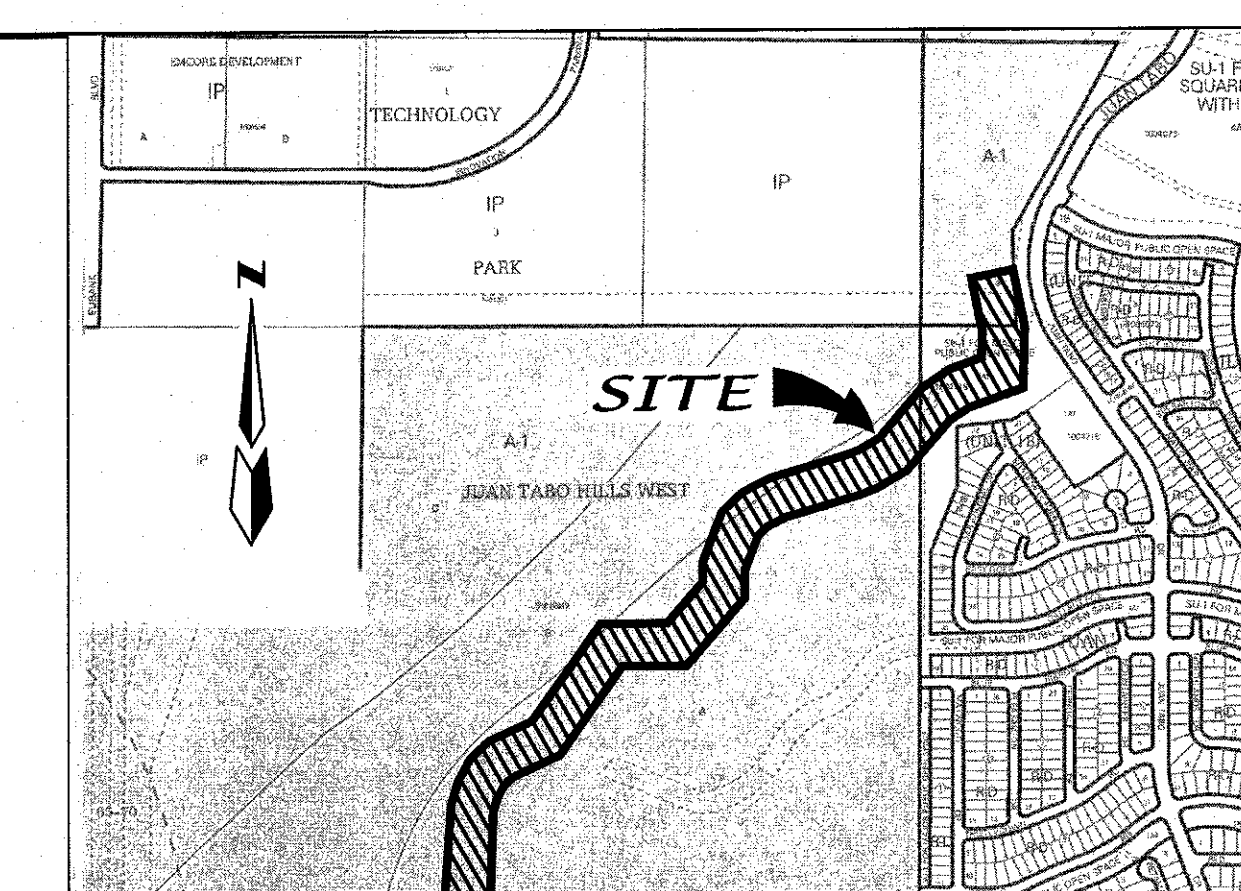


CONSTRUCTION PLANS
FOR
JUAN TABO HILLS ESTATES
SANITARY SEWER TRUNK
ALBUQUERQUE, NEW MEXICO

APPROVED RECORD DRAWINGS	
City Inspector	Arlene Sandoval
Contractor	Salls Brothers Construction
Construction Engineer	Muhammed Aadeb
Date	10/5/2020



VICINITY MAP
GENERAL NOTES
NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE 8, AMENDMENT #8.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- SEVEN (7) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- ALL WORK AFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO 8. STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO ENSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAVE BEEN RECORDED.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF WELL COLLECTORS, TRANSMISSION LINES, OR FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE. OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT http://www.dbcwua.org/Water_Shut_off_and_Turn_on_Procedures.aspx
- ROP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATIONS. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF PIPE. ROP JOINTS SHALL NOT BE GROUTED UNLESS DIRECTED BY THE ENGINEER AFTER CITY APPROVAL.
- ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P. 14.
- ELECTRONIC MARKER DEVICE (EMD) WILL BE PLACED ACCORDING TO SECTION 170 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE 8, AMENDMENT #8.
- PRIVATE STREETS REQUIRE STREET NAME SIGNS, STOP SIGNS, AND ANY NECESSARY STRIPING (DEVELOPER'S RESPONSIBILITY).
- CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENT, PAVEMENT MARKINGS, CURB & GUTTER, SIGNAGE, HANDICAP RAMPS AND SIDEWALK DURING CONSTRUCTION PART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE, PER CITY OF ALBUQUERQUE STANDARDS, AT HIS OWN EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE.
- TWO WEEKS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHOULD NOTIFY THE TRANSIT DEPARTMENT OF ANY IMPACT THE PROPOSED PROJECT WILL HAVE ON THE TRANSIT SYSTEM SUCH AS CAUSING A DETOUR, OR CAUSE THE CLOSING OR RELOCATION OF A BUS STOP. THE CONTACT PERSON IS SHABIH RIZVI, OFFICE PHONE IS 505-724-3134, CELL PHONE IS (505)-331-0253, AND E-MAIL srizvi@cabq.gov AND/OR DOUGLAS GOFF, OFFICE PHONE IS (505)-724-3137, CELL PHONE IS (505)-206-0151, AND E-MAIL dgoff@cabq.gov.

RECORD DRAWING
CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Diane Hoelzer, NMPE 11967, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by Russ Hugg NMPS number 9750.

Diane Hoelzer 12-12-17
Diane Hoelzer NMPE 11967 Date

This set of drawings is accepted for RECORD purposes by _____ on _____, 2017.



INDEX TO DRAWINGS	
SHEET NO.	SHEET
1	TITLE SHEET
2-6	PLAT
7-13	GRADING AND DRAINAGE PLAN
14-18	SANITARY SEWER UTILITY PLANS AND PROFILE
19-20	ESC PLAN & DETAILS

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that the as-built information shown hereon is the result of an actual field survey performed by me or under my direct supervision and that the same is true and correct to the best of my knowledge and belief.

Russ P. Hugg
Russ P. Hugg
NMPS No. 9750
11-7, 2017



THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL BUFFER ZONES) SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

- AMAFCA GENERAL NOTES**
- AMAFCA's Project Manager shall be notified 48 hours prior to start of any work and prior to final inspection of the work within the AMAFCA right-of-way or easement. Telephone number is 884-2215.
 - No work will be performed in the AMAFCA right-of-way or easement between May 15 and October 15 without written permission from AMAFCA.
 - All subgrade, backfill and embankment shall be compacted to 95% (modified proctor) within the AMAFCA right-of-way or easement. Testing reports shall be provided to AMAFCA.
 - Certified as-built plans must be submitted to AMAFCA for the construction within the AMAFCA right-of-way or easement.
 - Contractor shall provide a certificate of Liability Insurance in the amount of \$2,000,000.00, naming AMAFCA as additional insured, prior to starting work.
 - All disturbed ground areas shall be revegetated in accordance with City of Albuquerque Standard Specifications for Public Works Construction, Section 1012 Native Grass Seeding, as currently updated.
 - Any existing survey control monuments that are moved or destroyed as a result of the construction shall be replaced by a licensed surveyor at the owner's expense.

APPROVED FOR CONSTRUCTION WITHIN AMAFCA RIGHT-OF-WAY / EASEMENT:

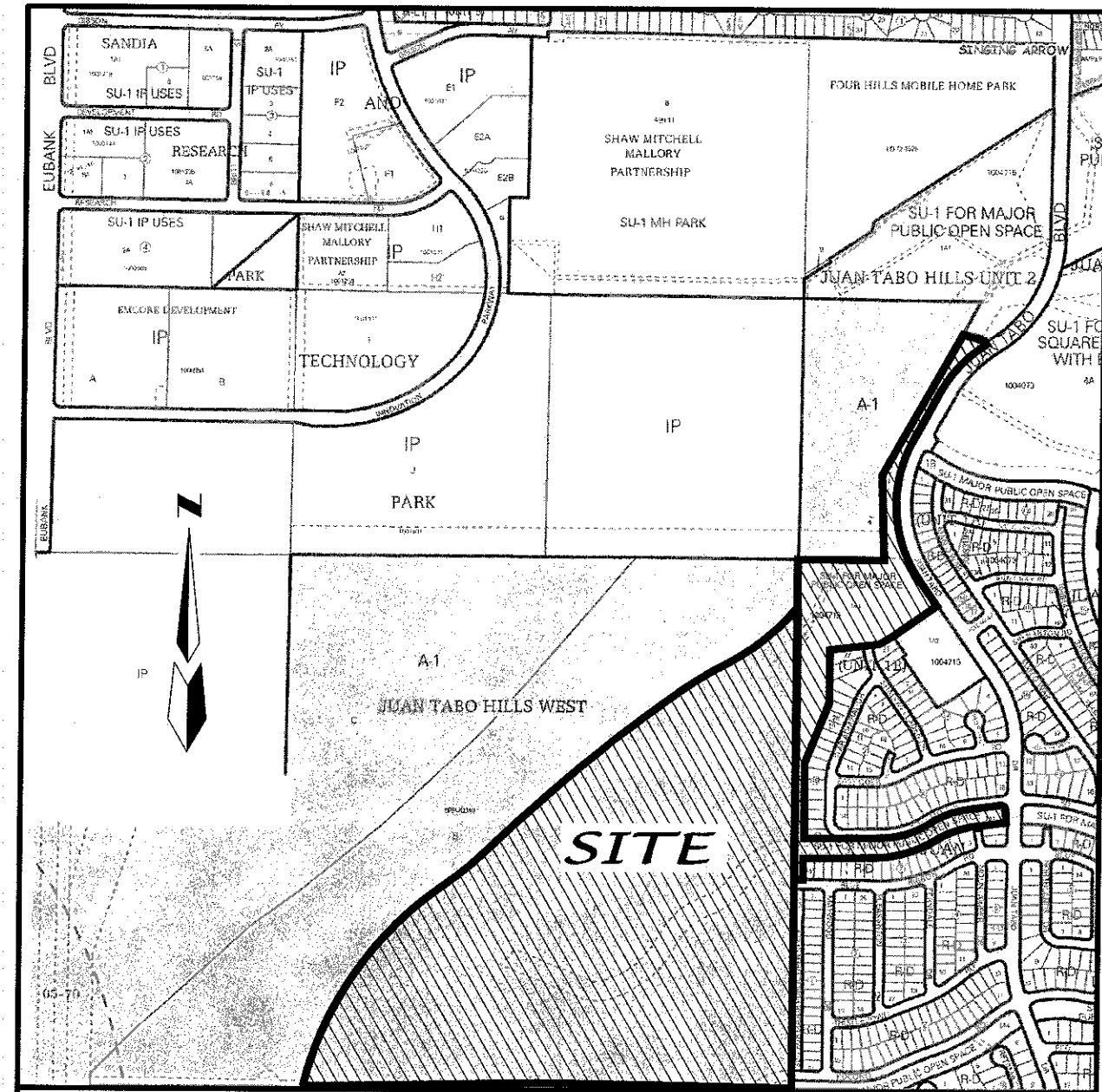
DRB NO. 1005278

NOTE:
CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL CONSTRUCTION SIGNING UNTIL PROJECT HAS BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE.

CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. DISTURBANCE OF EXISTING UTILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P. O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS	ENGINEER	DATE	*****		
		DRC CHAIRMAN	<i>James D. Hugg</i>	2/21/17	APPROVED FOR CONSTRUCTION		
		TRANSPORTATION	<i>James D. Hugg</i>	2/16/17			
		WATER/WASTEWATER	<i>James D. Hugg</i>	2/16/17			
		HYDROLOGY	<i>James D. Hugg</i>	2/16/17			
		EHD	<i>James D. Hugg</i>	2/16/17			
		CONSTR. MNGT.					
		CONSTR. COORD.					
CITY PROJECT NO. 654885					SHEET 1 OF 20		



VICINITY MAP (NTS) ZONE ATLAS MAP M-21

SUBDIVISION DATA	
GROSS ACREAGE	98.4699 Ac.
ZONE ATLAS NO.	M-21-Z
NO. OF LOTS CREATED	329 LOTS
NO. OF TRACTS CREATED	15 TRACTS
RIGHT-OF-WAY AREA DEDICATED TO CITY	18.2552 Ac
DATE OF SURVEY	DECEMBER, 2003

PURPOSE OF PLAT

- SUBDIVIDE TRACT "A" JUAN TABO HILLS WEST INTO 329 RESIDENTIAL LOTS AND 15 TRACTS AND TO SUBDIVIDE TRACT "1-A-1" JUAN TABO HILLS, UNIT 2 INTO TWO TRACTS.
- DEDICATE RIGHT-OF-WAY AS SHOWN.
- GRANT NEW EASEMENTS AS SHOWN.
- VACATE EASEMENTS AS SHOWN.

NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS SHALL BE MARKED BY A #5 REBAR W/CAP STAMPED PS#77192.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PCS, PTS, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS ▲, WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED:
"CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION"
"DO NOT DISTURB"
PS#7719
- BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- ALL DISTANCES SHALL BE GROUND DISTANCES
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED

JUAN TABO HILLS WEST LLC OWNER "TRACT A JUAN TABO HILLS WEST"	
ITS MEMBER SANDIA EAST TECHNOLOGY PARK, LLC REX P. WILSON, MANAGING MEMBER	DATE
ITS MEMBER GRIP HOLDINGS, LLC SCOTT GRADY, MANAGING MEMBER	DATE
CITY OF ALBUQUERQUE OWNER "TRACT 1-A-1, JUAN TABO HILLS, UNIT 2"	
ROBERT J. PERRY, CHIEF ADMINISTRATIVE OFFICER	DATE
CITY SURVEYOR, CITY OF ALBUQUERQUE, N.M.	DATE

ENGINEERS	SURVEYOR	OWNERS
D. MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200	ALDRICH LAND SURVEY P.O. BOX 30701 ALBUQUERQUE, N.M. 87190-0701 (505) 884-1990	JUAN TABO HILLS WEST LLC P.O. BOX 4070 ALBUQUERQUE, NEW MEXICO 87119 (505) 899-6768

LEGAL DESCRIPTION

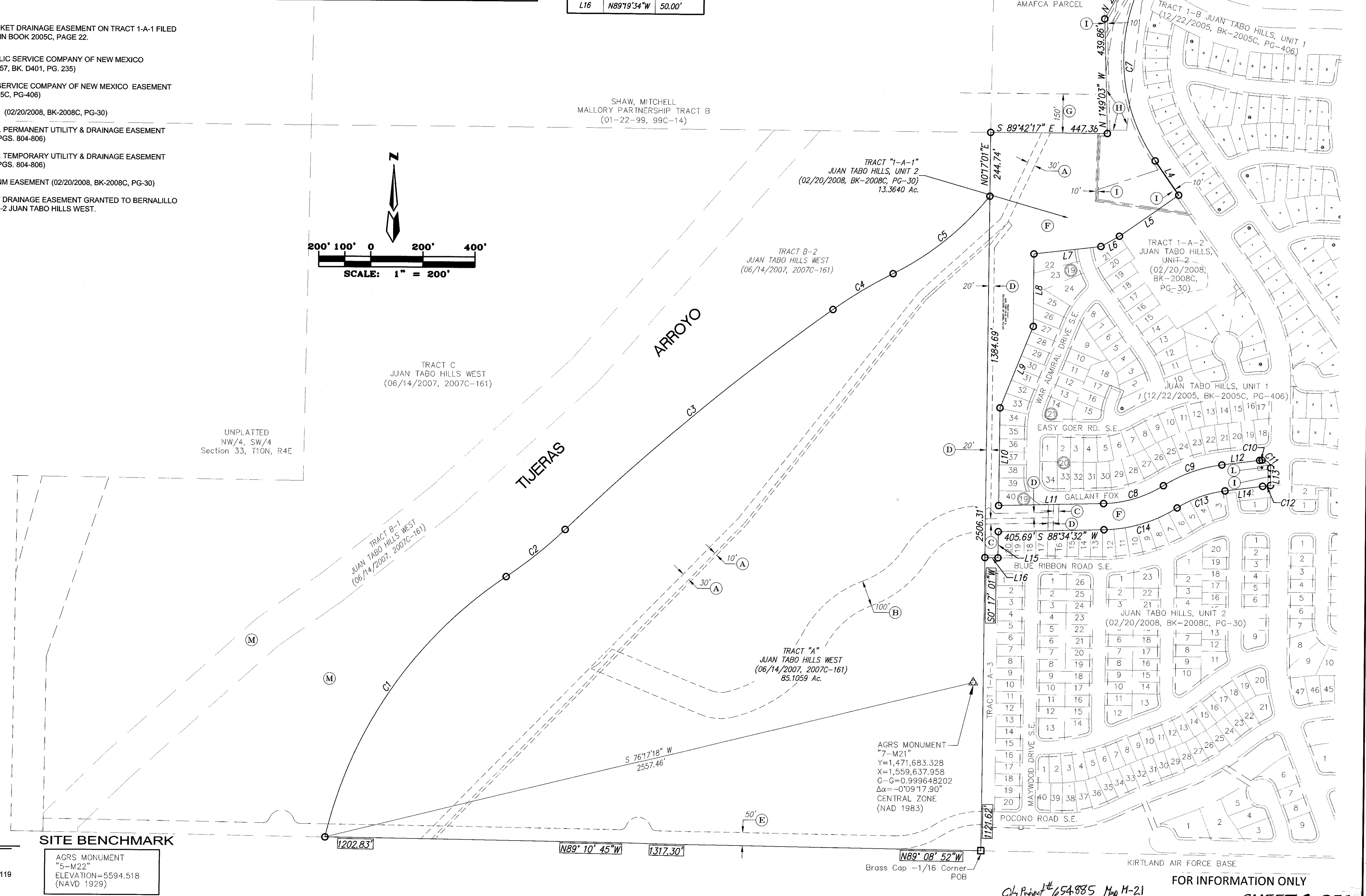
Tract of land situate within Sections 33 and 34, Township 10 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT A, JUAN TABO HILLS WEST, as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 14, 2007 in Book 2007C, Page 161 and TRACT 1-A-1, JUAN TABO HILLS, UNIT 2, as the same is shown and designated on said plat filed for record in the office of County Clerk of Bernalillo County, New Mexico on February 20, 2008 in Book 2008C, Page 30 and contains 98.4699 acres more or less.

EASEMENTS

- EXISTING 30 FOOT SANITARY SEWER EASEMENT FOR THE CITY OF ALBUQUERQUE, FILED MARCH 22, 1979 IN MISC. 677 IN PAGES 777-780 AND FEBRUARY 14, 1979 IN BOOK MISC. 676 IN BOOK 46-49 AND THE TEMPORARY 10' EASEMENT IS FOR CONSTRUCTION.
- EXISTING 100' DRAINAGE EASEMENT FILED AUGUST 8, 2006, IN BK A122, PAGE 9354.
- EXIST. 20' WATERLINE EASEMENT FILED DECEMBER 12, 2005 IN BOOK 2005C, PAGE 406.
- EXIST. 20' SANITARY SEWER EASEMENT FILED DECEMBER 12, 2005 IN BOOK 2005C, PAGE 406.
- EXISTING 50' PRIVATE ACCESS EASEMENT JUNE 14, 2007, BOOK 2007C PAGE 161.
- AN EXISTING BLANKET DRAINAGE EASEMENT ON TRACT 1-A-1 FILED JANUARY 19, 2005 IN BOOK 2005C, PAGE 22.
- EXISTING 150' PUBLIC SERVICE COMPANY OF NEW MEXICO EASEMENT (10-04-57, BK. D401, PG. 235)
- EXISTING PUBLIC SERVICE COMPANY OF NEW MEXICO EASEMENT (12-22-2005, BK-2005C, PG-406)
- EXISTING 10' P.U.E. (02/20/2008, BK-2008C, PG-30)
- EXISTING 30' C.O.A. PERMANENT UTILITY & DRAINAGE EASEMENT (01-26-78, BK. 583, PGS. 804-806)
- EXISTING 10' C.O.A. TEMPORARY UTILITY & DRAINAGE EASEMENT (01-26-78, BK. 583, PGS. 804-806)
- EXISTING 15'x40' PNM EASEMENT (02/20/2008, BK-2008C, PG-30)
- EXISTING BLANKET DRAINAGE EASEMENT GRANTED TO BERNALILLO ON TRACTS B-1 & B-2 JUAN TABO HILLS WEST.

CURVE TABLE						
CURVE#	RADIUS	LENGTH	DELTA	TANGENT	CHORD BEARING	CHORD DISTANCE
C1	1647.00'	1241.69'	43°11'45"	652.02'	N34°31'12"E	1212.49'
C2	1628.00'	290.15'	10°12'41"	145.46'	N51°00'43"E	289.76'
C3	8872.00'	1330.26'	8°35'27"	666.38'	N50°12'06"E	1329.01'
C4	1772.00'	268.65'	8°41'11"	134.58'	N58°50'26"E	268.38'
C5	1128.00'	478.38'	24°17'57"	242.84'	S51°02'03"W	474.80'
C6	690.00'	374.54'	31°06'02"	192.01'	S43°52'25"W	369.95'
C7	686.00'	771.51'	64°26'17"	432.32'	S02°46'51"E	731.49'
C8	450.00'	242.23'	30°50'29"	124.13'	N73°09'19"E	239.31'
C9	550.00'	239.72'	24°58'22"	121.79'	N70°13'15"E	237.82'
C10	1050.00'	9.52'	0°31'09"	4.76'	N82°58'00"E	9.51'
C11	30.00'	50.82'	9°03'26"	33.94'	S48°14'42"E	44.95'
C12	950.00'	30.14'	1°49'05"	15.07'	S83°36'58"W	30.14'
C13	450.00'	196.13'	24°58'22"	99.65'	S70°13'15"W	194.58'
C14	550.00'	296.06'	30°50'29"	151.71'	S73°09'18"W	292.49'

Line Table		
Line #	Bearing	DISTANCE
L1	S74°16'53"E	142.42'
L2	S28°19'24"W	198.88'
L4	S35°00'00"E	159.38'
L5	S55°00'00"W	276.00'
L6	S60°26'38"W	81.23'
L7	S83°19'19"W	258.71'
L8	S0°00'00"E	276.99'
L9	S21°42'32"W	337.11'
L10	S0°17'01"W	374.51'
L11	N88°34'33"E	402.72'
L12	N82°42'26"E	145.51'
L13	S0°17'01"W	67.07'
L14	S82°42'26"W	145.51'
L15	S0°17'01"W	99.76'
L16	N89°19'34"W	50.00'



AMENDED PRELIMINARY PLAT FOR JUAN TABO HILLS WEST ESTATES

SECTION 33
TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY, 2016

AMENDED PRELIMINARY PLAT FOR
JUAN TABO HILLS ESTATES
WITHIN
SECTION 33
TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY, 2016

EASEMENTS

- (C) EXIST. 20' WATERLINE EASEMENT FILED DECEMBER 12, 2005 IN BOOK 2005C, PAGE 406.
- (D) EXIST. 20' SANITARY SEWER EASEMENT FILED DECEMBER 12, 2005 IN BOOK 2005C, PAGE 406.
A PORTION TO BE VACATED
- (F) AN EXISTING BLANKET DRAINAGE EASEMENT ON TRACT 1-A-1 FILED JANUARY 19, 2005 IN BOOK 2005C, PAGE 22.
- (N) NEW 10' PUBLIC TRAIL EASEMENT MAINTAINED BY THE H.O.A.
- (O) NEW 20' WATERLINE EASEMENT GRANTED TO A.B.C.W.U.A.
- (P) NEW 33' WATERLINE EASEMENT GRANTED TO A.B.C.W.U.A.
- (Q) NEW 20' SAS EASEMENT GRANTED TO A.B.C.W.U.A.
- (R) NEW 20' PUBLIC STORM DRAIN EASEMENT TO C.O.A.
- (S) NEW 25' PUBLIC STORM DRAIN EASEMENT TO C.O.A.
- (T) NEW 20' WATERLINE EASEMENT GRANTED TO A.B.C.W.U.A.
- (U) NEW BLANKET DRAINAGE EASEMENT GRANTED TO AMAFCA ON TRACTS L & M.
- (W) NEW 50' ACCESS EASEMENT GRANTED BY THIS PLAT.

UNPLATTED
NW/4, SW/4
Section 33, T10N, R4E

FLOOD PLAIN LEGEND

- LIMITS 100 YEAR FLOOD PLAIN
- LIMITS 500 YEAR FLOOD PLAIN
- LIMITS OF FLOODWAY
- LIMITS AO ZONE

FEMA SPECIAL FLOOD HAZARD ZONE ON THIS PROPERTY AS SHOWN ON CASE NO. 13-06-1053P EFFECTIVE JUNE 17, 2013.

LEGEND

- 1 LOT NUMBER
- (17) BLOCK NUMBER
- ▲ CENTER LINE MONUMENT
- ▲ RIGHT-OF-WAY
- FOUND 5/8" REBAR WITH CAP "LS 7719" (TYP)
- EXISTING 50' ACCESS EASEMENT

CURVE TABLE

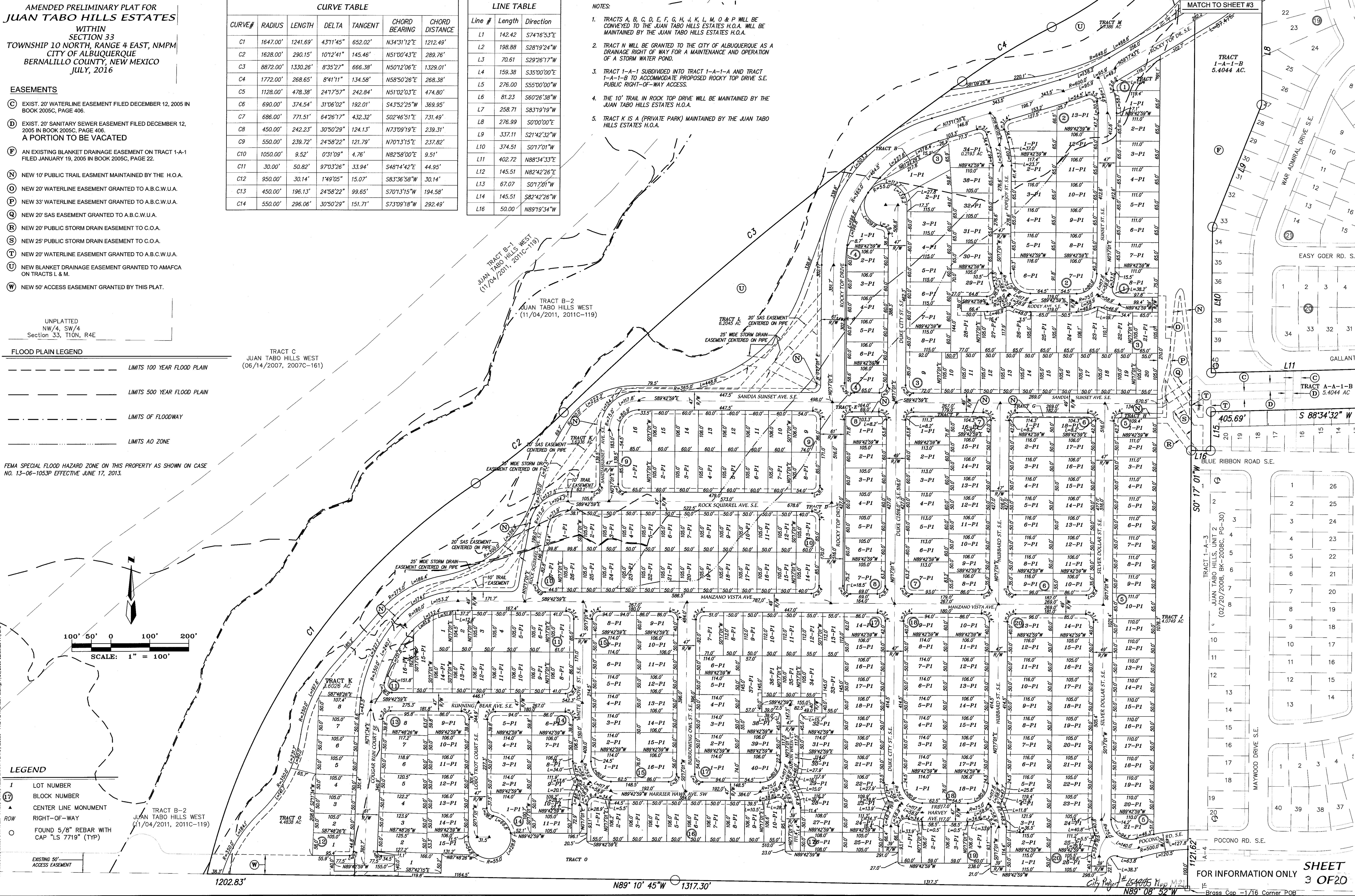
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LINE TABLE

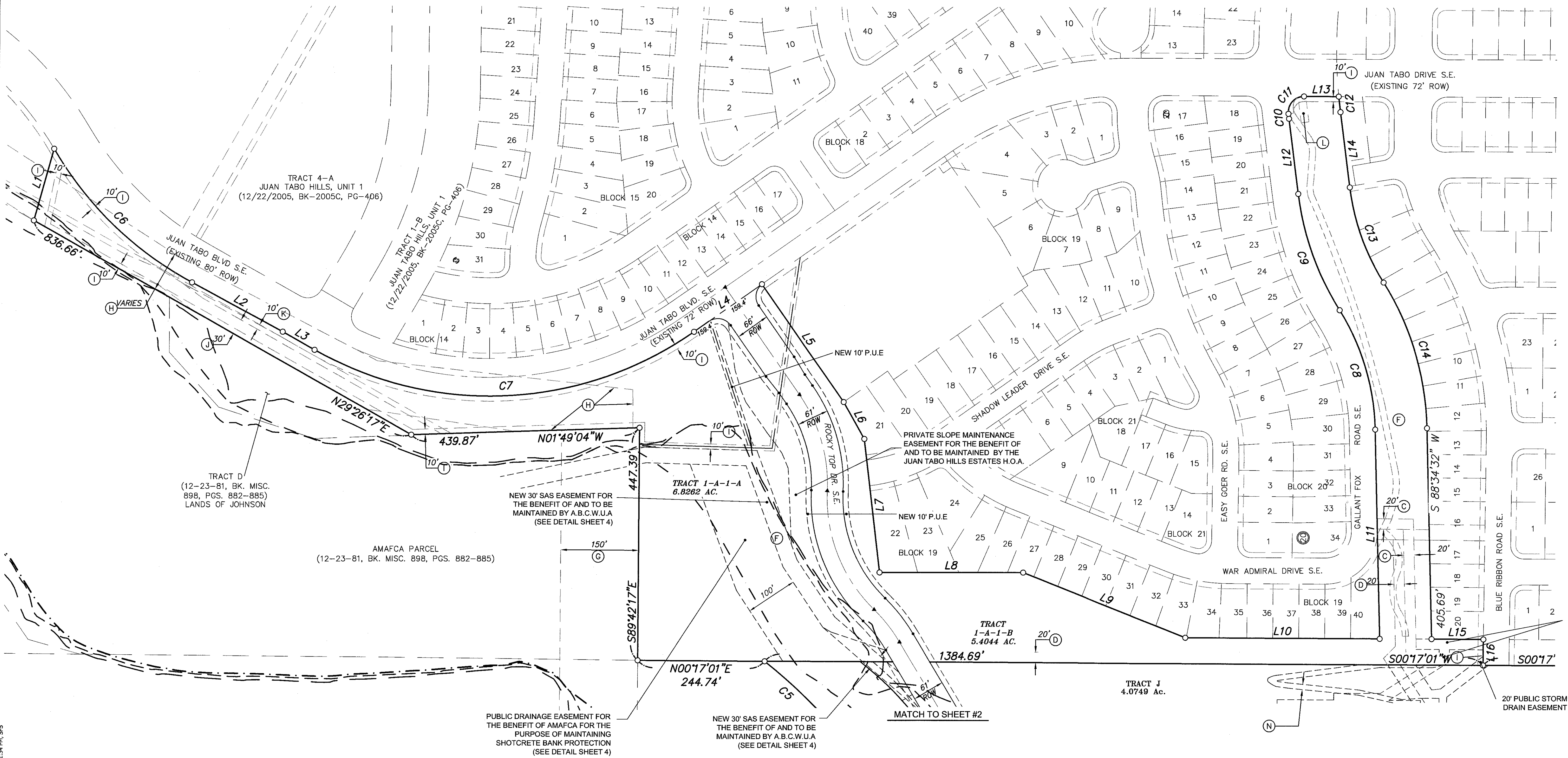
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L3	70.61	S29°26'17"W
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L5	276.00	S55°00'00"W
L6	81.23	S60°26'38"W
L7	258.71	S83°19'19"W
L8	276.99	S0°00'00"E
L9	337.11	S21°42'32"W
L10	374.51	S0°17'01"W
L11	402.72	N88°34'33"E
L12	145.51	N82°42'26"E
L13	67.07	S0°17'01"W
L14	145.51	S82°42'26"W
L16	50.00	N89°19'34"W

NOTES:

- TRACTS A, B, C, D, E, F, G, H, J, K, L, M, O & P WILL BE CONVEYED TO THE JUAN TABO HILLS ESTATES H.O.A. WILL BE MAINTAINED BY THE JUAN TABO HILLS ESTATES H.O.A.
- TRACT N WILL BE GRANTED TO THE CITY OF ALBUQUERQUE AS A DRAINAGE RIGHT OF WAY FOR A MAINTENANCE AND OPERATION OF A STORM WATER POND.
- TRACT 1-A-1 SUBDIVIDED INTO TRACT 1-A-1-A AND TRACT 1-A-1-B TO ACCOMMODATE PROPOSED ROCKY TOP DRIVE S.E. PUBLIC RIGHT-OF-WAY ACCESS.
- THE 10' TRAIL IN ROCKY TOP DRIVE WILL BE MAINTAINED BY THE JUAN TABO HILLS ESTATES H.O.A.
- TRACT K IS A (PRIVATE PARK) MAINTAINED BY THE JUAN TABO HILLS ESTATES H.O.A.

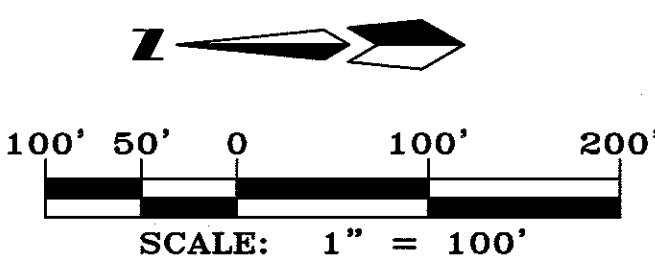


AMENDED PRELIMINARY PLAT FOR
JUAN TABO HILLS ESTATES
WITHIN
SECTION 33
TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2016



PARCEL LINE TABLE		
LINE	BEARING	DISTANCE
L1	S74°16'53"E	142.42'
L2	S28°19'24"W	198.88'
L3	S29°26'17"W	70.61'
L4	S35°00'00"E	159.38'
L5	S55°00'00"W	276.00'
L6	S60°26'38"W	81.23'
L7	S83°19'19"W	258.71'
L8	S0°00'00"E	276.99'
L9	S21°42'32"W	337.11'
L10	S0°17'01"W	374.51'
L11	N88°34'33"E	402.72'
L12	N82°42'26"E	145.51'
L13	S0°17'01"W	67.07'
L14	S82°42'26"W	145.51'
L16	N89°19'34"W	50.00'

CURVE TABLE						
CURVE#	RADIUS	LENGTH	DELTA	TANGENT	CHORD BEARING	CHORD DISTANCE
C2	1772.00'	268.65'	8°41'11"	134.58'	N58°50'26"E	268.38'
C3	8872.00'	1330.26'	8°35'27"	666.38'	N50°12'06"E	1329.01'
C4	1628.00'	290.15'	10°12'41"	145.46'	N51°00'43"E	289.76'
C5	1128.00'	478.38'	24°17'57"	242.84'	N51°02'03"E	474.80'
C6	690.00'	374.54'	31°06'02"	192.01'	S43°52'25"W	369.95'
C7	686.00'	771.51'	64°26'17"	432.32'	S02°46'51"E	731.49'
C8	450.00'	242.23'	30°50'29"	124.13'	N73°09'19"E	239.31'
C9	550.00'	239.72'	24°58'22"	121.79'	N70°13'15"E	237.82'
C10	1050.00'	9.52'	0°31'09"	4.76'	N82°58'00"E	9.51'
C11	30.00'	50.82'	97°03'26"	33.94'	S48°14'42"E	44.95'
C12	950.00'	30.14'	1°49'05"	15.07'	S83°36'58"W	30.14'
C13	450.00'	196.13'	24°58'22"	99.65'	S70°13'15"W	194.58'
C14	550.00'	296.06'	30°50'29"	151.71'	S73°09'18"W	292.49'

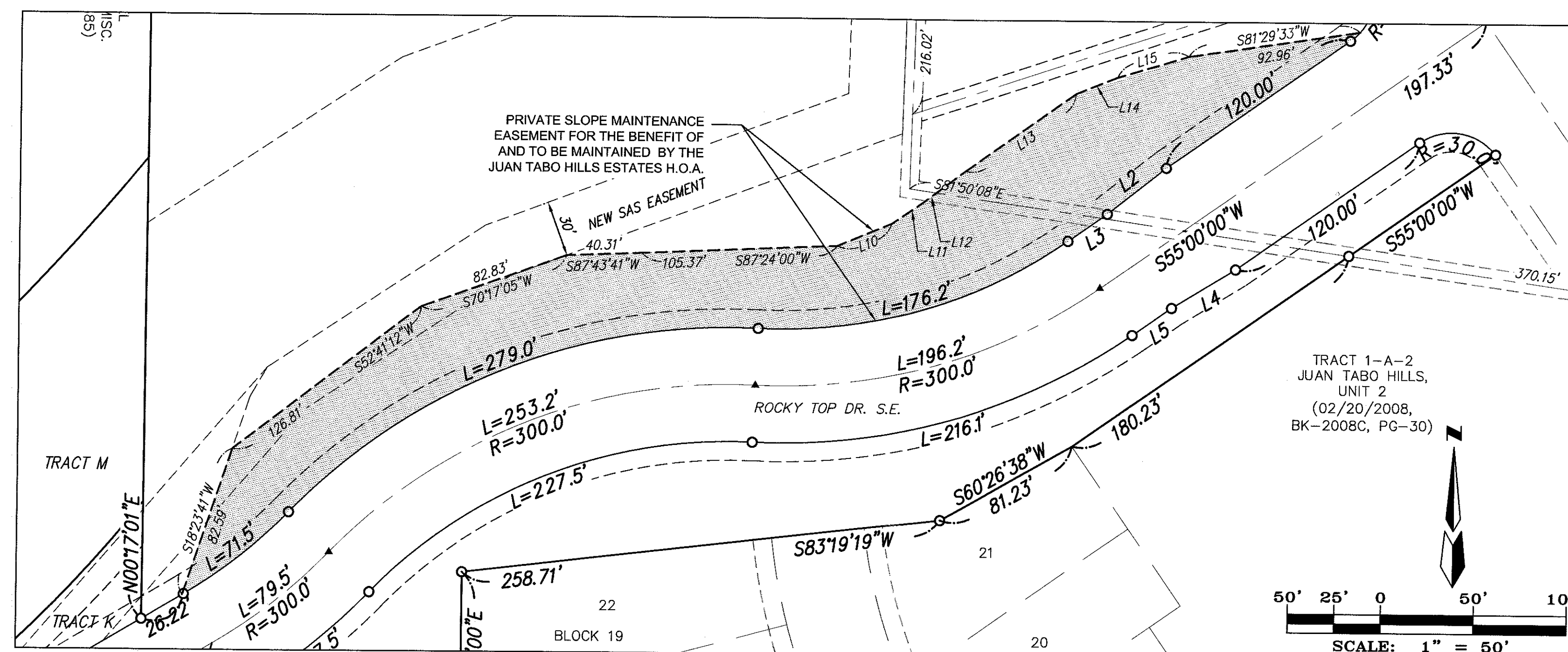
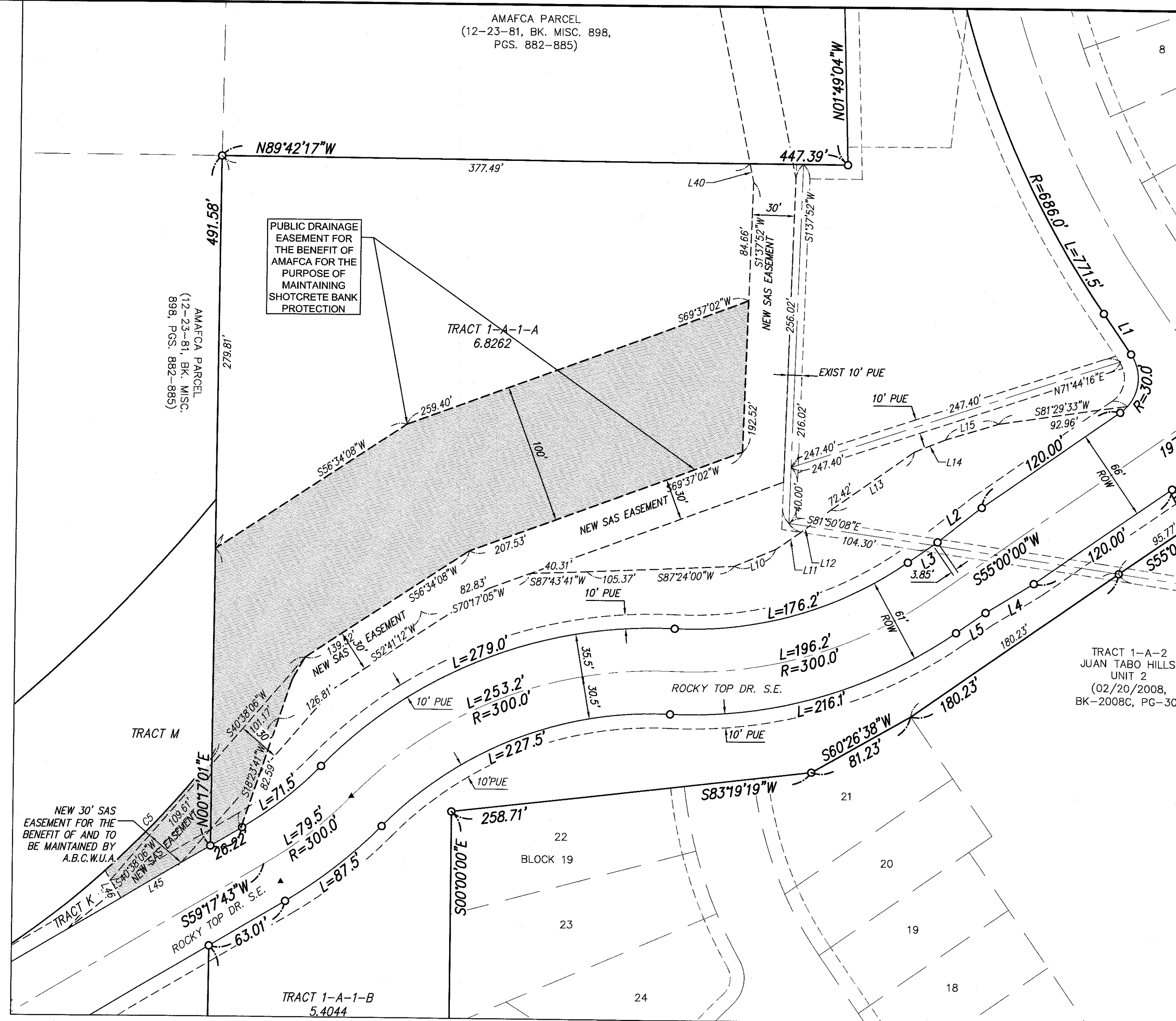
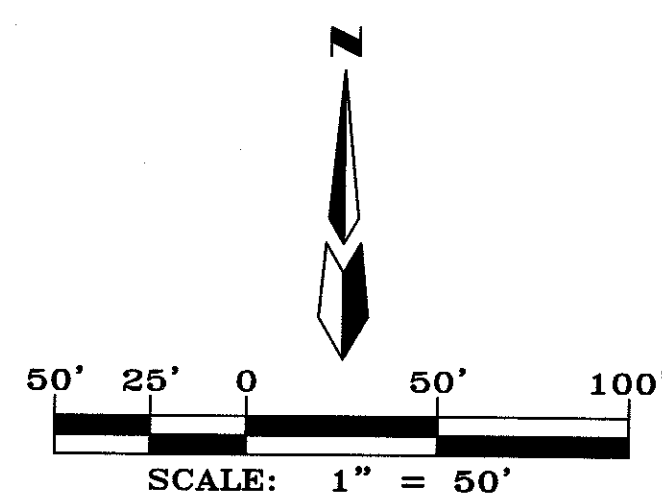


PROPERTY CORNERS
○ FOUND 5/8" REBAR WITH CAP "LS 7719" (TYP)

LEGEND
1 LOT NUMBER
17 BLOCK NUMBER
▲ CENTER LINE MONUMENT
ROW RIGHT-OF-WAY

--- LIMITS 100 YEAR FLOOD PLAIN
--- LIMITS 500 YEAR FLOOD PLAIN
--- LIMITS OF FLOODWAY
--- LIMITS AO ZONE

AMENDED PRELIMINARY PLAT FOR
JUAN TABO HILLS ESTATES
WITHIN
SECTION 33
TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY, 2016



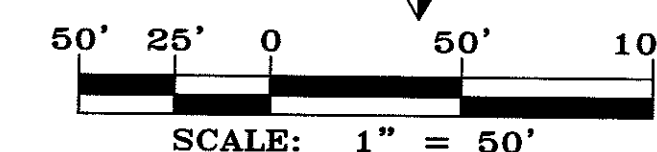
PROPERTY CORNERS

○ FOUND 5/8" REBAR WITH
CAP "LS 7719" (TYP)

LEGEND

1	LOT NUMBER
(17)	BLOCK NUMBER
▲	CENTER LINE MONUMENT
ROW	RIGHT-OF-WAY

TRACT 1-A-2
JUAN TABO HILLS,
UNIT 2
(02/20/2008,
BK-2008C, PG-30)



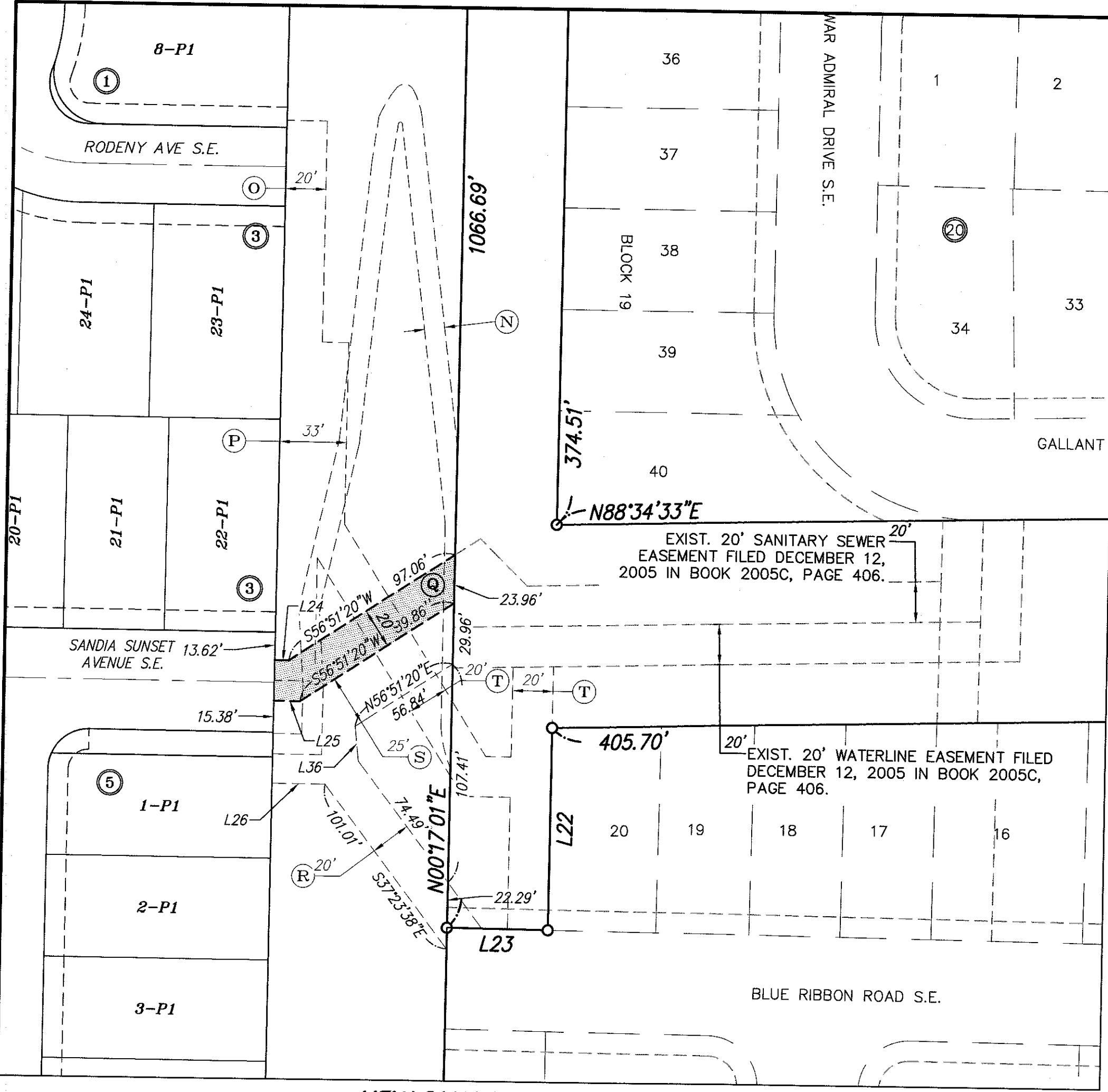
SHEET
5 OF 20

City Project 654885 Map M-21 FOR INFORMATION ONLY

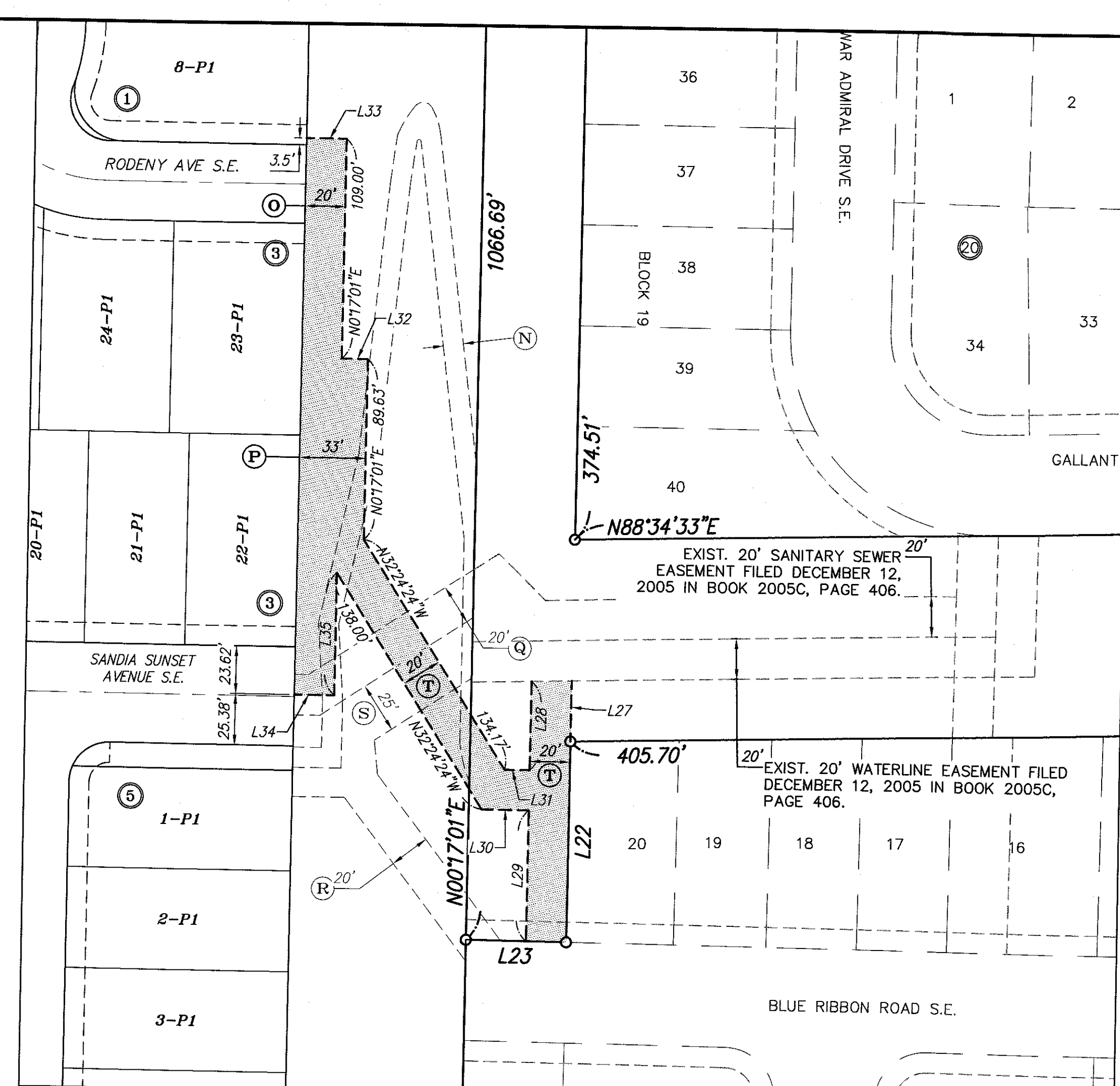
AMENDED PRELIMINARY PLAT FOR
JUAN TABO HILLS ESTATES
 WITHIN
 SECTION 33
 TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2016

Line Table		
Line #	Direction	Length
L24	N89°42'59"W	7.00'
L25	N89°42'59"W	13.00'
L26	S89°35'26"E	26.26'
L27	S0°17'01"W	30.01'
L29	N0°17'01"E	65.07'
L30	N89°42'59"W	23.46'
L32	N89°42'59"W	13.00'
L33	N89°42'59"W	20.00'
L34	N89°42'59"W	20.00'
L36	N6°04'06"W	17.25'
L89	N7°55'02"E	23.12'
L91	S3°58'13"E	37.67'
L92	S0°24'34"W	33.79'
L93	N0°24'34"E	23.40'
L94	N89°35'26"W	24.25'
L95	S89°35'26"E	14.27'
L96	N3°58'13"W	38.74'

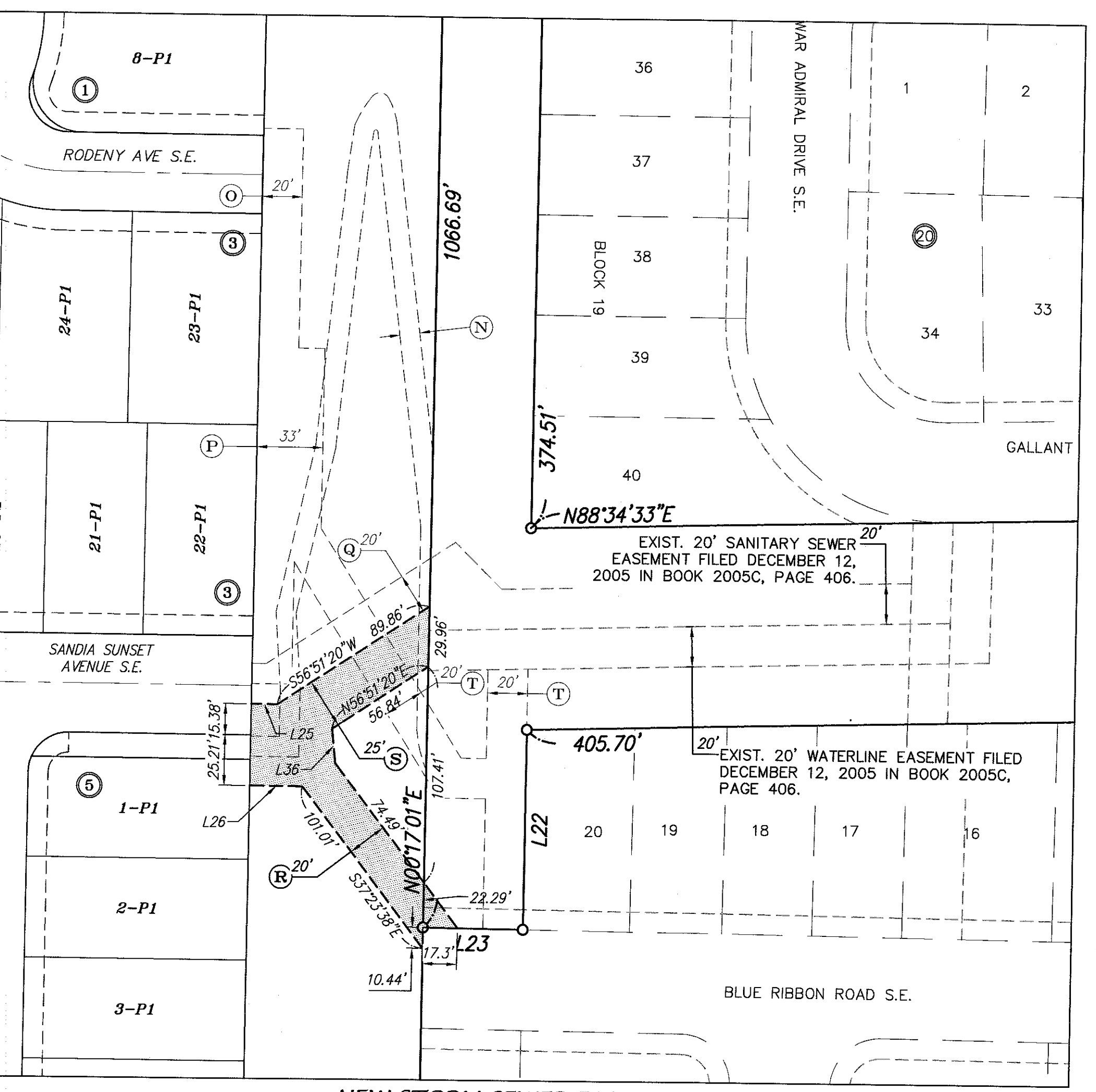
Curve Table				
Curve #	Length	Radius	Delta	Chord B. Chord L.
C51	20.24'	64.56'	17°57'40"	S14°08'57"E 20.15'
C52	13.76'	37.30'	21°07'51"	N19°09'39"W 13.68'
C53	9.70'	5.00'	111°06'52"	N85°17'00"W 8.25'
C54	16.66'	56.50'	16°53'45"	S30°42'41"W 16.60'
C55	2.88'	1.00'	164°54'51"	N89°37'32"W 1.98'



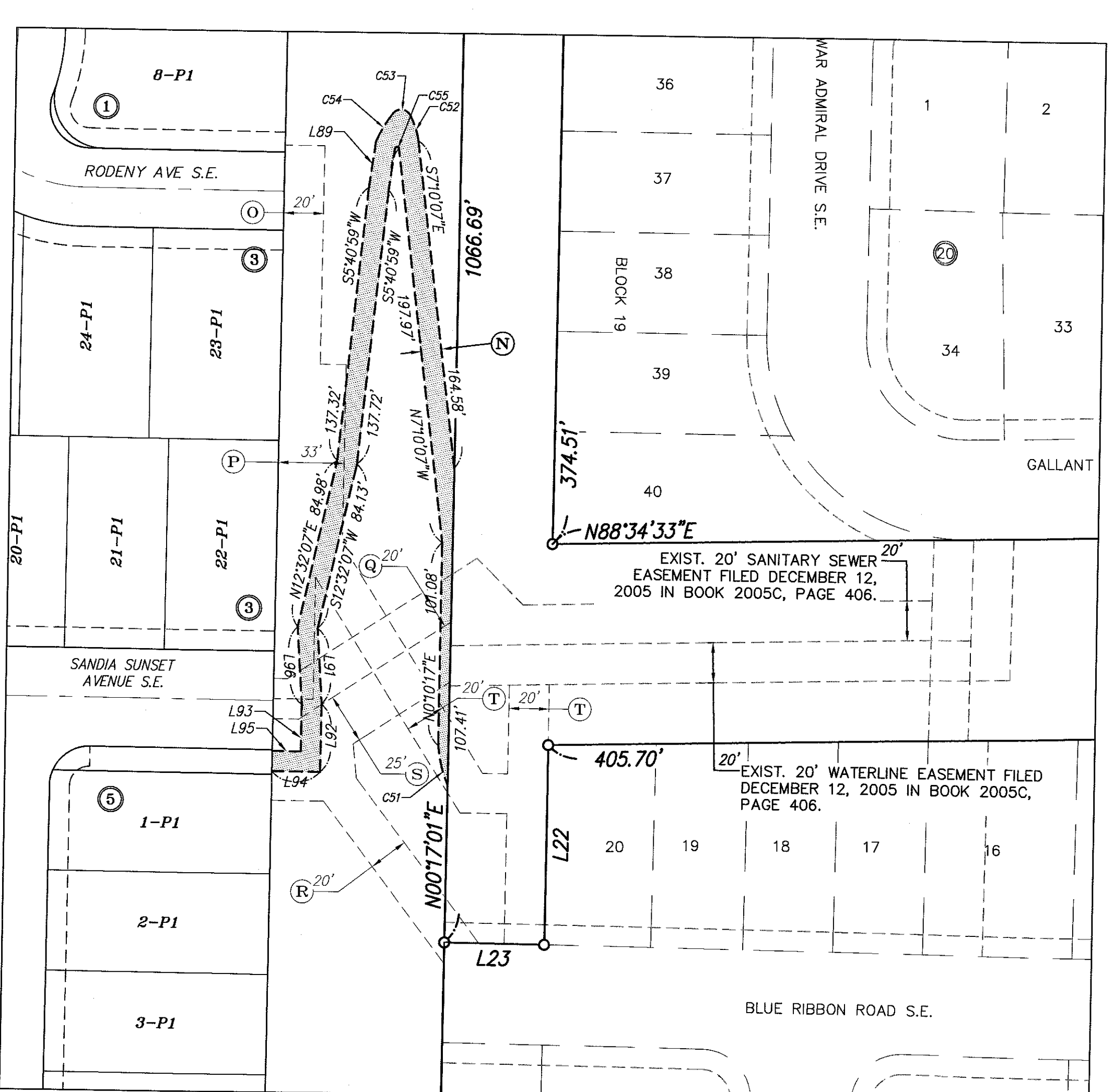
NEW SANITARY SEWER EASEMENTS



NEW WATER LINE EASEMENTS



NEW STORM SEWER EASEMENTS



NEW TRAIL EASEMENTS

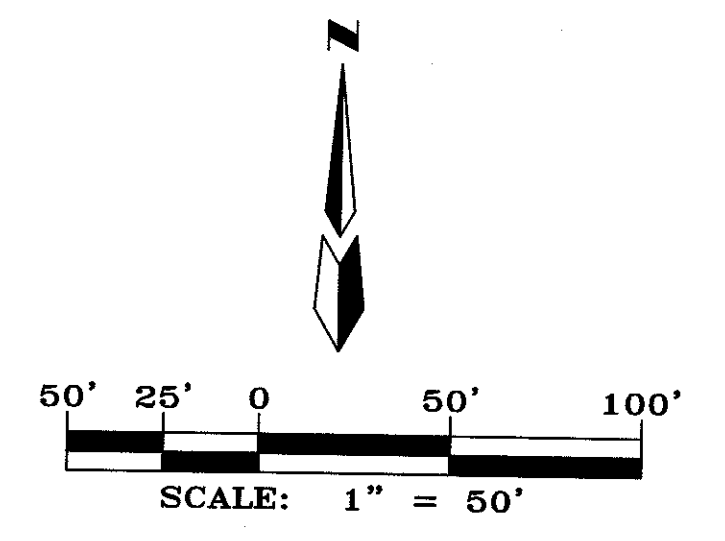
- (N) NEW 10' PUBLIC TRAIL EASMENT TO BE MAINTAINED BY H.O.A.
- (O) NEW 20' WATERLINE EASEMENT GRANTED TO A.B.C.W.U.A.
- (P) NEW 33' WATERLINE EASEMENT GRANTED TO A.B.C.W.U.A.
- (Q) NEW 20' SAS EASEMENT GRANTED TO A.B.C.W.U.A.
- (R) NEW 20' PUBLIC STORM DRAIN EASEMENT
- (S) NEW 25' PUBLIC STORM DRAIN EASEMENT
- (T) NEW 20' WATERLINE EASEMENT GRANTED TO A.B.C.W.U.A.

PROPERTY CORNERS

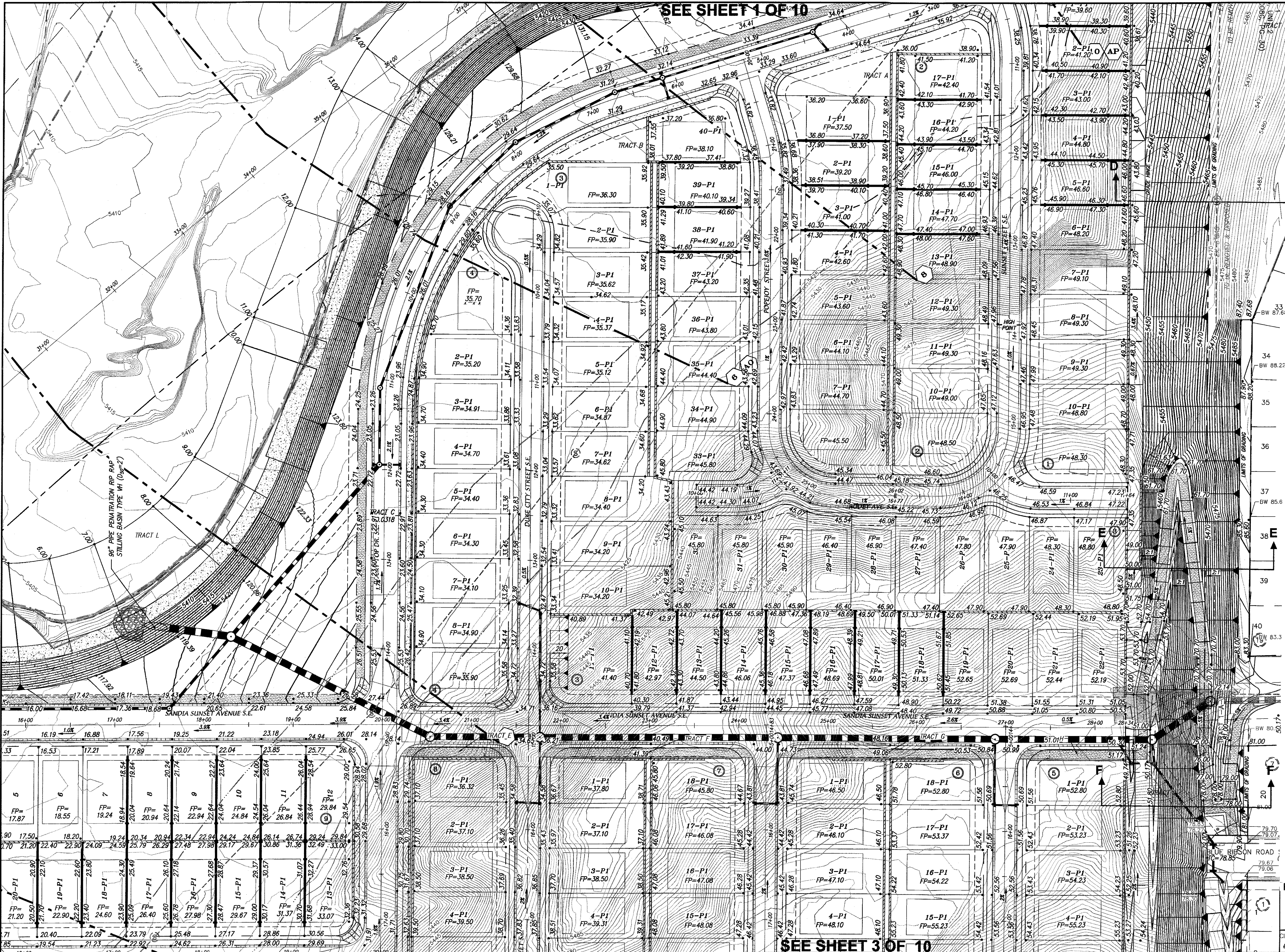
- FOUND 5/8" REBAR WITH CAP "LS 7719" (TYP)

LEGEND

- I LOT NUMBER
- (17) BLOCK NUMBER
- ▲ CENTER LINE MONUMENT
- ROW RIGHT-OF-WAY



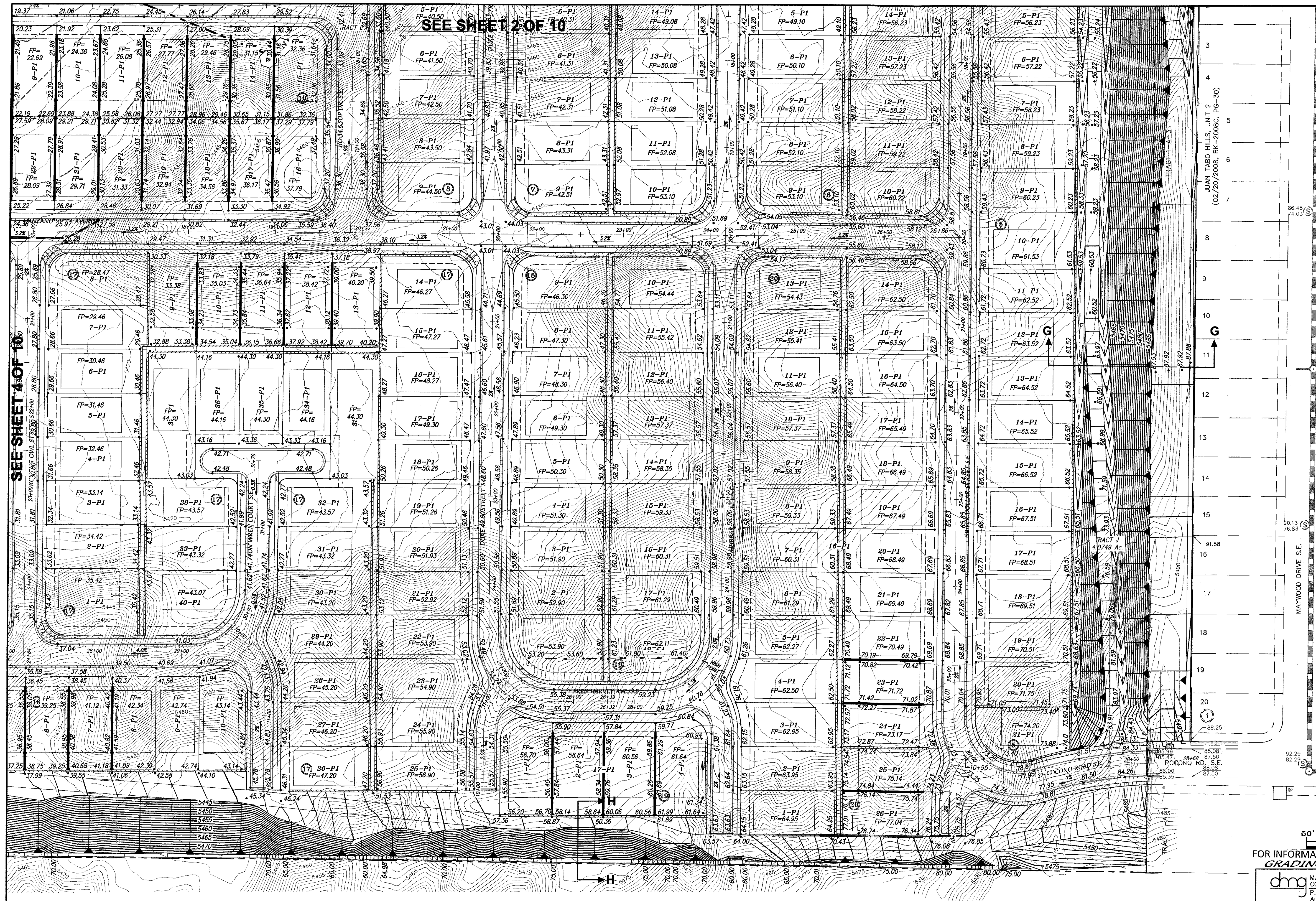
C:\Project\654085 Map H-21



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GRADING & DRAINAGE PLAN
FOR INFORMATION ONLY
dmg
MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 797-9539
CITY PROJECT NO. 654885 ZONE MAP NO. M-21-Z SHEET 8 OF 20



AS BUILT INFORMATION

STATION 5+022 IS LOCATED 8.7 MI. SE OF DOWNTOWN ALBUQUERQUE ON THE EAST SIDE OF THE MUNICIPAL LIMITS LINE IN THE FOUR HILLS SUBDIVISION AREA. STATION IS 600 FT. EAST OF MUNICIPAL LIMITS LINE, 77.9' SE OF POWER POLE #537 & 186.0' NW OF POWER POLE #60. STATION IS A STANDARD ICS BRASS DISK SET IN A CONCRETE MONUMENT IN THE GROUND. STATION IS STAMPED "5+022".
N= 1,564,263.207, Y= 1,475,922.595, (NAD 83), Z= 5597.219 (NAVD 1988)

CONTRACTOR
WORK
STAMPED BY
DATE
APPROVED BY
DATE
FIELD
DATE
DRAWN BY
DATE
CHECKED BY
DATE

SURVEY INFORMATION

FIELD NOTES

NO.

BY

DATE

ENGINEER'S SEAL

DESIGNED BY
DATE
DRAWN BY
DATE
CHECKED BY
DATE

REVISIONS

NO.

DATE

REVISIONS

DESIGN

DATE

FOR INFORMATION ONLY 1" = 50'

GRADING & DRAINAGE PLAN

dmg

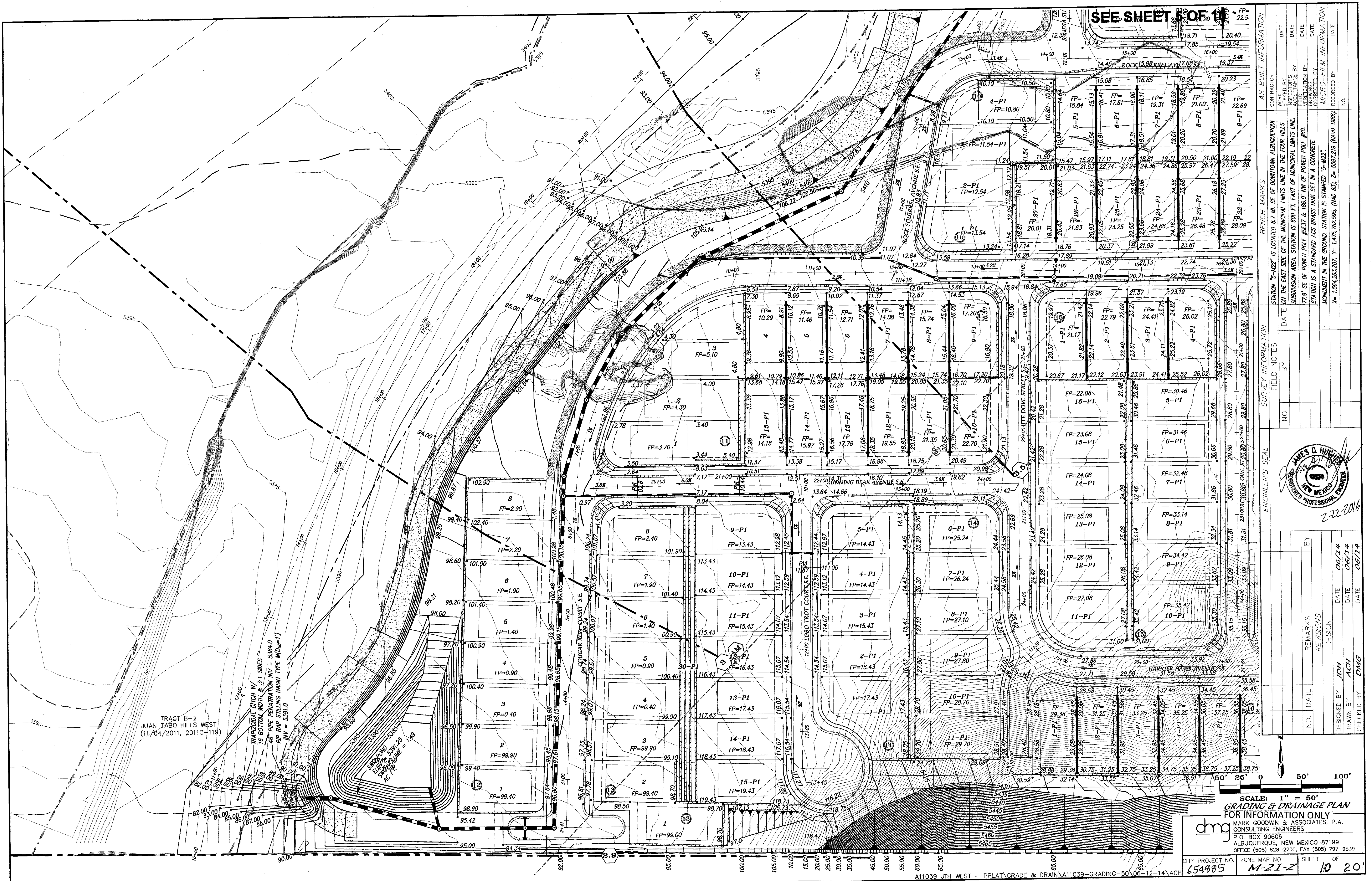
MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 797-9539

CITY PROJECT NO. 654889

ZONE MAP NO. M-21-Z

SHEET 9 OF 20

P:\AL\2016\11039 JTH WEST - PPLAT\GRADE & DRAIN\11039-GRADING-50.06-12-14\ACH 2/10/2016 3:58:57 PM



THE CONTRACTOR(S) MUST COMPLY WITH NPDES TEMPORARY CONSTRUCTION REQUIREMENTS AND OBTAIN A PERMIT. CONTRACTOR SHALL ALSO PROVIDE A COPY OF THE APPLICATION FOR PERMIT AND NOTICE OF TERMINATION TO THE OWNER.

THE CONTRACTOR(S) IS RESPONSIBLE FOR PREPARING AND MAINTAINING A SWPPP FOR THE DURATION OF INFRASTRUCTURE CONSTRUCTION AND UNTIL THE CITY OF ALBUQUERQUE ACCEPTS THE PUBLIC INFRASTRUCTURE. CONTRACTOR SHALL PROVIDE THE OWNER WITH A COPY OF THE SWPPP AT THE BEGINNING OF THE PROJECT AND AT THE TIME OF NOTICE OF TERMINATION.

THE CONTRACTOR(S) IS RESPONSIBLE FOR CONSTRUCTING AND MAINTAINING EROSION CONTROLS FOR THE DURATION OF THE CONSTRUCTION OF THE PUBLIC INFRASTRUCTURE AND FOR THE REMOVAL OF THE EROSION CONTROLS WHERE DIRECTED TO DO SO BY THE OWNER AT THE TIME OF NOTICE OF TERMINATION.

THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKING AND IS TO PROVIDE AN AS-BUILT SURVEY CERTIFIED BY A REGISTERED PROFESSIONAL SURVEYOR TO THE OWNER UPON COMPLETION OF THE CONSTRUCTION. THE EARTHWORK CONTRACTOR IS TO PROVIDE EARTHWORK SURVEY, AND THE WALL BUILDER IS TO PROVIDE WALL SURVEY.

EARTHWORK CONTRACTOR SHALL PREPARE ROUGH SUBGRADE FOR THE RETAINING WALL CONSTRUCTION AND PROVIDE SUFFICIENT BACKFILL MATERIAL STOCKPILED ON THE HIGH SIDE OF EACH WALL FOR THE WALL BUILDER TO COMPLETELY BACKFILL THE WALLS.

RETAINING WALLS ARE SHOWN FOR GRADING PURPOSES ONLY. RETAINING WALL DESIGN IS TO BE PERFORMED BY OTHERS, AND SHALL BE SUBMITTED TO THE CITY OF ALBUQUERQUE FOR REVIEW, APPROVAL, PERMIT, AND INSPECTION

EARTHWORK CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION BY GEOTECH, INC. DATED JUNE 29, 2012.

TOPOGRAPHIC AND BOUNDARY SURVEY ARE BY ALDRICH LAND SURVEYING NOVEMBER 2011.

BENCHMARK IS AGRS BRASS CAP STAMPED "7-M21" HAVING AN ELEVATION OF 5498.07 (NGVD29).

FEMA SPECIAL FLOOD HAZARD ZONE ON THIS PROPERTY AS SHOWN ON LOMR CASE NO. 13-06-1053P EFFECTIVE JUNE 17, 2013.

_____ LIMITS 100 YEAR FLOOD PLAIN

_____ LIMITS 500 YEAR FLOOD PLAIN

_____ LIMITS OF FLOODWAY

_____ LIMITS AO ZONE

Diagram of Section A-A (NO SIDYARD WALL). The diagram shows two rectangular structures labeled "PAD" separated by a gap. The left PAD has a width of 5' and a height of 0.3' MIN. The right PAD has a width of 5' and a height of 0.3' MIN. The gap between them is 1.0' MAX. The total width of the section is 10'. The diagram includes various offsets and dimensions: 0.8' and 0.55' at the top; 0.5' and 0.3' on the right side; 0.5' and 0.2' on the left side; 0.10' and 0.00' at the bottom; and 0.99' MAX at the bottom left. A 2.0% slope is indicated at the bottom left. Section A-A is marked with arrows pointing to the center of each PAD.

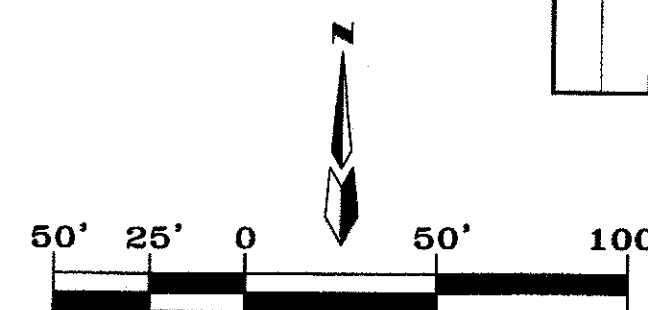
[illegible]

SEE SHEET 6 OF 10

SEE SHEET 2 & 3 OF 10

SEE SHEET 4 OF 10

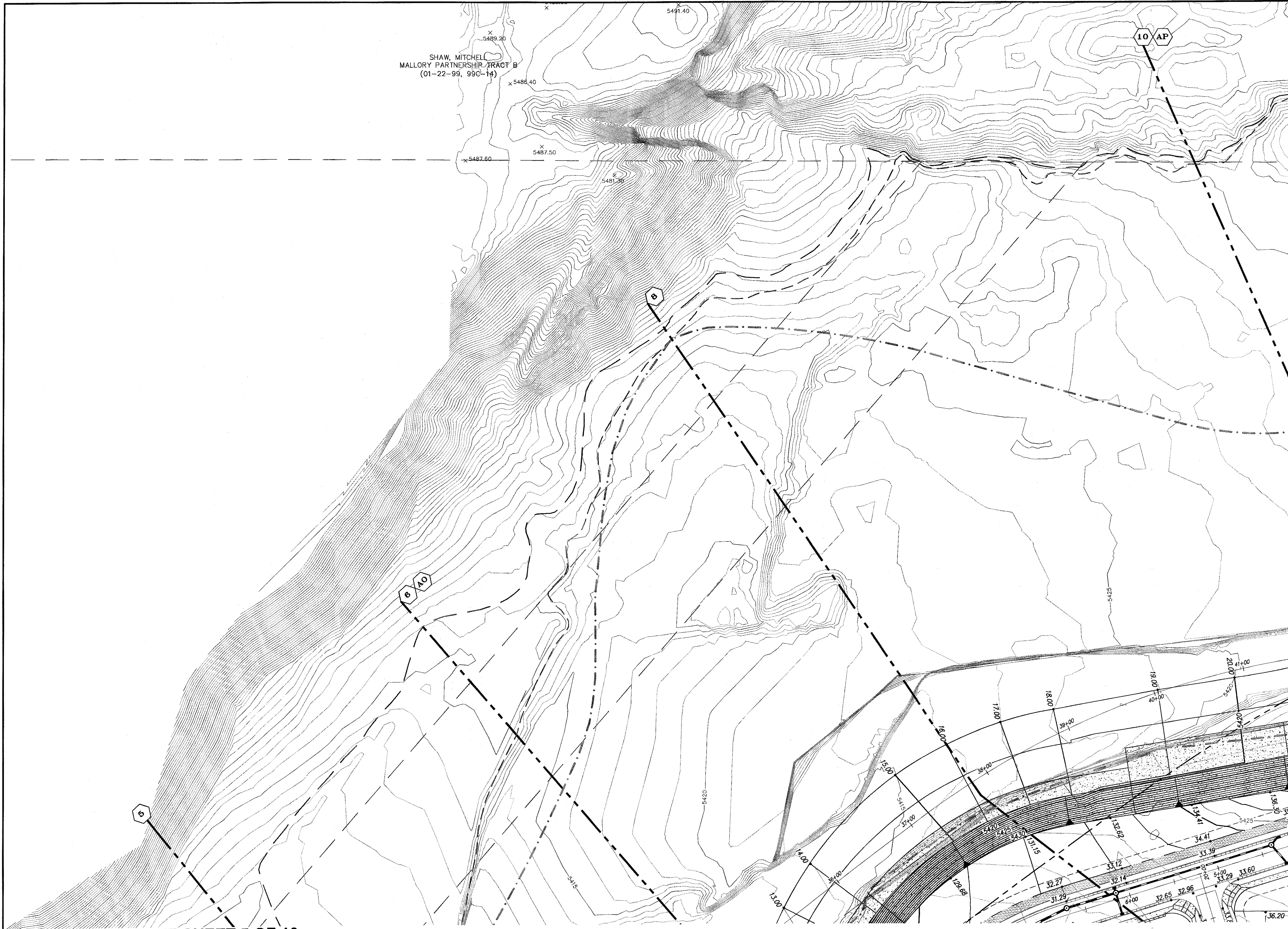
ENGINEER'S SEAL				SURVEY INFORMATION			BENCH MARKS			AS BUILT INFORMATION		
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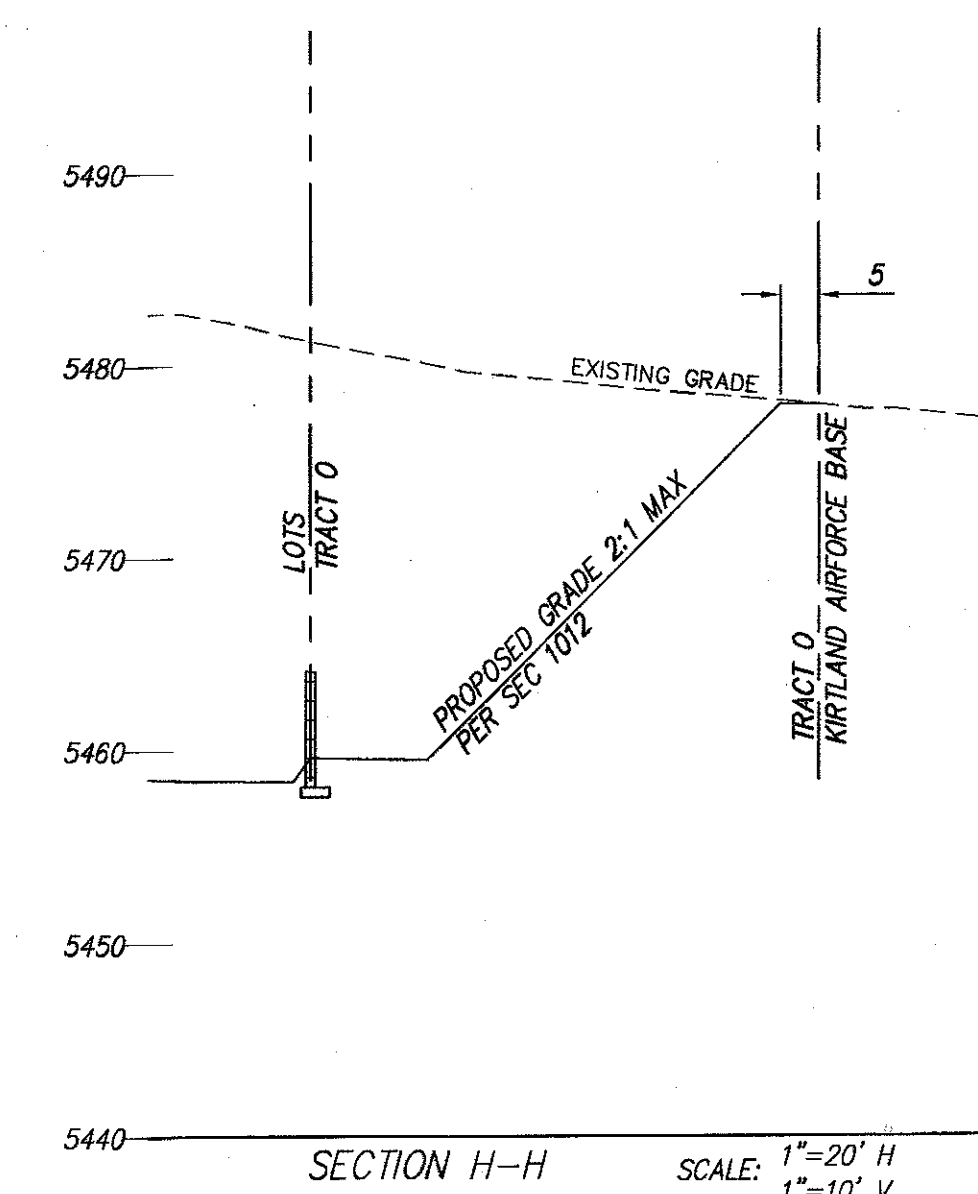
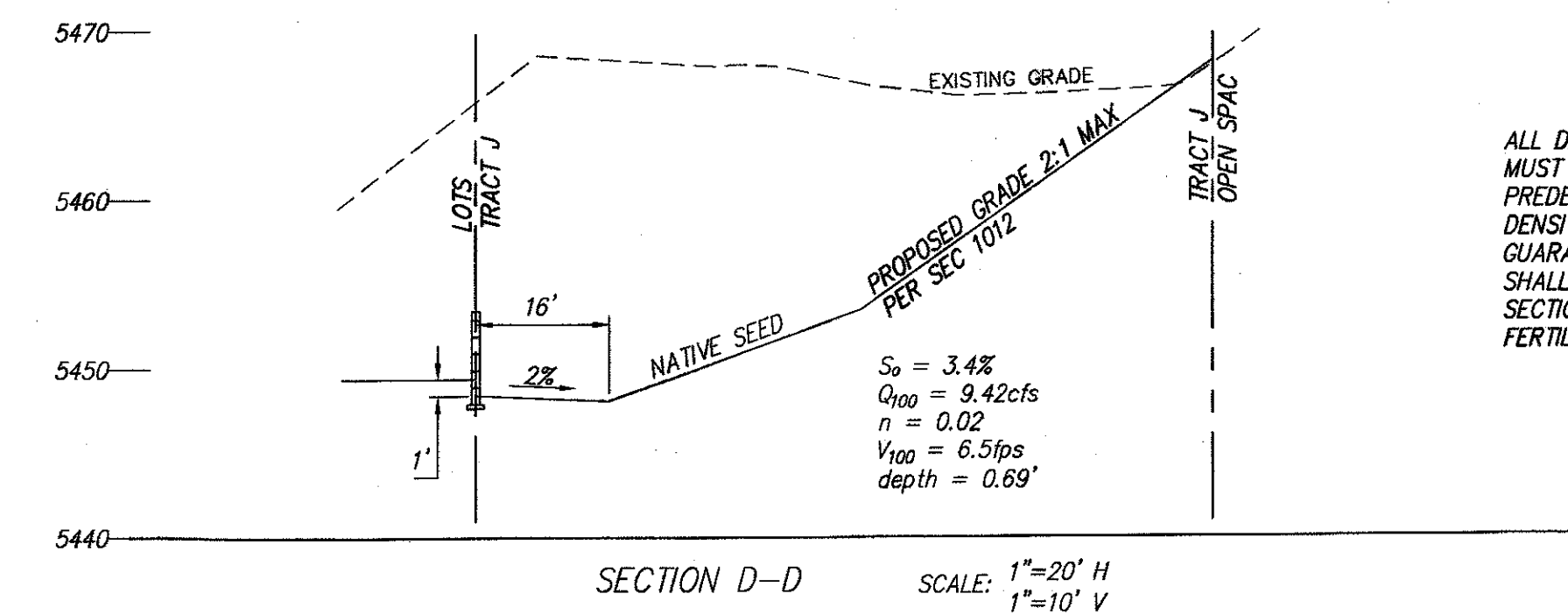
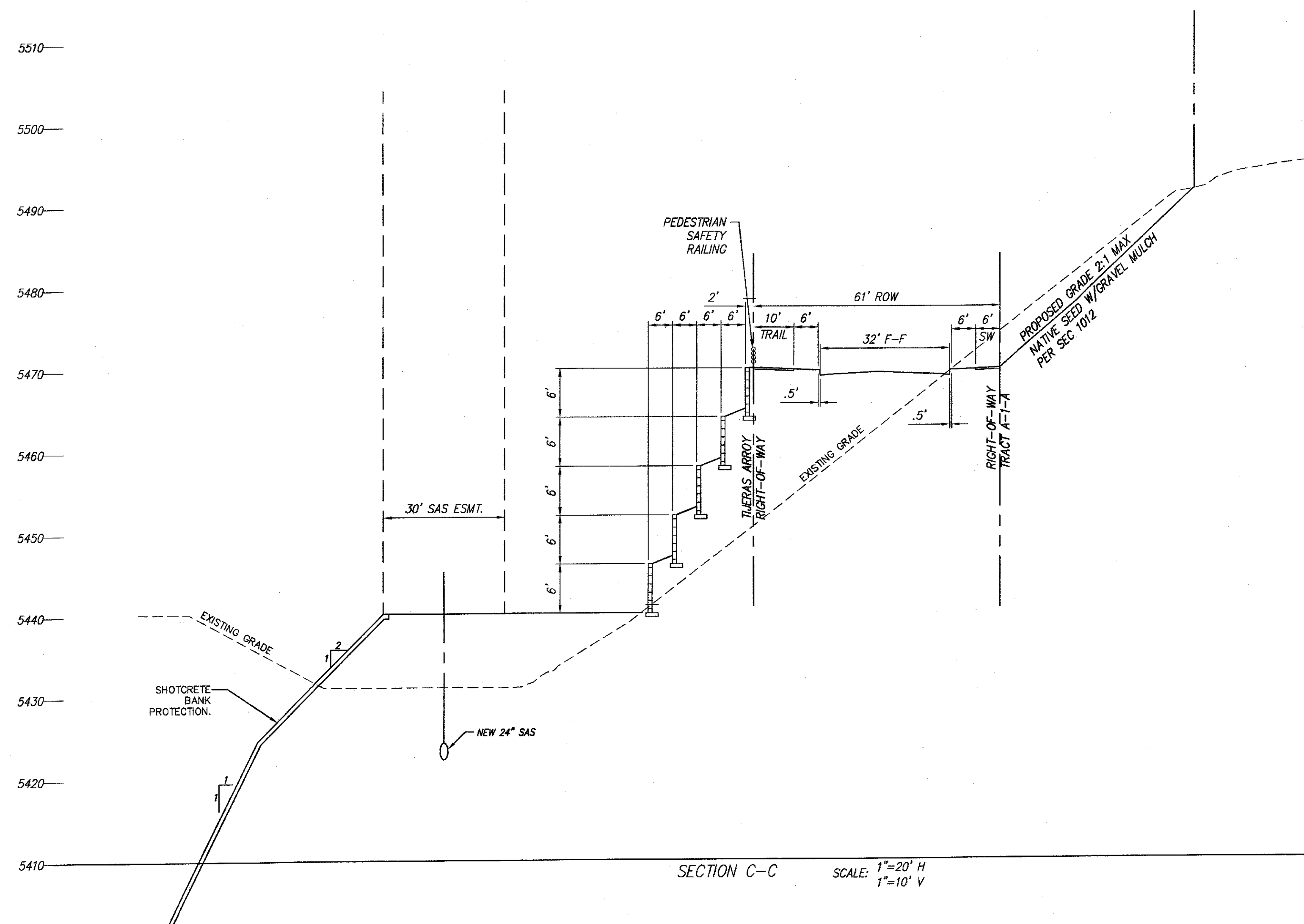
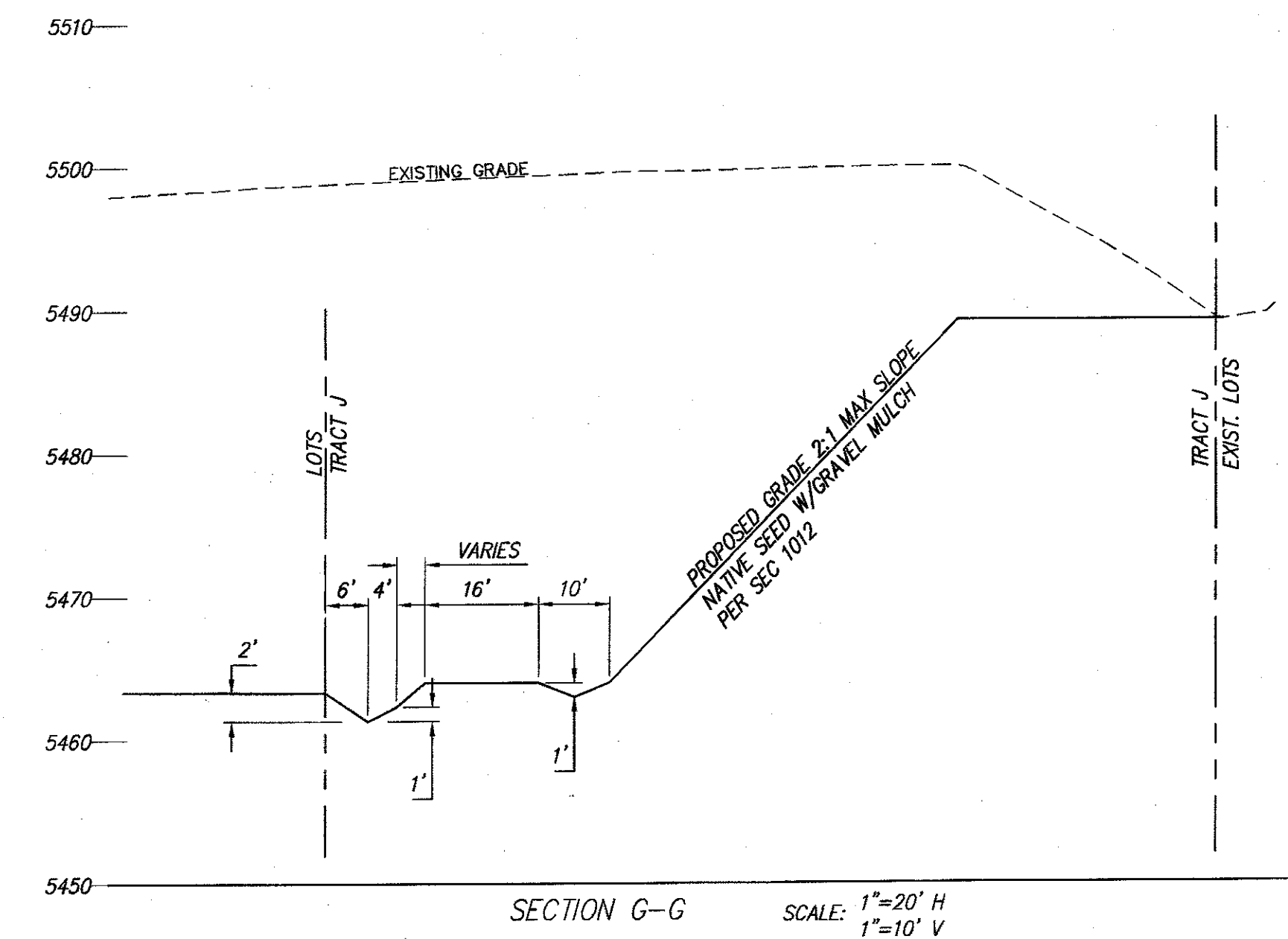
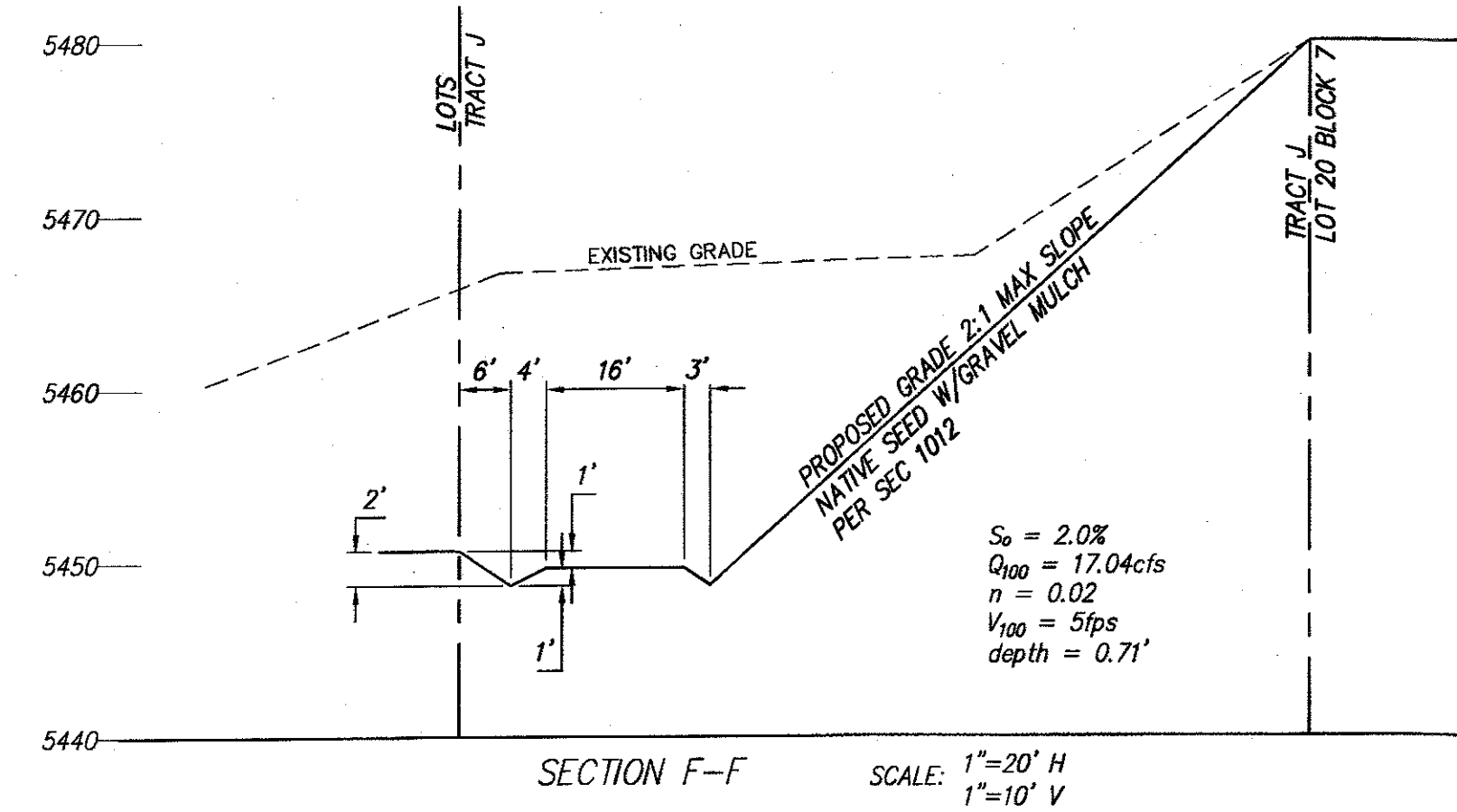
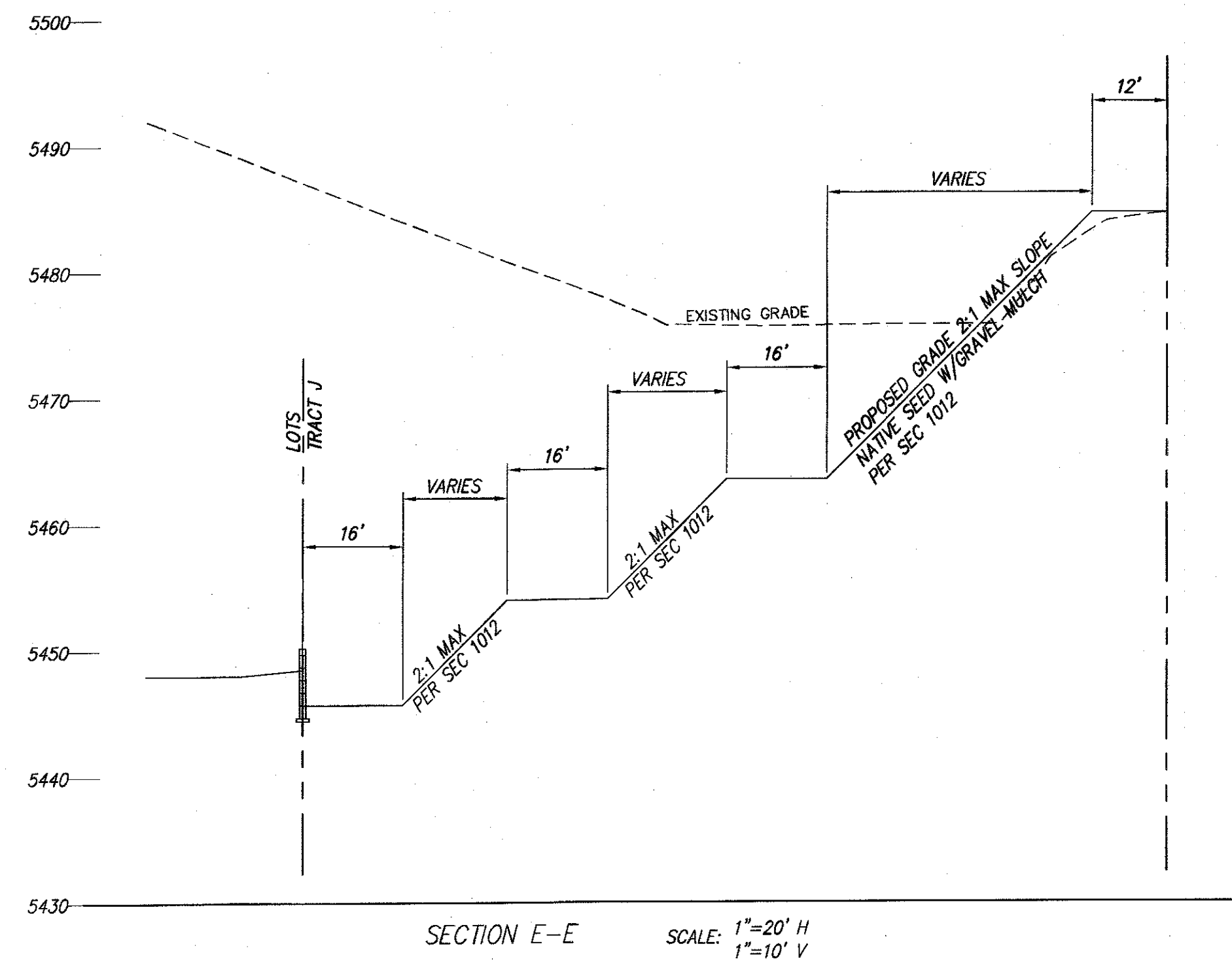


FOR INFORMATION ONLY
GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 797-9539

PROJECT NO. 654885	ZONE MAP NO. M-21-Z	SHEET 11 OF 20
-----------------------	------------------------	----------------





ALL DISTURBED AREA IN TRACT J AND O
MUST BE REVEGETATED TO 70% OF
PREDEVELOPMENT GROUND COVER
DENSITY PRIOR TO RELEASE OF FINANCIAL
GUARANTEES, NATIVE SEED AND MULCH
SHALL BE APPLIED IN ACCORDANCE WITH
SECTION 1012 AND WILL INCLUDE
FERTILIZER AND SUPPLEMENTAL WATER.

[illegible]

JUAN TABO HILLS ESTATES
GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 797-9539

**THIS SHEET IS FOR
INFORMATION ONLY**

CITY PROJECT NO. 54885	ZONE MAP NO. M-21-Z	SHEET OF 13 20
---------------------------	------------------------	-------------------

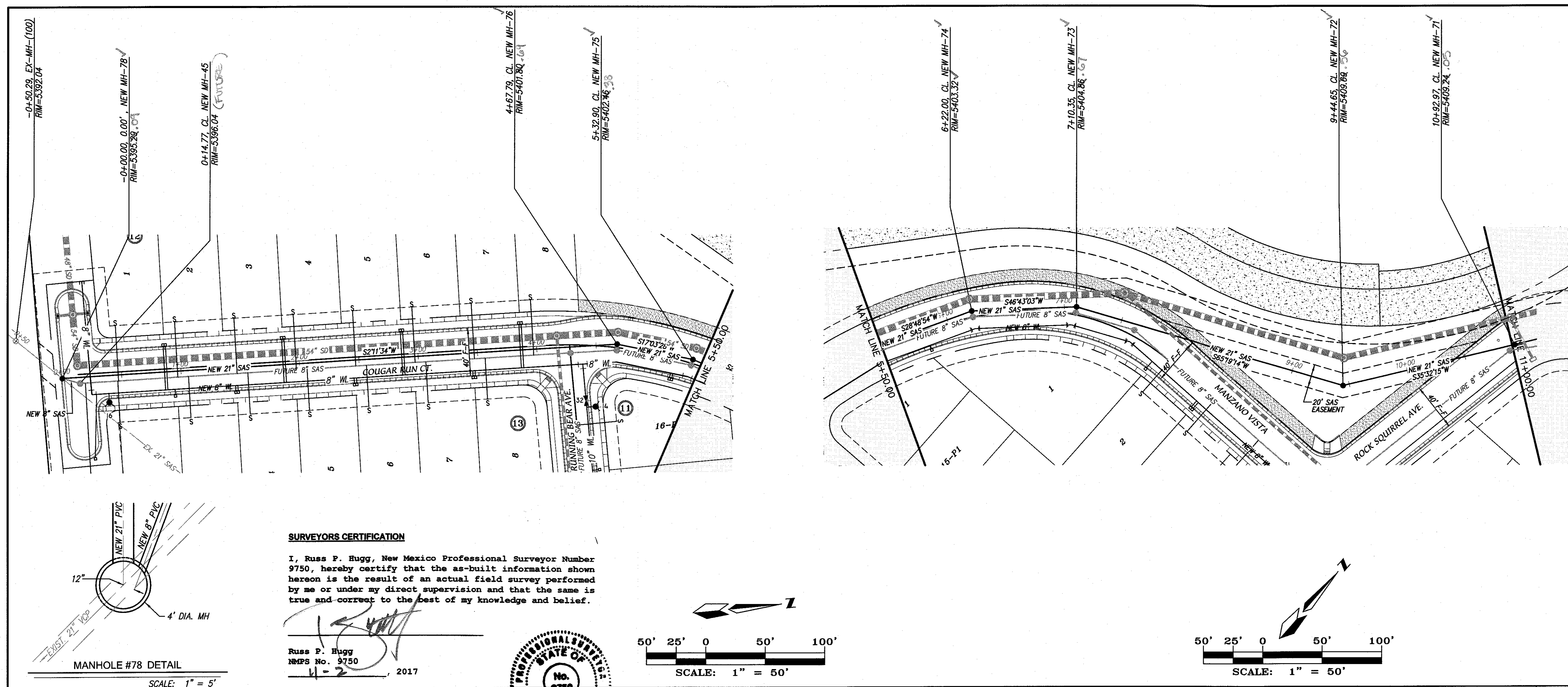
SURVEY INFORMATION		FIELD NOTES		BENCH MARKS		AS BUILT INFORMATION		
NO.	BY	DATE	STATION "5-M22" IS LOCATED 8.7 MI. SE OF DOWNTOWN ALBUQUERQUE ON THE EAST SIDE OF THE MUNICIPAL LIMITS LINE IN THE FOUR HILLS SUBDIVISION AREA. STATION IS 600 FT. EAST OF MUNICIPAL LIMITS LINE, 77.9' SE OF POWER POLE #5337 & 188.0' NW OF POWER POLE #60. STATION IS A STANDARD AIS BRASS DISK SET IN A CONCRETE MONUMENT IN THE GROUND. STATION IS STAMPED "5-M22". X= 1,564,263.207, Y= 1,475,762.595, (NAD 83), Z= 5597.219 (NAID 1988)	CONTRACTOR	WORK STATED BY	DATE	INSPECTOR'S FIELD REFERENCE BY	DATE
				DRAWINGS CONSULTED BY	DATE	MICRO-FILM INFORMATION		
				RECORDED BY	DATE			
				NO.				

I, Diane Hoelzer, NMPE 11967, of the firm Mark Goodwin & Associates, PA, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by Russ Hugg NMPS number 9750.

	CITY OF ALBUQUERQUE PLANNING DEPARTMENT	123456789101112												
TITLE: JUAN TABO HILLS ESTATES MAIN SEWER TRUNK														
DESIGN REVIEW COMMITTEE APPROVED FEB 21 2017 DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL APPROVED MAR 13 2017 CITY ENGINEER	LAST DESIGN UPDATE <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;">MO./DAY/YR.</th> <th style="width: 50%;">MO./DAY/YR.</th> </tr> </thead> <tbody> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </tbody> </table>	MO./DAY/YR.	MO./DAY/YR.										
MO./DAY/YR.	MO./DAY/YR.													
CITY PROJECT NO. 654885	ZONE MAP NO. M-21	SHEET 14 OF 20												

100' 50' 0 100' 200'

SCALE: 1" = 100'

[illegible]

CERTIFICATE OF SUBSTANTIAL COMPLIANCE
I, Diane Hoelzer, NMPE #11987, of the firm Mark Goodwin & Associates, PA, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me in the attached build correction drawing. This inspection is based on site inspections by me or personnel under my direction, and survey information provided by Russ Hugg NMPS number 9750.

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199

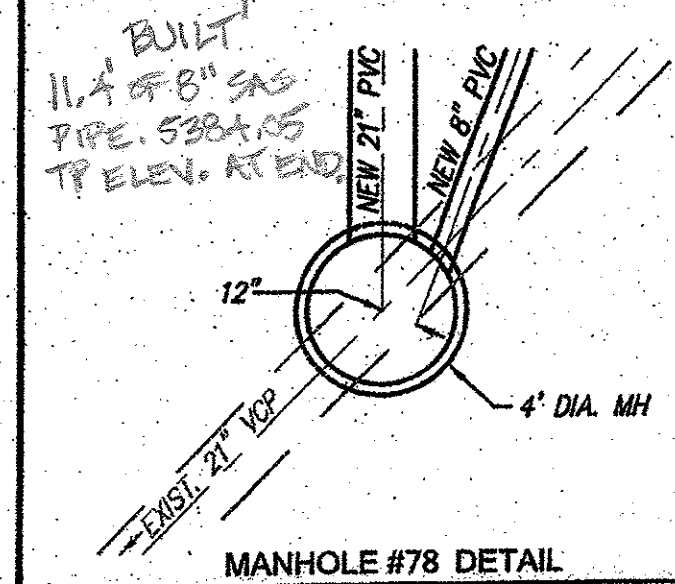
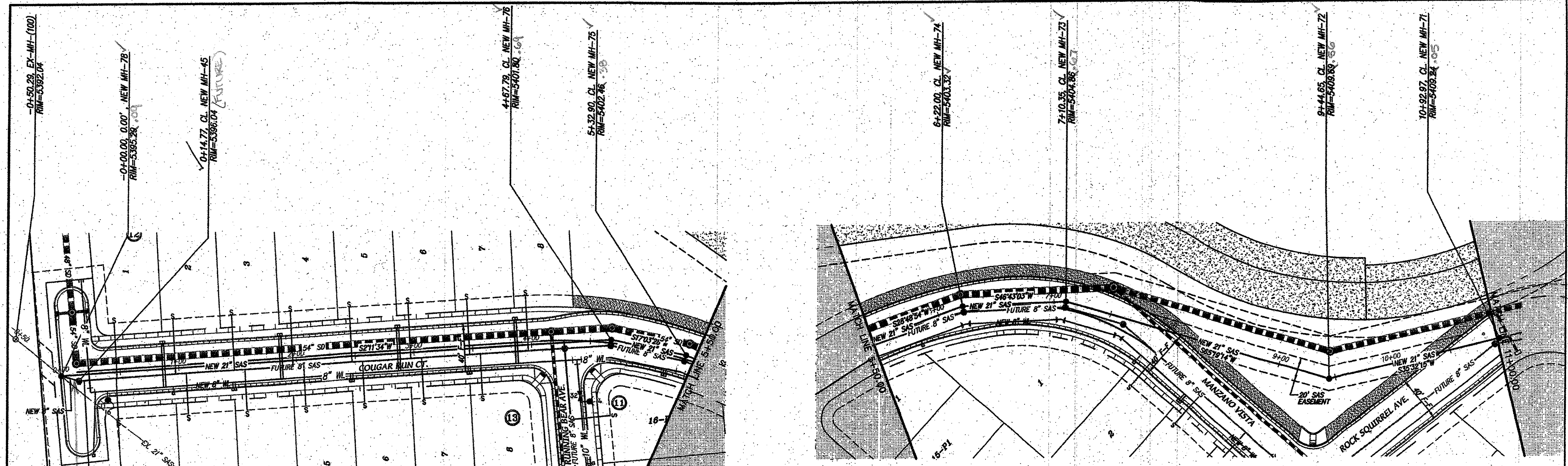
	CITY OF ALBUQUERQUE PLANNING DEPARTMENT
TITLE:	<i>JUAN TABO HILLS ESTATES MAIN SEWER TRUNK PLAN AND PROFILE PLAN</i>

DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL		LAST DESIGN UPDATE	
APPROVED		APPROVED		MO./DAY/YR.	MO./DAY/YR.
FEB 21 2017		MAR 13 2017			
DESIGN REVIEW COMMITTEE		CITY ENGINEER			

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
654885	M-21-Z	15	20

ENGINEER'S SEAL	SURVEY INFORMATION		BENCH MARKS	AS BUILT INFORMATION	
	NO.	FIELD NOTES		CONTRACTOR	SALES
		DATE	STATION "5-M22" IS LOCATED 8.7 MI. SE OF DOWNTOWN ALBUQUERQUE ON THE EAST SIDE OF THE MUNICIPAL LIMITS LINE IN THE FOUR HILLS SUBDIVISION AREA. STATION IS 600 FT. EAST OF MUNICIPAL LIMITS LINE, 77.9' SE OF POWER POLE #3537 & 186.0' NW OF POWER POLE #60. STATION IS A STANDARD A/C'S BRASS DISK SET IN A CONCRETE MONUMENT IN THE GROUND. STATION IS STAMPED "5-M22".	WORK STARTED BY	DATE
		BY		INSPECTED BY	DATE
				ACCEPTANCE BY	DATE
				FIELD VERIFICATION BY	DATE
				DISCREPANCIES CORRECTED BY	DATE
			MICRO-FILM INFORMATION		
			RECORDED BY	DATE	
			NO.		

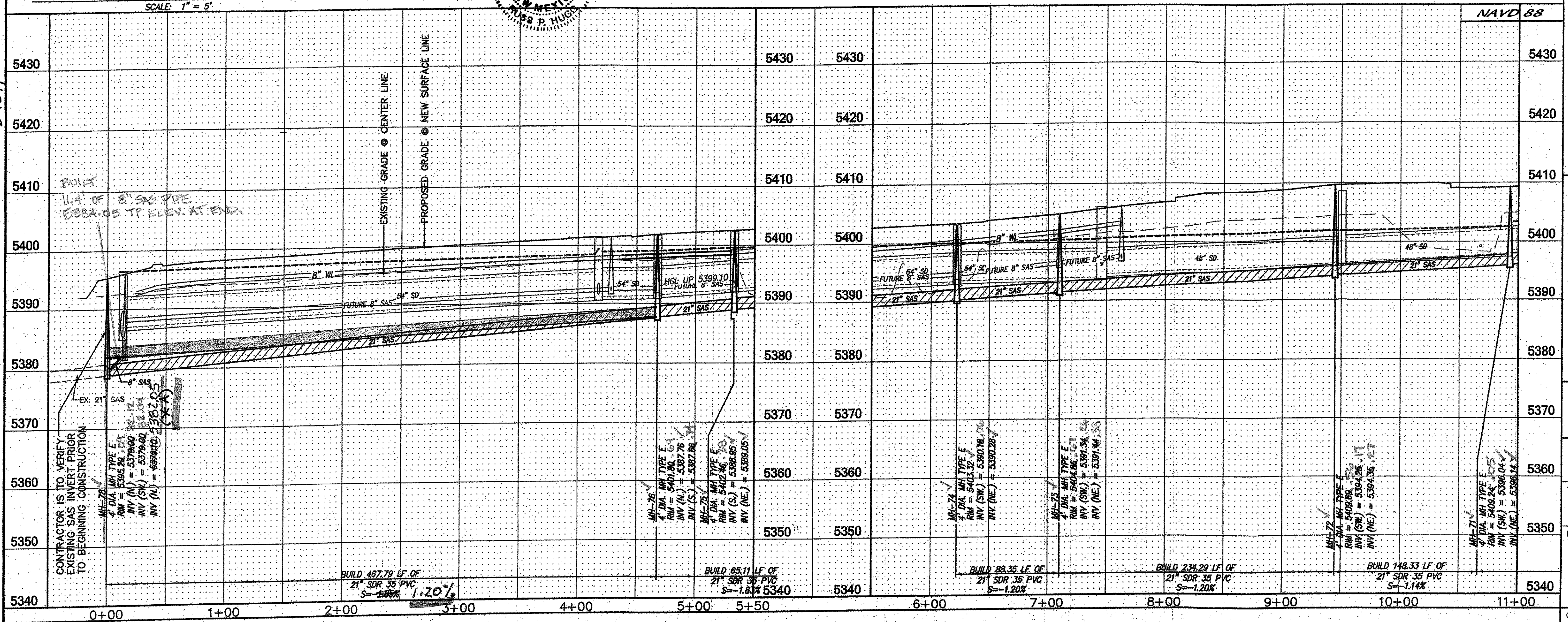
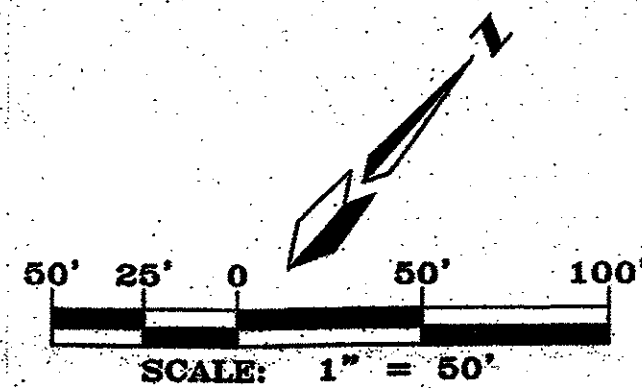
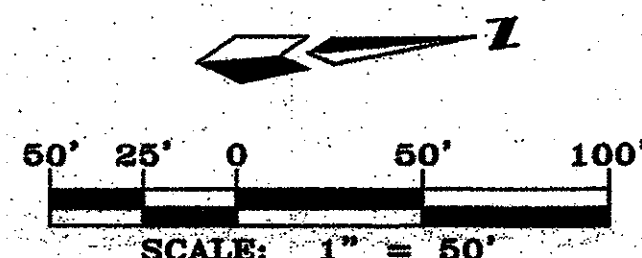
[illegible]



SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that the as-built information shown hereon is the result of an actual field survey performed by me or under my direct supervision and that the same is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPS No. 9750
2017



CERTIFICATE OF SUBSTANTIAL COMPLIANCE
I, Diane Hoelzer, NMPE 11967, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by Russ Hugg NMPS number 9750.

Diane Hoelzer 12-12-17
MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199

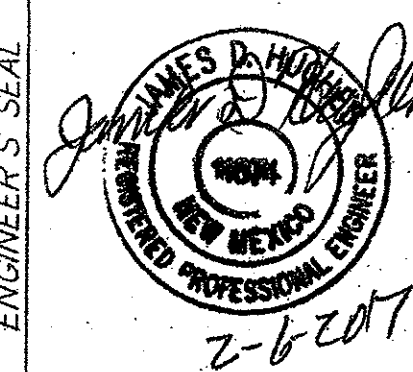
CITY OF ALBUQUERQUE
PLANNING DEPARTMENT

TITLE: **JUAN TABO HILLS ESTATES
MAIN SEWER TRUNK
PLAN AND PROFILE PLAN**

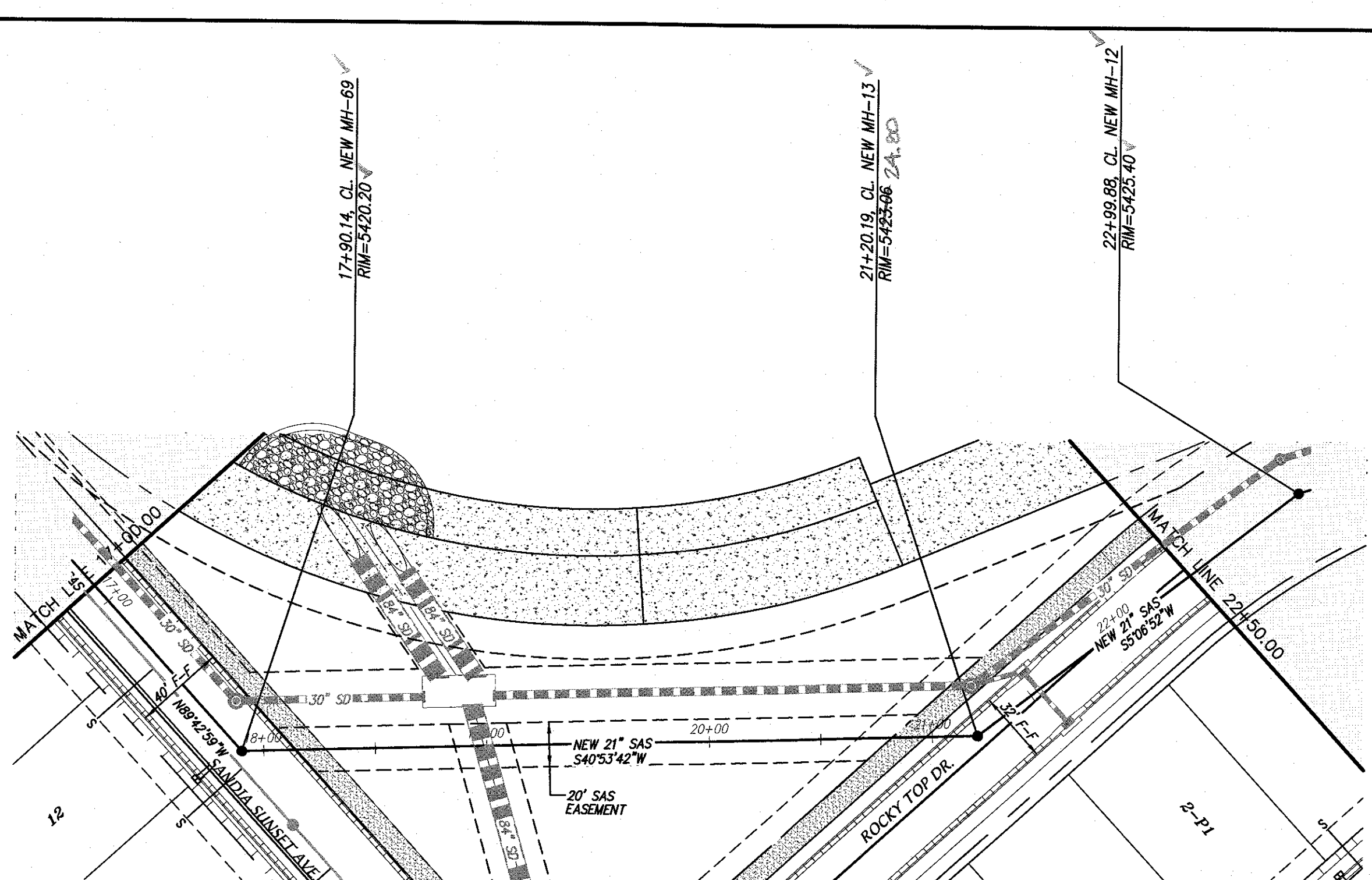
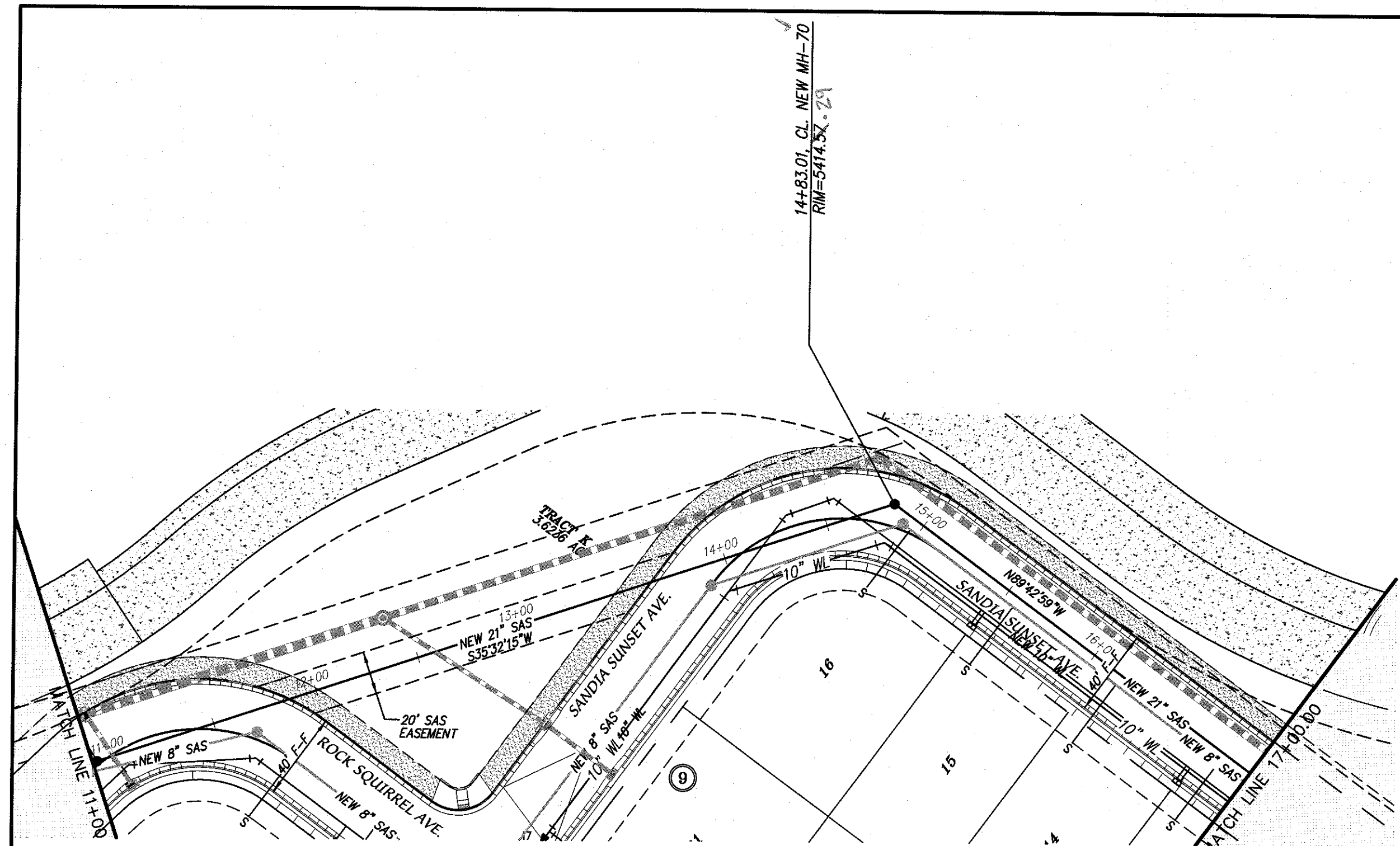
DESIGN REVIEW COMMITTEE: **APPROVED** FEB 21 2017
CITY ENGINEER APPROVAL: **APPROVED** MAR 13 2017
CITY ENGINEER

DESIGNED BY: JPH DATE: 01/17
DRAWN BY: SPS DATE: 01/17
CHECKED BY: DMG DATE: 01/17

CITY PROJECT NO. **654885** ZONE MAP NO. **M-21-Z** SHEET **15** OF **20**



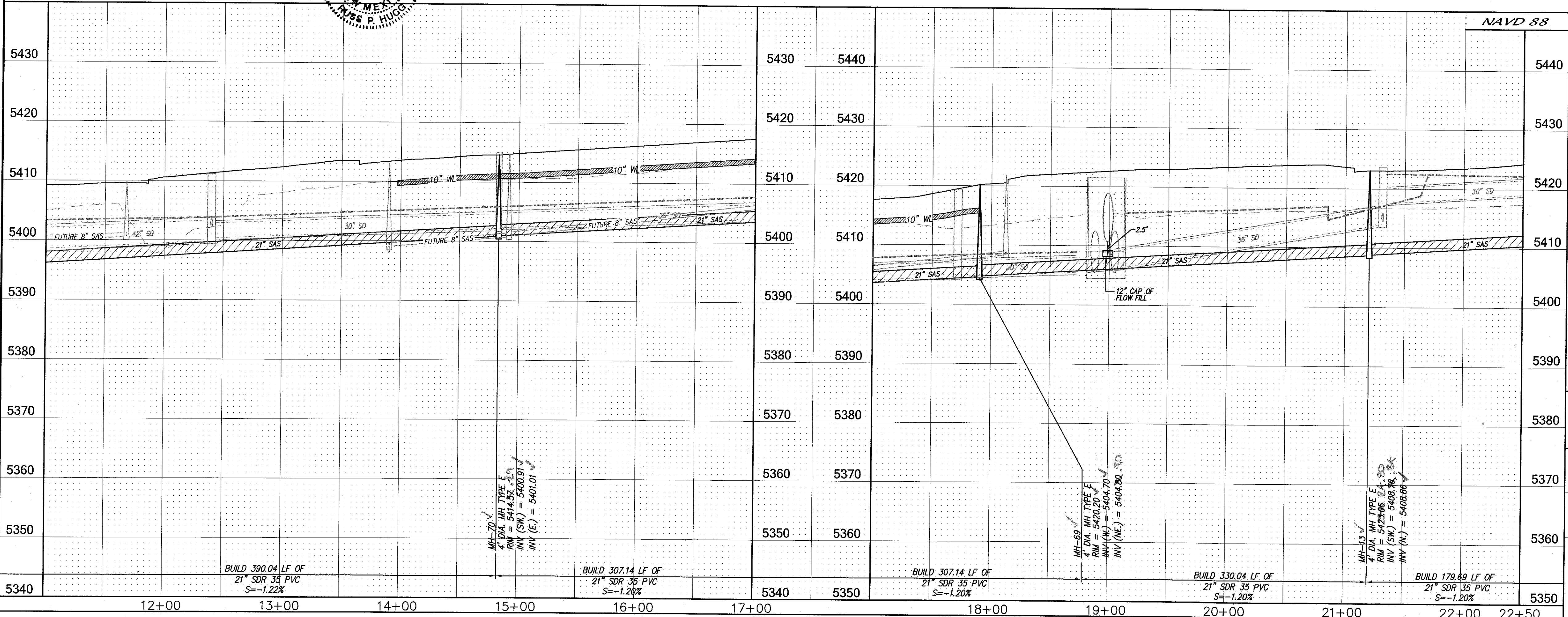
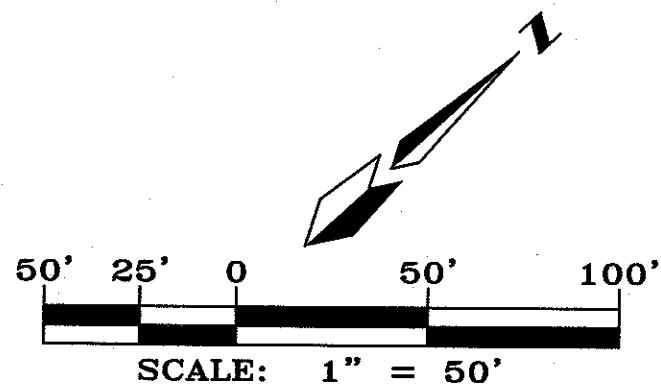
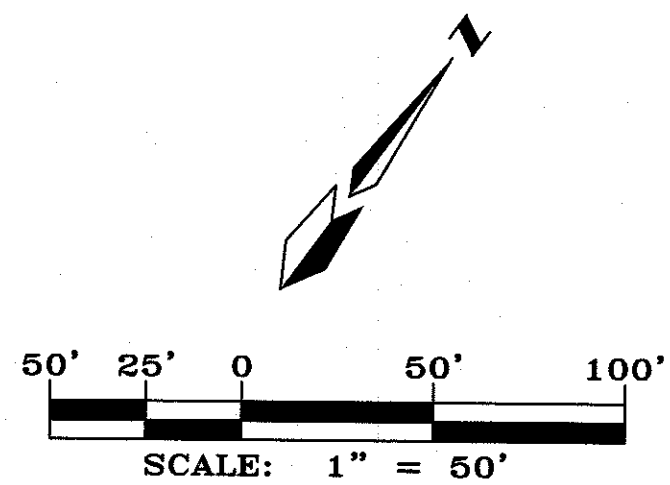
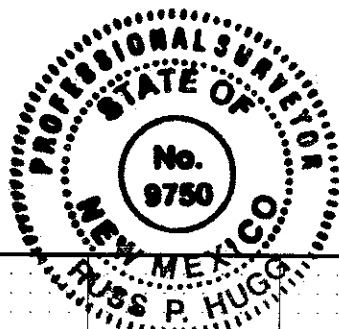
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SURVEYORS CERTIFICATION

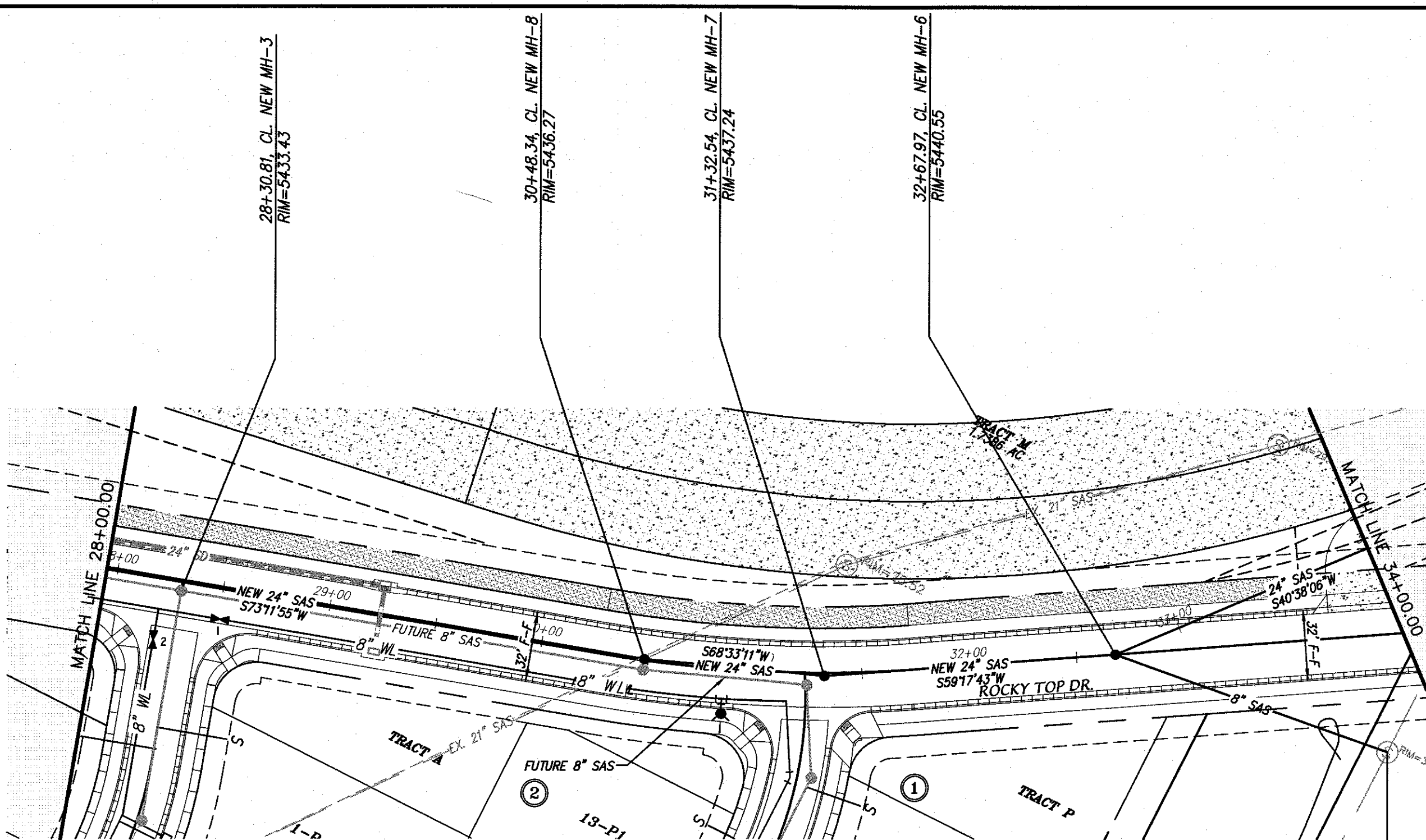
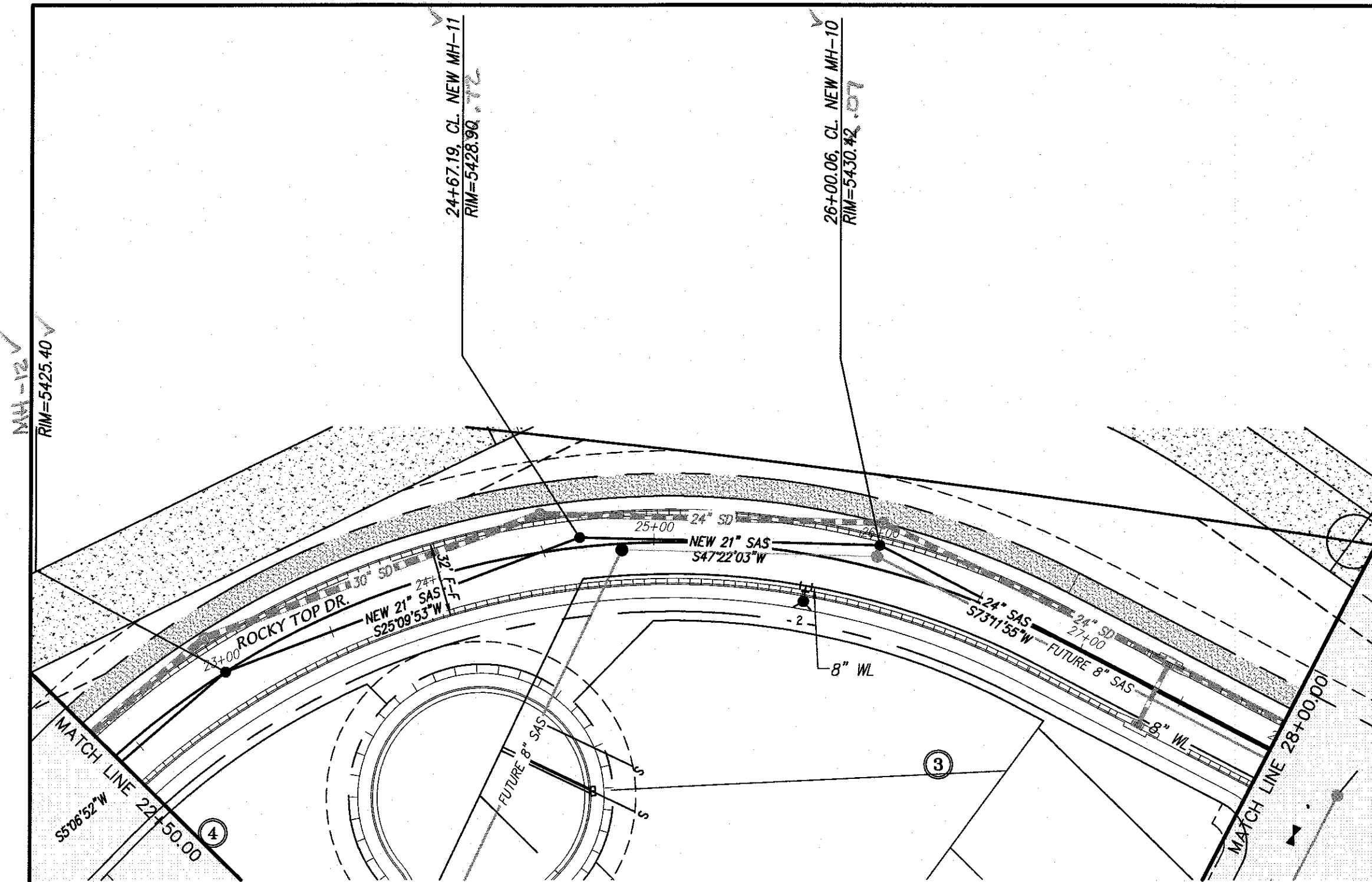
I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that the as-built information shown hereon is the result of an actual field survey performed by me or under my direct supervision and that the same is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPS No. 9750
11-2-2017



AS BUILT INFORMATION				BENCH MARKS				SURVEY INFORMATION				ENGINEER'S SEAL			
CONTRACTOR	INSPECTOR'S	DATE	NO.	DATE	BY	NO.	DATE	NO.	DATE	BY	NO.	DATE	NO.	DATE	NO.
CONTRACTOR: GALT BROTHERS	INSPECTOR'S: GALT BROTHERS	DATE: 11/17/17	NO. 1	DATE: 11/17/17	BY: MGA	NO. 1	DATE: 11/17/17	NO. 1	DATE: 11/17/17	BY: MGA	NO. 1	DATE: 11/17/17	NO. 1	DATE: 11/17/17	NO. 1
STATION 5+022' IS LOCATED 8.7 MI. SE OF DOWNTOWN ALBUQUERQUE ON THE EAST SIDE OF THE MUNICIPAL LIMITS LINE IN THE FOUR HILLS SUBDIVISION AREA. STATION IS 600 FT. EAST OF MUNICIPAL LIMITS LINE.				77.9' SE OF POWER POLE #337 & 186.0' NW OF POWER POLE #60.				STATION IS A STANDARD ACS BRASS DISK SET IN A CONCRETE MONUMENT IN THE GROUND. STATION IS STAMPED "5-M22".				X= 1,564,263.207, Y= 1,475,762.595, (NAD 83), Z= 5592.219 (NAD 1983)			
RECORDED BY: DATE: NO.				RECORDED BY: DATE: NO.				RECORDED BY: DATE: NO.				RECORDED BY: DATE: NO.			

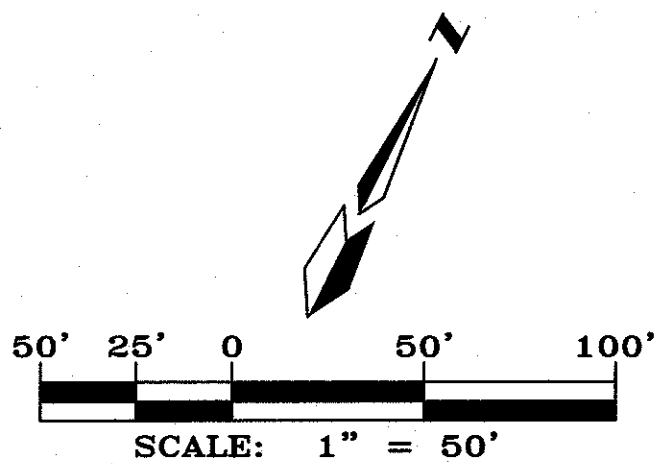
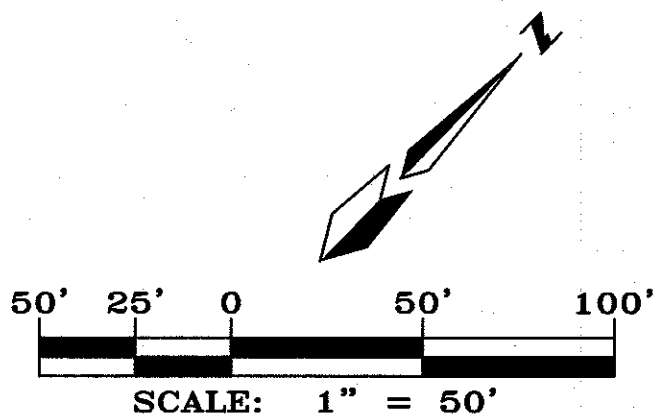
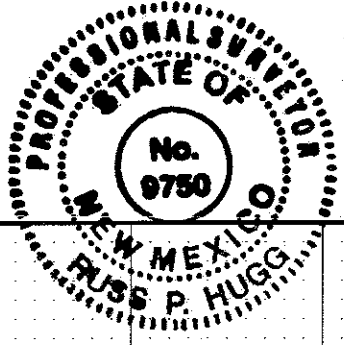
CERTIFICATE OF SUBSTANTIAL COMPLIANCE			
I, Diane Hoelzer, NMPE 11987, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by Russ Hugg NMPS number 9750.			
<i>Diane Hoelzer</i> 12-12-17			
MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199			
CITY OF ALBUQUERQUE PLANNING DEPARTMENT			
TITLE: JUAN TABO HILLS ESTATES MAIN SEWER TRUNK PLAN AND PROFILE PLAN			
DESIGN REVIEW COMMITTEE APPROVED FEB 21 2017 DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL APPROVED MAR 13 2017 CITY ENGINEER	
CITY PROJECT NO. 654885		ZONE MAP NO. M-21-Z	
SHEET 16		OF 20	



SURVEYORS CERTIFICATION

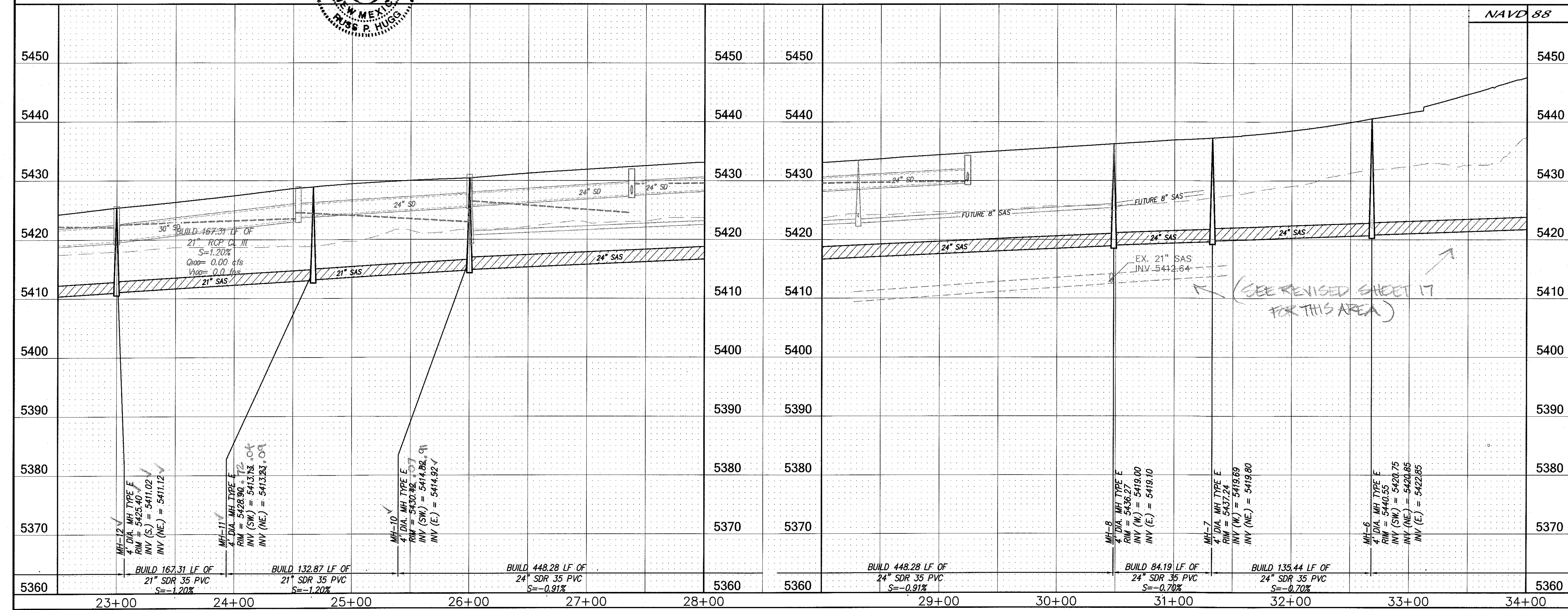
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Russ P. Hugg
NMPs No. 9750
11-2, 2017



134.4' LF OF 8" SAS @ 2.28% SLOPE
TEMPORARY CONNECTION TO BE REMOVED AS
PART OF SUBDIVISION INFRASTRUCTURE WORK
ORDER. THIS CONNECTION IS TO BE MADE
PRIOR TO CONSTRUCTION UPSTREAM OF THIS
MH. SAS DOWNSTREAM IS THE BE TESTED,
INSPECTED AND ACCEPTED BY ABCWMA PRIOR
TO 8" SAS.

EX. MH RIM= 5429.80
EX. INV= 5426.12
EX. INV= 5425.92
NEW INV(OUT)= 5425.92



ENGINEER'S SEAL

2-6-2017

CERTIFICATE OF SUBSTANTIAL COMPLIANCE

I, Diane Hoelzer, NMPE 11987, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by Russ Hugg, NMPs number 9750.

Diane Hoelzer 12-12-17

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT

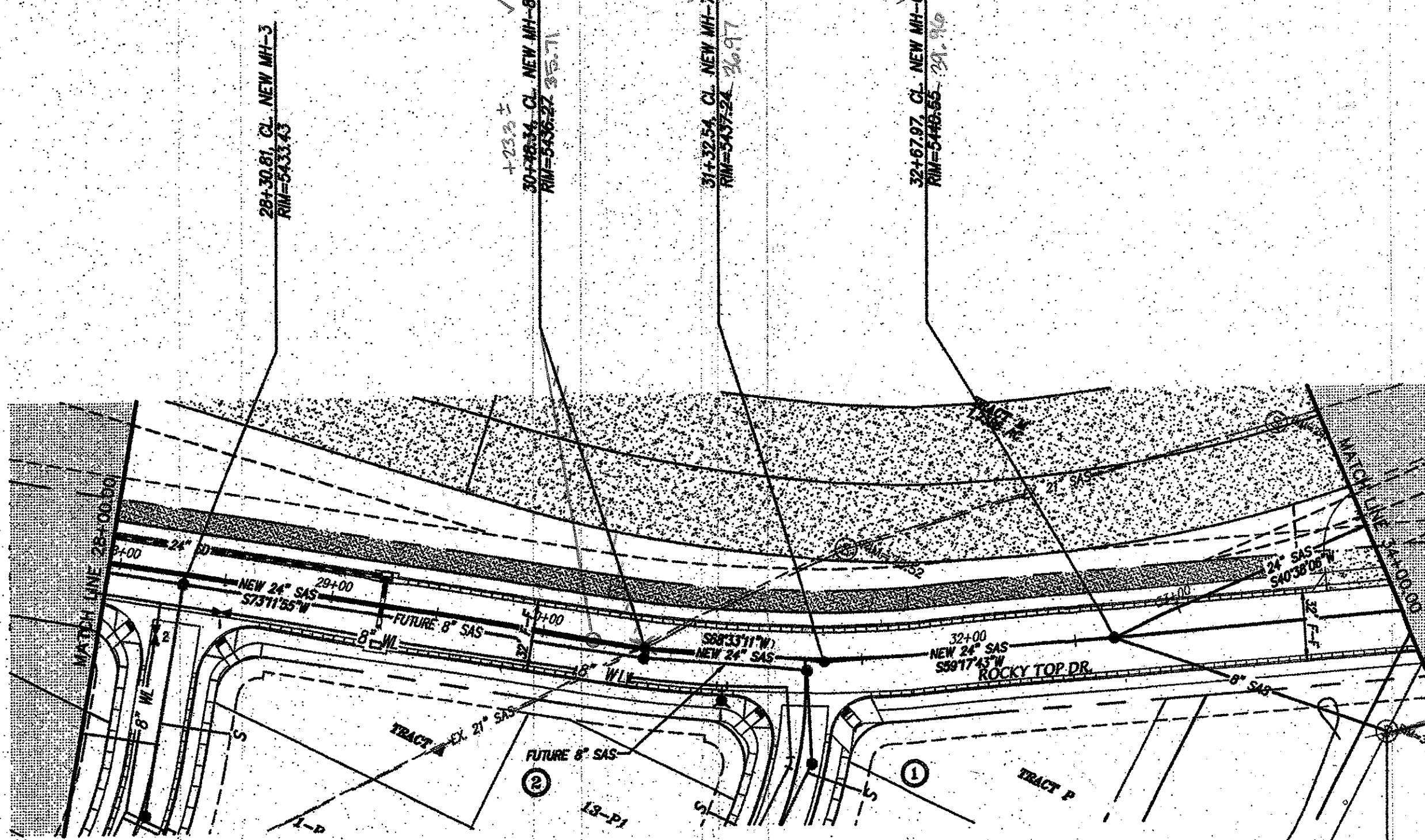
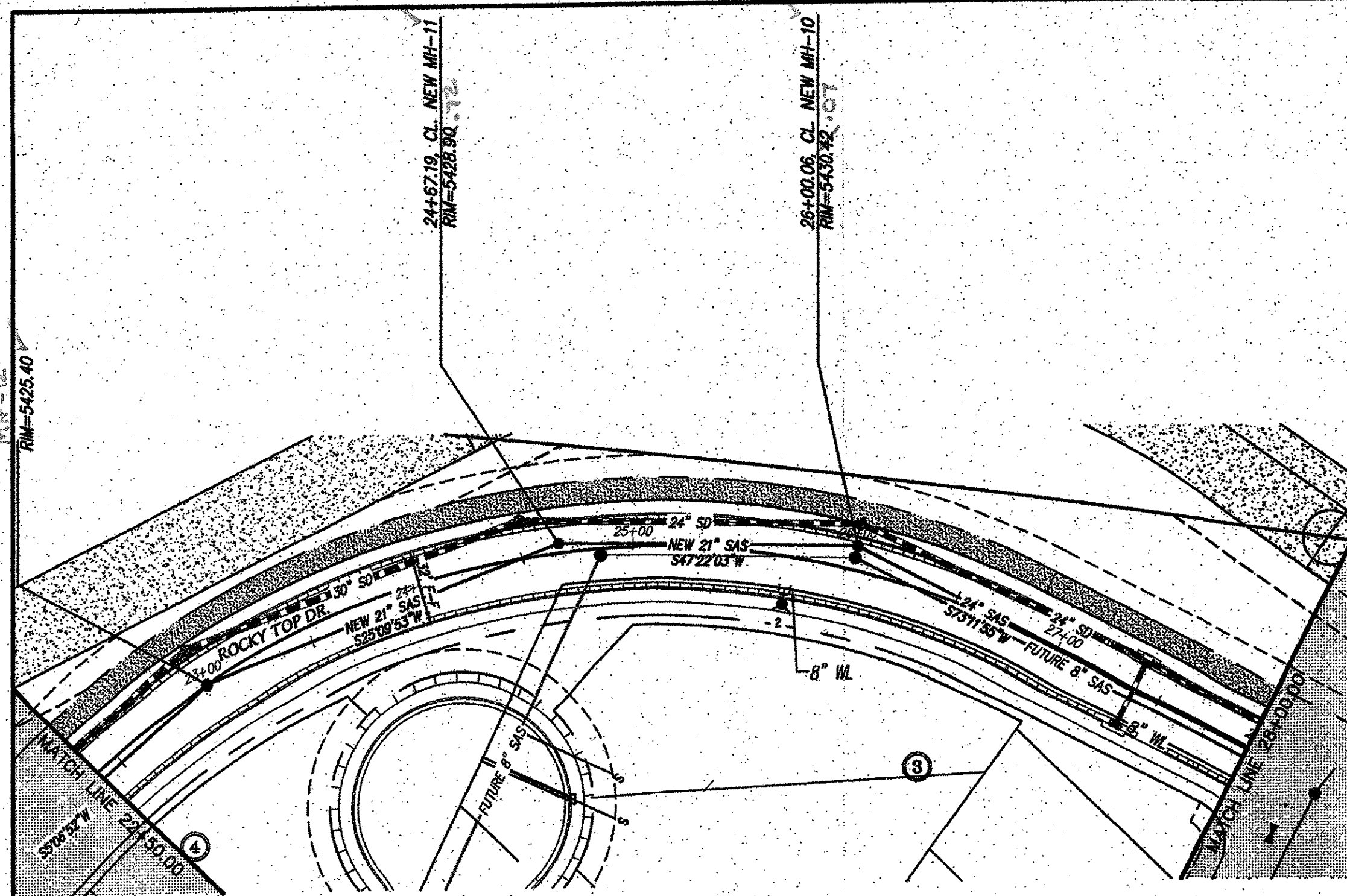
TITLE: **JUAN TABO HILLS ESTATES
MAIN SEWER TRUNK
PLAN AND PROFILE PLAN**

DESIGN REVIEW COMMITTEE:
CITY ENGINEER APPROVAL:
LAST DESIGN UPDATE: _____

DESIGNED BY: JDH DATE: 01/17
DRAWN BY: SPS DATE: 01/17
CHECKED BY: DMG DATE: 01/17

CITY PROJECT NO. **654885** ZONE MAP NO. **M-21-Z** SHEET **17** OF **20**

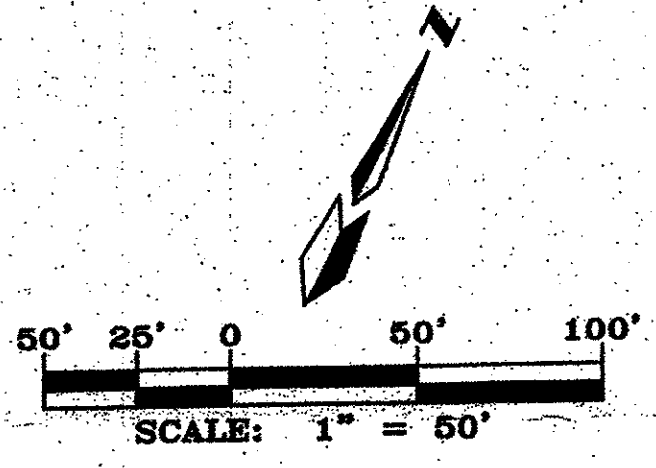
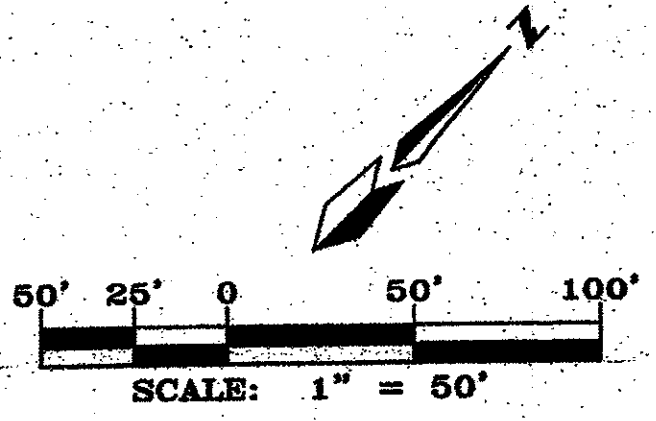
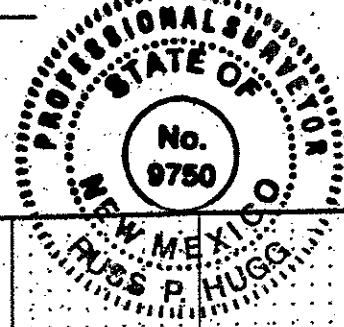
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SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that the as-built information shown hereon is the result of an actual field survey performed by me or under my direct supervision and that the same is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPS No. 9750
2017

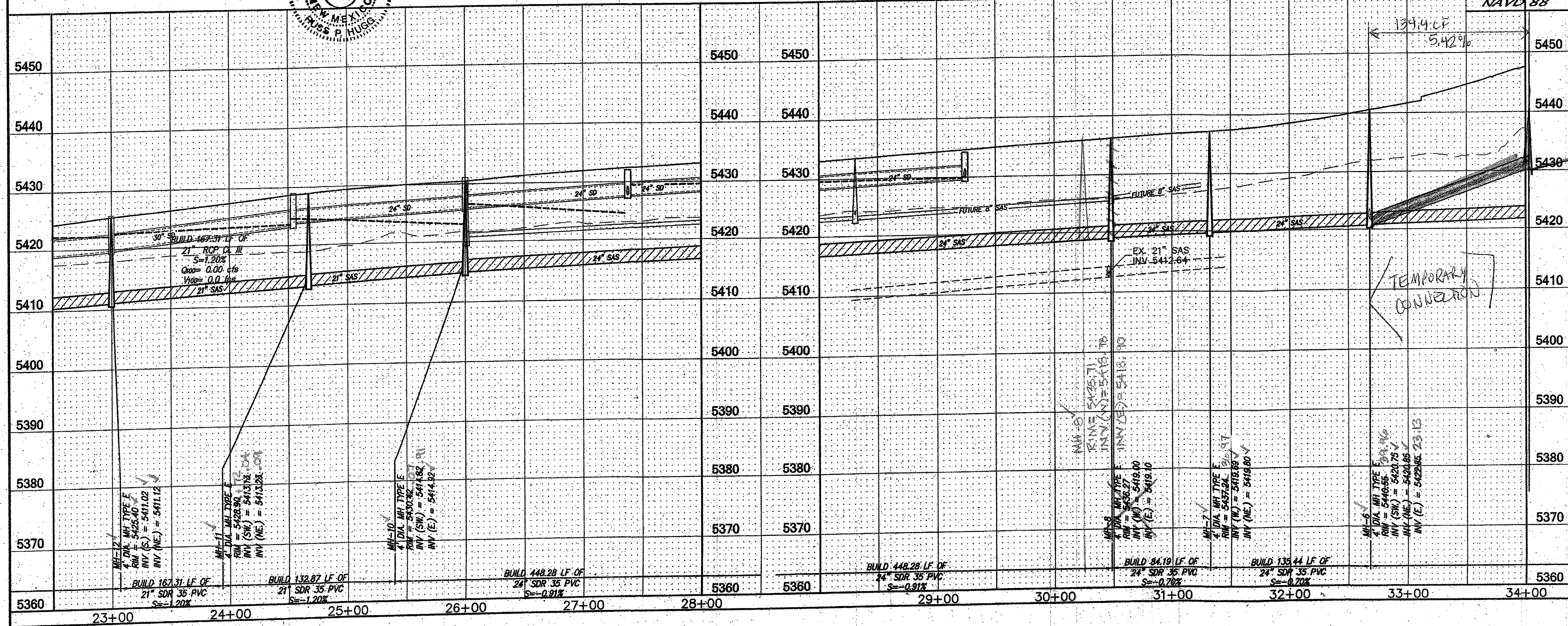


134.4' LF OF 8" SAS @ 2.28% SLOPE
TEMPORARY CONNECTION TO BE REMOVED AS
PART OF SUBDIVISION INFRASTRUCTURE WORK
ORDER. THIS CONNECTION IS TO BE MADE
PRIOR TO CONSTRUCTION UPSTREAM OF THIS
MH. SAS DOWNSTREAM IS THE BE TESTED,
INSPECTED AND ACCEPTED BY ABCMUA PRIOR
TO 8" SAS.

EX. MH RIM= 5428.80
EX. INV= 5428.12
EX. INV= 5425.92
NEW INV(OUT)= 5425.92

TO BE REMOVED
IN FUTURE

RIM 5440.27
INV(S) = 5430.34 * 1/4
INV(W) = 5430.14 * 1/4 (per SURV Tech
checked 5-10-17)



CERTIFICATE OF SUBSTANTIAL COMPLIANCE

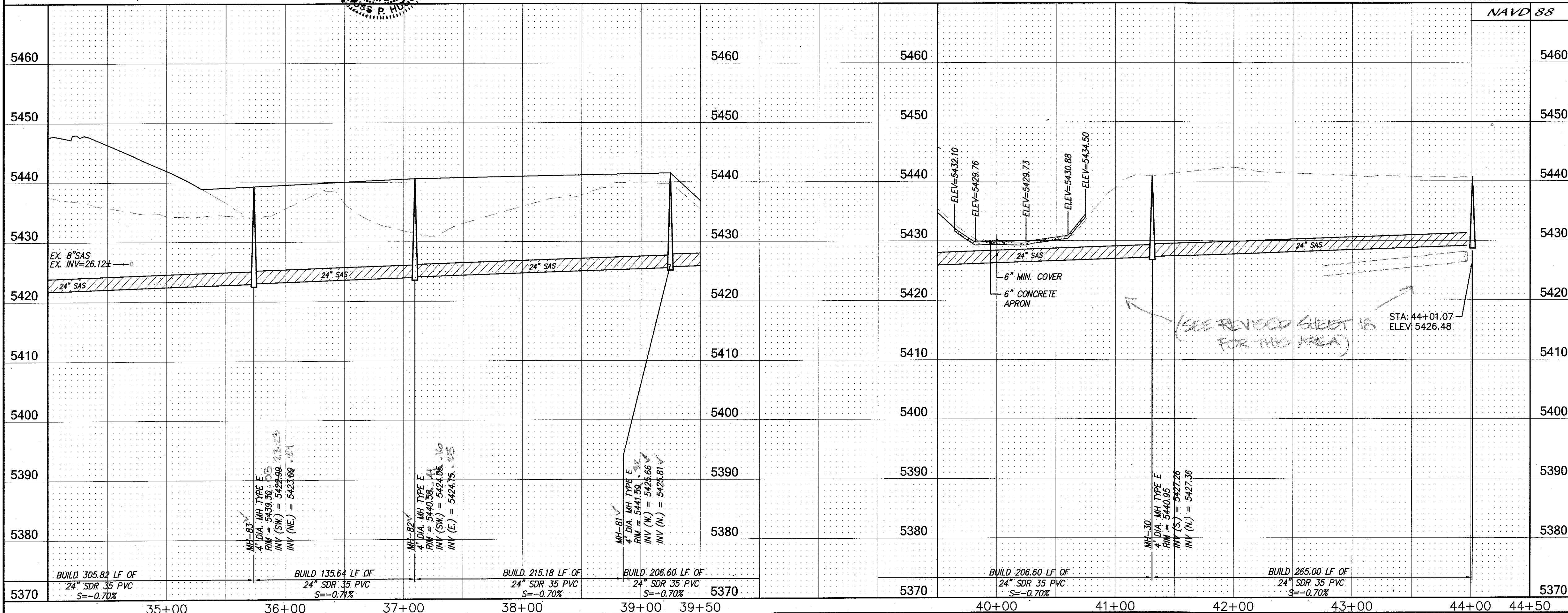
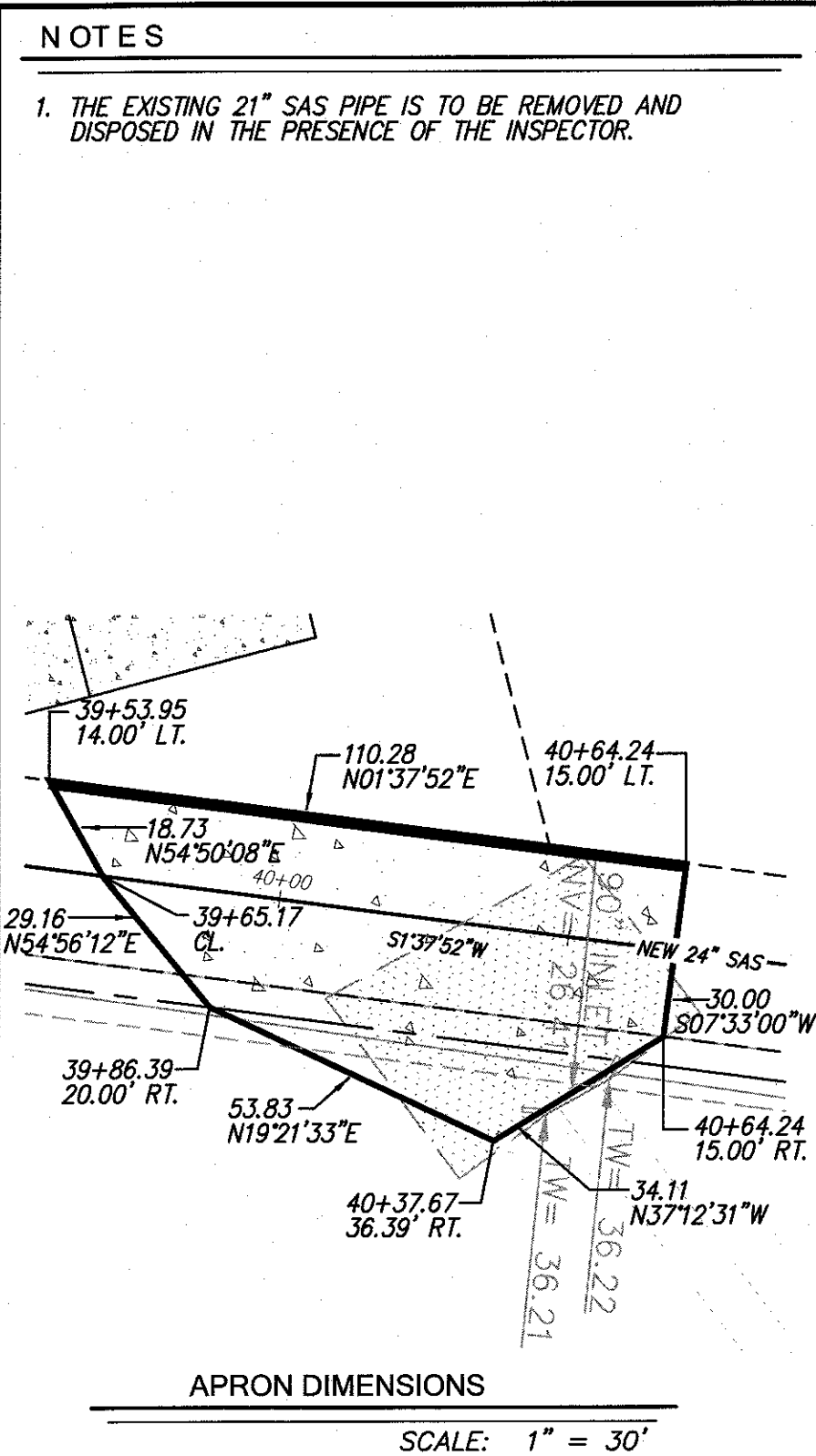
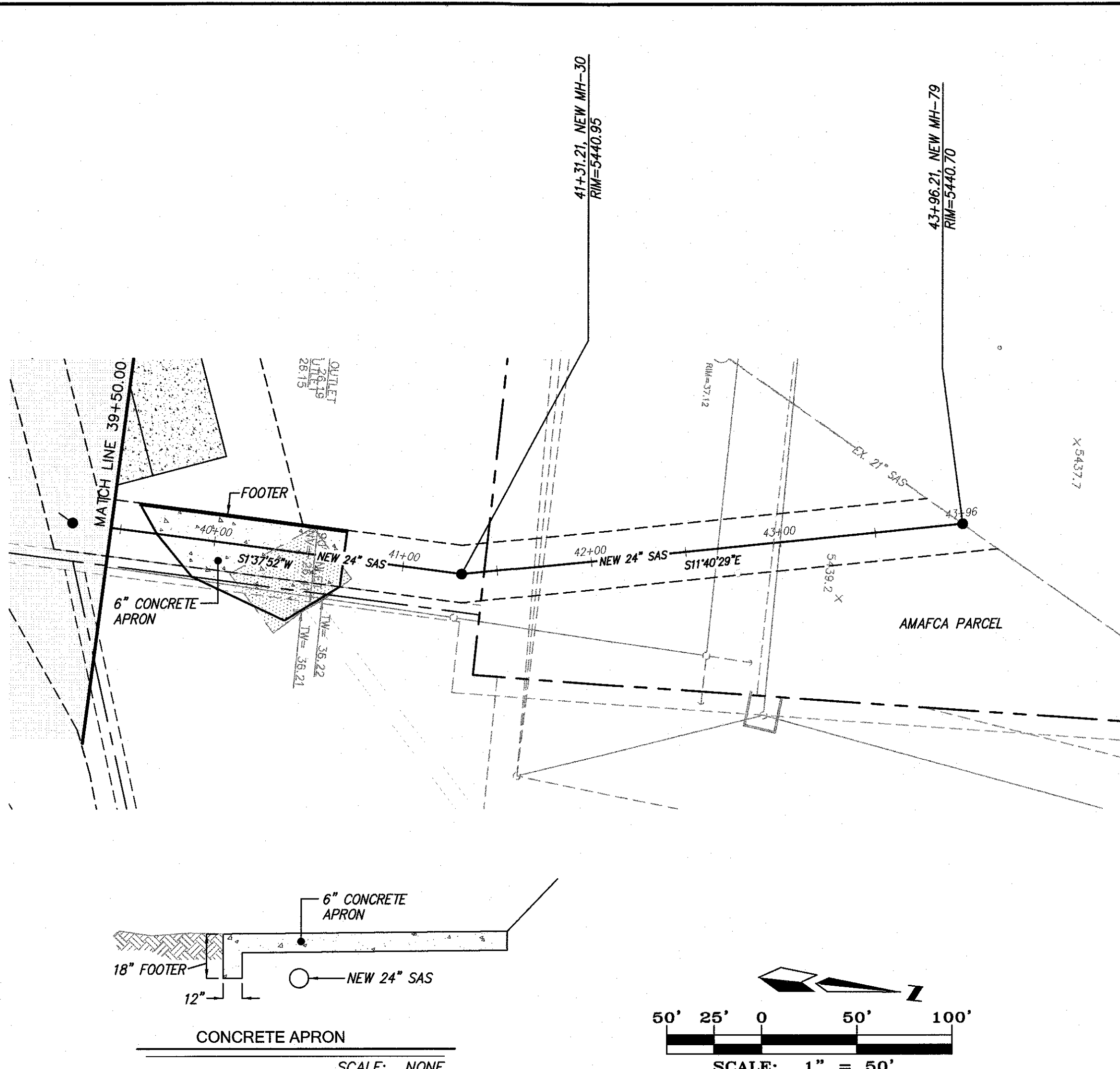
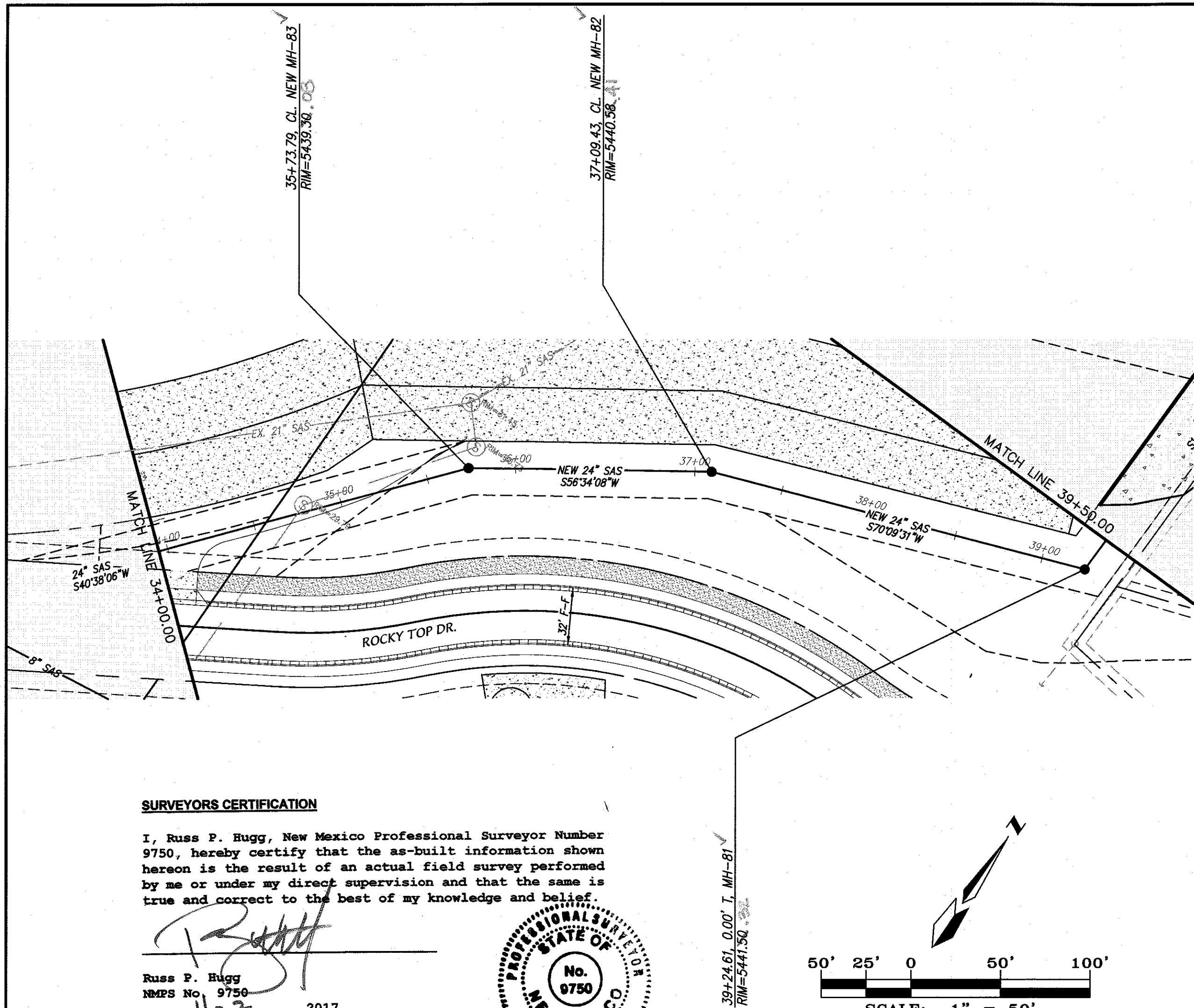
I, Diane Hoelzer, NMPE 11967, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by Russ Hugg NMPS number 9750.

Diane Hoelzer, 12-12-17

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199

CITY OF ALBUQUERQUE PLANNING DEPARTMENT	
TITLE: JUAN TABO HILLS ESTATES MAIN SEWER TRUNK PLAN AND PROFILE PLAN	
DESIGN REVIEW COMMITTEE APPROVED FEB 21 2017 DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL APPROVED MAR 1 9 2017 CITY ENGINEER
CITY PROJECT NO. 654885	ZONE MAP NO. M-21-Z
SHEET 17 OF 20	

REVISIONS dmj
5-9-17



NOTES

1. THE EXISTING 21" SAS PIPE IS TO BE REMOVED AND DISPOSED IN THE PRESENCE OF THE INSPECTOR.

CONTRACTOR: SALLS ESTIMATES
STAMPED BY: SALLS-TEK
INSPECTOR'S: SALLS-TEK
FIELD: SALLS-TEK
VERIFICATION BY: SALLS-TEK
CORRECTED BY: SALLS-TEK
RECORDED BY: SALLS-TEK
DATE: 7/17
DATE: 7/17
DATE: 7/17
DATE: 7/17
DATE: 7/17

STATION 5-M22 IS LOCATED 8.7 MI. SE OF DOWNTOWN ALBUQUERQUE ON THE EAST SIDE OF THE MUNICIPAL LIMITS LINE IN THE FOUR HILLS SUBDIVISION AREA. STATION IS 600 FT. EAST OF MUNICIPAL LIMITS LINE. 77.9' SE OF POWER POLE #337 & 186.0' NW OF POWER POLE #60. STATION IS A STANDARD ACS BRASS DISK SET IN A CONCRETE MONUMENT IN THE GROUND. STATION IS STAMPED "5-M22".
X= 1,564,263.207, Y= 1,475,762.595, (NAD 83), Z= 5597.719 (NAVD 88)

APRON DIMENSIONS
SCALE: 1" = 30'

ENGINEER'S SEAL
JAMES D. HUGG
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
2-6-2017

CERTIFICATE OF SUBSTANTIAL COMPLIANCE
See sheet 18R

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT

TITLE: JUAN TABO HILLS ESTATES
MAIN SEWER TRUNK
PLAN AND PROFILE PLAN

DESIGN REVIEW COMMITTEE
APPROVED
FEB 21 2017
DESIGN REVIEW COMMITTEE

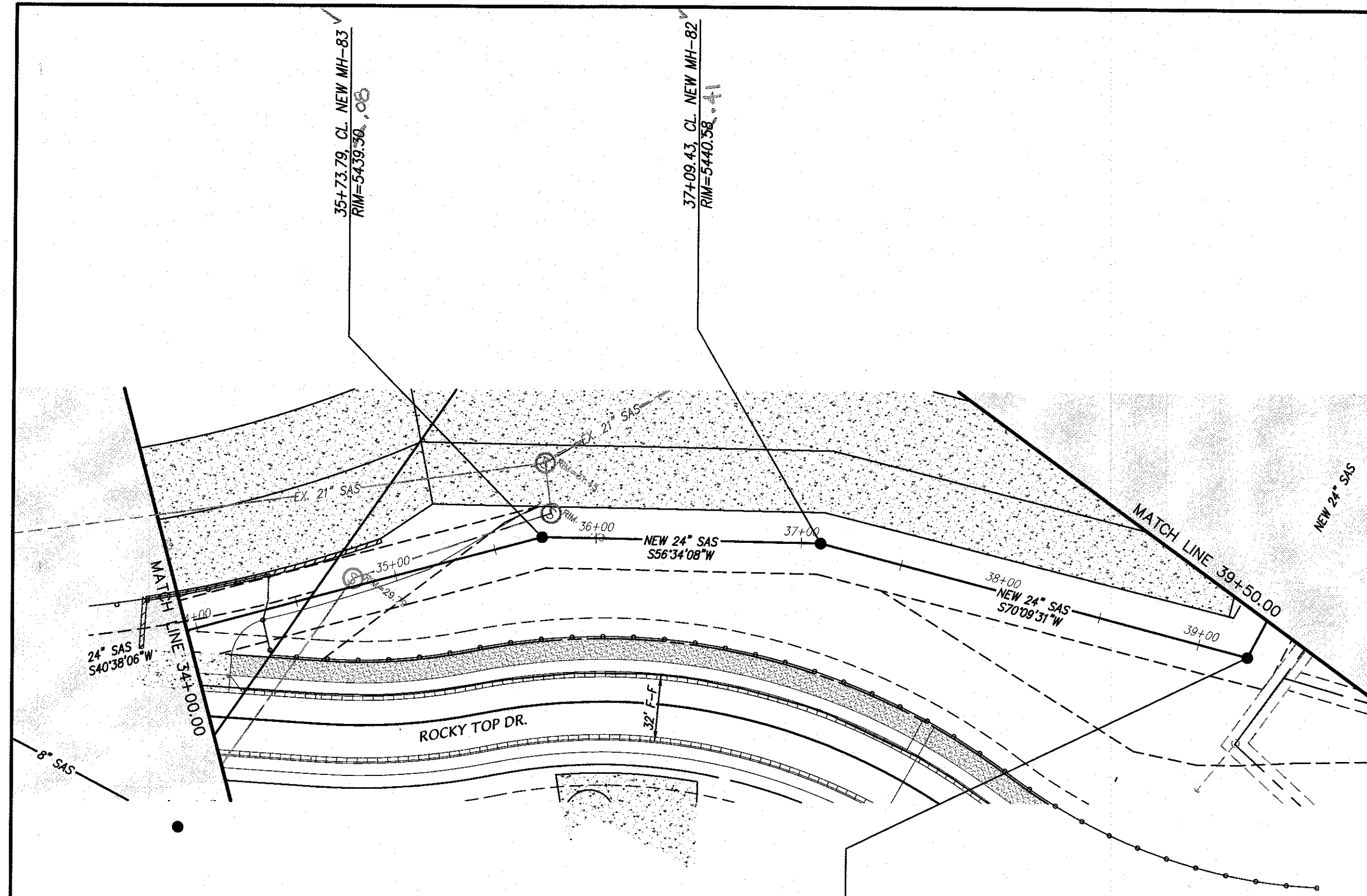
CITY ENGINEER APPROVAL
APPROVED
MAR 13 2017
CITY ENGINEER

MO./DAY/YR.
MO./DAY/YR.

LAST DESIGN UPDATE

CITY PROJECT NO. 654885
ZONE MAP NO. M-21-Z
SHEET 18 OF 20

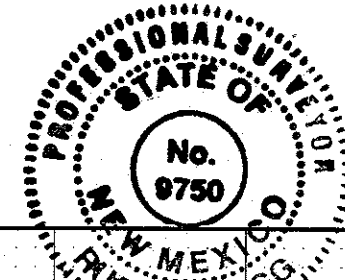
RECORD DRAWING



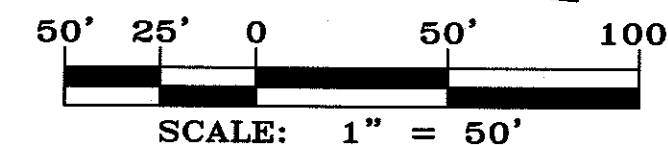
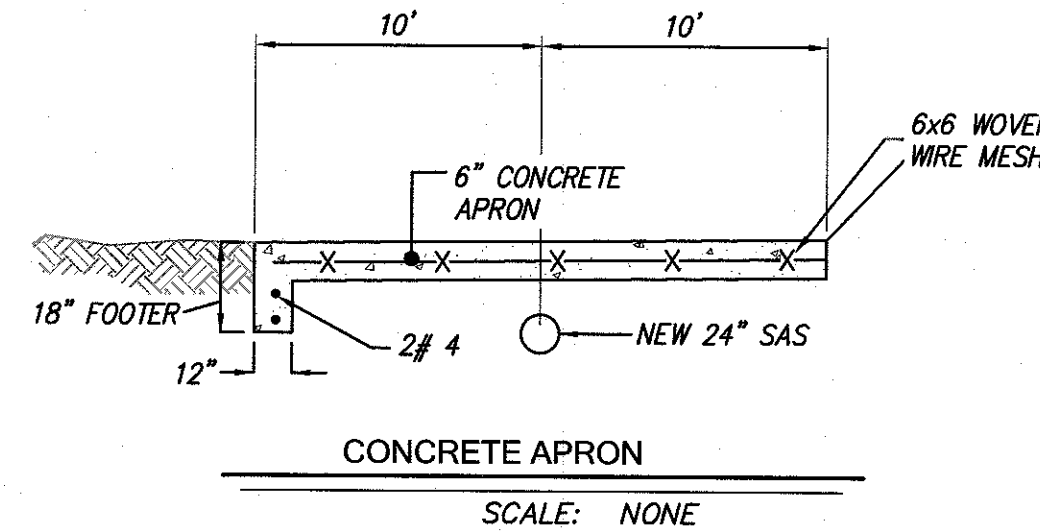
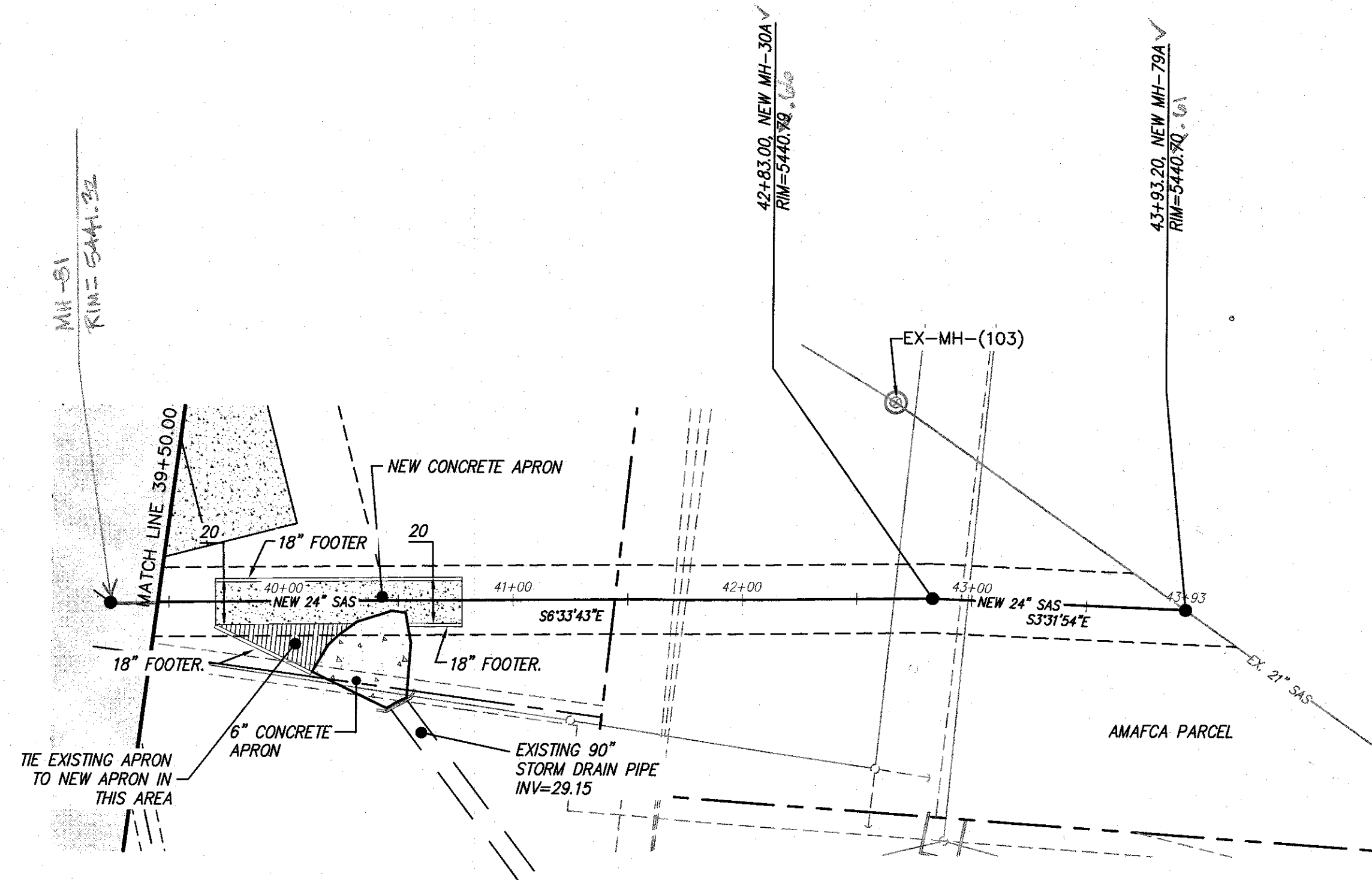
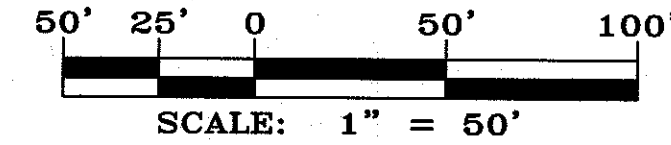
SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that the as-built information shown hereon is the result of an actual field survey performed by me or under my direct supervision and that the same is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPS No. 9750
11-2-2017

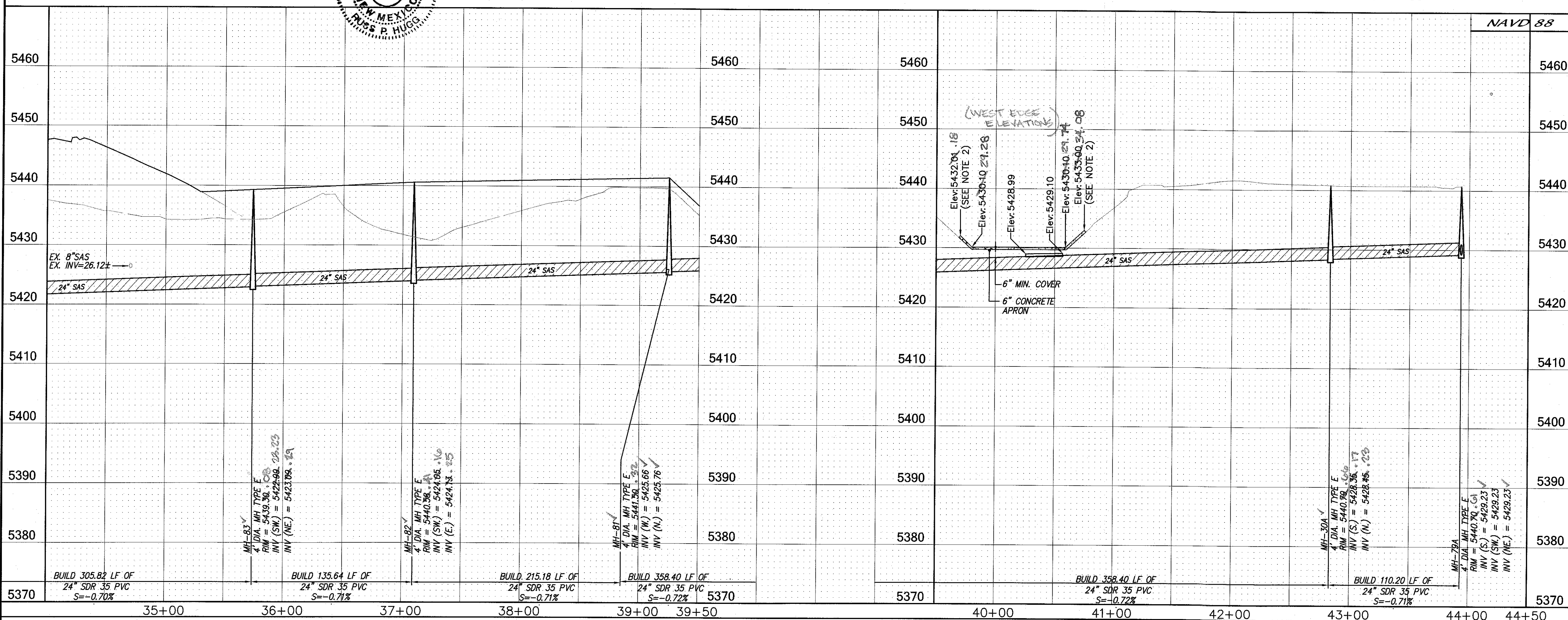
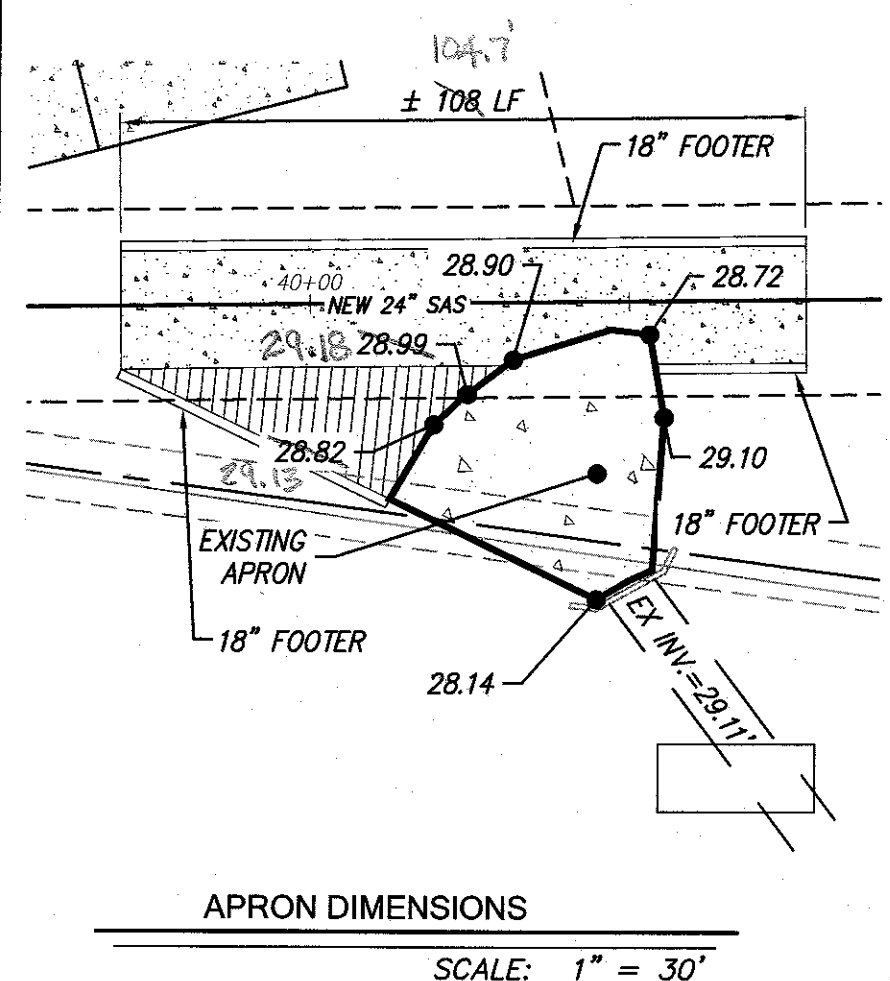


39+24.61 0.00' I. MH-81
RM=5441.90, 3.2%



NOTES

- THE EXISTING 21" SAS PIPE IS TO BE REMOVED AND DISPOSED IN THE PRESENCE OF THE INSPECTOR.
- EXTEND APRON UNTIL SAS HAS AT LEAST 4 FEET OF COVER. ELEVATIONS FOR EXTENT OF APRON ARE APPROXIMATE. FIELD VERIFY CONDITIONS. CONSULT DESIGN ENGINEER IF THERE ARE QUESTIONS.



NAVD 88

CERTIFICATE OF SUBSTANTIAL COMPLIANCE

I, Diane Hoelzer, NMPE 11967, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by Russ Hugg NMPS number 9750.

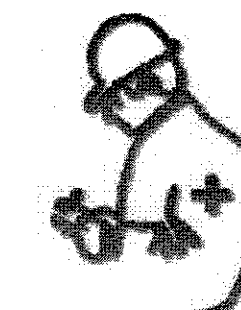
12-12-17
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87119

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT

TITLE: JUAN TABO HILLS ESTATES
MAIN SEWER TRUNK
PLAN AND PROFILE PLAN

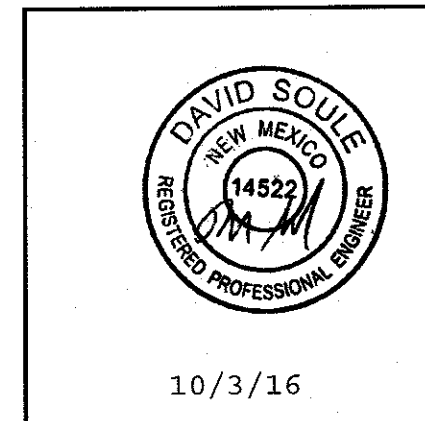
DESIGN REVIEW COMMITTEE APPROVED JUN 27 2017	CITY ENGINEER APPROVAL APPROVED JUN 27 2017 CITY ENGINEER	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
DESIGNED BY JDH	DATE 01/17	DRAWN BY SPS	DATE 01/17	CHECKED BY DMG

CITY PROJECT NO. 654885 ZONE MAP NO. M-21-Z SHEET 18R OF 20



Inspections Plus, Inc.

Engineer Stamp



Note:
No stockpiling in the Tijeras Arroyo.

Note:
The fill area at the edge of the property adjacent to Tijeras Arroyo is to be a minimum 36" higher than the interior fill as the project is graded to create a type of progressive earth berm for stormwater control. (see detail)
Once the fill area is to grade, silt fence is to be placed at the top of the slope and the slope permanently stabilized.

Legend

Erosion Sediment Control Plan

- Project Perimeter & Disturbed Area
- Silt Fence
- Pre Flow & Post Flow
- Outfall
- Posting Sign
- Staging Area
- Stabilized Construction Entrance
- Trash Receptacle
- Chemical Toilet
- Concrete Washout
- Retaining Wall
- Retention Pond
- Rip Rap
- Inlet Protection Curb Inlet with protection
- Arroyo
- Earth Berm

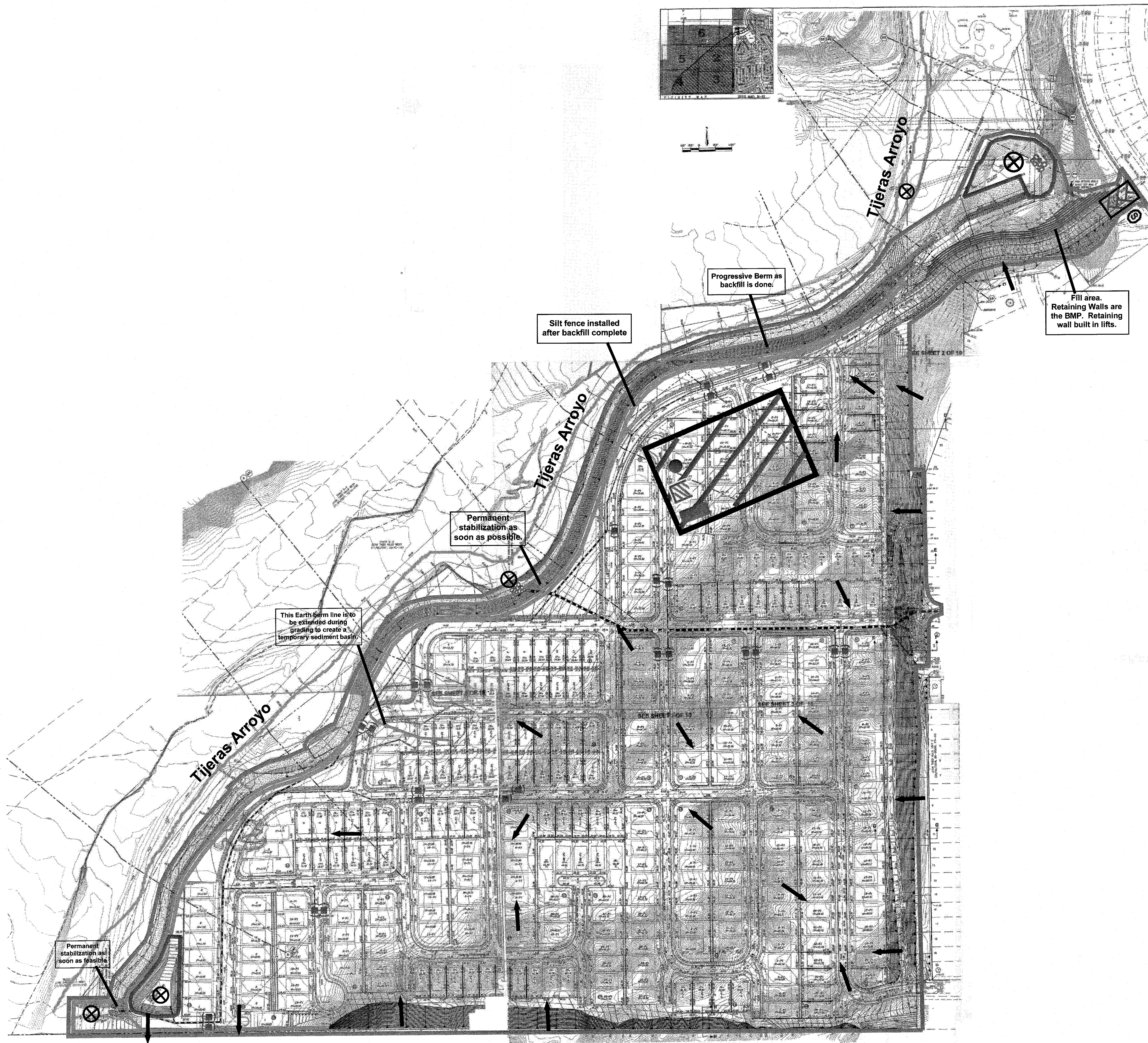
Juan Tabo Hills

Receiving Waters and Critical Habitat: Tijeras Arroyo is located 200 feet to the West.

Impairments: None (Ephemeral Stream)

Grade: Before 1.0% to 6.0% depending on location
After 2.0% to 3.5%

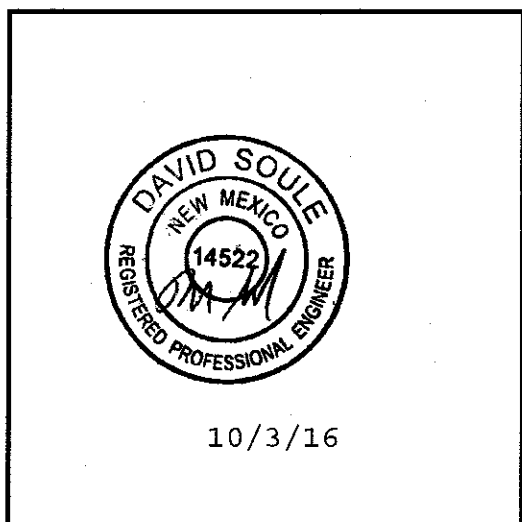
CH Project No 654385 EONE MAP M-21 Sheet 19 of 20





Inspections Plus, Inc.

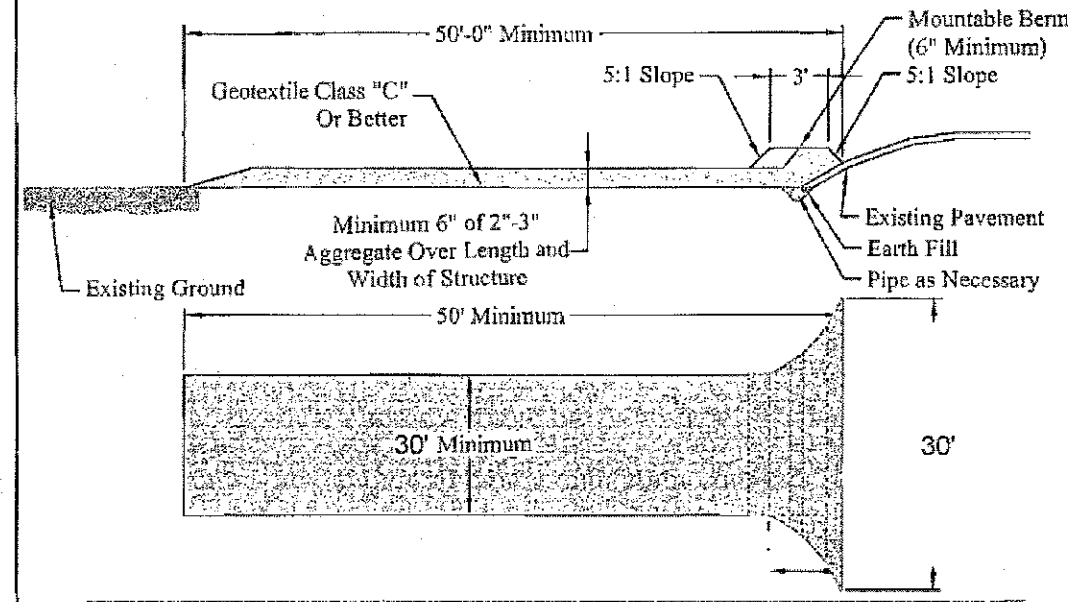
Engineer Stamp



Inspections Plus Inc.
Erosion Control Plan
Standard Details

Project:
Juan Tabo Hills

Stabilized Construction Entrance



Definition

A stabilized layer of aggregate that is underlain with Geotextile Class "C" (See Standards for Geotextile). Stabilized entrances are located at any point where traffic enters or leaves a construction site.

Purpose

The purpose of the stabilized construction entrance is to reduce tracking of sediment onto streets or public rights-of-way and provide a stable area for entrance or exit from the construction site.

Conditions where the Practice Applies

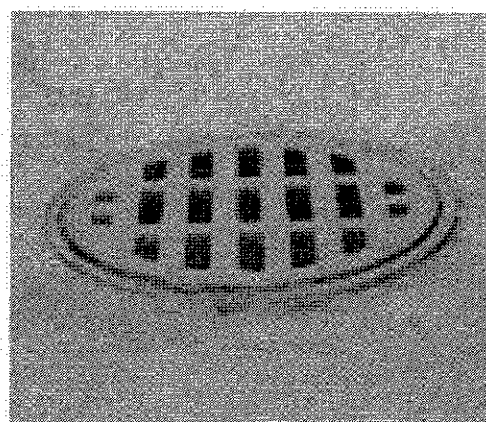
1. Stabilized construction entrances shall be located at points of construction ingress and egress.
2. For single family residences, the entrance should be located at the permanent driveway.
3. Stabilized construction entrances should not be used on existing pavement.

Design Criteria

1. Length - Minimum of 50'-0"
2. Width - Minimum of 30'-0", should be flared at the existing road to provide a turning radius.
3. Geotextile Class "C" shall be placed over the existing ground prior to placing stone. The Plan approval authority may not require geotextile fabric for single family residences.
4. Stone-crushed aggregate 2 1/2" (See Standards for Geotextile and Rock). Recycled concrete equivalent may be used also. The rock should be placed at least 6" deep over the length and width of the entrance.
5. Surface Water - All the surface water flowing to or diverted toward construction entrances shall be piped under the entrance to maintain positive drainage. Pipe installed under the construction entrance shall be protected with a mountable berm. The pipe shall be sized according to the drainage, with the minimum diameter being 6".
6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

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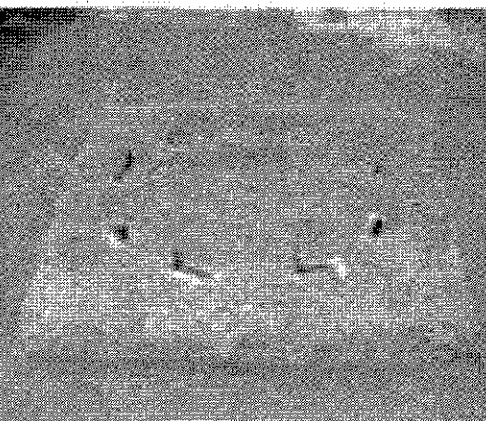
Inlet Filter Installation Instructions:



1. Remove sediment, debris, ice and snow from the inlet grate surface and surrounding area.

2. Verify fit by placing filter over inlet grate to ensure that Inlet Filter extends at least one inch beyond the front and both curb ends. The overlap slows water

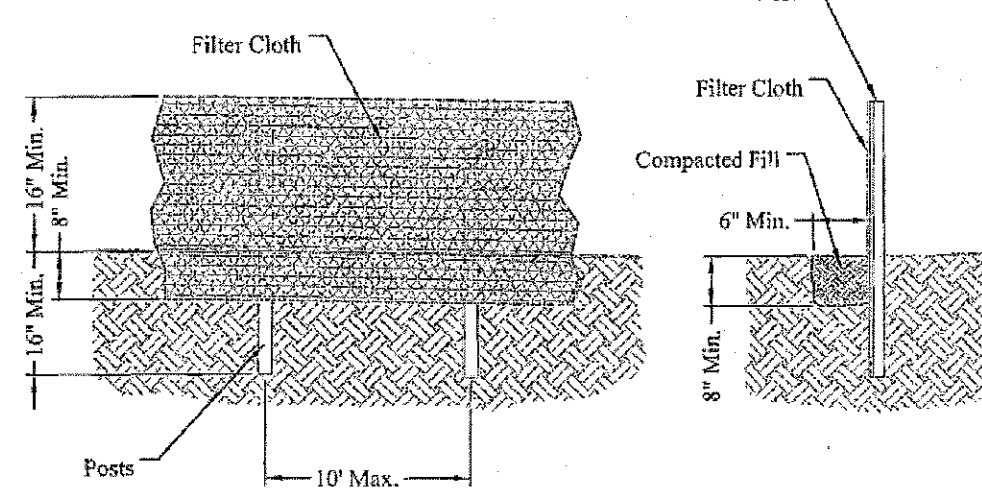
flow and starts filtering sediment and debris before water drops into the inlet.



3. Position the mat. Place Inlet Filter on grate with the net side down, flush to the back edge and extending beyond the grate opening on the front and both sides. The zip ties attach Inlet Filter to the inlet grate cover WITHOUT LIFTING THE GRATE COVER.

4. The filter material covering the inlet can be any material that will prevent the sediment and other foreign matter from entering the storm drain system.

Silt Fence



Definition

A temporary barrier of Geotextile Class "F" used to intercept sediment laden runoff from small drainage areas.

Purpose

The purpose of silt fence is to reduce runoff where velocity and allow the deposition of transported sediment to occur. Limits imposed by ultraviolet light on the stability of the fabric will dictate the maximum period that the silt fence may be used.

1. Silt fence provides a barrier that can collect and hold debris and soil, preventing the material from entering critical areas, streams, streets, etc.
2. Silt fence can be used where the installation of a dike would destroy sensitive areas, woods, wetlands, etc.

Conditions where the Practice Applies

Silt Fence is limited to intercepting sheet flow runoff from limited distances according to slope. It provides filtering and velocity dissipation to promote gravity settling of sediment.

Design Criteria

Wood or Steel Posts may be used in certain instances. Silt fence should be placed as close to the contour as possible. No section of silt fence should exceed a grade of 5 percent for a distance more than 50 feet. Where ends of the geotextile fabric come together, the ends shall be overlapped, folded, and stapled to prevent sediment bypass.

* If wood post are to be used they must meet the following specifications:

1 1/2" X 1 1/2" minimum square posts, or 1 1/2" minimum diameter round post

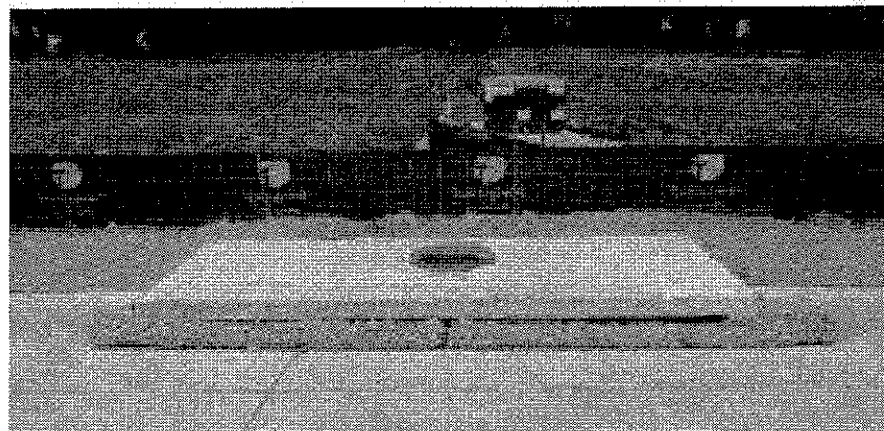
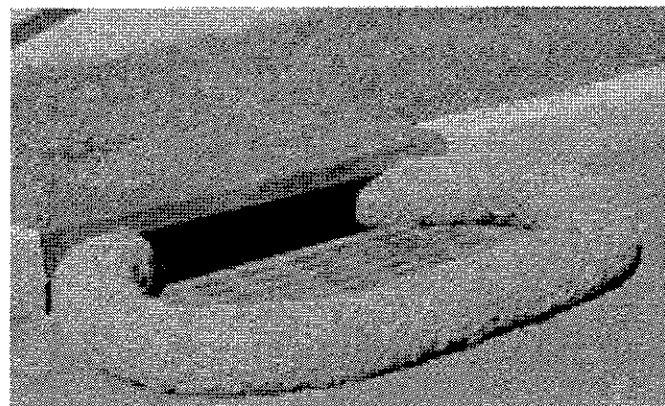
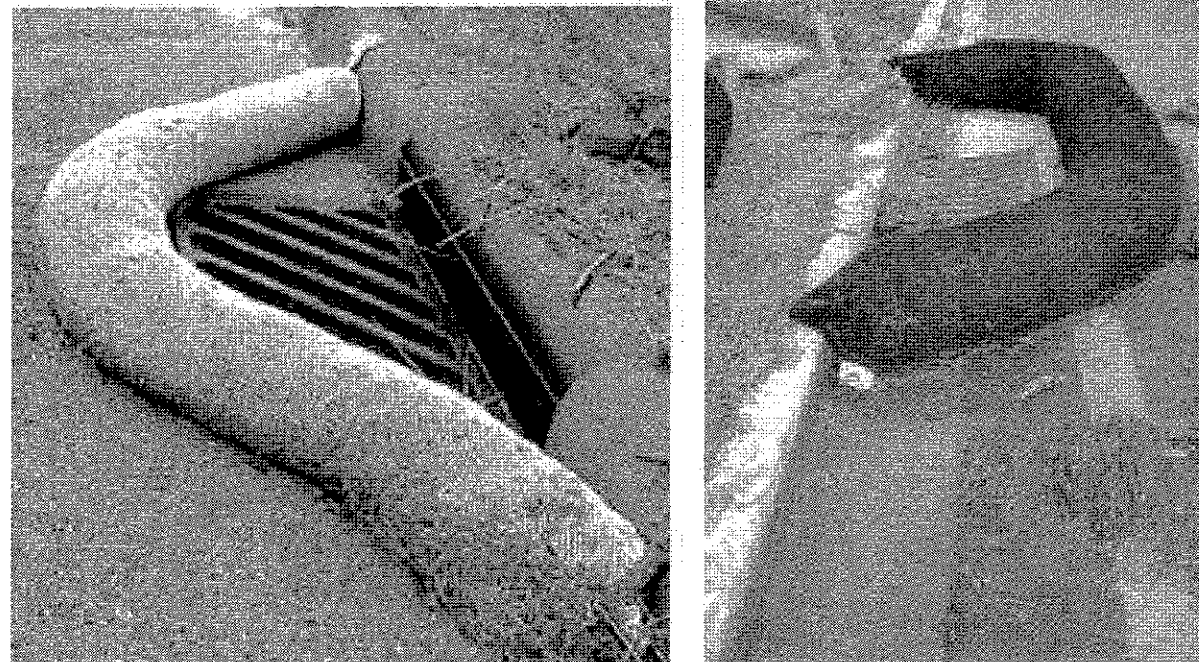
* If metal posts are to be used they must be standard "T" or "U" post weighing not less than 1 lb. per linear foot.

The length of the flow contributing to silt fence shall conform to the following limitations.

Slope (%)	Slope Steepness	Silt Fence Length (ft.) (Maximum)	Silt Fence Length (ft.) (Maximum)
2	0.36:1	Unlimited	Unlimited
2-10	50:1 to 9:1	125	1,000
10-20	10:1 to 5:1	100	750
20-33	5:1 to 3:1	60	500
33-50	3:1 to 2:1	40	250
50+	> 2:1	20	125

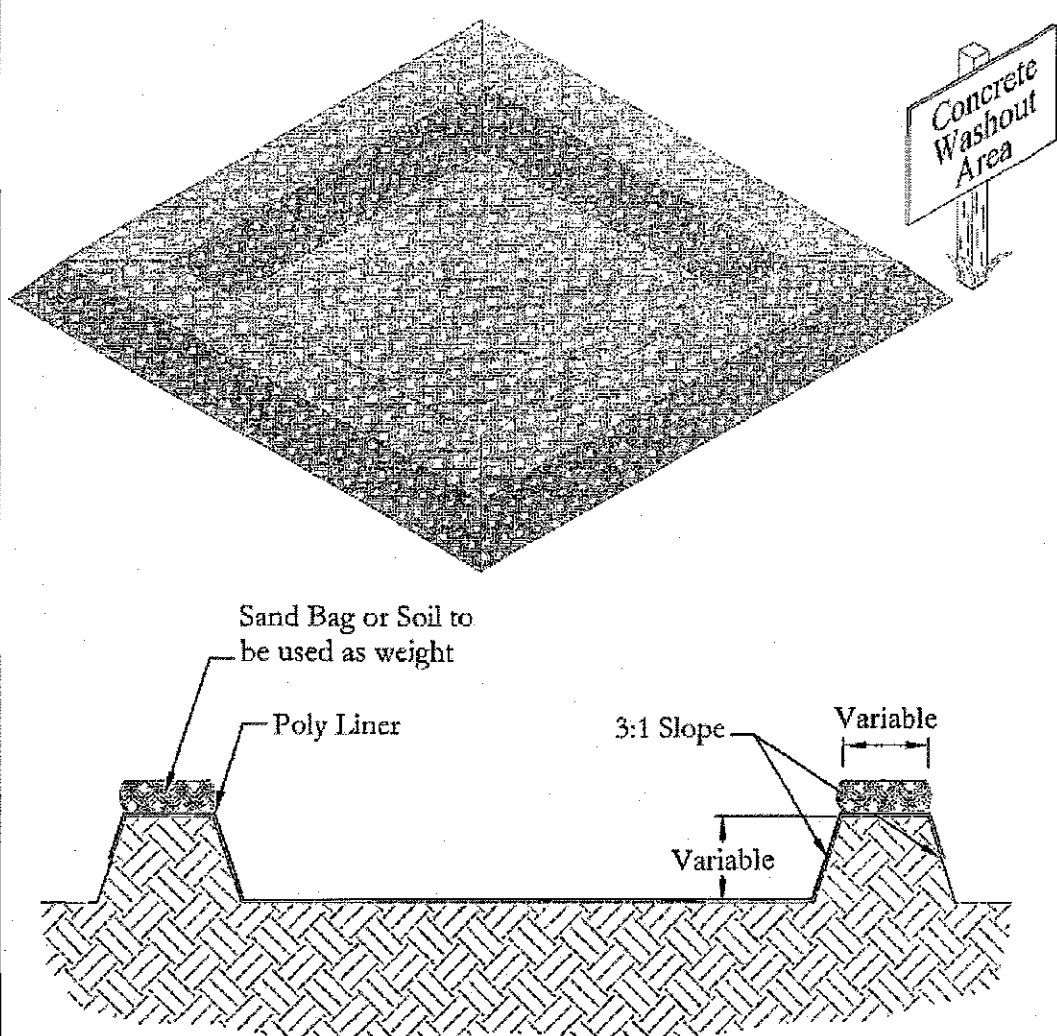
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Curb Storm Inlet Protection with Wattles



Concrete Washout Area

For use in High Water Table Areas



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Erosion Control Notes

1. All perimeter erosion and sediment control measures shall be installed prior to the execution of any grading work and maintained by the grading contractor for the duration of the grading project. Failure to install and maintain erosion control is a violation of State Law and subject to fine.
2. The appropriate erosion control device(s) shall be installed prior to the inception of any land disturbing activity and shall be properly maintained for construction activities.
3. All Erosion Control devices and their installation shall meet the standards prescribed in the current guidelines for storm water management for construction activities.
4. Sediment collected behind the sediment filters and silt fences shall be removed when sediment reaches one third the height of the barrier.
5. Sediment filters and silt fences shall be inspected and maintained no less than weekly or within 24 hours of a rainfall event of 0.5 inches or more. Maintenance shall include but not be limited to sediment removal, barrier repair and / or replacement.
6. Construction Site Entrance: The contractor shall construct as a minimum one stabilized construction entrance at the location shown on the plans. If additional ingress and egress to the construction site is required, the contractor shall coordinate with the construction manager the location of these additional stabilized construction entrances. Usage of non-stabilized for ingress and egress will not be permitted. The stabilized entrances shall be maintained in a condition which will prevent tracking or flowing of sediment onto public right-of-way and paved driving lanes. This may require periodic top dressing with additional stone as conditions warrant. Repair of the entrances or cleaning of the right-of-way and paved driving lanes that have been soiled shall be performed by the contractor at his own expense satisfactory to the construction manager. When necessary, vehicle wheels and tires shall be cleaned to remove sediment prior to entering onto public right-of-way and public streets. When washing is required, it shall be done on an area stabilized with crushed stone.
7. The contractor shall at his own expense, periodically water the site to control dust.
8. Sedimentation and erosion control measures shall be removed following construction or upon permanent stabilization of the disturbed and graded areas, whichever occurs last.
9. All disturbed areas that are not to be paved shall be re-seeded unless noted otherwise.
10. The contractor shall keep the site clean at all times and control dust resulting from the earthwork operation. The contractor shall not track mud onto the public streets.