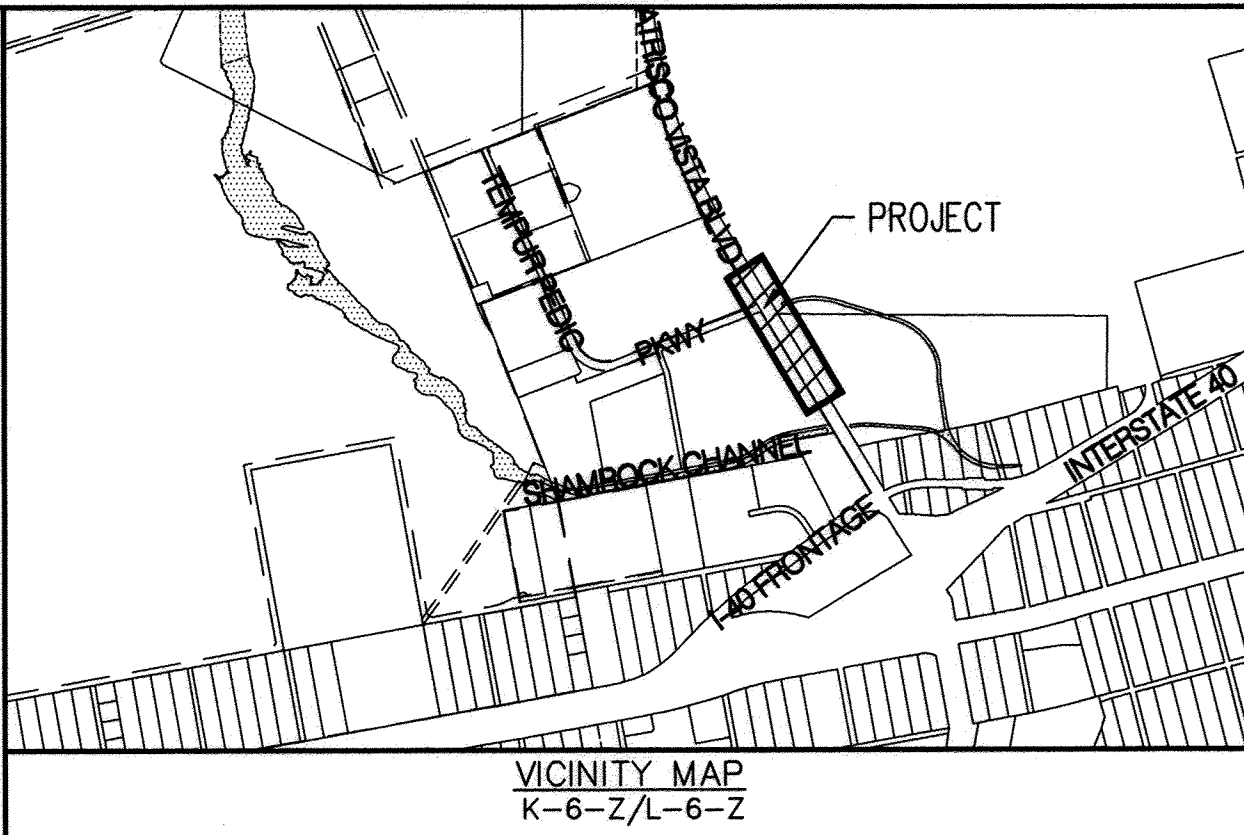


CONSTRUCTION PLANS
FOR
ATRISCO VISTA BLVD
NORTHBOUND LEFT TURN LANE
ALBUQUERQUE, NEW MEXICO

INDEX

SHEET NUMBER	DESCRIPTION
1	COVER SHEET
2	TRACT 11-A-1 CORDERO MESA ALTA
3	OVERALL PAVING PLAN
4	DEMOLITION PLAN
5-6	PAVING PLAN
7-8	SIGNING & STRIPING PLAN
9	DETAILS

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTIONS
CITY CONSTRUCTION ENGINEER
DATE: 1/27/19

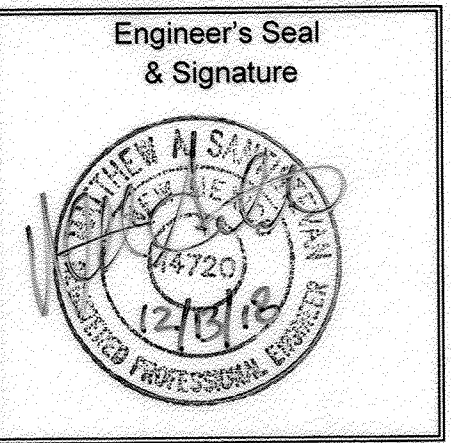


NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMITS WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #8.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS, SHOULD A CONFLICT EXIST. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION, CONTRACTOR SHALL NOTIFY THE CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
6. ALL WORK AFFECTING ARTERIAL ROADWAYS MAY REQUIRE TWENTY-FOUR HOUR CONSTRUCTION.
7. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
8. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
9. CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY ABQWIA FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
10. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
11. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF WELL COLLECTORS, TRANSMISSION LINES, OR FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT http://www.abqwia.org/Water_Shut_Off_and_Turn_on_Procedures.aspx.

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

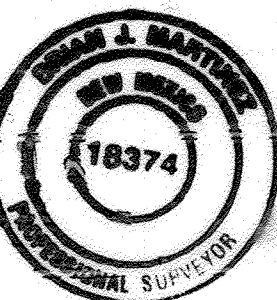
I, Matthew A. Santistevan of the firm of Bohannon Huston, Inc., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as shown on these drawings (Atrisco Vista Blvd Northbound Left Turn Lane) has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by the contractor, Franklin's Earthmoving, and the surveyor, Brian J. Martinez, NMPS 18374.



SURVEYOR'S CERTIFICATION

I, BRIAN J. MARTINEZ, A DULY QUALIFIED, REGISTERED, PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE "AS-BUILT" INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM FIELD CONSTRUCTION AND "AS-BUILT" SURVEYS PERFORMED BY ME OR UNDER MY SUPERVISION, THAT THE "AS-BUILT" INFORMATION SHOWN ON THESE DRAWINGS WAS ADDED BY ME OR UNDER MY SUPERVISION, AND THAT THIS "AS-BUILT" INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. CARTESIAN SURVEYS IS NOT RESPONSIBLE FOR ANY OF THE DESIGN CONCEPTS, CALCULATIONS, ENGINEERING, OR INTENT OF THE RECORDED DRAWINGS.

B. J. Martinez 9/27/18
BRIAN J. MARTINEZ, NMPS 18374




THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☒ IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- ☒ THE REQUESTOR OR DEVELOPER SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ALL CURB AND GUTTER OR SIDEWALK DAMAGED AFTER APPROVAL BY THE CITY ENGINEER OF WORK COMPLETED BY THE CONTRACTOR.

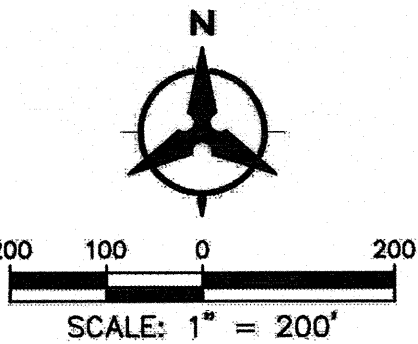
CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
2. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR CONSTRUCTION OBSERVER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
4. DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE CONSTRUCTION OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAIL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
5. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
6. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
7. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
8. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADING, SURFACE DISTURBANCE).
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE AT HIS EXPENSE ANY AND ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
10. ALL PERMANENT PAVEMENT MARKING AND TRAFFIC SIGNING SHALL BE FURNISHED AND PLACED BY THE CONTRACTOR PER PLAN.
11. THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF ALBUQUERQUE, DMD CONSTRUCTION COORDINATION DIVISION, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING CONSTRUCTION SIGNAGE UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
14. ALL SAWCUT PAVEMENT SHALL HAVE A UNIFORM EDGE, WHEN ABUTTING NEW ASPHALT (ONLY), EDGE SHALL BE SPRAYED WITH TACK.
15. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENTS, SIGNAGE, PAVEMENT MARKINGS, CURB & GUTTER, DRIVE PADS, WHEELCHAIR RAMPS, AND SIDEWALK DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE PER COA STANDARDS, AT HIS OWN EXPENSE.
17. AN SO 19 PERMIT IS REQUIRED TO PLACE ANY MATERIAL ON OR AROUND A STORM DRAIN INLET IN THE CITY RIGHT-OF-WAY THAT WOULD INTERFERE WITH THE INLET RECEIVING STORM WATER PER THE ENGINEER'S DESIGN. CITY PERSONNEL MAY REMOVE THIS MATERIAL AT ANY TIME WITHOUT NOTICE. THE PREFERRED BMP IS TO REMOVE SEDIMENT/POLLUTANTS ON THE PROPERTY WHERE CONSTRUCTION ACTIVITY IS OCCURRING.
18. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
19. CONTRACTOR WILL ENSURE THE ASPHALT HAS A SMOOTH, UNIFORM EDGE WHEN REMOVING AND REPLACING CURB AND GUTTER. IF THE ASPHALT EDGE IS NOT SMOOTH AND UNIFORM, CONTRACTOR WILL SAW CUT AND REPLACE A ONE-FOOT STRIP OF ASPHALT ALONG THE FULL SECTION BEING REPLACED; REFER TO COA STANDARD DRAWING # 2465 WITH THE APPROPRIATE PAVING SECTION BASED ON ROADWAY CLASSIFICATION.

Bohannon  Huston
www.bhinc.com 800.877.5332

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS	ENGINEER	DATE	*****		
		DRC Chairman	<i>James H. Santistevan</i>	4-3-18	APPROVED FOR CONSTRUCTION		
		Transportation	<i>Ben Lutz</i>	4-23-18			
		Water/Wastewater	<i>Ben Lutz</i>	4/2/18			
		Hydrology	<i>Renee Brunst</i>	4/2/18			
		Parks					
		Const. Coord.			City Engineer Date		
City Project No.		656180		Sheet		Of	
				1		9	

ALTA/NSPS LAND TITLE SURVEY
TRACT 11-A-1
CORDERO MESA
(A REPLAT OF TRACTS 11-A & 13-A,
CORDERO MESA AND
TRACT 14 OF THE SUMMARY PLAT
OF CORDERO MESA)
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 25 AND 26,
TOWNSHIP 10 NORTH, RANGE 1 EAST, N.M.P.M.
BERNALILLO COUNTY, NEW MEXICO
DECEMBER 2017



DESCRIPTION

Parcel 1:

Tract 11-A-1, Plat of Tract 11-A-1, Cordero Mesa (a Replat of Tracts 11-A & 13-A Cordero Mesa and Tract 14 of the Summary Plat of Cordero Mesa) Town of Atrisco Grant, Projected Sections 25 and 26, Township 10 North, Range 1 East, N.M.P.M., as the same is shown on said Replat, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on November 22, 2017, as Document No. 2017112133, Book 2017C, Page 0132.

SURVEY NOTES

- Tracts are located in Section 25 and 26, T10N, R1E, NMFM, City of Albuquerque, Bernalillo County, New Mexico.
- The entirety of Tract 11-A-1 is within Flood Zone X, "Areas determined to be outside of the 0.2% annual chance floodplain" as shown in Flood Insurance Rate Map Number 35001C0308H, effective November 4, 2016.
- Gross Acreage: 47.3018 Acres.
- Bearings are New Mexico State Plane Grid Bearings (central Zone) NAD 1983. Basis of Bearings is between City of Albuquerque Control Monuments "K3" and "3-K5" Bearing = N75°37'38"E
- Record bearings and distances are the same as shown on the Plat of TRACTS 11-A & 13-A CORDERO MESA, Town of Atrisco, Bernalillo County, filed for record on July 7, 2009 as Document No. 2009075914, Book 200C, Page 106 and Summary Plat of CORDERO MESA, Town of Atrisco, Bernalillo County, filed for record on April 30, 2007 as Document No. 2007063349.
- Distances are ground distances.
- All easements of record are as shown on the Document of record or made known to me by the owner, utility companies, or other interested parties.
- This ALTA/NSPS Land Title Survey was based on information obtained from Title Commitment No. 5011635-2201936-AL issued by First American Title Insurance Company issued November 28, 2017 at 8:00 am.
- No apparent wetlands are located on this site.
- No apparent earthwork or building construction evidence found on site.
- No evidence of site being used for a solid waste dump, sump or sanitary landfill.
- Zoning data was not provided to the Surveyor.
- Potential Encroachments as shown herein:
 - Potential Encroachment of a barbed wire fence in the Northeast quadrant of Tract 11-A-1.
 - Overhead powerline which is outside of an easement has been reported to remain in place temporarily through an unrecorded temporary permit not provided to the surveyor.
- Access to Tract 11-A-1 exists directly from adjoining dedicated right-of-way as named Shamrock Way NW and dedicated on plat, Book 2017C, Page 0132 on November 22, 2017.

SURVEYOR'S CERTIFICATION

To: Western Albuquerque Land Holdings, LLC, a Delaware Limited Liability Company
TCF National Bank, a National Banking Association
KW AGE, LLC, an Arizona Limited Liability Company
First American Title Insurance Company

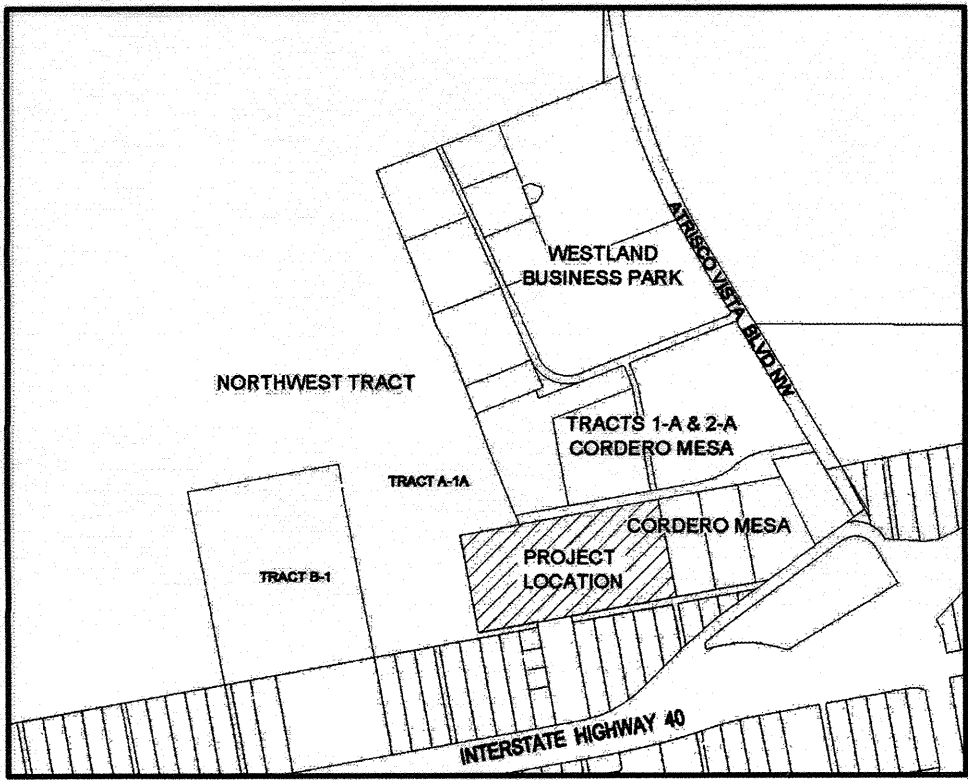
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 8(a), 8(b), 9, 11, 13, 14, 16, 17, 18, 19 and 20 of Table A thereof. The fieldwork was completed on February 2017 through November 2017.

Alan R. Benham
Alan R. Benham
New Mexico Professional Surveyor 15700
abenham@bhinc.com

Date: DECEMBER 7, 2017



Bohannon & Huston
Courtney I 7500 Jefferson St NE
Albuquerque, NM 87109 (505) 823-1000



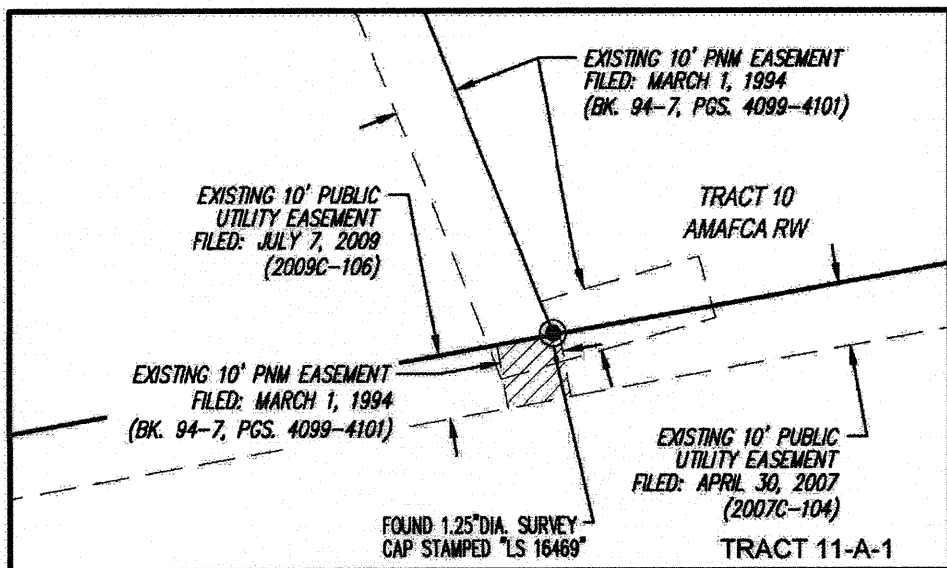
SCHEDULE BII TITLE EXCEPTIONS

STANDARD EXCEPTIONS

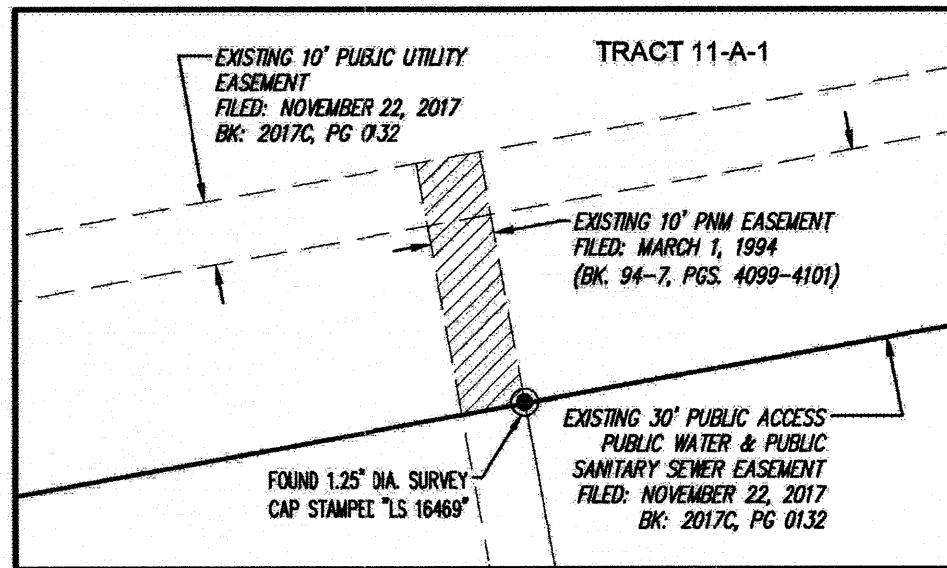
- Rights or claims of parties in possession not shown by the public records. (None were provided, none shown)
- Easements, or claims of easements, not shown by the public records. (None were provided, none shown)
- Encroachments, overlaps, conflicts in boundary lines, shortages in area, or other matters which would be disclosed by an accurate survey and inspection of the premises. (As shown on survey)
- Any lien, claim or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the public records. (Not a part of this survey)
- Community property, survivorship, or homestead rights, if any, of any spouse of the insured (or vestee in a leasehold or loan policy). (Not a part of this survey)
- Water rights, claims or title to water. (Not a part of this survey)
- Taxes for the year 2018, and thereafter, not yet due or payable. (Not a part of this survey)
- Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this commitment. (Not a part of this survey)
- Reservations contained in Patent from United States of America recorded in Book 35, page 91, records of Bernalillo County, New Mexico. (Not plottable)
- Covenants, conditions, restrictions, terms, provisions as noted on plats recorded in Plat Book 2007C, folio 104, and in Plat Book 2009C, folio 106, records of Bernalillo County, New Mexico, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c). (As to Parcel 1) (None were provided, none shown)
- Easement(s) reserved across the insured land, as shown on the recorded plat, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 30, 2007, in Plat Book 2007C, Folio 104. (As to Parcel 1) (As shown on survey)
- Bernalillo County Zoning, Building and Planning Department Notice of Preliminary Impact Fee Assessment filed April 30, 2007, recorded in Book A136, page 3224 as Document No. 2007063350, records of Bernalillo County, New Mexico. (As to Parcel 1) (Not plottable)
- Easement(s) reserved across the insured land, as shown on the recorded plat, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on July 7, 2009, in Plat Book 2009C, Folio 106. (As to Parcel 1) (As shown on survey)
- Intentionally Omitted
- Easement granted to Public Service Company of New Mexico and U.S. West Communications, Inc., filed March 1, 1994, recorded in Book 94-7, page 4099 as Document No. 94028068, records of Bernalillo County, New Mexico, as affected by Plat, filed on November 22, 2017, as Document No. 2017112133, Book 2017C, Page 0132 (As shown on survey - Details A, B, & C)
- Mineral reservations as contained in Quitclaim Mineral Deed and Assignment of Oil and Gas Leases, filed in Book A126, page 8492 as Document No. 2008188914, records of Bernalillo County, New Mexico. (Not plottable)
- Intentionally Omitted
- Reservations in Special Warranty Deed between Western Albuquerque Land Holdings, LLC, a Delaware limited liability company to KW AGE, LLC, an Arizona limited liability company, filed , as Document No. , records of Bernalillo County, New Mexico. (Not provided)
- Easement(s) reserved across the insured land and barbed wire fence, as shown on the recorded plat, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on November 22, 2017, as Document No. 2017112133. (As to Parcel 1) (As shown on survey)
- Right of easement, if any, relating to the overhead utility lines, as shown on the survey by Alan R. Benham, NMPS No. 15700, dated November 30, 2017. (This survey)

ACS ALUMINUM DISC "3-K5 1993"
GEOGRAPHIC POSITION (NAD 1983)
NAD STATE PLANE COORDINATES
(CENTRAL ZONE)
N=1,486,328.144 E=1,473,343.698
GROUND TO GRID FACTOR = 0.999858205
DELTA ALPHA = -00°19'15.59"
NAVD 1989 ELEVATION = 5807.121

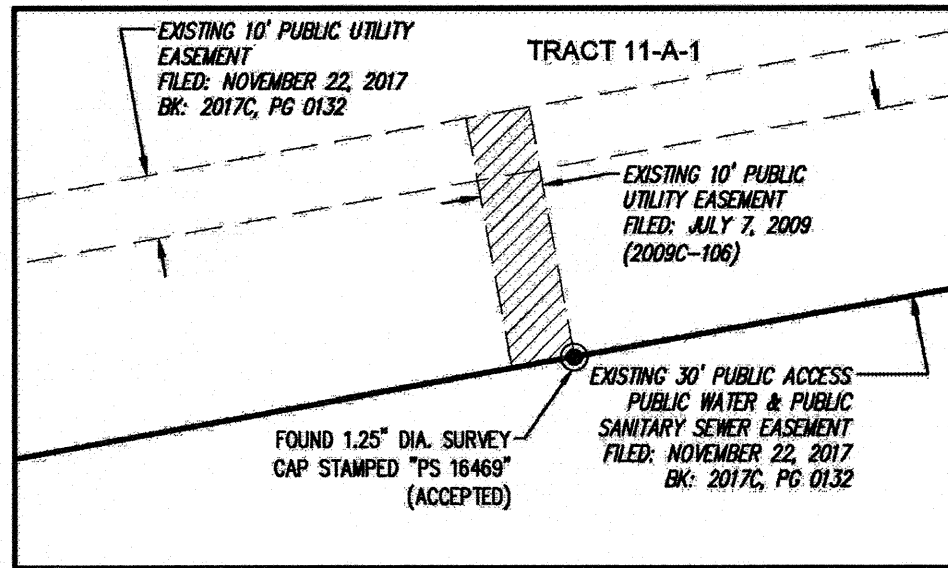
ACS ALUMINUM DISC "1-K1 1983"
GEOGRAPHIC POSITION (NAD 1983)
NAD STATE PLANE COORDINATES
(CENTRAL ZONE)
N=1,483,414.784 E=1,461,974.409
GROUND TO GRID FACTOR = 0.999856099
DELTA ALPHA = -00°20'31.98"
NAVD 1989 ELEVATION = 5845.325



DETAIL A
N.T.S.



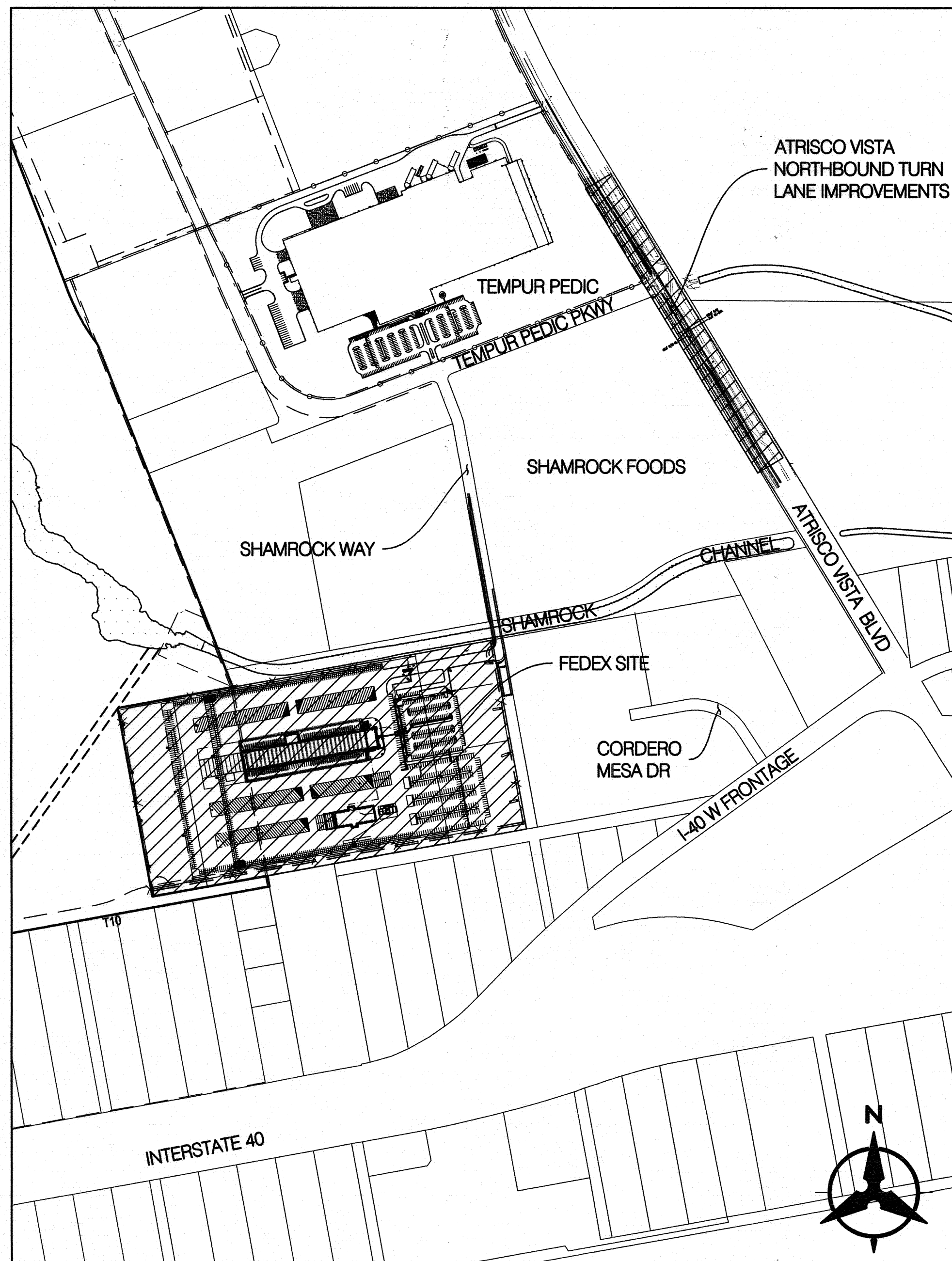
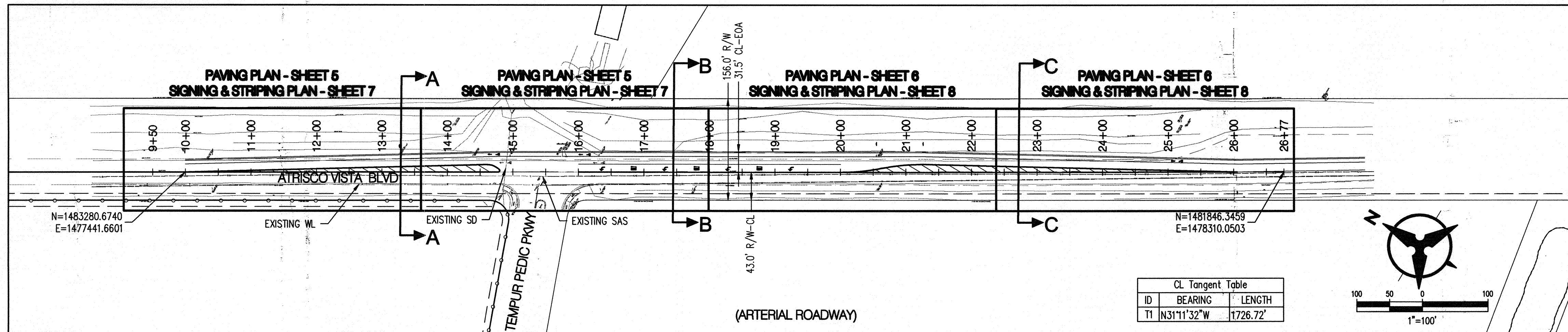
DETAIL B
N.T.S.



DETAIL C
N.T.S.

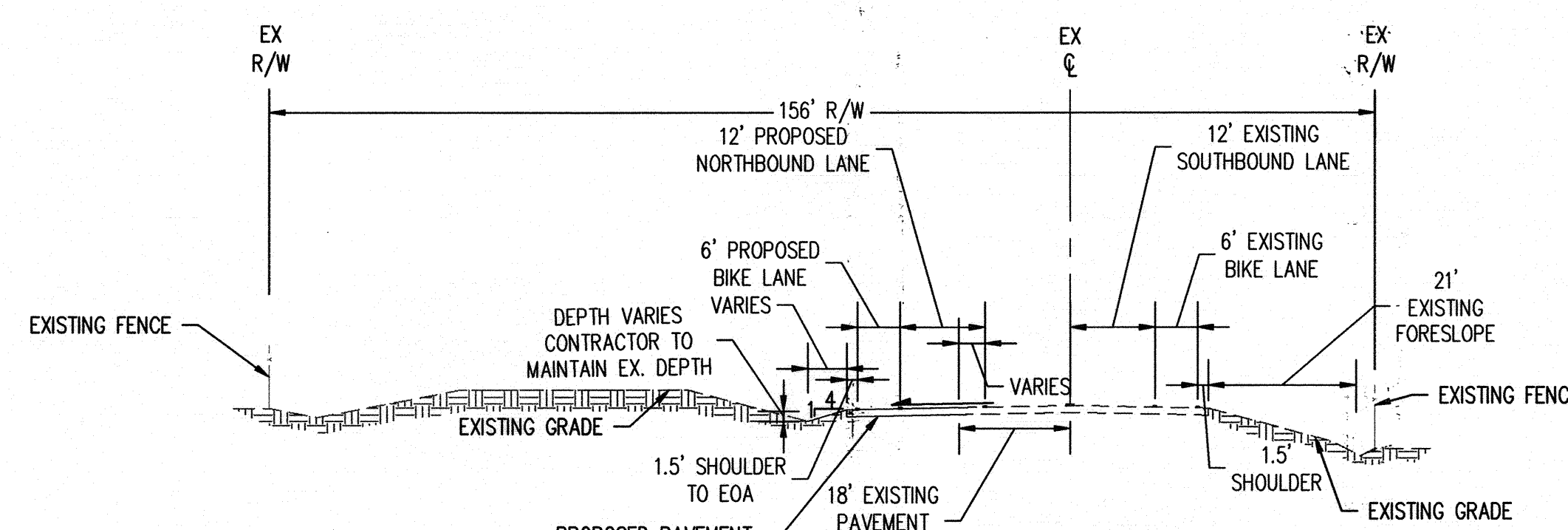
LEGEND	
▲ CITY OF ALBUQUERQUE CONTROL MONUMENT	BOUNDARY LINE
○ CONTROL POINT	TRACT LINE
● FOUND #5 REBAR WITH PINK PLASTIC SURVEY CAP STAMPED "PHILLIPS PS 15517"	EXISTING EASEMENT LINE
○ FOUND ALUMINUM CAP	RIGHT-OF-WAY LINE
● FOUND REBAR WITH CAP	ADJOINING PROPERTY LINE
□ FOUND REBAR NO CAP	APPROXIMATE LOCATION OF FEMA FLOOD PLAIN
○ FOUND IRON PIPE	EDGE-GRAVEL ROAD
◆ FOUND BRASS CAP	EDGE-PAVED ROAD
— SIGN	LINE-OVERHEAD ELECTRIC
— GUY WIRE ANCHOR	LINE-UNDERGROUND ELECTRIC
— POWER POLE	LINE-GAS LINE
— MANHOLE-SANITARY SEWER	LINE-SANITARY SEWER
— MANHOLE-STORM SEWER	LINE-WATER
— FIRE HYDRANT	
— MANHOLE-WATER	
— VALVE-WATER	

TANGENT DATA		
ID	BEARING	DISTANCE
T1	S79°49'42"W	30.07
T2	N79°44'23"E	30.07



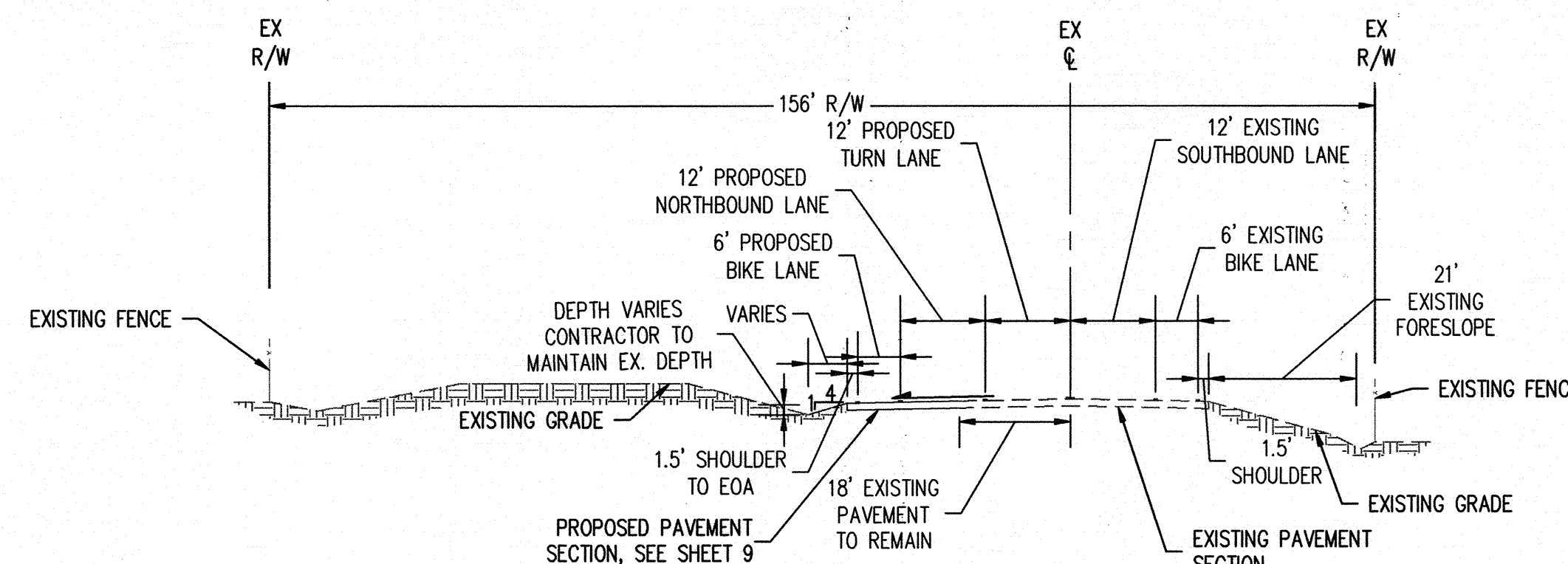
VICINITY MAP
SCALE: 1" = 500'

Fri, 30-Mar-2018 - 9:27:am, Plotted by: MSATCHES
P:\20170426\CDP\Plans\COA PWO\20170426_OPAV.dwg

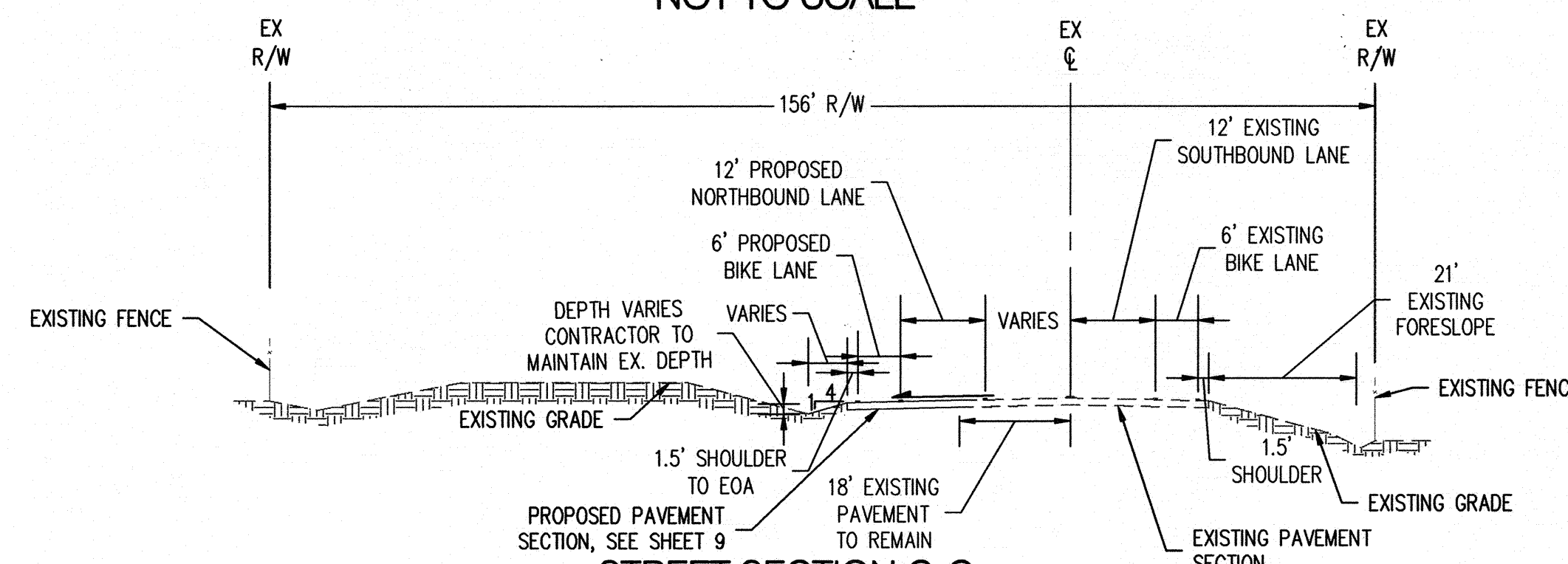


NOTE: CROSS-SLOPE OF PAVEMENT WIDENING SHALL MATCH CROSS-SLOPE OF EXISTING TO PROVIDE CONTINUOUS CROSS- SLOPE (TYP).

SECTION, SEE SHEET 9
STREET SECTION A-A
STA. 10+00.00 - STA. 14+59.00
NOT TO SCALE



SECTION, SEE SHEET 5
STREET SECTION B-B
STA. 14+59.00 - STA. 20+00.50
NOT TO SCALE



SECTION, SEE SHEET 5 TO REMAIN

STREET SECTION C-C

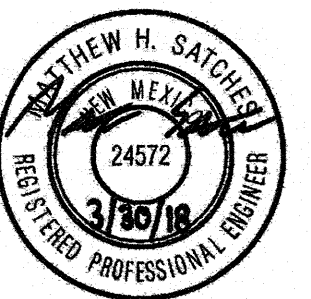
20+00.50 - STA. 26+05.38

NOT TO SCALE

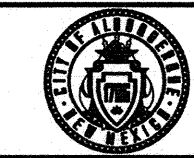
GENERAL NOTES:

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
2. ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
3. GRADE ELEVATIONS, WHERE NOTED, ARE FOR FLOWLINE OF CURB UNLESS OTHERWISE SPECIFIED.
4. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
5. ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
6. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS.
7. ANY DAMAGE TO THE EXISTING FACILITIES, (C&G), PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE RECONSTRUCT AT THE CONTRACTORS' EXPENSE.
8. WHEELCHAIR RAMPS SHALL BE RECONSTRUCT PRIOR TO ACCEPTANCE OF CURB & GUTTER.
9. FOR CURB RETURN & QUARTER POINT ELEV INFO REFER TO DETAIL THIS SHEET.
10. MH RIMS & CATCH BASIN INLET ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT ELEVATIONS.
11. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AND TRANSMISSION GAS LINES.
CONTRACTOR SHALL COORDINATE RELOCATION OF UTILITY LINES WITH UTILITY COMPANIES AS REQUIRED.

SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	FIELD NOTES			CONTRACTOR <i>FRANKLIN'S</i>	DATE <i>8/18</i>
	BY	DATE			
			ACS MONUMENT ACS ALUMINUM DISC "3-K5 1993"	<small>WORK STAGES BY Cartesian Surveys</small>	DATE <i>8/18</i>
			GEOGRAPHIC POSITION NAD 83	<small>FIELD ACCEPTANCE BY <i>BUT</i></small>	DATE <i>12/16</i>
			N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	<small>FIELD DRAWINGS</small>	DATE <i>9/18</i>
			X = 1473343.688 Y = 1486328.144	<small>CORRECTED BY <i>BUT</i></small>	DATE <i>12/16</i>
			GROUND-TO-GRID FACTOR = 0.999658205	MICROFILM INFORMATION	
			Air = -00°19'15.59"	RECORDED BY	DATE
			NAVD 1988 ELEVATION = 5807.121	NO.	



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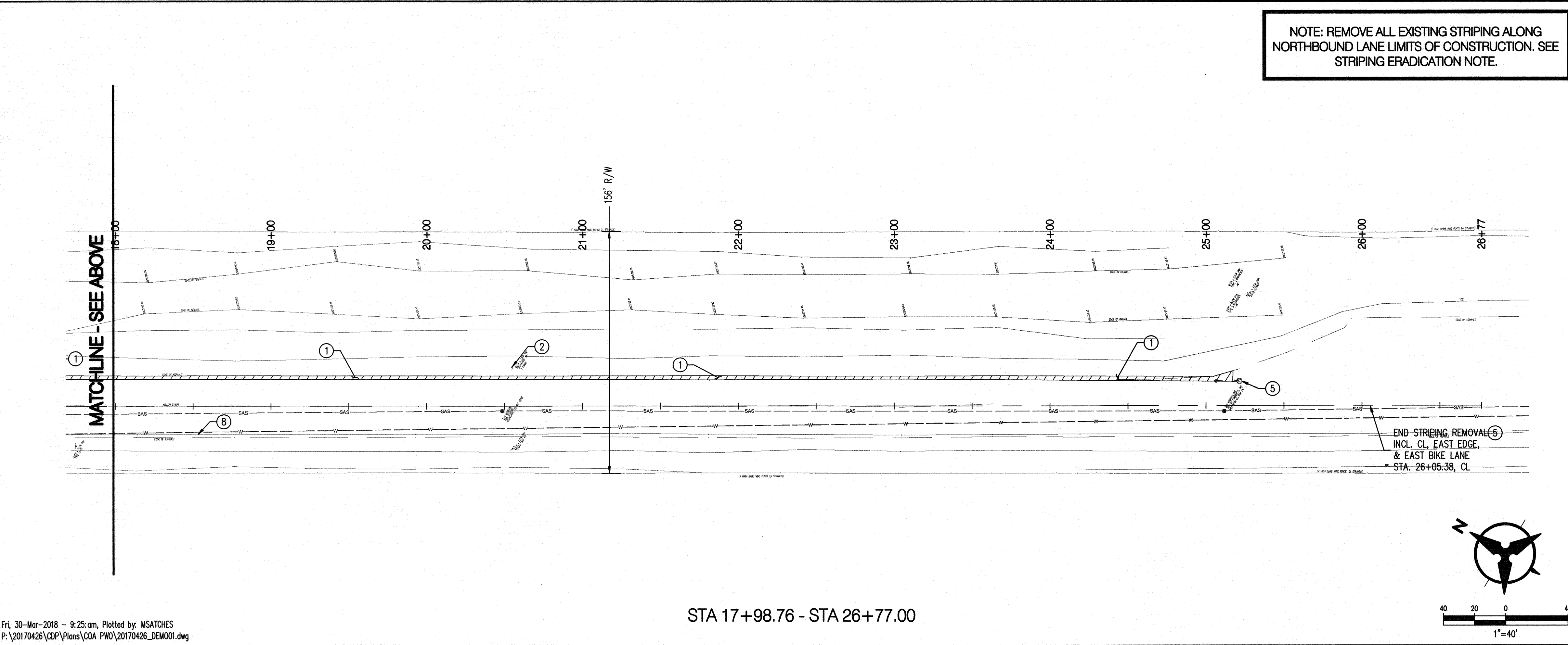
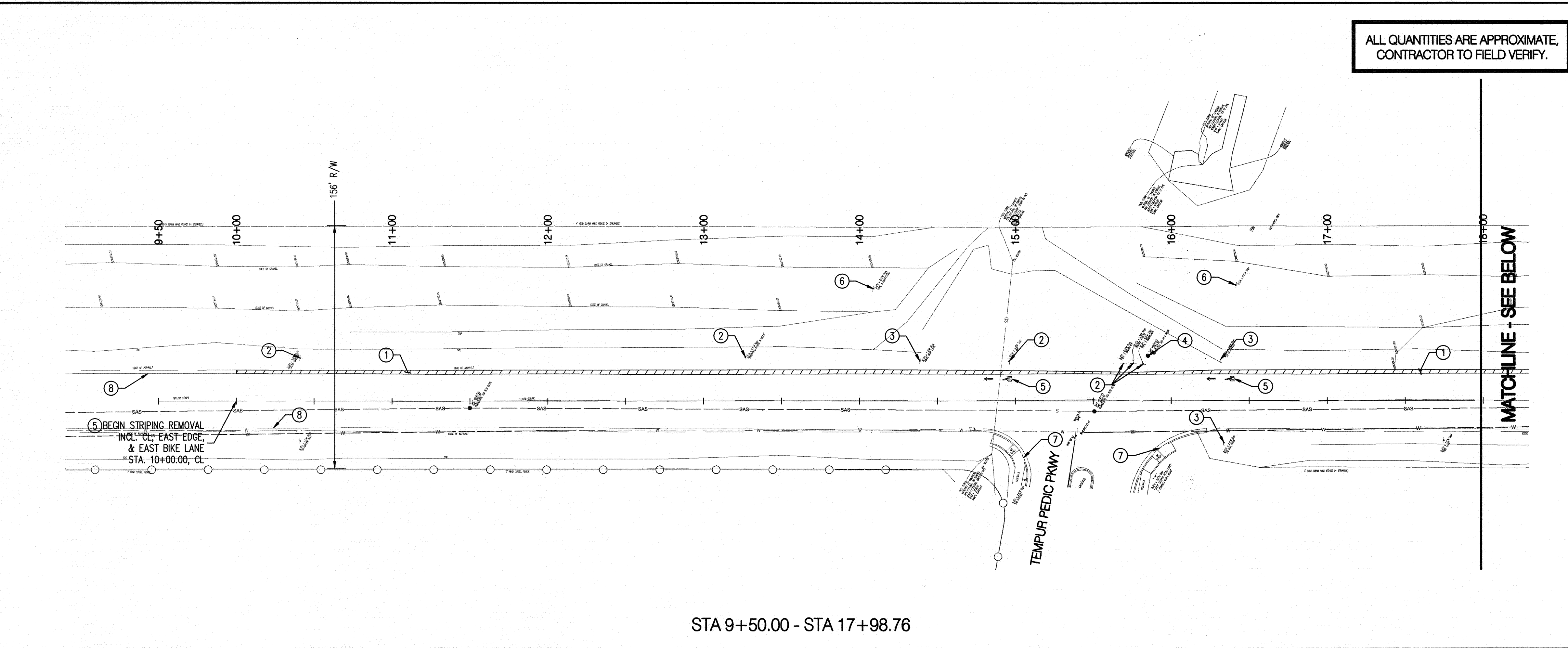
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

ATRISCO VISTA BLVD NORTHBOUND LEFT TURN LANE
OVERALL PAVING PLAN

Design Review Committee 	City Engineer Approval 	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. 656180	Zone Map No. K-6-Z/L-6-Z	Sheet 3	Of 9	



DEMOLITION KEYED NOTES

1. SAWCUT EXISTING ASPHALT TO CLEAN EDGE (2' MIN).
2. REMOVE & RELOCATE EXISTING SIGNAGE.
3. REMOVE & SALVAGE EXISTING SIGNAGE.
4. ADJUST ALL EXISTING UTILITY APPURTENANCES I.E. MANHOLES, VALVE BOXES, CLEANOUTS, ETC. TO FINISHED GRADE (LOCATIONS ARE APPROXIMATE, CONTRACTOR TO FIELD VERIFY). REPLACE COLLAR. SEE GRADING PLAN FOR FINISH GRADE.
5. REMOVE EXISTING STRIPING.
6. EXISTING SIGN TO REMAIN.
7. EXISTING CURB & GUTTER TO REMAIN.
8. EXISTING STRIPING TO REMAIN.

GENERAL NOTES:

1. FOR ULTIMATE STRIPING SEE THE SIGNING & STRIPING PLAN ON SHEETS 7 & 8. ERADICATE ANY CONFLICTING STRIPING.
2. ALL STRIPING ERADICATION SHALL BE ACCOMPLISHED BY WATER BLASTING OR SURFACE PLANING TO A MAXIMUM DEPTH OF 0.25 INCHES AND FOR WIDTH EQUAL TO TWO TIMES THE WIDTH OF MARKING TO BE REMOVED.
3. CONTRACTOR SHALL APPLY A SEALANT TO THE WATER BLASTED AREA AND SHOULD BE CONSIDERED INCIDENTAL TO WATER BLASTING.
4. ADJUST ALL (EXISTING AND PROPOSED) UTILITY APPURTENANCES, I.E. MANHOLES, VALVE BOXES, CLEANOUTS, ETC. TO FINISHED GRADE.
5. DRY UTILITY RELOCATION TO BE COORDINATED WITH UTILITY COMPANIES.
6. ALL LANDSCAPED AREAS WITHIN THE RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED.
7. REMOVAL OF EXISTING CURB & GUTTER SHALL BE PER COA STD. DWG. 2415 TO NEAREST JOINT.

LEGEND

- R/W LINE
- EXISTING EDGE OF ASPHALT
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- PROPOSED EDGE OF ASPHALT
- EXISTING FENCE
- EXISTING STREET SIGN
- PROPOSED STREET SIGN
- REMOVE & REPLACE EXISTING ASPHALT

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

ATRISCO VISTA BLVD NORTHBOUND LEFT TURN LANE

DEMOLITION PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
APPROVED APR 03 2019 DESIGN REVIEW COMMITTEE	APPROVED JUN 24 2019 CITY ENGINEER		
City Project No.	Zone Map No.	Sheet	Of
656180	K-6-Z/L-6-Z	4	9

PAVING KEYED NOTES

1. INSTALL NEW ASPHALT PAVEMENT PER DETAIL ON SHEET 9. CONTRACTOR IS TO FIELD VERIFY EXISTING PAVEMENT SECTION. IF SECTION IS GREATER THAN SPECIFIED, CONTRACTOR SHALL MATCH EXISTING SECTION AND INFORM ENGINEER OF ANY CHANGES.
2. PROPOSED EDGE OF ASPHALT.
3. ADJUST SAS MANHOLE TO FINISH GRADE.
4. MATCH EXISTING.

NOTE: CONTRACTOR TO RE-ESTABLISH ROADSIDE DITCH IF DISTURBED DURING CONSTRUCTION. CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE.

LEGEND

- R/W LINE
- PROJECT LIMITS OF GRADING
- EXISTING INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- EXISTING GROUND SPOT ELEVATION
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED FINISHED GRADE SPOT ELEVATION
- FG=FINISH GROUND
- TA=TOP OF ASPHALT
- EX-TA=EXISTING TOP OF ASPHALT
- EXISTING STORM DRAIN LINE
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE

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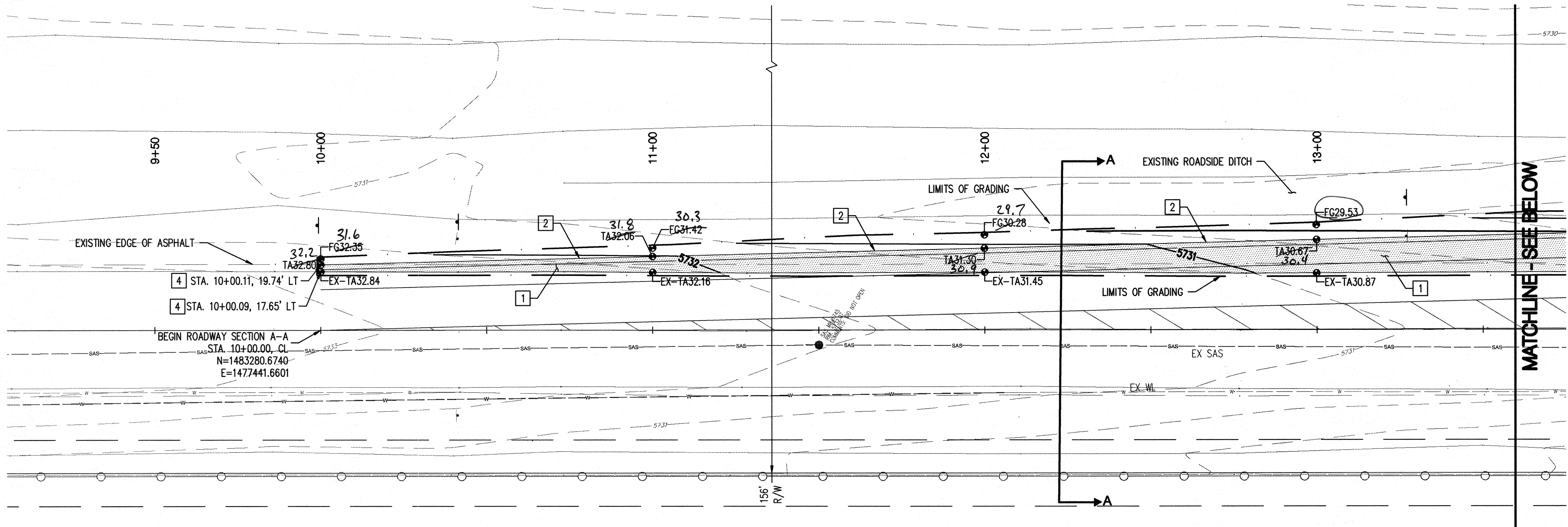
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

ATRISCO VISTA BLVD NORTHBOUND LEFT TURN LANE

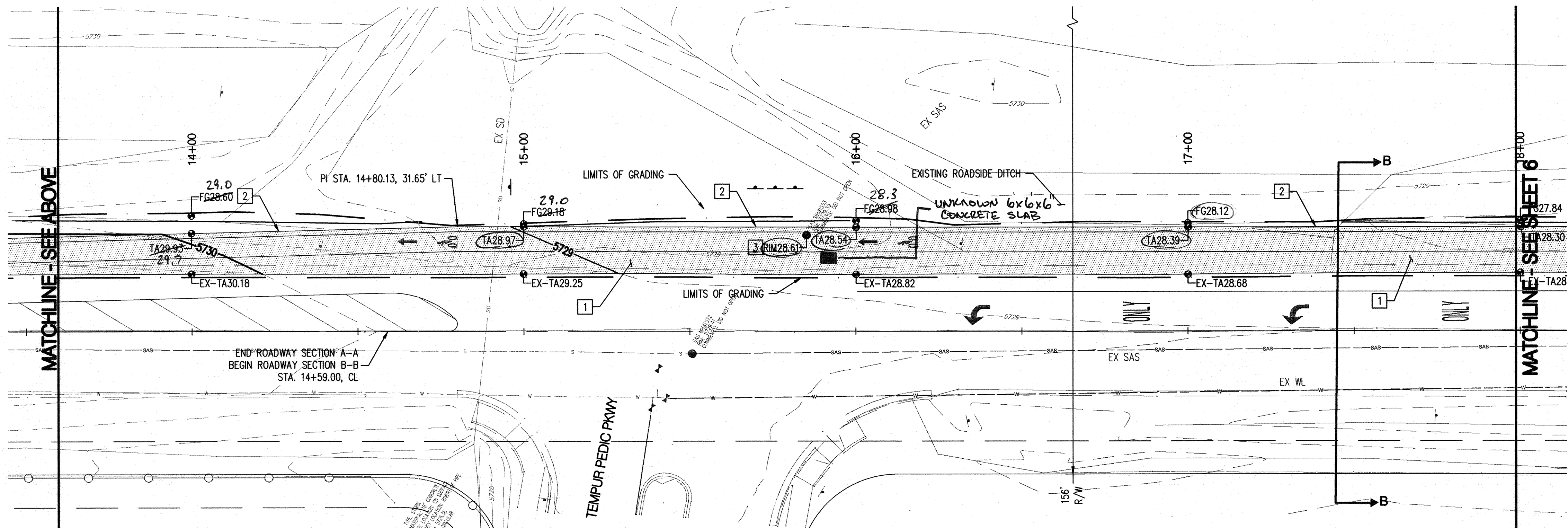
PAVING PLAN
STA 9+50.00 - STA 17+98.76

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
APR 03 2019	JUN 28 2019		
DESIGN REVIEW COMMITTEE	CITY ENGINEER		

City Project No. 656180 Zone Map No. K-6-Z/L-6-Z Sheet 5 of 9



STA 9+50.00 - STA 13+59.70



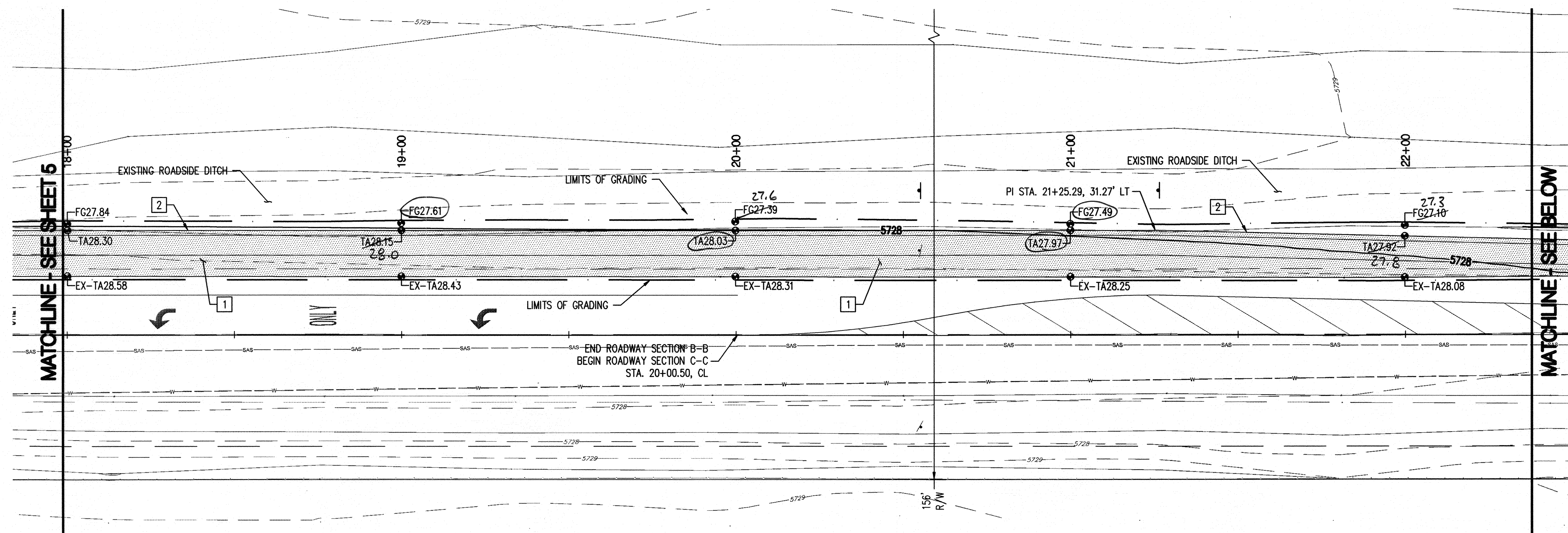
STA 13+59.70 - STA 17+98.76

Certification
THE CHANGES SHOWN HEREON ARE BASED UPON A FIELD SURVEY CONDUCTED BY ME OR UNDER MY SUPERVISION AND REFLECT THE LOCATIONS (VERTICALLY AND HORIZONTALLY) TO THE BEST OF MY KNOWLEDGE AND BELIEF.

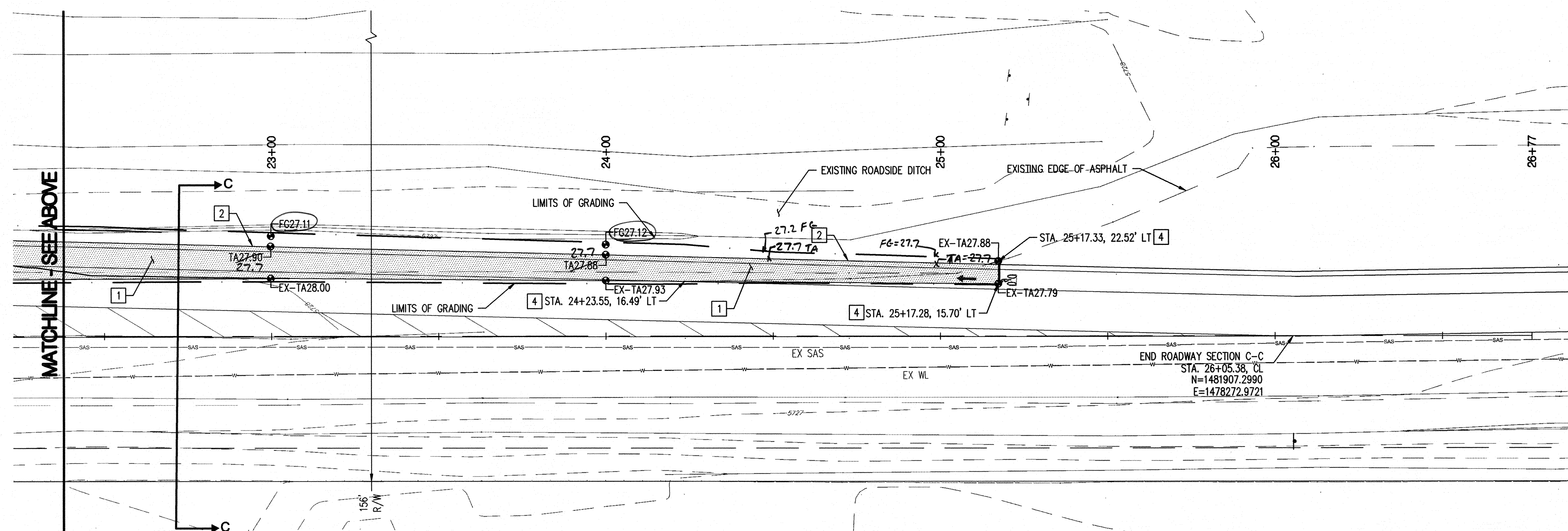
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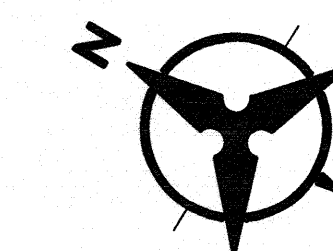


STA 17+98.76 - STA 22+37.81




STA 22+37.81 - STA 26+77.00

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(VERTICALLY AND HORIZONTALLY) TO THE BEST OF
MY KNOWLEDGE AND BELIEF.



Fri, 30-Mar-2018 - 9:29:am, Plotted by: MSATCHES
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PAVING KEYED NOTES

1. INSTALL NEW ASPHALT PAVEMENT PER DETAIL ON SHEET 9. CONTRACTOR IS TO FIELD VERIFY EXISTING PAVEMENT SECTION. IF SECTION IS GREATER THAN SPECIFIED, CONTRACTOR SHALL MATCH EXISTING SECTION AND INFORM ENGINEER OF ANY CHANGES. 
2. PROPOSED EDGE OF ASPHALT.
3. ADJUST SAS MANHOLE TO FINISH GRADE.
4. MATCH EXISTING.

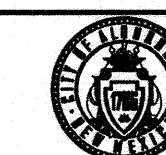
**NOTE: CONTRACTOR TO RE-ESTABLISH
ROADSIDE DITCH IF DISTURBED DURING
CONSTRUCTION. CONTRACTOR TO MAINTAIN
POSITIVE DRAINAGE.**

LEGEND

- R/W LINE
- PROJECT LIMITS OF GRADING
- EXISTING INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
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- PROPOSED INDEX CONTOUR
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

ATRISCO VISTA BLVD NORTHBOUND LEFT TURN LANE
PAVING PLAN

PAVING PLAN
STA 17+98.76 - STA 26+77.00

Design Review Committee	City Engineer Approval	Last Design Update _____	Mo./Day/Yr.	Mo./Day/Yr.
APPROVED APR 03 2019 DESIGN REVIEW COMMITTEE	APPROVED JUN 20 2019 CITY ENGINEER			


City Project No.	Zone Map No.	Sheet	Of
656180	K-6-Z/L-6-Z	6	9

SIGNING & STRIPING
KEYED NOTES

1. REFLECTORIZED THERMOPLASTIC PAVEMENT MARKING - 4" SOLID WHITE STRIPE.
2. REFLECTORIZED THERMOPLASTIC PAVEMENT MARKING - 4" DOUBLE SOLID YELLOW STRIPE.
3. REFLECTORIZED THERMOPLASTIC PAVEMENT MARKING - 6" SOLID WHITE STRIPE.
4. REFLECTORIZED THERMOPLASTIC PAVEMENT MARKING - 4" SOLID YELLOW STRIPE.
5. INSTALL NEW RETROREFLECTIVE PREFORMED PATTERNED PAVEMENT MARKING AND SYMBOL FOR BICYCLE LANES. SEE DETAIL ON SHEET 9.
6. INSTALL NEW RETROREFLECTIVE PREFORMED PATTERNED OR THERMOPLASTIC PAVEMENT MARKING, LEFT ARROW. SEE DETAIL ON SHEET 9.
7. INSTALL NEW RETROREFLECTIVE PREFORMED PATTERNED PAVEMENT MARKING, WORD ONLY. SEE DETAIL ON SHEET 9.
8. INSTALL NEW 4" SOLID YELLOW REFLECTORIZED PAINTED MARKING CHEVRON. SEE DETAIL ON SHEET 9.
9. RELOCATED SIGN LOCATION.
10. INSTALL NEW SIGN.

GENERAL NOTES:

1. ALL SIGNING AND STRIPING SHALL BE INSTALLED WITH ACCORDANCE WITH MUTCD LATEST EDITION AND COA STANDARD SPECIFICATION SECTION 400.
2. ALL SIGN AND SIGN POST MATERIAL SHALL CONFORM TO COA TRAFFIC ENGINEERING REQUIREMENTS.
3. CONTRACTOR SHALL REPLACE EXISTING PAVEMENT MARKINGS THAT ARE OBLITERATED FOR TRAFFIC CONTROL REASONS. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO TRAFFIC CONTROL.
4. ALL STRIPING ERADICATION SHALL BE ACCOMPLISHED BY WATER BLASTING OR SURFACE PLANING TO A MAXIMUM DEPTH OF 0.25 INCHES AND FOR WIDTH EQUAL TO TWO TIMES THE WIDTH OF MARKING TO BE REMOVED.
5. ALL PAVEMENT WITHIN PROJECT LIMITS SHALL BE COVERED WITH ASPHALT SLURRY SEAL PRIOR TO FINAL STRIPING.
6. ALL SIGNING AND STRIPING STANDARDS SHALL ADHERE TO CITY OF ALBUQUERQUE SECTION 2900, LATEST ADDITION.


AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
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INSPECTED BY	Cartesian Surveys	DATE	8/18	BY			
FIELD	DATE	12/18		REMARKS	By	DESIGN	
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FIELD	DATE	1/18				NO.	

SIGNING & STRIPING KEYED NOTES

- REFLECTORIZED THERMOPLASTIC PAVEMENT MARKING - 4" SOLID WHITE STRIPE.
- REFLECTORIZED THERMOPLASTIC PAVEMENT MARKING - 4" DOUBLE SOLID YELLOW STRIPE.
- REFLECTORIZED THERMOPLASTIC PAVEMENT MARKING - 6" SOLID WHITE STRIPE.
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- INSTALL NEW RETROREFLECTIVE PREFORMED PATTERNED PAVEMENT MARKING AND SYMBOL FOR BICYCLE LANES. SEE DETAIL ON SHEET 9.
- INSTALL NEW RETROREFLECTIVE PREFORMED PATTERNED OR THERMOPLASTIC PAVEMENT MARKING, LEFT ARROW. SEE DETAIL ON SHEET 9.
- INSTALL NEW RETROREFLECTIVE PREFORMED PATTERNED PAVEMENT MARKING, WORD ONLY. SEE DETAIL ON SHEET 9.
- INSTALL NEW 4" SOLID YELLOW REFLECTORIZED PAINTED MARKING CHEVRON. SEE DETAIL ON SHEET 9.
- RELOCATED SIGN LOCATION.
- INSTALL NEW SIGN.

GENERAL NOTES:

- ALL SIGNING AND STRIPING SHALL BE INSTALLED WITH ACCORDANCE WITH MUTCD LATEST EDITION AND COA STANDARD SPECIFICATION SECTION 400.
- ALL SIGN AND SIGN POST MATERIAL SHALL CONFORM TO COA TRAFFIC ENGINEERING REQUIREMENTS.
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- ALL SIGNING AND STRIPING STANDARDS SHALL ADHERE TO CITY OF ALBUQUERQUE SECTION 2900, LATEST ADDITION.

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION		
<div></div>		FIELD NOTES						
		NO.	BY	DATE				
		REMARKS	By					
		REVISIONS						
		DESIGN						
Designed By: MHS		DATE: 03/2018						
Drawn By: EGN		DATE: 03/2018						
Checked By: MHS/MB		DATE: 03/2018						

Bohannon & Huston
www.bhinc.com 800.877.5332

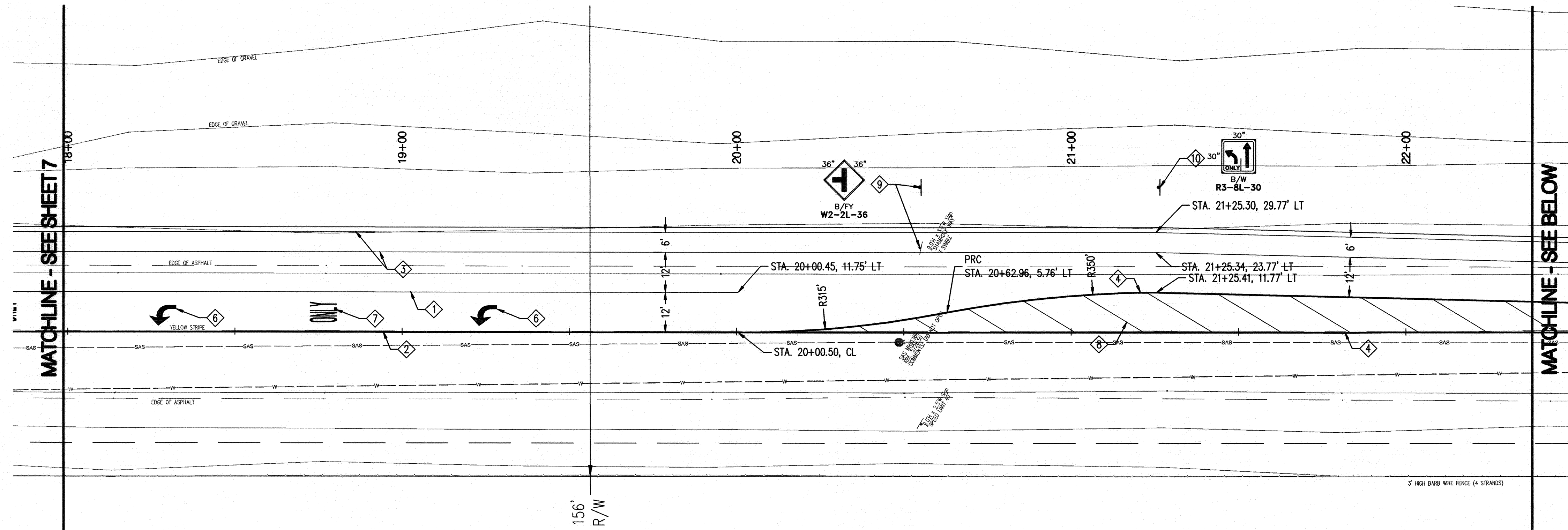


**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

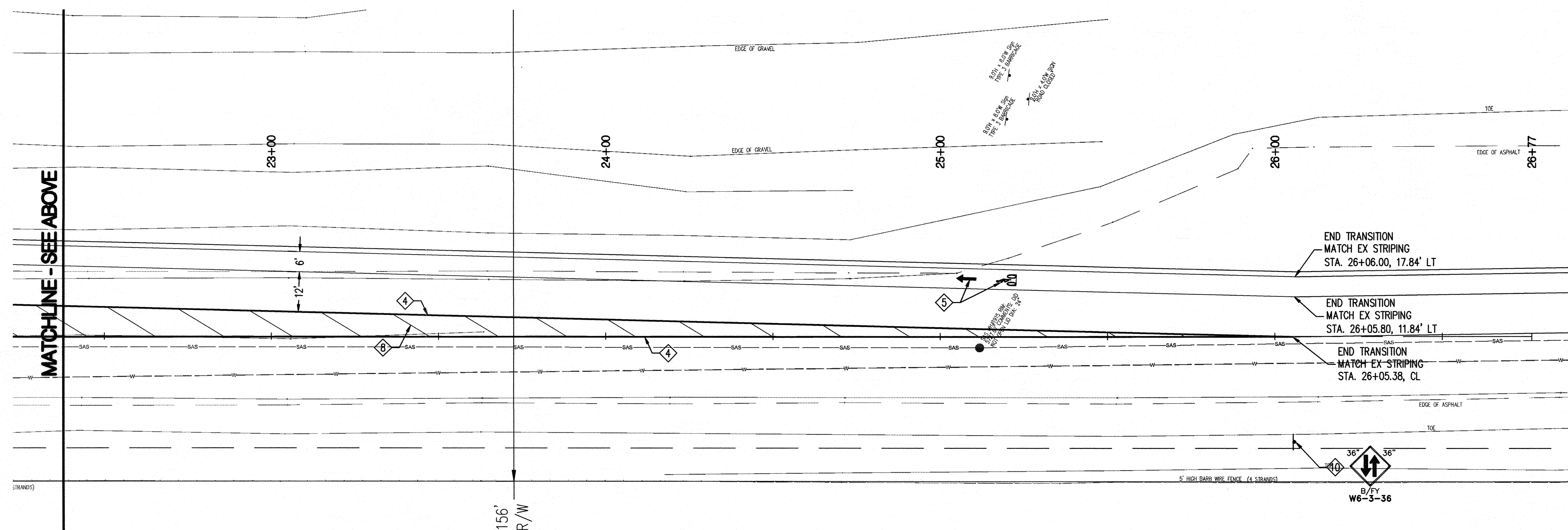
**ATRISCO VISTA BLVD NORTHBOUND LEFT TURN LANE
SIGNING & STRIPING PLAN
STA 17+98.76 - STA 26+77.00**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
APPROVED APR 03 2018 DESIGN REVIEW COMMITTEE	APPROVED JUN 29 2018 CITY ENGINEER		

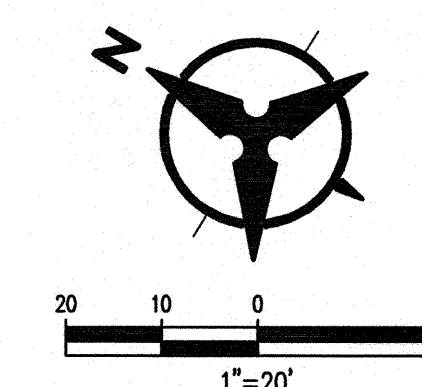
City Project No.	Zone Map No.	Sheet	Of
656180	K-6-Z/L-6-Z	8	9

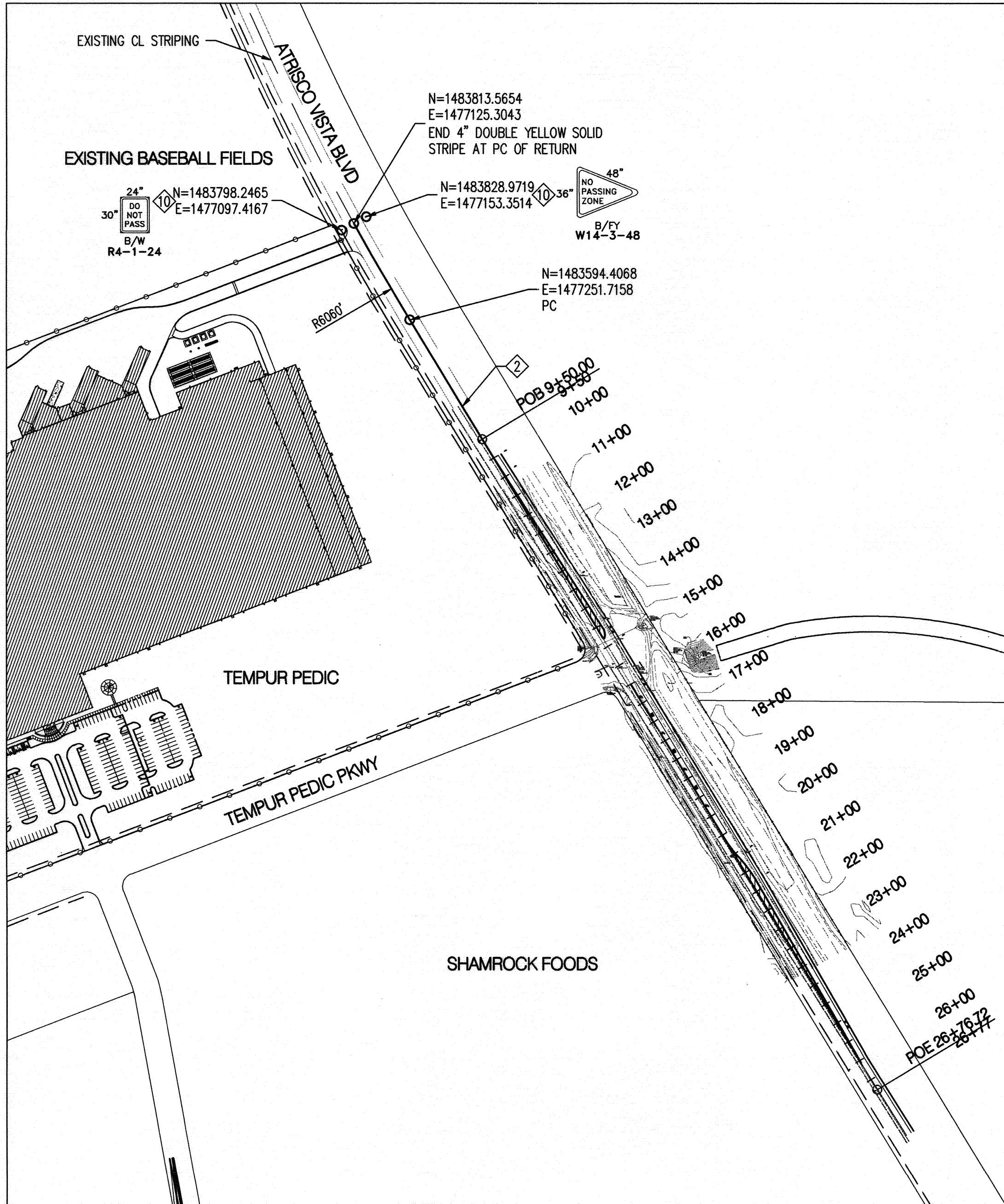
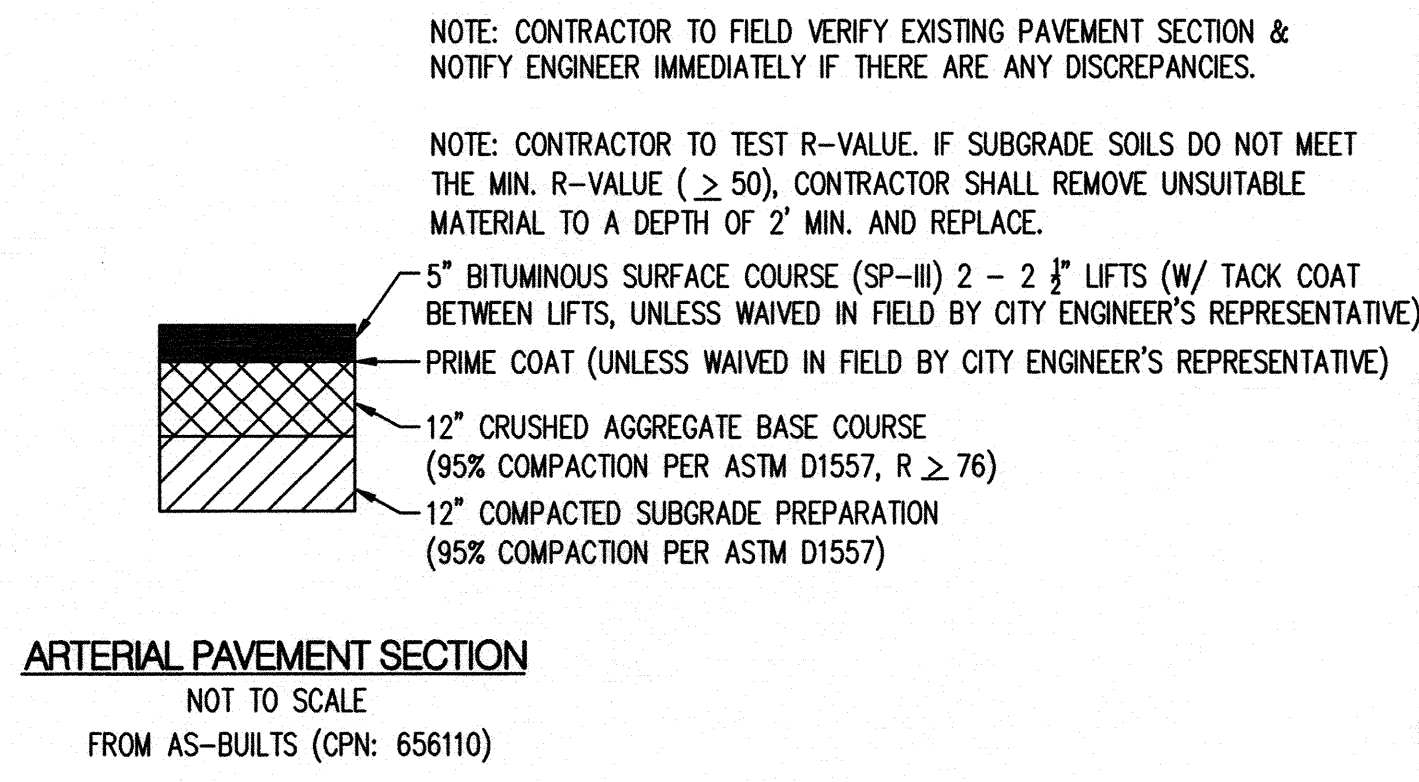
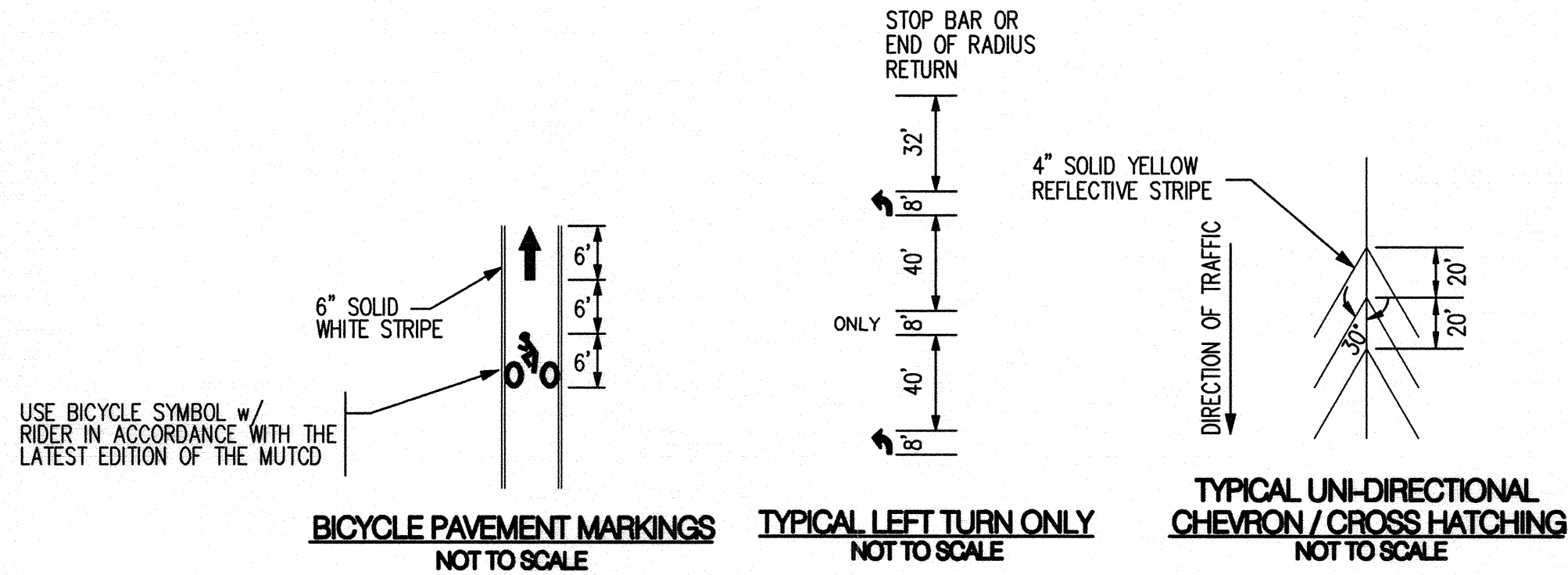


STA 17+98.76 - STA 22+37.81

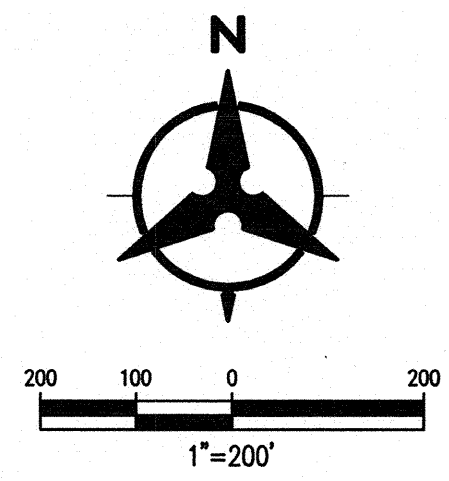


STA 22+37.81 - STA 26+77.00





- SIGNING & STRIPING KEYED NOTES**
- REFLECTORIZED THERMOPLASTIC PAVEMENT MARKING - 4" SOLID WHITE STRIPE.
 - REFLECTORIZED THERMOPLASTIC PAVEMENT MARKING - 4" DOUBLE SOLID YELLOW STRIPE.
 - REFLECTORIZED THERMOPLASTIC PAVEMENT MARKING - 6" SOLID WHITE STRIPE.
 - REFLECTORIZED THERMOPLASTIC PAVEMENT MARKING - 4" SOLID YELLOW STRIPE.
 - INSTALL NEW RETROREFLECTIVE PREFORMED PATTERNED PAVEMENT MARKING AND SYMBOL FOR BICYCLE LANES. SEE DETAIL ON SHEET 9.
 - INSTALL NEW RETROREFLECTIVE PREFORMED PATTERNED OR THERMOPLASTIC PAVEMENT MARKING, LEFT ARROW. SEE DETAIL ON SHEET 9.
 - INSTALL NEW RETROREFLECTIVE PREFORMED PATTERNED PAVEMENT MARKING, WORD ONLY. SEE DETAIL ON SHEET 9.
 - INSTALL NEW 4" SOLID YELLOW REFLECTORIZED PAINTED MARKING CHEVRON. SEE DETAIL ON SHEET 9.
 - RELOCATED SIGN LOCATION.
 - INSTALL NEW SIGN.
- GENERAL NOTES:**
- ALL SIGNING AND STRIPING SHALL BE INSTALLED WITH ACCORDANCE WITH MUTCD LATEST EDITION AND COA STANDARD SPECIFICATION SECTION 400.
 - ALL SIGN AND SIGN POST MATERIAL SHALL CONFORM TO COA TRAFFIC ENGINEERING REQUIREMENTS.
 - CONTRACTOR SHALL REPLACE EXISTING PAVEMENT MARKINGS THAT ARE OBLITERATED FOR TRAFFIC CONTROL REASONS. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO TRAFFIC CONTROL.
 - ALL STRIPING ERADICATION SHALL BE ACCOMPLISHED BY WATER BLASTING OR SURFACE PLANING TO A MAXIMUM DEPTH OF 0.25 INCHES AND FOR WIDTH EQUAL TO TWO TIMES THE WIDTH OF MARKING TO BE REMOVED.
 - ALL PAVEMENT WITHIN PROJECT LIMITS SHALL BE COVERED WITH ASPHALT SLURRY SEAL PRIOR TO FINAL STRIPING.
 - ALL SIGNING AND STRIPING STANDARDS SHALL ADHERE TO CITY OF ALBUQUERQUE SECTION 2900, LATEST ADDITION.



AS-BUILT INFORMATION			BENCH MARKS			SURVEY INFORMATION			ENGINEER'S SEAL		
CONTRACTOR	DATE		ACS MONUMENT	DISC		NO.	BY	DATE			
FRANKLIN	8/18		ALUMINUM	"3-K5 1993"							
INSPECTOR	DATE		GEOGRAPHIC POSITION	NAD 83					REMARKS		
BY			N.M. STATE PLANE COORDINATES (CENTRAL ZONE)								
FIELD	DATE		X = 1473343.698	Y = 1486328.144					REVISIONS		
BY			GROUND-TO-GRID FACTOR = 0.99858205								
CONTRACTOR	DATE		Δα = -00°19'15.59"						DESIGN		
BY			NAVD 1988 ELEVATION = 5807.121								
RECORDED BY	DATE								Designed By: MHS		
									Drawn By: EGN		
									Checked By: MHS/MB		

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

ATRISCO VISTA BLVD NORTHBOUND LEFT TURN LANE
DETAILS

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
656180	K-6-Z/L-6-Z	9	9