS THE EXISTING. DUE TO THE EXISTING 4" PVC PIPE WAS PLUGGED AND STANDING WATER STANDING LOCATED AT THE NORTHEAST CORNER OF THE PARKING LOT, A NEW 24" DOUBLE SIDEWALK CULVERT WILL BE CONSTRUCTED TO REPLACE THE 4" PVC PIPE.

SIDEWALK CULVERT DRAINAGE CAL:
FROM THE 100-YR STORM EVENT CALCULATION SHOWN BELOW, THE PEAK DISCHARGE FROM THE PROJECT SITE IS 4.44 CFS. THE NEW SIDEWALK CULVERT WILL HAVE A 48" OPENING (24" DOUBLE CULVERT) WITH 7.5" OPENING FROM TOP OF METAL GRATE TO FLOWLINE OF THE SIDEWALK CULVERT PER C.O.A STANDARD DETAIL. THE CALCULATION USING BROAD CRESTED WEIR EQUATION SHOWN ON THE WORKSHEET WITH A RESULT OF THE HEADWATER HEIGHT ABOVE CREST IS 0.51 FT, THE OPENING HEIGHT OF THE SIDEWALK CULVERT IS 0.625 FT (7.5"). THEREFORE, THE PROPOSED 24" DOUBLE SIDEWALK CULVERT WILL BE ADEQUATE TO CARRY THE 100 YR RUNOFF FROM THE PROJECT SITE.

100-YR STORM EVENTS HYDROLOGIC CALCULATIONS

BASIN	AREA (ACRES)	LAND TREATMENT				100-YR			
		A (%)	B (%)	C (%)	D (%)	UNIT PEAK DISCHARGE (CFS/AC)	WEIGHTED E (IN)	PEAK DISCHARGE (CFS)	VOLUME 6 HOUR (AC-FT)
		EXISTING CONDITIONS							
EX 1	0.22	0.0	0.0	9.0	91.0	4.88	2.26	1.07	0.04
EX 2	0.68	0.0	0.0	4.0	96.0	4.96	2.32	3.37	0.13
TOTALS	0.90							4.44	0.17

REFERENCE:
SECTION 22.2, HYDROLOGY, DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CIRITERIA
CURRENT REVISION, CITY OF ALBUQUERQUE, NEW MEXICO
PRECIPITATION ZONES = ZONE 3

Worksheet for Broad Crested Weir - 1	
Project Description	
Solve For	Headwater Elevation
Input Data	
Discharge	4.44 ft ³ /s
Crest Elevation	5350.34 ft
Tailwater Elevation	5350.28 ft
Crest Surface Type	Paved
Crest Breadth	11.00 ft
Crest Length	4.00 ft
Results	
Headwater Elevation	5350.85 ft
Headwater Height Above Crest	0.51 ft
Tailwater Height Above Crest	-0.06 ft
Weir Coefficient	3.01 US
Submergence Factor	1.00
Adjusted Weir Coefficient	3.01 US
Flow Area	2.06 ft ²
Velocity	2.16 ft/s
Wetted Perimeter	5.03 ft
Top Width	4.00 ft

MANAGEMENT OF THE STORM WATER QUALITY VOLUME (SWQV):

SWQV = 0.26" X REDEVELOPED IMPERVIOUS AREA

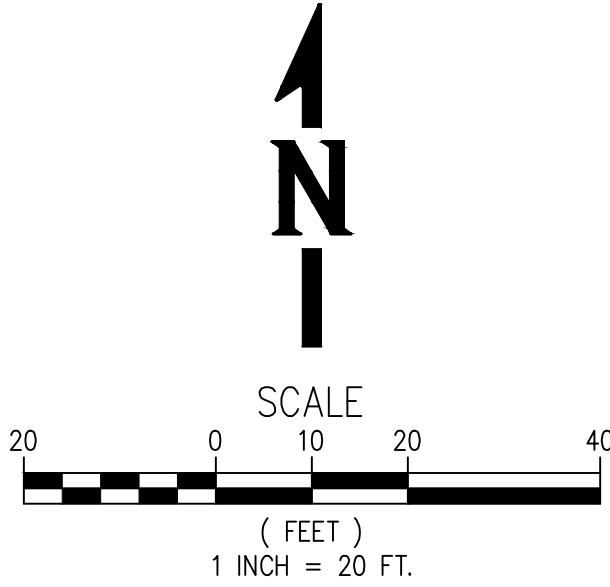
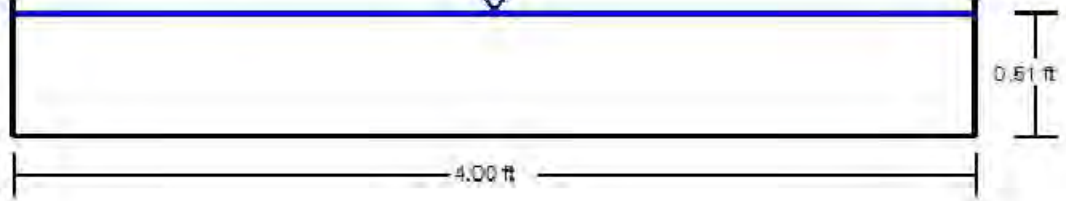
REDEVELOPED IMPERVIOUS AREA = 25,275 SF

SWQV = 0.26"/12" X 25,275 SF = 547.50 CUBIC FEET

PAYMENT IN LIEU (AMOUNT =0.26" X REDEVELOPED IMPERVIOUS ARE X \$8/CF)
AMOUNT = 0.26"/12" X 25,275 SF X \$8/CF = \$4,380

MANAGEMENT OF SWQV:
WE COULD PROVIDE ONSITE MANAGEMENT, WE DO NOT WANT TO (DUE TO COST OR CONVENIENCE), AND WE ARE ELECTING TO MAKE THE PAYMENT IN LIEU OF ONSITE MANAGEMENT.

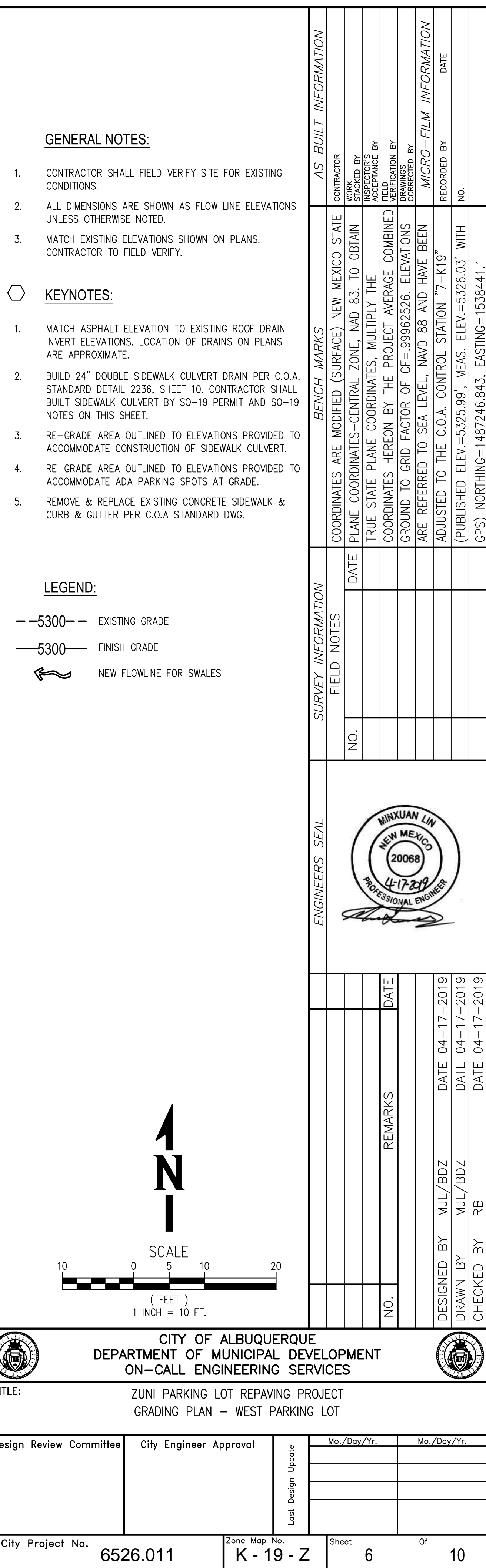
Cross Section for Broad Crested Weir - 1	
Project Description	
Solve For	Headwater Elevation
Input Data	
Discharge	4.44 ft ³ /s
Headwater Elevation	5350.85 ft
Crest Elevation	5350.34 ft
Tailwater Elevation	5350.28 ft
Crest Surface Type	Paved
Crest Breadth	11.00 ft
Crest Length	4.00 ft
Cross Section Image	

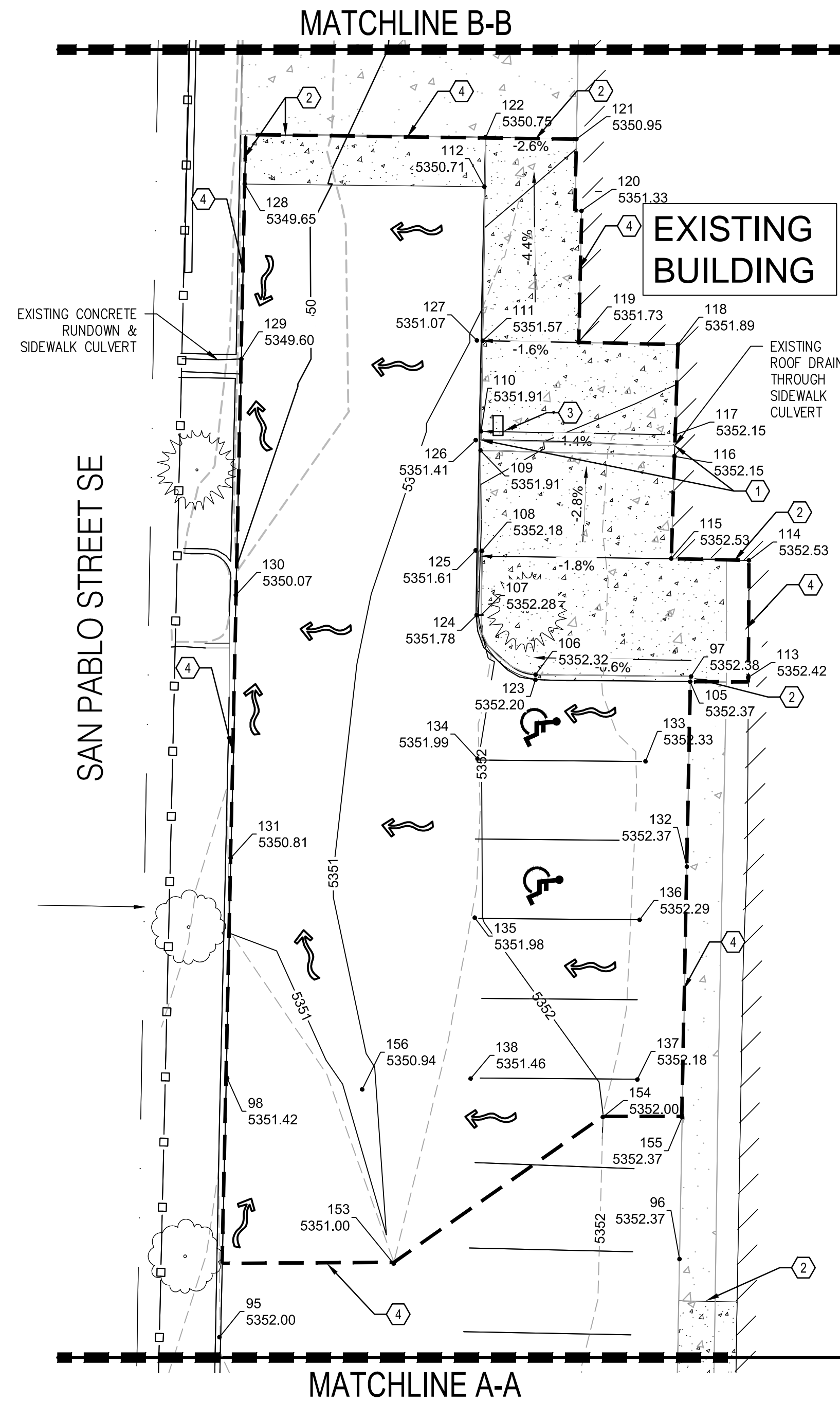
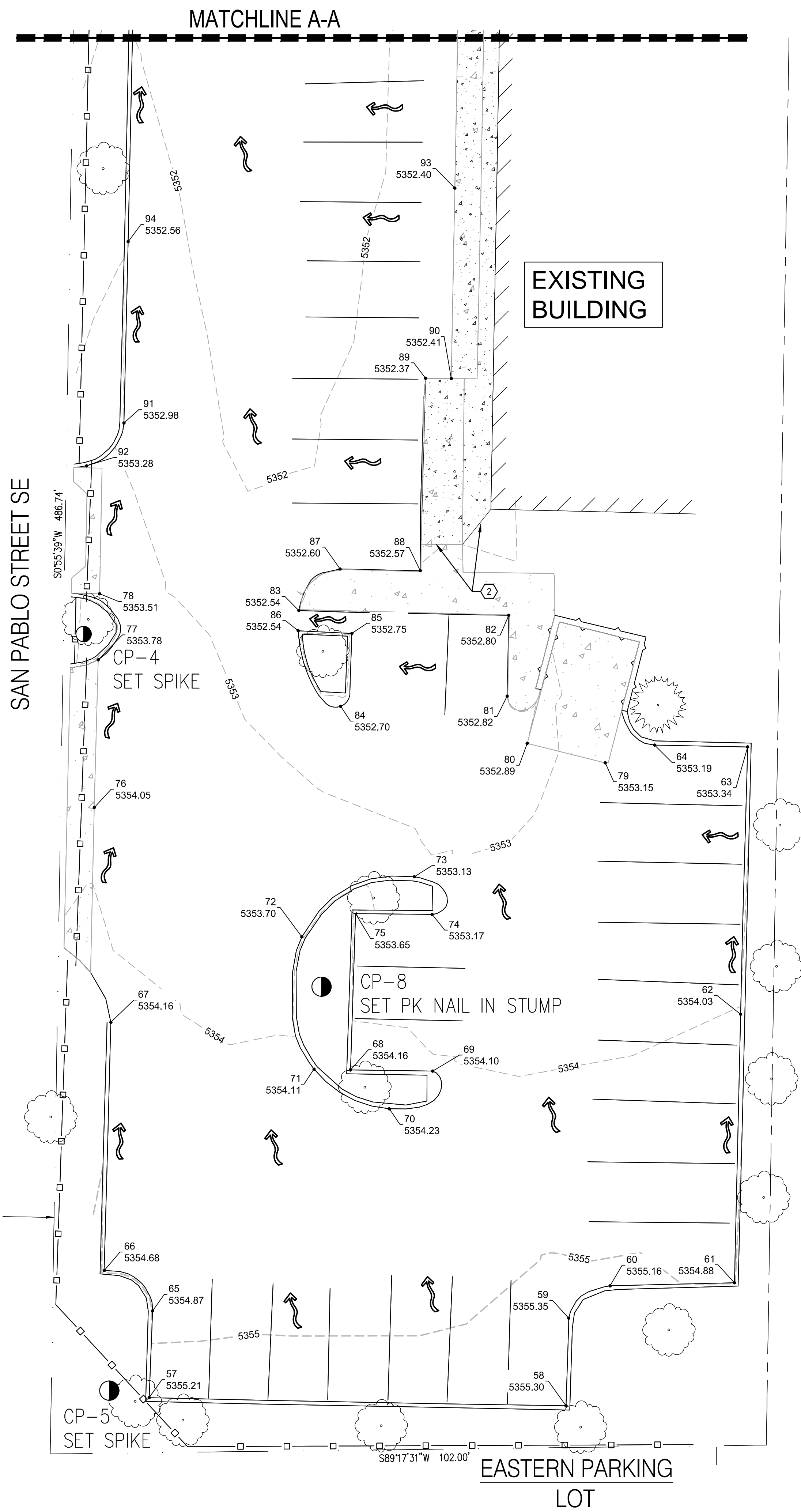


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CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES	
TITLE: ZUNI PARKING LOT REPAVING PROJECT DRAINAGE PLAN - WEST PARKING LOT	
Design Review Committee	City Engineer Approval
City Project No. 6526.011	Zone Map No. K - 19 - Z
Sheet 6-A	Of 10

SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	DATE	COORDINATES ARE MODIFIED (SURFACE) NEW MEXICO STATE PLANE COORDINATES-CENTRAL ZONE, NAD 83, TO OBTAIN TRUE STATE PLANE COORDINATES; MULTIPLY THE COORDINATES HEREON BY THE PROJECT AVERAGE COMBINED GROUND TO GRID FACTOR OF CF=.99862526. ELEVATIONS ARE REFERRED TO SEA LEVEL, NAVD 88 AND HAVE BEEN ADJUSTED TO THE C.O.A. CONTROL STATION "7-K19"	CONTRACTOR	WORK STAGED BY	NO.
				ACCEPTANCE BY	
				FIELD VERIFICATION BY	
				DRAWINGS CORRECTED BY	
				MICRO-FILM INFORMATION	
				RECORDED BY	
				DATE	





GENERAL NOTES:

- ALL DIMENSIONS ARE SHOWN TO FLOW LINE, EDGE OF SIDEWALK & CORNER OF BUILDINGS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FIELD VERIFY SITE FOR EXISTING CONDITIONS.
- MATCH EXISTING ELEVATIONS SHOWN ON PLANS. CONTRACTOR TO FIELD VERIFY.

KEYNOTES:

- BUILD 12" WIDE SIDEWALK CULVERT DRAIN PER C.O.A. STANDARD DETAIL 2236, SHEET 10.
- MATCH EXISTING GRADE.
- ADJUST EXISTING PULLBOX TO FINISHED GRADE.
- RE-GRADE AREA OUTLINED TO ELEVATIONS PROVIDED TO ACCOMMODATE NEW CONSTRUCTION.

LEGEND:

- 5300-- EXISTING GRADE
- 5300— FINISH GRADE
- ~ ~ ~ NEW FLOWLINE FOR SWALES

HYDROLOGIC STUDY SUMMARY:

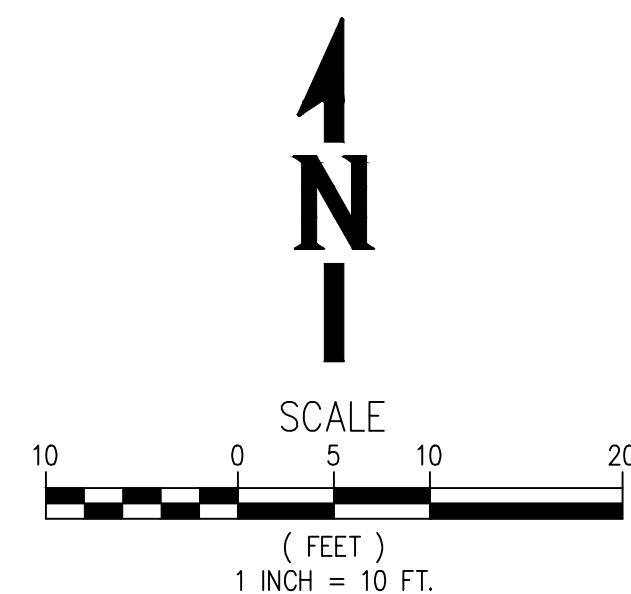
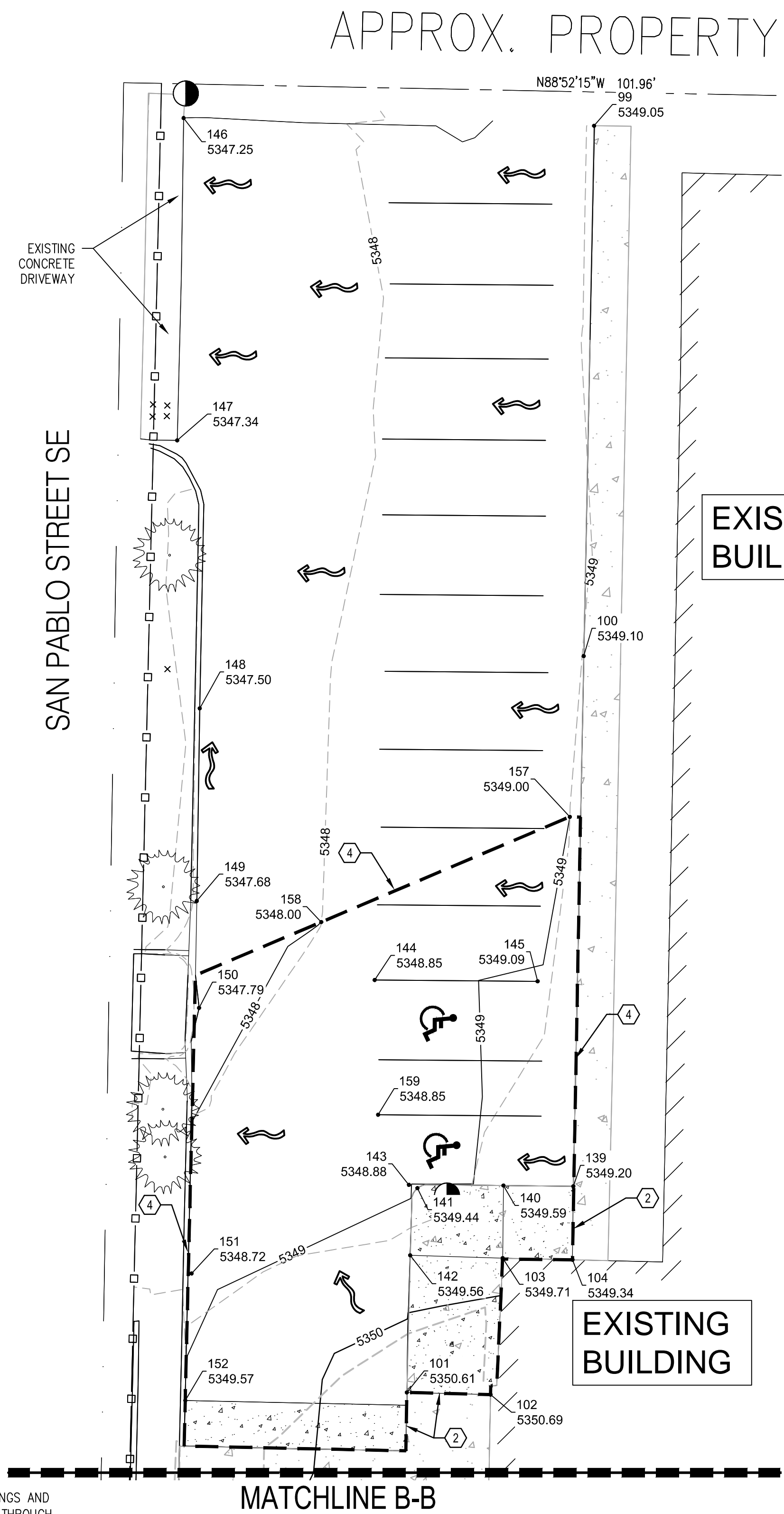
EXISTING CONDITION:
THE EXISTING DRAINAGE BASIN CONSISTED OF THE EXISTING BUILDINGS AND EXISTING ASPHALT PARKING LOT. THE ROOF DRAINAGE COLLECTED THROUGH THE ROOF DRAIN DOWN TO THE EXISTING SIDEWALK CULVERT AND DOWNSPOUTS DISCHARGE ON EXISTING SIDEWALK. DRAINAGE PATTERN FOR THE EXISTING ASPHALT PARKING LOT FLOWS FROM EAST TO WEST. ALL RUNOFF FROM THE BUILDING AND ASPHALT PARKING LOT DISCHARGE THROUGH TWO LOCATIONS, ONE THROUGH THE CONCRETE RUNDOWN & SIDEWALK CULVERT DISCHARGE TO SAN PABLO STREET, AND THE OTHER LOCATION IS DIRECT DISCHARGE TO SAN PABLO STREET WITHIN THE CONCRETE DRIVEWAY.

PROPOSED CONDITION:
THE PROPOSED DRAINAGE BASIN AND CONDITION REMAIN THE SAME AS THE EXISTING CONDITION.

MANAGEMENT OF THE STORM WATER QUALITY VOLUME (SWQV):

SWQV = 0.26" X REDEVELOPED IMPERVIOUS AREA
REDEVELOPED IMPERVIOUS AREA = 24,360 SF
SWQV = 0.26"/12" X 24,360 SF = 527.50 CUBIC FEET
PAYMENT IN LIEU (AMOUNT = 0.26" X REDEVELOPED IMPERVIOUS ARE X \$8/CF)
AMOUNT = 0.26"/12" X 24,360 SF X \$8/CF = \$4,220

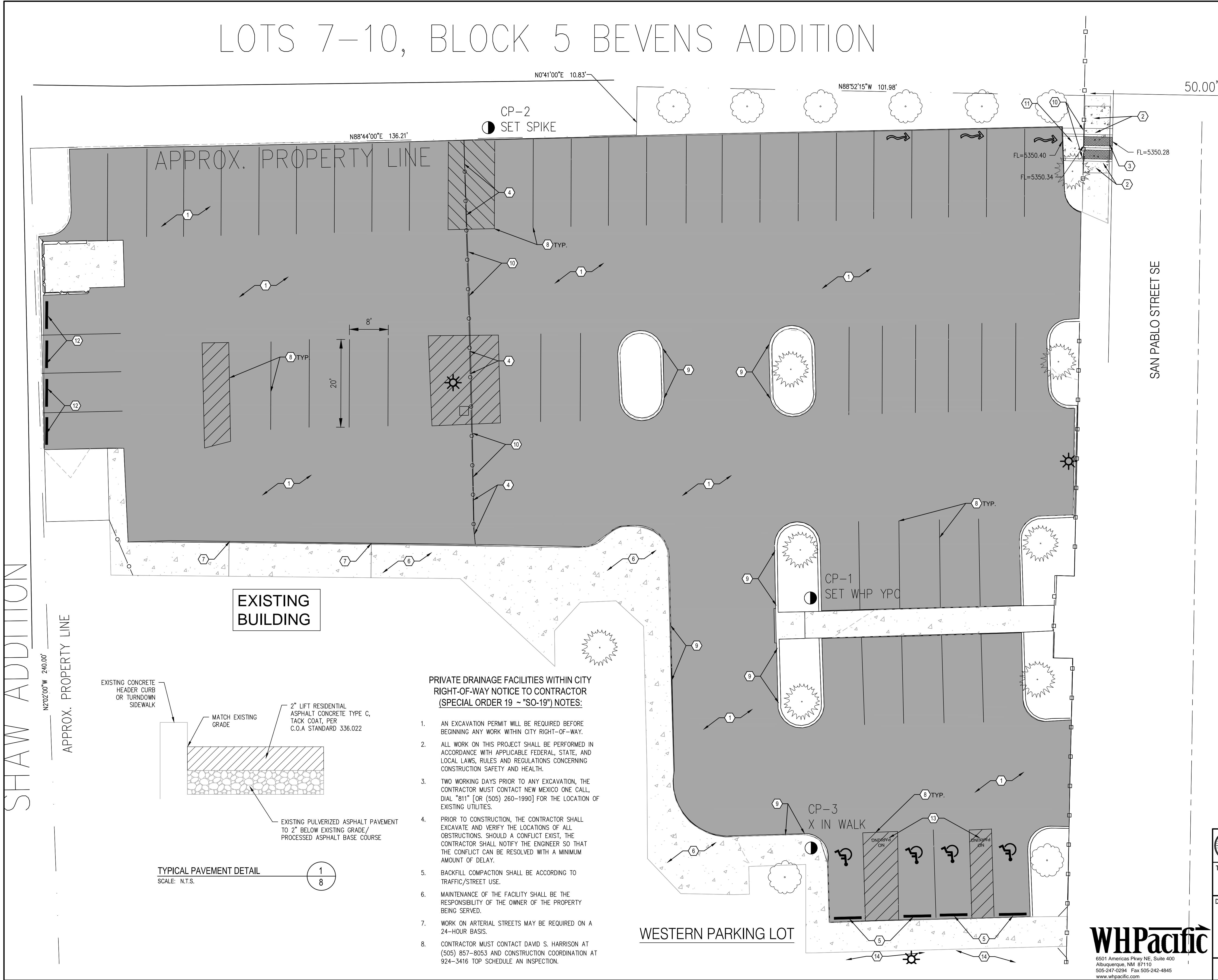
MANAGEMENT OF SWQV:
WE COULD PROVIDE ONSITE MANAGEMENT, WE DO NOT WANT TO (DUE TO COST OR CONVENIENCE), AND WE ARE ELECTING TO MAKE THE PAYMENT IN LIEU OF ONSITE MANAGEMENT.



CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES	
TITLE: ZUNI PARKING LOT REPAVING PROJECT GRADING PLAN - EAST PARKING LOT	
Design Review Committee	City Engineer Approval
City Project No. 6526.011	Zone Map No. K - 19 - Z
Sheet 7	Of 10

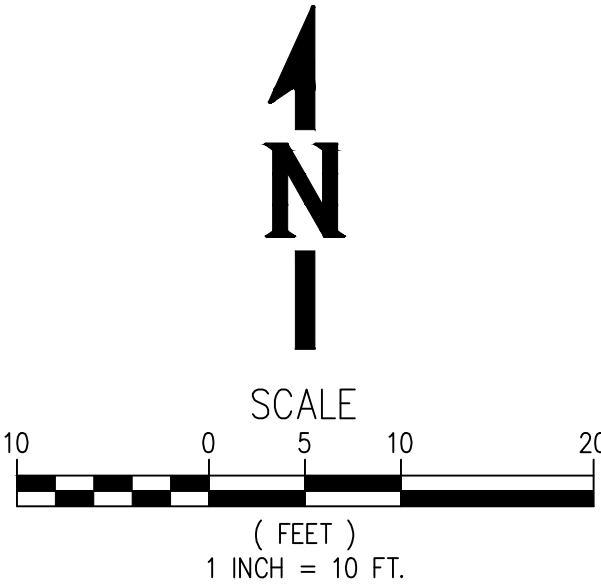
ENGINEER'S SEAL		BENCH MARKS		AS BUILT INFORMATION	
COORDINATES ARE MODIFIED (SURFACE) NEW MEXICO STATE PLANE COORDINATES-CENTRAL ZONE, NAD 83, TO OBTAIN TRUE STATE PLANE COORDINATES; MULTIPLY THE COORDINATES HEREON BY THE PROJECT AVERAGE COMBINED GROUND TO GRID FACTOR OF CF=.99862526. ELEVATIONS ARE REFERRED TO SEA LEVEL, NAD 88 AND HAVE BEEN ADJUSTED TO THE C.O.A. CONTROL STATION "7-K19"		CONTRACTOR WORK STACKED BY ACCEPTANCE BY FIELD CORRECTION BY DRAWINGS CORRECTED BY MICRO-FILM INFORMATION RECORDED BY DATE NO.		DATE NO.	
DESIGNED BY: MJL/BDZ DATE: 04-17-2019		DRAWN BY: MJL/BDZ DATE: 04-17-2019		CHECKED BY: RB DATE: 04-17-2019	

LOTS 7-10, BLOCK 5 BEVENS ADDITION





- GENERAL NOTES:**
- ALL DIMENSIONS ARE SHOWN TO FACE OF CURB, EDGE OF SIDEWALK, CORNER OF BUILDINGS & EDGE OF FENCE UNLESS OTHERWISE NOTED.

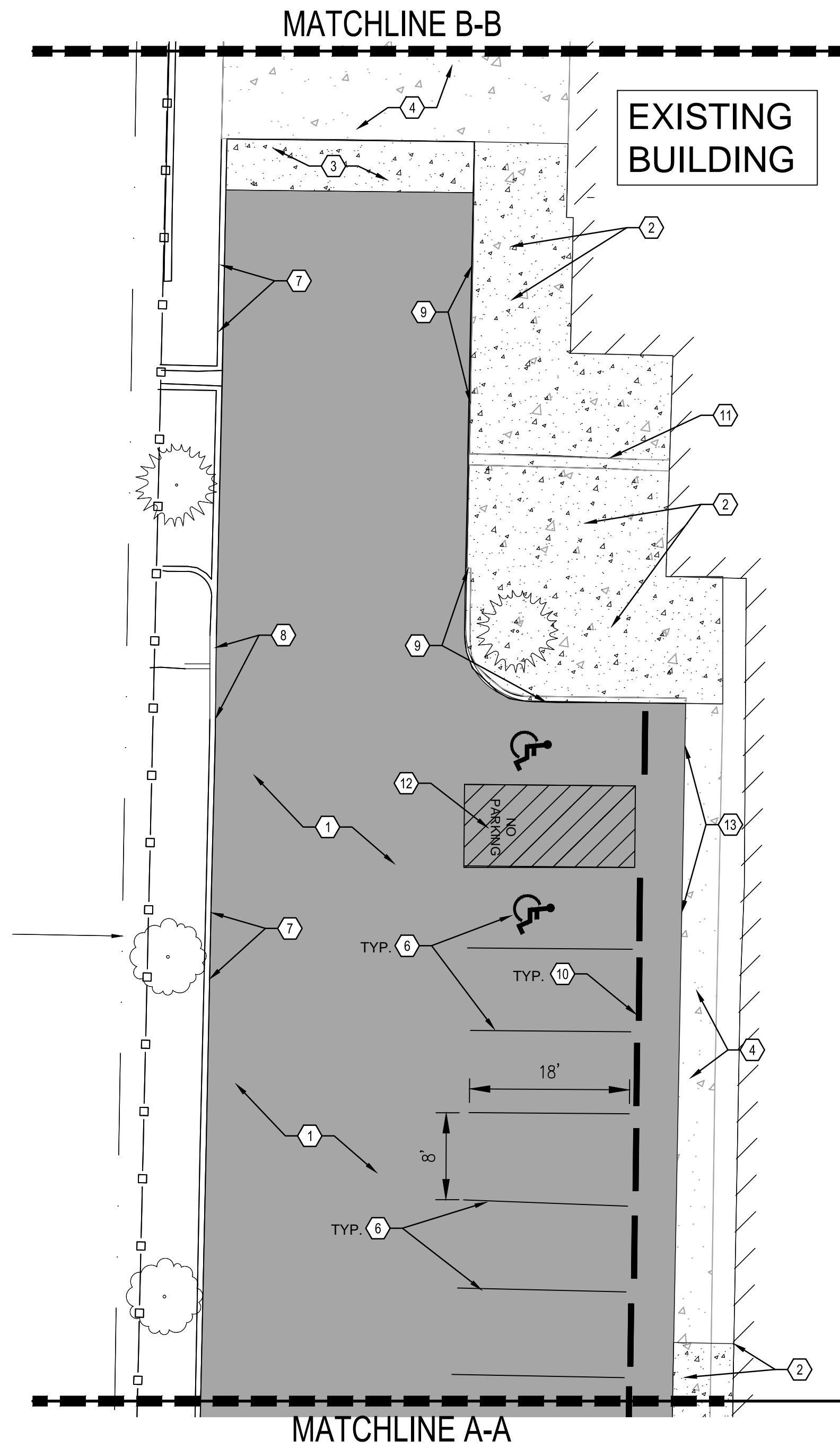
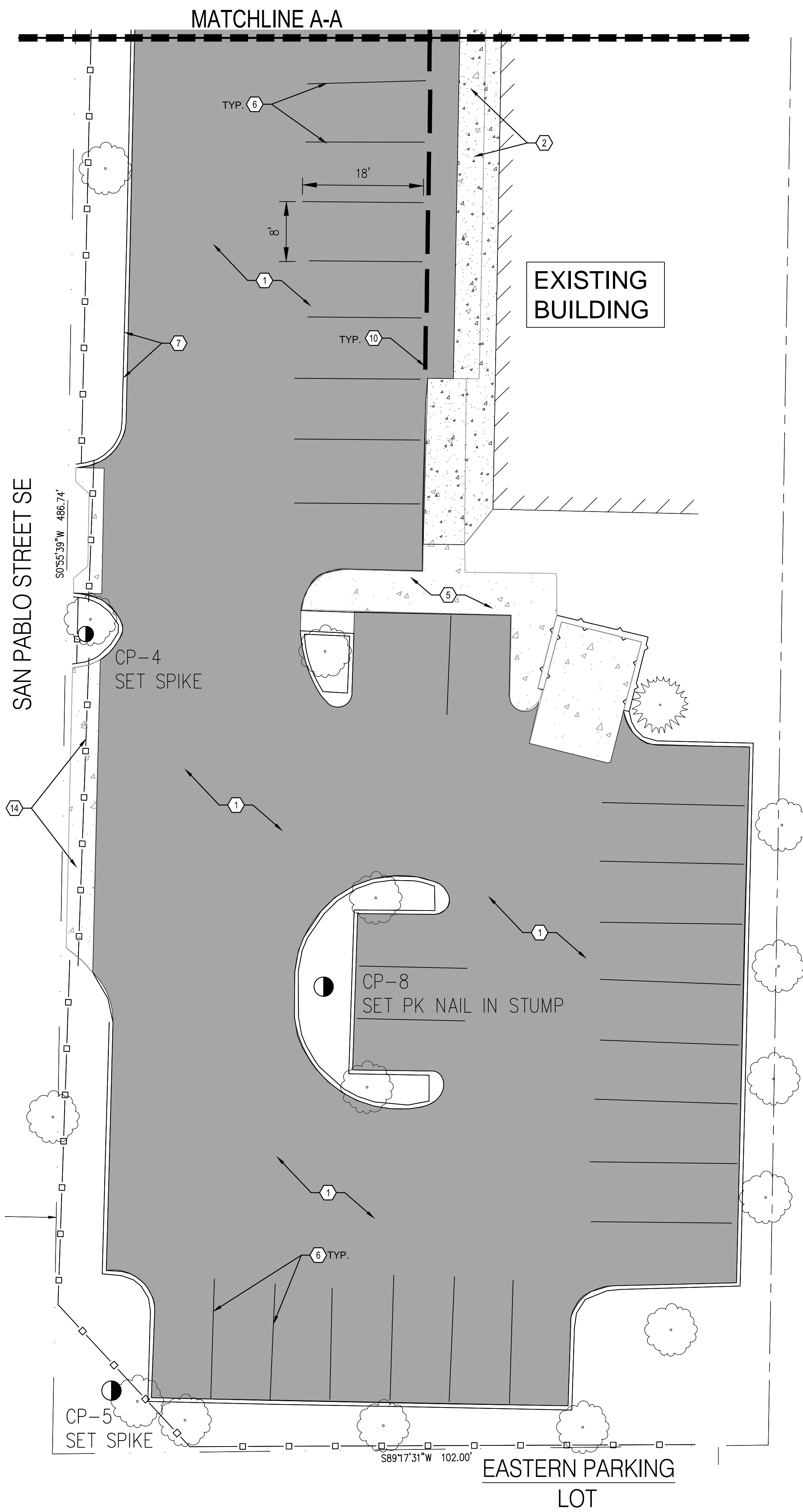
- KEYED NOTES:**
- CONSTRUCT 2" OF ASPHALT PAVEMENT ON TOP OF EXISTING PULVERIZED ASPHALT MATERIAL PER DETAIL 1, THIS SHEET.
 - CONSTRUCT CONCRETE SIDEWALK PER C.O.A STANDARD DETAIL 2430, SHEET 10.
 - INSTALL 24" DOUBLE SIDEWALK CULVERT PER C.O.A STANDARD DETAIL 2236, SHEET 10. CONTRACTOR SHALL BUILT SIDEWALK CULVERT BY SO-19 PERMIT AND SO-19 NOTES ON THIS SHEET.
 - INSTALL NEW ASPHALT PAVEMENT BY HAND METHOD UNDER EXISTING CHAINLINK FENCE.
 - INSTALL NEW PRE-CAST CONCRETE BUMPERS.
 - REPAIR & PLACE SEAL JOINTS TO EXISTING CRACKED CONCRETE SIDEWALK, CONTRACTOR TO FIELD VERIFY LOCATIONS.
 - EXISTING ROOF DRAIN DAYLIGHT PIPE TO REMAIN, TOP OF NEW ASPHALT ELEVATION SHALL MATCH PIPE INVERT ELEVATION.
 - INSTALL STRIPING TO MATCH EXISTING CONDITION.
 - INSTALL FIRE LANE STRIPING ALONG EXISTING HEADER CURB.
 - CONTRACTOR TO MAINTAIN EXISTING FENCE AND GATE. ANY DAMAGE TO FENCE BY CONSTRUCTION SHALL BE REPAIRED.
 - SIDEWALK DRAIN WITHOUT METAL GRATE.
 - RESET EXISTING PRE-CAST CONCRETE BUMPER, CONTRACTOR TO VERIFY LOCATION.
 - INSTALL NEW STRIPING WITH THE WORDS "NO PARKING" AT THE BOTTOM OF THE ACCESS AISLE LOCATED BY THE BACK TIRE. LETTERS TO BE 12" HIGH BY 2" AT A MINIMUM.
 - INSTALL UPDATED ADA SIGNS TO EXISTING POST TO CONFORM TO THE CURRENT STANDARDS. SIGN SHALL HAVE THE LANGUAGE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING".



- PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR (SPECIAL ORDER 19 ~ "SO-19") NOTES:**
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
 - WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
 - CONTRACTOR MUST CONTACT DAVID S. HARRISON AT (505) 857-8053 AND CONSTRUCTION COORDINATION AT 924-3416 TOP SCHEDULE AN INSPECTION.

			
CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES			
TITLE: ZUNI PARKING LOT REPAVING PROJECT PAVING PLAN - WEST PARKING LOT			
Design Review Committee	City Engineer Approval	Last Design Update	
City Project No.	6526.011	Zone Map No.	K - 19 - Z
		Sheet	8 Of 10

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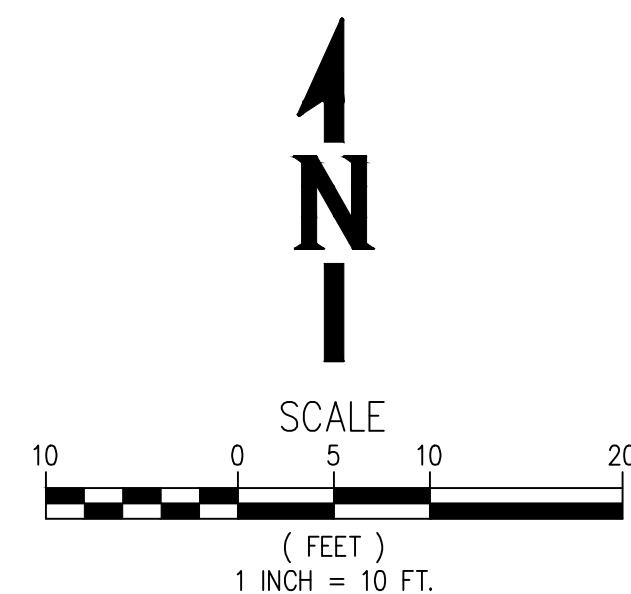
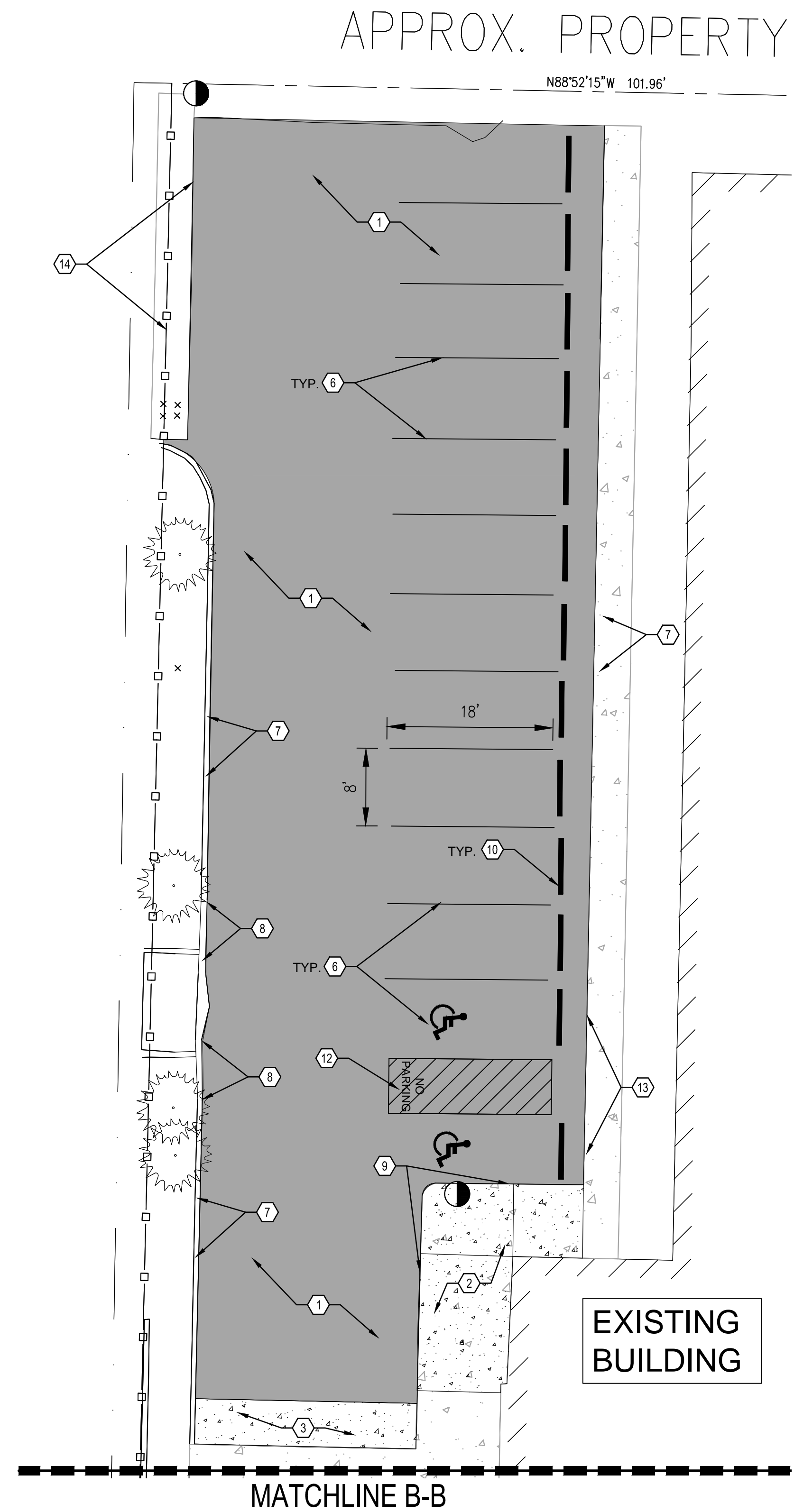


GENERAL NOTES:

- ALL DIMENSIONS ARE SHOWN TO FACE OF CURB, EDGE OF SIDEWALK, CORNER OF BUILDINGS & EDGE OF FENCE UNLESS OTHERWISE NOTED.

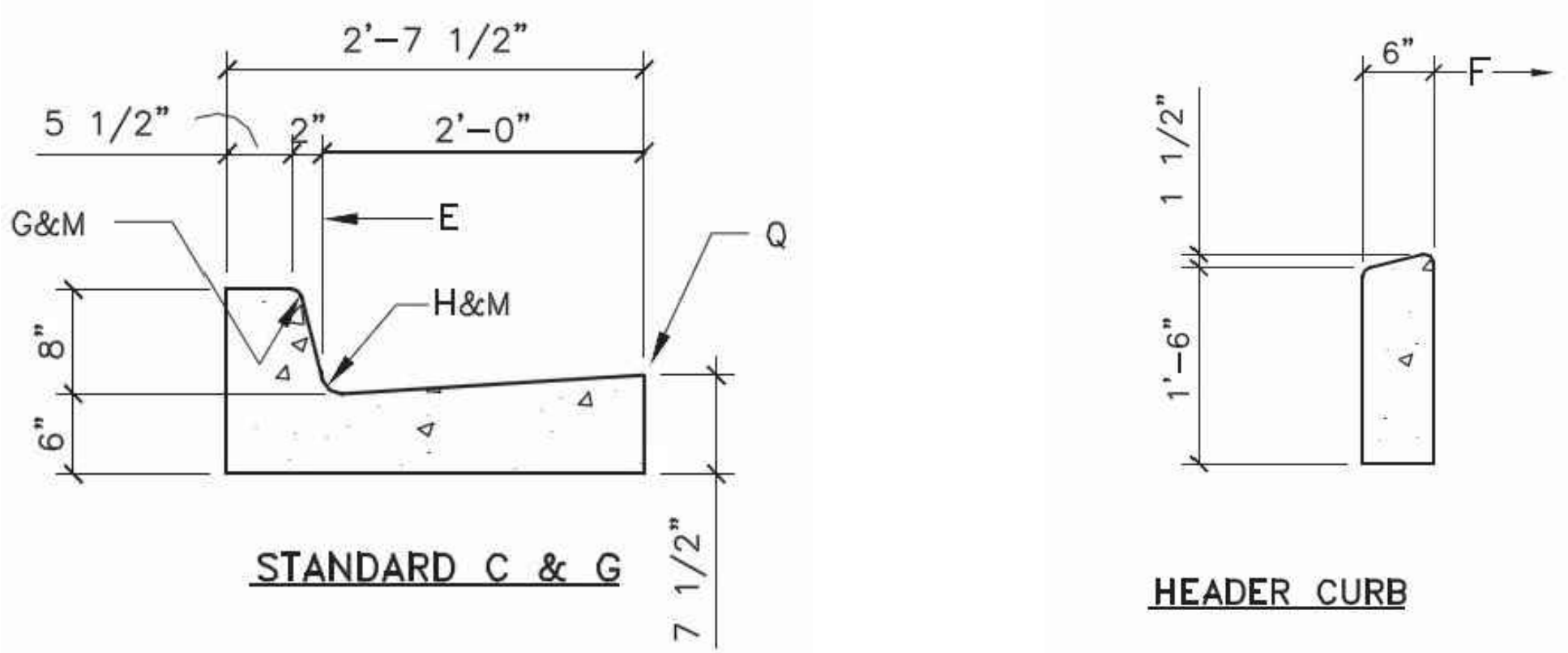
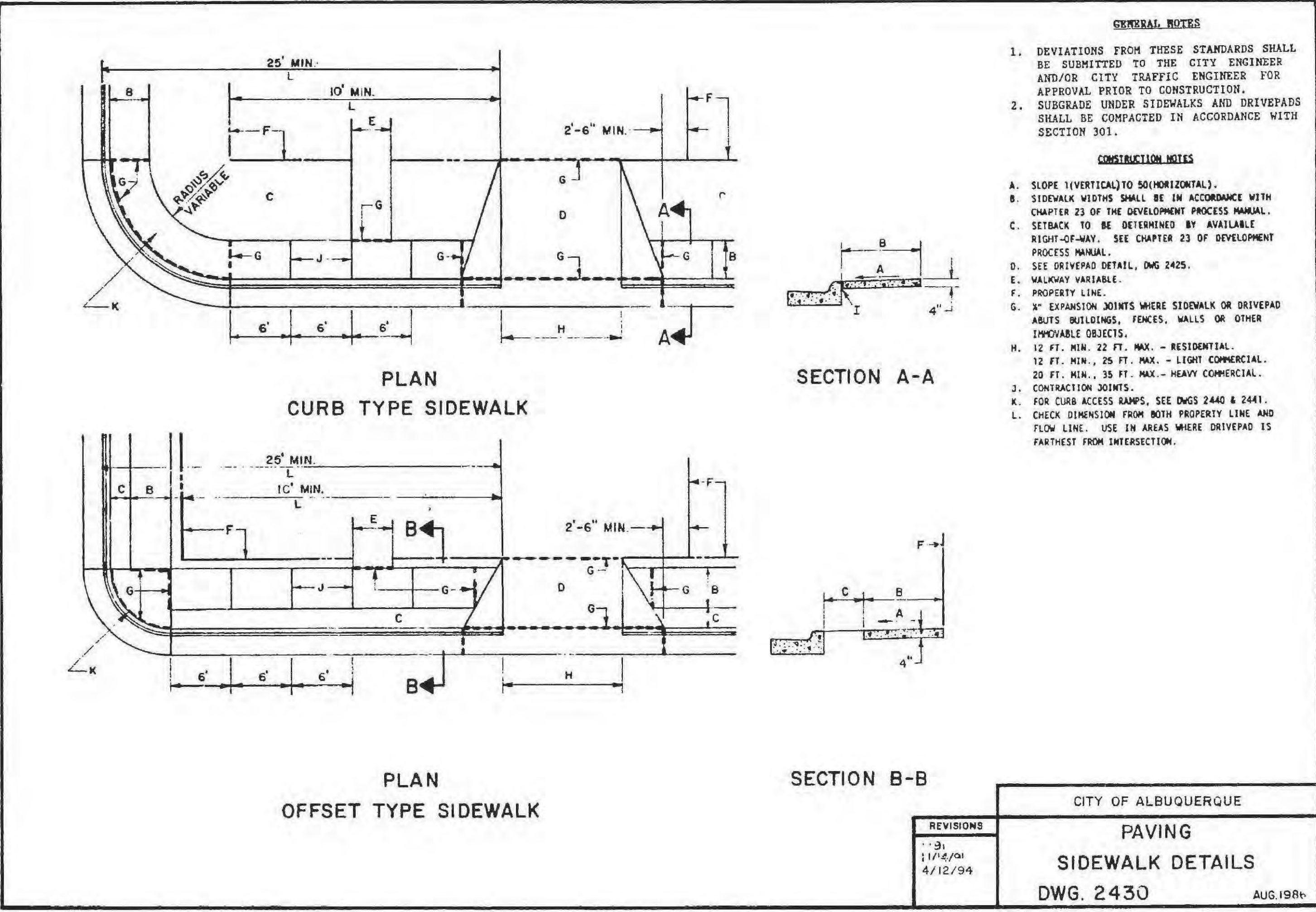
KEYED NOTES:

- CONSTRUCT 2" OF ASPHALT PAVEMENT ON TOP OF EXISTING PULVERIZED ASPHALT MATERIAL PER DETAIL 1, SHEET 8.
- CONSTRUCT CONCRETE SIDEWALK TO MEET ADA ACCESS TO BUILDING PER C.O.A STANDARD DETAIL 2430, SHEET 10.
- CONSTRUCT 5' WIDE BY 6" THICK REINFORCED CONCRETE DRIVEPAD FOR EXISTING OVERHANG ROOF DRAIN EROSION PROTECTION.
- EXISTING CONCRETE SIDEWALK TO REMAIN & PROTECTED THROUGH CONSTRUCTION.
- REPAIR & PLACE SEAL JOINTS TO EXISTING CRACKED CONCRETE SIDEWALK, CONTRACTOR TO FIELD VERIFY LOCATIONS.
- INSTALL STRIPING TO MATCH EXISTING CONDITION.
- RE-STRIPE EXISTING FIRE LANE STRIPING ALONG EXISTING HEADER CURB.
- REPLACE SECTION OF HEADER CURB PER DETAIL 2415, SHEET 10.
- CONSTRUCT NEW TURNED DOWN SIDEWALK EDGE PER DETAIL 1, SHEET 10.
- RESET EXISTING PRE-CAST CONCRETE BUMPER, CONTRACTOR TO VERIFY LOCATION.
- 12" SIDEWALK CULVERT PER C.O.A STANDARD DETAIL 2236, SHEET 10.
- INSTALL NEW ADA STRIPING WITH CROSS HATCHING AND THE WORDS "NO PARKING" AT THE BOTTOM OF THE ACCESS AISLE LOCATED BY THE BACK TIRE. LETTERS TO BE 12" HIGH BY 2" AT A MINIMUM.
- INSTALL NEW ADA SIGNS ON EXISTING POST TO CONFORM TO THE CURRENT STANDARDS. SIGNS SHALL HAVE LANGUAGE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."
- EXISTING CONCRETE DRIVEWAY & GATE TO REMAIN & PROTECTED THROUGH CONSTRUCTION.



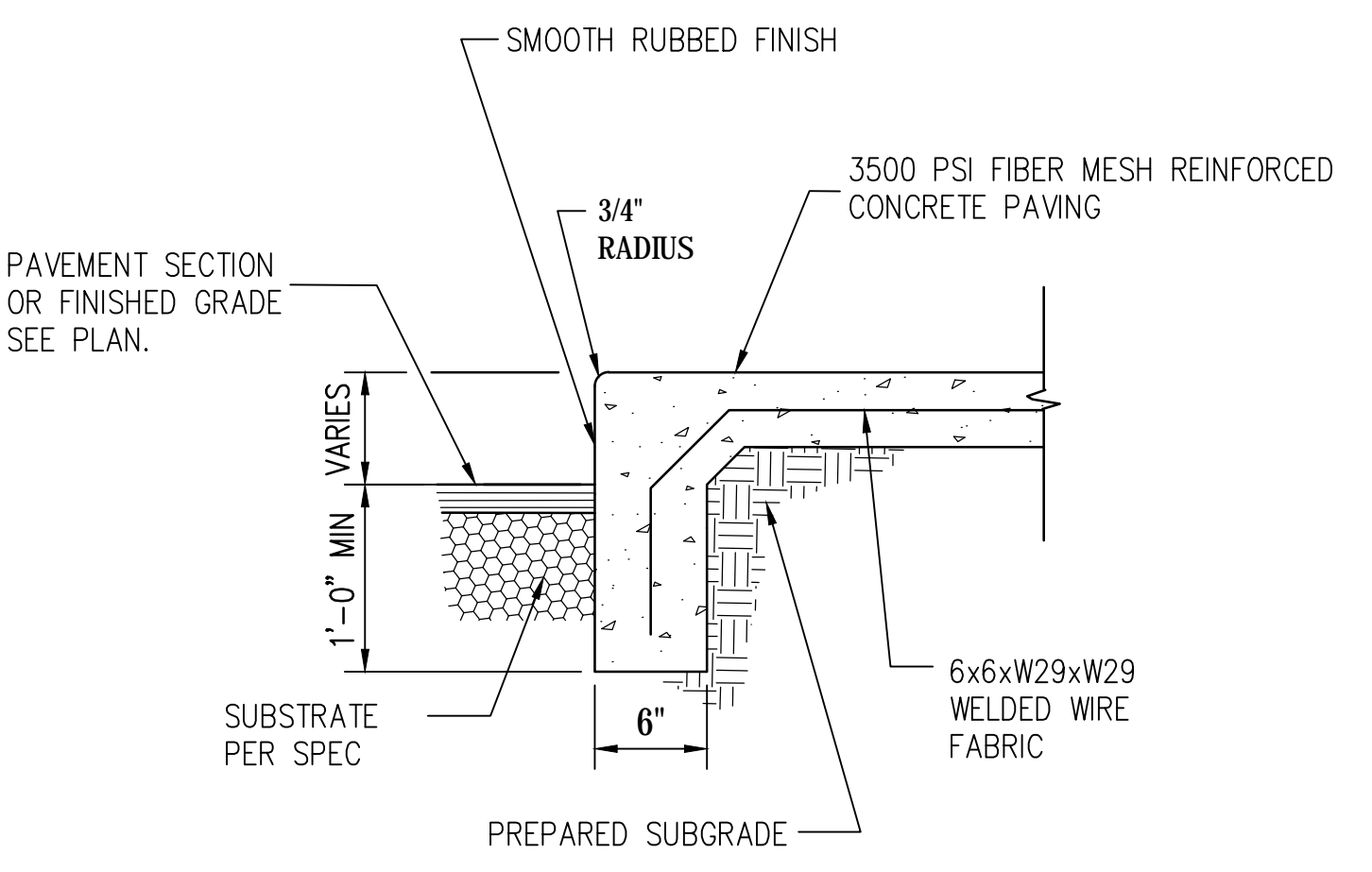
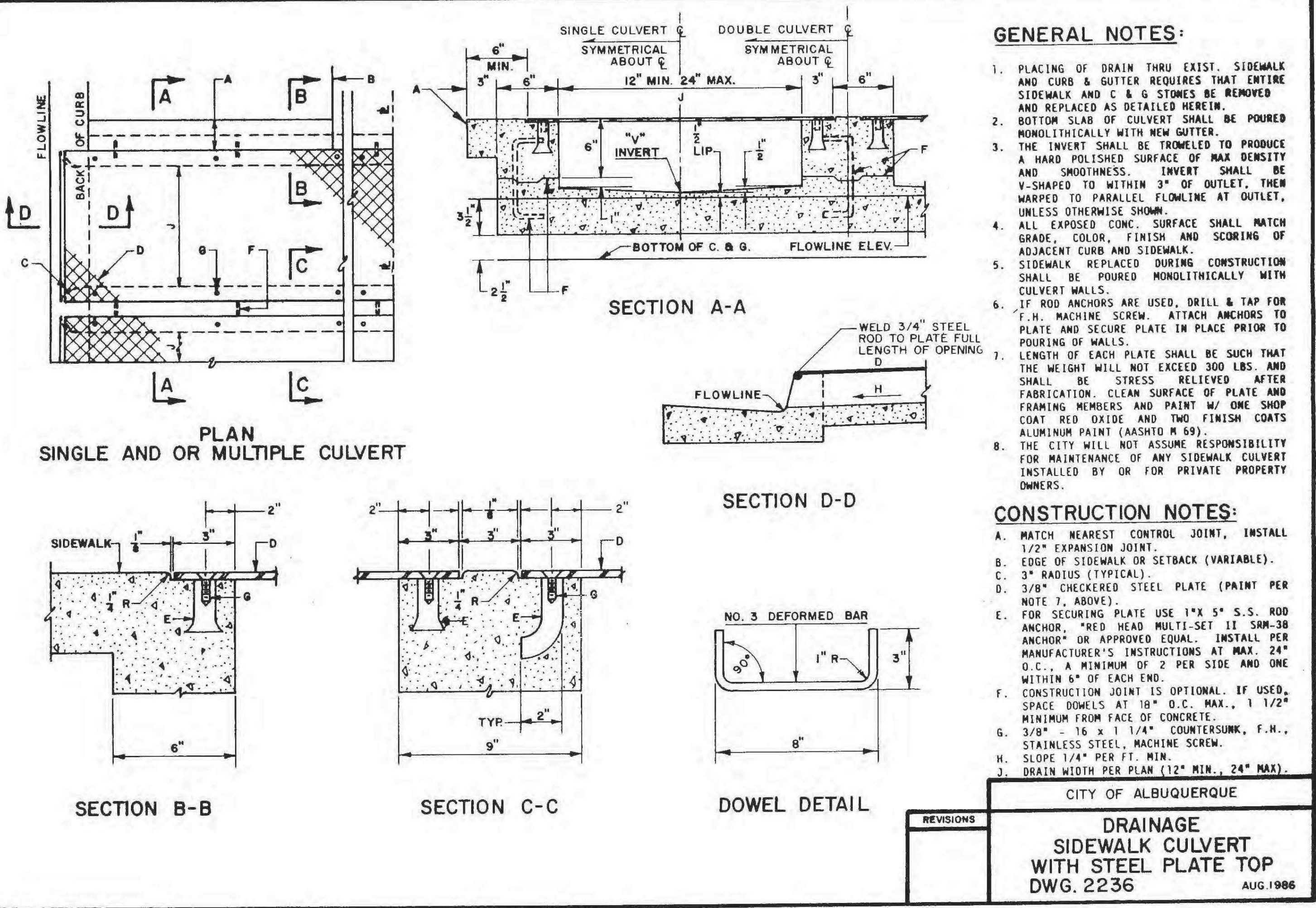
CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES	
TITLE: ZUNI PARKING LOT REPAVING PROJECT PAVING PLAN - EAST PARKING LOT	
Design Review Committee	City Engineer Approval
Last Design Update	Ms./Day/Yr.
City Project No. 6526.011	Zone Map No. K - 19 - Z
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ENGINEER'S SEAL		BENCH MARKS		AS BUILT INFORMATION	
COORDINATES ARE MODIFIED (SURFACE) NEW MEXICO STATE PLANE COORDINATES-CENTRAL ZONE, NAD 83, TO OBTAIN TRUE STATE PLANE COORDINATES; MULTIPLY THE COORDINATES HEREON BY THE PROJECT AVERAGE COMBINED GROUND TO GRID FACTOR OF CF=.99962526. ELEVATIONS ARE REFERRED TO SEA LEVEL, NAD 88 AND HAVE BEEN ADJUSTED TO THE C.O.A. CONTROL STATION "7-K19"		DATE		CONTRACTOR	
NO.		NO.		WORK	
REMARKS		DATE		FIELD	
DESIGNED BY: MJL/BDZ		DATE 04-17-2019		ACCEPTANCE BY	
DRAWN BY: MJL/BDZ		DATE 04-17-2019		DRAWINGS	
CHECKED BY: RB		DATE 04-17-2019		CORRECTED BY	
MICRO-FILM INFORMATION		RECORDED BY		DATE	
PUBLISHED ELEV.=5325.99', MEAS. ELEV.=5326.03' WITH GPS) NORTHING=1487246.843, EASTING=1538441.1		NO.		NO.	



CURB & GUTTER SD 2415

- GENERAL NOTES:**
- CURB, GUTTER AND CUT-OFF WALL WILL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE (PCC).
 - FOR STANDARD AND MEDIAN C&G ADJACENT TO ASPHALT CONCRETE (AC) PAVEMENT, PROVIDE CONTRACTION JOINTS AT 12' MAX. SPACING. CONTRACTION JOINTS SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES. 1/2" EXPANSION JOINTS TO BE INSTALLED AT CURB RETURNS AND AT A MAXIMUM SPACING OF 200' BETWEEN CURB RETURNS AND SEPARATELY CONSTRUCTED DRIVEWAYS.
 - FOR ALL OTHER C & G CUT-OFF WALL PROVIDE CONTRACTION JOINTS AT 10' MAX SPACING, 1/2" EXP. JTS. AT CURB RETURNS & AT A MAXIMUM SPACING OF 100' BETWEEN CURB RETURNS & EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JOINTS SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT ALL FINISHED FACES. REINFORCEMENT SHALL NOT BE USED IN CUT-OFF WALLS.
 - FOR C & G CONSTRUCTED WITH PCC PAVEMENT, CONTRACTION JOINTS AND EXPANSION JOINTS SHALL BE THE SAME AS THE PAVEMENT JOINTS.
 - ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
 - STANDARD C & G SHALL BE USED FOR NEW CONSTRUCTION UNLESS OTHERWISE AUTHORIZED BY THE CITY ENGINEER.
 - REMOVE & REPLACE PAVEMENT 1" WIDE ADJACENT TO LIP OF GUTTER WHEN CONSTRUCTING C & G ADJACENT TO EXISTING AC PAVEMENT.
 - 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND C & G WHEN CAST ADJACENT TO EACH OTHER.
 - ADA = AMERICANS WITH DISABILITY ACT.
- CONSTRUCTION NOTES**
- REQ. CONC. CHANNEL LINING, OR CUT-OFF WALL, PROVIDE 1/4" EXP. JOINT BETWEEN BACK OF CURB & CHANNEL LINING AND/OR WALL.
 - VARIABLE, DEPRESS AS NEEDED.
 - DRIVE NO. 4 PINS 18" DEEP IN HOLES DRILLED @ 2' O.C. IN EXISTING PAVEMENT, SEAL WITH EPOXY.
 - EXISTING ASPHALT CONCRETE (AC) OR PORTLAND CEMENT CONCRETE (PCC) PAVEMENT.
 - THEORETICAL FACE OF CURB OR FLOWLINE.
 - TRAFFIC SIDE.
 - 3/4" RADIUS.
 - 1-1/2" RADIUS.
 - 2" RADIUS.
 - 24" RADIUS.
 - TACK COAT.
 - DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.
 - 4" AC: MAJOR LOCAL OR BETTER (SP-III)
3" AC: LOCAL RESIDENTIAL STREET (TYPE C)
2" AC: BICYCLE PATH (TYPE B, RESIDENTIAL)
 - 8" SCARIFIED AND COMPACTED SUBGRADE, 95% MINIMUM COMPACTION PER SECTION 301.
 - AC PAVEMENT.
 - #4 CONT. BETWEEN JOINTS 3" COVER AT JOINTS.
 - #3 PINS @ 3'-0" O.C. W/STD. HOOK.



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ON-CALL ENGINEERING SERVICES

TITLE: ZUNI PARKING LOT REPAVING PROJECT
DETAILS

Design Review Committee	City Engineer Approval	Ms./Day/Yr.	Ms./Day/Yr.

City Project No. 6526.011

Zone Map No. K - 19 - Z

Sheet 10 of 10

DESIGNED BY: MJL/BDZ
DATE: 04-17-2019

DRAWN BY: MJL/BDZ
DATE: 04-17-2019

CHECKED BY: RB

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