

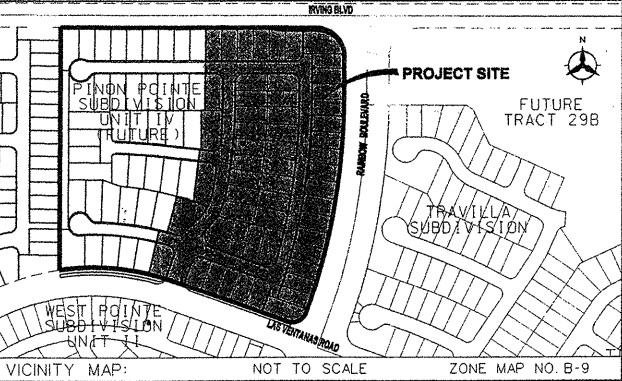
2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-6586.84-2011

SCANNED BY
PLANNING

CONSTRUCTION PLANS FOR
~
PINON POINTE UNIT III
AT VENTANA RANCH
ALBUQUERQUE, NEW MEXICO

INDEX

SHEET NUMBER	DESCRIPTION
1	TITLE SHEET
2	SITE DESCRIPTION PLAN
3-4	PLAT
5-9	FINAL GRADING PLAN
10	OVERALL PAVING PLAN
	PAVING PLAN AND PROFILE SHEETS
11	WILLARD ROAD
12	JUNCO PLACE
13	KINGFISHER CT / CEDAR WAXWING PL
14	ROSEFINCH DRIVE
15	OVERALL UTILITY PLAN
	UTILITY PLAN AND PROFILE SHEETS
16	WILLARD ROAD
17	JUNCO PLACE
18	KINGFISHER CT / CEDAR WAXWING PL
19	ROSEFINCH DRIVE
20	SIGNING AND CONSTRUCTION TRAFFIC CONTROL STANDARDS
21	TYPICAL TRAFFIC CONTROL AND SIGNING EXAMPLES (REF. M.U.T.C.D.)
22	LANDSCAPE PLAN



VICINITY MAP: NOT TO SCALE ZONE MAP NO. B-9

NOTICE TO CONTRACTORS

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AND SHALL INCLUDE UPDATE NO. 8.
2. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADE PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
5. ALL PERMANENT STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED W/ PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.
6. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
7. ANY WORK WITHIN AN ARTERIAL ROADWAY REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
8. ALL UTILITY WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH NEW MEXICO UTILITIES, INC. SPECIFICATIONS FOR WATER AND WASTEWATER FACILITIES (MOST RECENT REVISIONS).
9. THE CONTRACTOR SHALL NOTIFY NEW MEXICO UTILITIES (898-2661) THREE WORKING DAYS PRIOR TO BEGINNING THE CONSTRUCTION OF THE UTILITIES.
10. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
11. FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.

☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.

☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.

☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.

☐ IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.

☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

☒ THE REQUESTOR OR DEVELOPER SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ALL CURB AND GUTTER OR SIDEWALK DAMAGED AFTER APPROVAL BY THE CITY ENGINEER OF WORK COMPLETED BY THE CONTRACTOR.

Bohannon & Huston

Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER	DATE	*****	
		DRC Chairman	8-16-02	APPROVED FOR CONSTRUCTION			
		Transportation	6/17/02				
		Water/Wastewater	6-17-02				
		Hydrology	6-17-02				
		CIP					
		Const. Mngmt.	8-16-02	City Engineer Date			
		Const. Coord.					
		NMUI	See sheets 15-19				
DRB Case Number		City Project No.		Sheet		Of	
4001916		658684		1		22	



Bohannon & Huston
Courtney One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

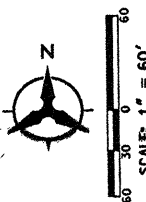
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
PINON POINTE III SUBDIVISION AT VENTANA RANCH
SITE DESCRIPTION PLAN

DESIGN REVIEW COMMITTEE APPROVE AUG 16 2002	CITY ENGINEER APPROVAL APPROVE AUG 19 2002	LAST DESIGN UPDATE
DESIGN REVIEW COMMITTEE	CITY ENGINEER	

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
658684	B-9	2	22

ENGINEER'S SEAL		SURVEY INFORMATION		FIELD NOTES		BENCH MARKS		AS-BUILT INFORMATION	
		DATE		BY		AC'S BRASS TABLET STAMPED "1-B9 1980"		CONTRACTOR	
		NO.		NO.		GEOGRAPHIC POSITION (NAD 1927)		INSPECTOR'S	
		REMARKS		REVISIONS		N.M. STATE PLANE COORDINATES		ACCEPTANCE BY	
		DATE		DATE		(CENTRAL ZONE) X=355,077.00		DATE	
DESIGNED BY		YOP		SAR		Y=1,529,056.93		DATE	
DRAWN BY		KGP		KGP		GROUND-TO-GRID FACTOR = .99966334		DATE	
CHECKED BY		KGP		KGP		DELTA ALPHA -00°16'47"		DATE	
						NGVD 1929 ELEVATION = 5450.51		DATE	

**PLAT OF
UNIT 3
PINON PONTE SUBDIVISION
AT VENTANA RANCH
(A REPLAT OF TRACT Y-1A-1A-1,
VENTANA RANCH)
ALBUQUERQUE, NEW MEXICO
MAY, 2002**



UNPLATTED LAND

UNPLATTED LAND

UNPLATTED LAND

UNPLATTED LAND

UNPLATTED LAND

UNPLATTED LAND

UNPLATTED LAND

**BULKHEAD PLAT OF
TRACTS Y-1A-1A-1 & Y-1A-1A-2
AT VENTANA RANCH
FILED: MAY 7, 2002 (2002-158)**

**WESTPONTE
SUBDIVISION
UNIT II
AT VENTANA RANCH
FILED: 2002-201**

**TRACT 1
0.1464 Acres**

**TRACT 2
0.1388 Acres**

**TRACT 3
0.1388 Acres**

**TRACT 4
0.1388 Acres**

**TRACT 5
0.1464 Acres**

**TRACT 6
0.1464 Acres**

**TRACT 7
0.1388 Acres**

**TRACT 8
0.1477 Acres**

**TRACT 9
0.1477 Acres**

**TRACT 10
0.1477 Acres**

**TRACT 11
0.1477 Acres**

**TRACT 12
0.1477 Acres**

**TRACT 13
0.1477 Acres**

**TRACT 14
0.1477 Acres**

**TRACT 15
0.1477 Acres**

**TRACT 16
0.1477 Acres**

**TRACT 17
0.1477 Acres**

**TRACT 18
0.1477 Acres**

**TRACT 19
0.1477 Acres**

**TRACT 20
0.1477 Acres**

**TRACT 21
0.1477 Acres**

**TRACT 22
0.1477 Acres**

**TRACT 23
0.1477 Acres**

**TRACT 24
0.1477 Acres**

**TRACT 25
0.1477 Acres**

**TRACT 26
0.1477 Acres**

**TRACT 27
0.1477 Acres**

**TRACT 28
0.1477 Acres**

**TRACT 29
0.1477 Acres**

**TRACT 30
0.1477 Acres**

**TRACT 31
0.1477 Acres**

**TRACT 32
0.1477 Acres**

**TRACT 33
0.1477 Acres**

**TRACT 34
0.1477 Acres**

**TRACT 35
0.1477 Acres**

**TRACT 36
0.1477 Acres**

**TRACT 37
0.1477 Acres**

**TRACT 38
0.1477 Acres**

**TRACT 39
0.1477 Acres**

**TRACT 40
0.1477 Acres**

**TRACT 41
0.1477 Acres**

**TRACT 42
0.1477 Acres**

**TRACT 43
0.1477 Acres**

**TRACT 44
0.1477 Acres**

**TRACT 45
0.1477 Acres**

**TRACT 46
0.1477 Acres**

**TRACT 47
0.1477 Acres**

**TRACT 48
0.1477 Acres**

**TRACT 49
0.1477 Acres**

**TRACT 50
0.1477 Acres**

**TRACT 51
0.1477 Acres**

**TRACT 52
0.1477 Acres**

**TRACT 53
0.1477 Acres**

**TRACT 54
0.1477 Acres**

**TRACT 55
0.1477 Acres**

**TRACT 56
0.1477 Acres**

**TRACT 57
0.1477 Acres**

**TRACT 58
0.1477 Acres**

**TRACT 59
0.1477 Acres**

**TRACT 60
0.1477 Acres**

**TRACT 61
0.1477 Acres**

**TRACT 62
0.1477 Acres**

**TRACT 63
0.1477 Acres**

**TRACT 64
0.1477 Acres**

**TRACT 65
0.1477 Acres**

**TRACT 66
0.1477 Acres**

**TRACT 67
0.1477 Acres**

**TRACT 68
0.1477 Acres**

**TRACT 69
0.1477 Acres**

**TRACT 70
0.1477 Acres**

**TRACT 71
0.1477 Acres**

**TRACT 72
0.1477 Acres**

**TRACT 73
0.1477 Acres**

**TRACT 74
0.1477 Acres**

**TRACT 75
0.1477 Acres**

**TRACT 76
0.1477 Acres**

**TRACT 77
0.1477 Acres**

**TRACT 78
0.1477 Acres**

**TRACT 79
0.1477 Acres**

**TRACT 80
0.1477 Acres**

**TRACT 81
0.1477 Acres**

**TRACT 82
0.1477 Acres**

**TRACT 83
0.1477 Acres**

**TRACT 84
0.1477 Acres**

**TRACT 85
0.1477 Acres**

**TRACT 86
0.1477 Acres**

**TRACT 87
0.1477 Acres**

**TRACT 88
0.1477 Acres**

**TRACT 89
0.1477 Acres**

**TRACT 90
0.1477 Acres**

**TRACT 91
0.1477 Acres**

**TRACT 92
0.1477 Acres**

**TRACT 93
0.1477 Acres**

**TRACT 94
0.1477 Acres**

**TRACT 95
0.1477 Acres**

**TRACT 96
0.1477 Acres**

**TRACT 97
0.1477 Acres**

**TRACT 98
0.1477 Acres**

**TRACT 99
0.1477 Acres**

**TRACT 100
0.1477 Acres**

**TRACT 101
0.1477 Acres**

**TRACT 102
0.1477 Acres**

**TRACT 103
0.1477 Acres**

**TRACT 104
0.1477 Acres**

**TRACT 105
0.1477 Acres**

**TRACT 106
0.1477 Acres**

**TRACT 107
0.1477 Acres**

**TRACT 108
0.1477 Acres**

**TRACT 109
0.1477 Acres**

**TRACT 110
0.1477 Acres**

**TRACT 111
0.1477 Acres**

**TRACT 112
0.1477 Acres**

**TRACT 113
0.1477 Acres**

**TRACT 114
0.1477 Acres**

**TRACT 115
0.1477 Acres**

**TRACT 116
0.1477 Acres**

**TRACT 117
0.1477 Acres**

**TRACT 118
0.1477 Acres**

**TRACT 119
0.1477 Acres**

**TRACT 120
0.1477 Acres**

**TRACT 121
0.1477 Acres**

**TRACT 122
0.1477 Acres**

**TRACT 123
0.1477 Acres**

**TRACT 124
0.1477 Acres**

**TRACT 125
0.1477 Acres**

**TRACT 126
0.1477 Acres**

**TRACT 127
0.1477 Acres**

**TRACT 128
0.1477 Acres**

**TRACT 129
0.1477 Acres**

**TRACT 130
0.1477 Acres**

**TRACT 131
0.1477 Acres**

**TRACT 132
0.1477 Acres**

**TRACT 133
0.1477 Acres**

**TRACT 134
0.1477 Acres**

**TRACT 135
0.1477 Acres**

**TRACT 136
0.1477 Acres**

**TRACT 137
0.1477 Acres**

**TRACT 138
0.1477 Acres**

**TRACT 139
0.1477 Acres**

**TRACT 140
0.1477 Acres**

**TRACT 141
0.1477 Acres**

**TRACT 142
0.1477 Acres**

**TRACT 143
0.1477 Acres**

**TRACT 144
0.1477 Acres**

**TRACT 145
0.1477 Acres**

**TRACT 146
0.1477 Acres**

**TRACT 147
0.1477 Acres**

**TRACT 148
0.1477 Acres**

**TRACT 149
0.1477 Acres**

**TRACT 150
0.1477 Acres**

**TRACT 151
0.1477 Acres**

**TRACT 152
0.1477 Acres**

**TRACT 153
0.1477 Acres**

**TRACT 154
0.1477 Acres**

**TRACT 155
0.1477 Acres**

**TRACT 156
0.1477 Acres**

**TRACT 157
0.1477 Acres**

**TRACT 158
0.1477 Acres**

**TRACT 159
0.1477 Acres**

**TRACT 160
0.1477 Acres**

**TRACT 161
0.1477 Acres**

**TRACT 162
0.1477 Acres**

**TRACT 163
0.1477 Acres**

**TRACT 164
0.1477 Acres**

**TRACT 165
0.1477 Acres**

**TRACT 166
0.1477 Acres**

**TRACT 167
0.1477 Acres**

**TRACT 168
0.1477 Acres**

**TRACT 169
0.1477 Acres**

**TRACT 170
0.1477 Acres**

**TRACT 171
0.1477 Acres**

**TRACT 172
0.1477 Acres**

**TRACT 173
0.1477 Acres**

**TRACT 174
0.1477 Acres**

**TRACT 175
0.1477 Acres**

**TRACT 176
0.1477 Acres**

**TRACT 177
0.1477 Acres**

**TRACT 178
0.1477 Acres**

**TRACT 179
0.1477 Acres**

**TRACT 180
0.1477 Acres**

**TRACT 181
0.1477 Acres**

**TRACT 182
0.1477 Acres**

**TRACT 183
0.1477 Acres**

**TRACT 184
0.1477 Acres**

**TRACT 185
0.1477 Acres**

**TRACT 186
0.1477 Acres**

**TRACT 187
0.1477 Acres**

**TRACT 188
0.1477 Acres**

**TRACT 189
0.1477 Acres**

**TRACT 190
0.1477 Acres**

**TRACT 191
0.1477 Acres**

**TRACT 192
0.1477 Acres**

**TRACT 193
0.1477 Acres**

**TRACT 194
0.1477 Acres**

**TRACT 195
0.1477 Acres**

**TRACT 196
0.1477 Acres**

**TRACT 197
0.1477 Acres**

**TRACT 198
0.1477 Acres**

**TRACT 199
0.1477 Acres**

**TRACT 200
0.1477 Acres**

**TRACT 201
0.1477 Acres**

**TRACT 202
0.1477 Acres**

**TRACT 203
0.1477 Acres**

**TRACT 204
0.1477 Acres**

**TRACT 205
0.1477 Acres**

**TRACT 206
0.1477 Acres**

**TRACT 207
0.1477 Acres**

**TRACT 208
0.1477 Acres**

**TRACT 209
0.1477 Acres**

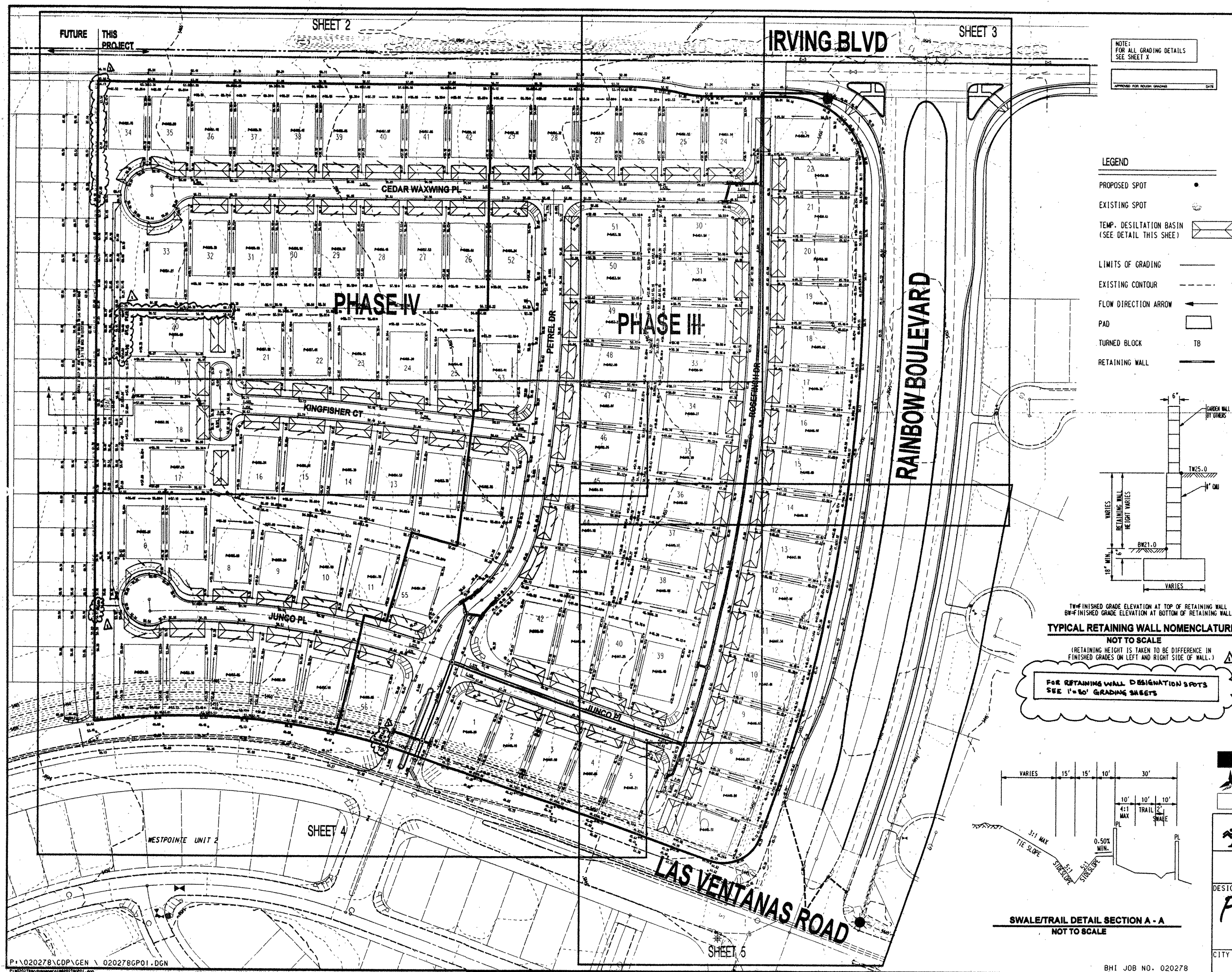
**TRACT 210
0.1477 Acres**

**TRACT 211
0.1477 Acres**

**TRACT 212
0.1477 Acres**

**TRACT 213
0.1477 Acres**

**TRACT 214
0.1477 Acres**



1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL AND HEALTH DIVISION, PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASUREMENT REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.

4. TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.

5. PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.

6. EARTH SLOPES SHALL NOT EXCEED 3
HORIZONTAL TO 1 VERTICAL UNLESS SHOWN
OTHERWISE.

7. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.

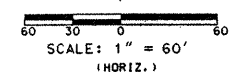
8. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.

9. A DISPOSAL SITE FOR ALL EXCESS
EXCAVATION AND UNSUITABLE MATERIAL
SHALL BE OBTAINED BY THE CONTRACTOR IN
COMPLIANCE WITH APPLICABLE
ENVIRONMENTAL REGULATIONS AND
APPROVED BY THE OBSERVER. ALL COSTS
INCURRED IN OBTAINING A DISPOSAL SITE
AND HAUL THERE TO SHALL BE CONSIDERED
INCIDENTAL TO THE PROJECT, AND NO
SEPARATE MEASUREMENT OR PAYMENT
SHALL BE MADE.

10. PAVING AND ROADWAY GRADES SHALL BE $\pm 0.1'$ FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE $\pm 0.05'$ FROM BUILDING PLAN ELEVATIONS.

11. ALL SPOT ELEVATIONS ARE TO FLOWLINE
UNLESS OTHERWISE NOTED. VALLEY GUTTER
ELEVATIONS ARE SHOWN AT FLOWLINE
ELEVATION.

N



 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

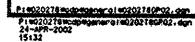
PINON POINTE III & IV AT VENTANA RANCH
OVERALL GRADING

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
-------------------------	------------------------	-------------	-------------

For Information Only		LAST DESIGN UPDATE		
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF	

CITY PROJECT NO.	658684	ZONE MAP NO.	B-9	SHEET	5	OF	22
------------------	--------	--------------	-----	-------	---	----	----

BHI JOB NO. 020278



APPROVED FOR ROUGH GRADING _____ DATE _____

 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS



DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
-------------------------	------------------------

For Information Only	
CITY PROJECT NO.	ZONE MAP

CITY PROJECT NO. 658684

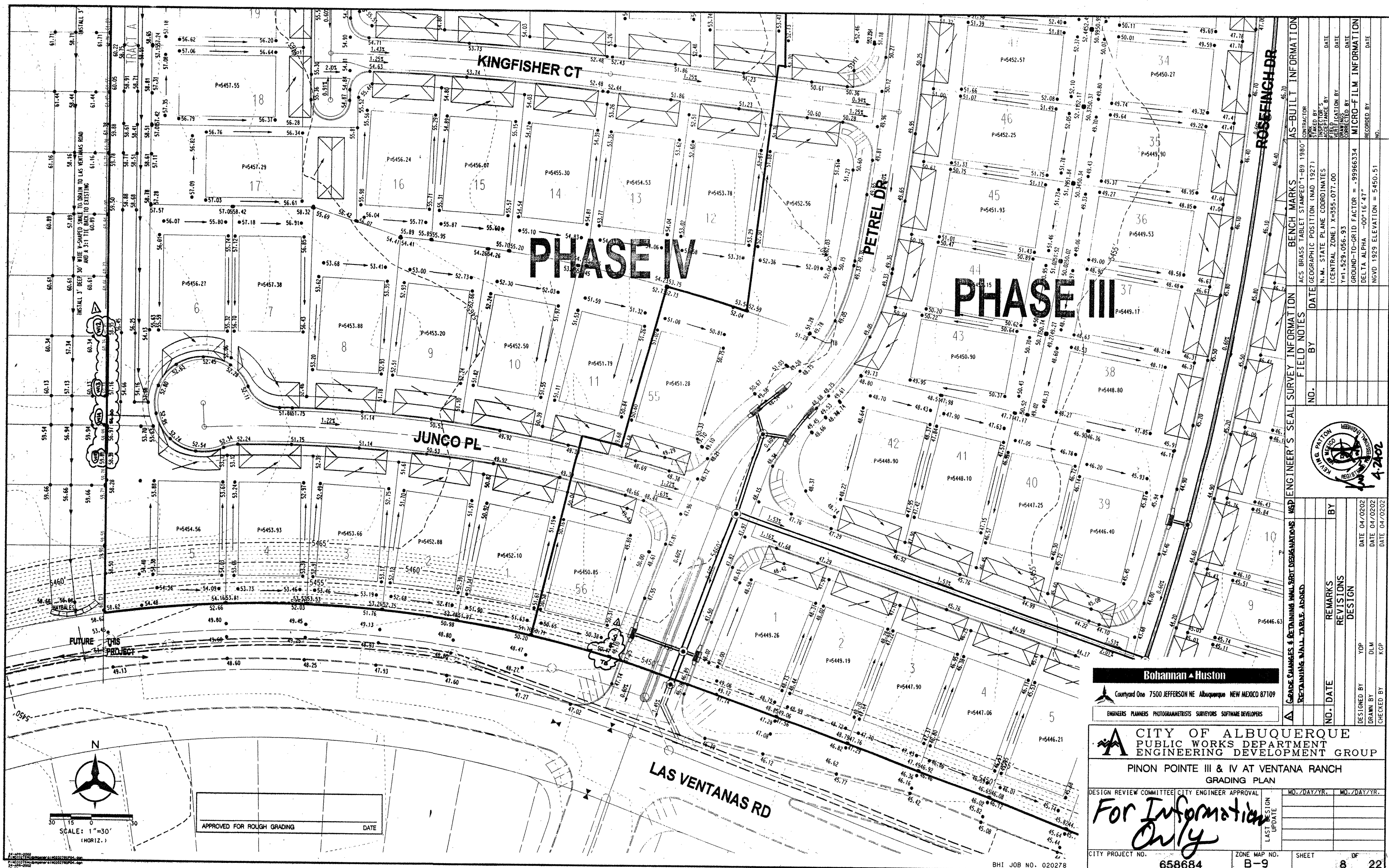
MO./DAY/YR.	MO./DAY/YR.
-------------	-------------

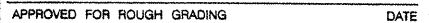
LAST DESIGN UPDATE			

NO.	SHEET	OF
9	7	22

30 15 0 30
SCALE: 1"=30'
(HORIZ.)

BHI JOB NO. 020278





PROPOSED SPOT

PROPOSED SPOT

EXISTING SPOT

TEMP. DESILTATION BASIN
(SEE DETAIL THIS SHEET)

LIMITS OF GRADING

EXISTING CONTOUR

FEMA FLOOD PLAIN

FLOW DIRECTION APP

TURNED BLOCK

RETAINING WALL

Bohannon ▲ Huston

 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87110

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

A CITY OF ALBUQUERQUE

 PUBLIC WORKS DEPA
ENGINEERING DEVELPINON POINTE III & IV AT VEN
GRADING PLAN

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL

PPH MOVE AUG 6 2002 AUG 19 2002 PPH MOVE

AUG 18 2007
 REVIEW COMMITTEE
 CITY ENGINEER
 LAST

REVISION NO. CITY PROJECT NO. 658624	ZONE MAP NO. B-9
--	---------------------

058684 D-3

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
		FIELD NOTES					
		NO.	BY	DATE			
					CONTRACTOR		
					WORK STARTED BY		
					INSPECTOR'S		
					DATE MADE BY		
					FIELD		
					DATE		
					CORRECTED BY		
					DATE		
					MICRO-FILM INFORMATION		
					RECORDED BY		
					DATE		
					NO.		

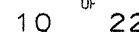
DESIGNED BY	YOP	DATE	04/2002
DRAWN BY	DLM	DATE	04/2002
CHECKED BY	KGP	DATE	04/2002

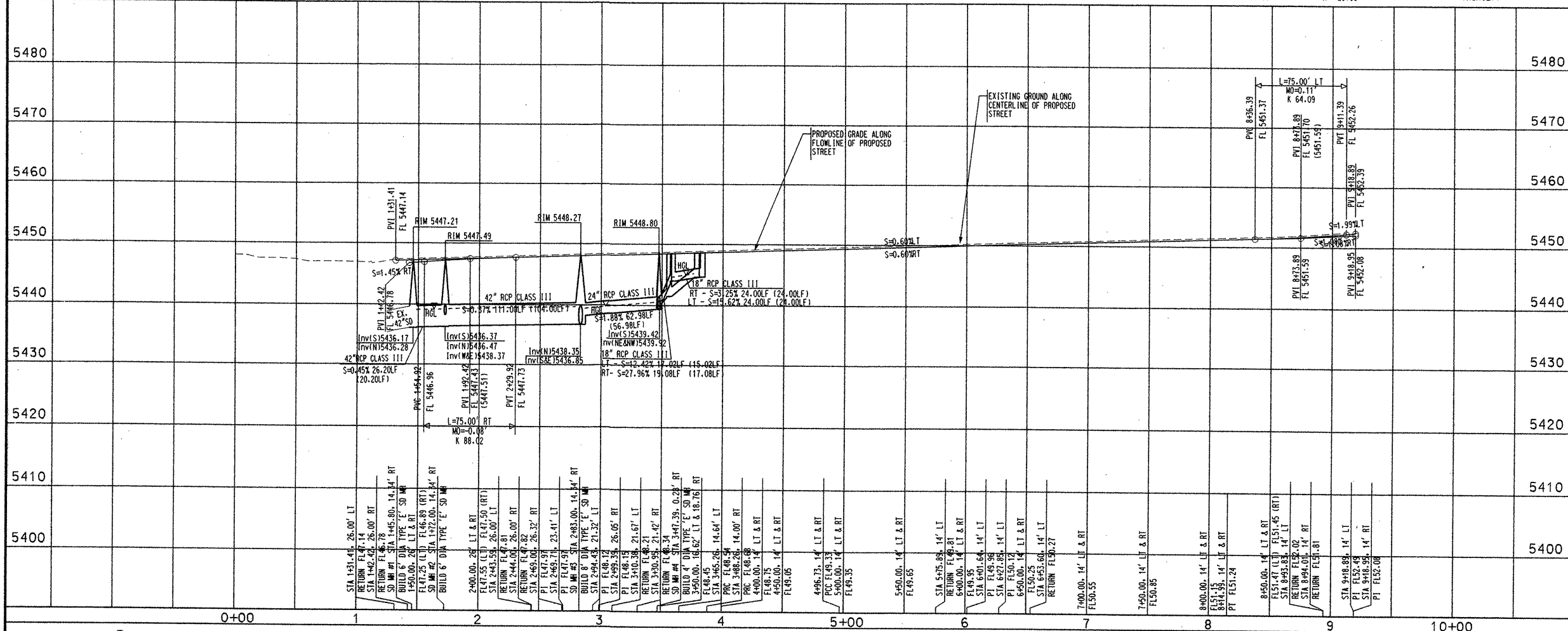
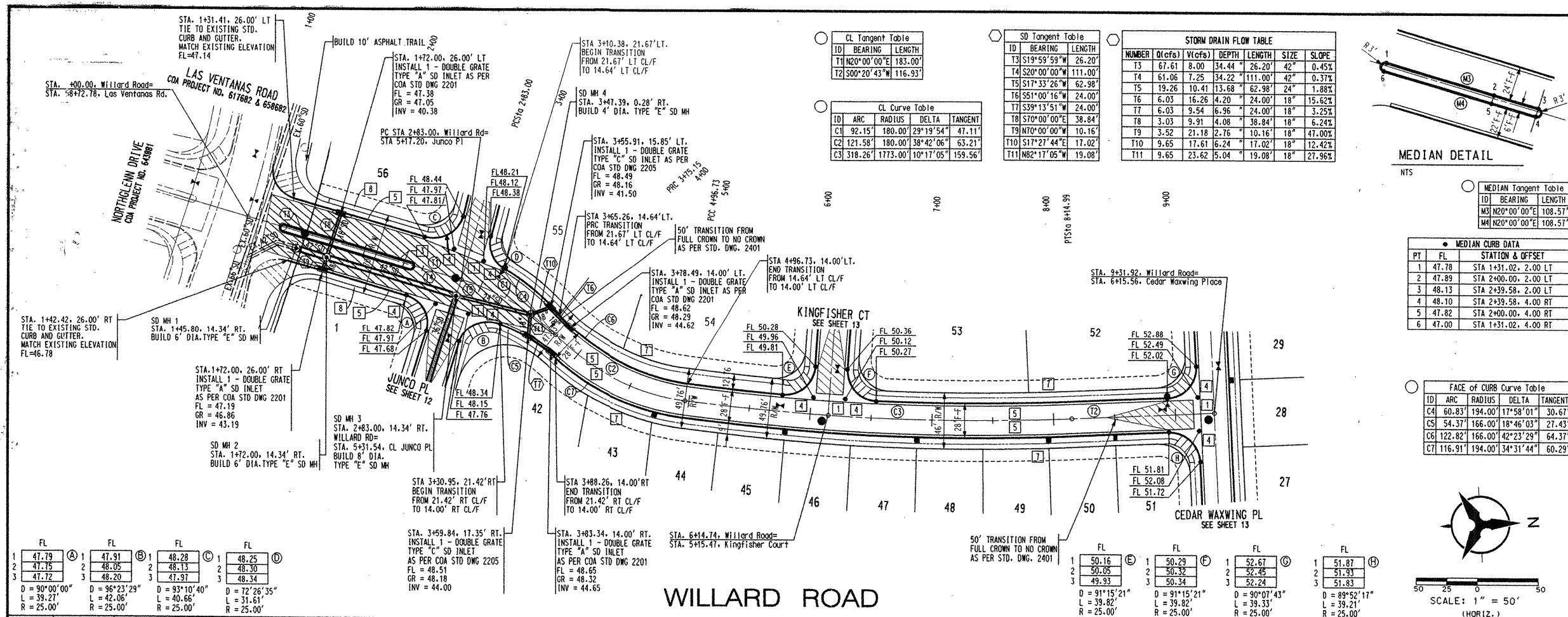
UERQUE
RTMENT
PIMENT GROUP
TANA RANCH

MO./DAY/YR.	MO./DAY/YR.

SHEET	OF
-------	----

27	6
----	---





- NOTES
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 - ALL CURB RETURN RADII SHALL BE 25' UNLESS OTHERWISE SPECIFIED.
 - ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 - GRADE ELEVATIONS, WHERE NOTED, ARE ALONG FLOWLINE OF STANDARD CURB UNLESS OTHERWISE SPECIFIED.
 - CONTRACTOR IS TO INSTALL A 4" X 4" X 5' POST AND END AT THE END OF EACH SANITARY SEWER SERVICE.
 - CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
 - ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
 - CONTRACTOR SHALL PROVIDE THE INSPECTORS (CITY AND PRIVATE) WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
 - CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
 - ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER), PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
 - REMOVAL OF THE EXISTING CURB AND GUTTER SHALL BE AS PER COA STD. DWG. 2415 (SAWCUT ONLY).
 - WHEELCHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB & GUTTER.

- KEYED GENERAL NOTES
- INSTALL 6" CONCRETE VALLEY GUTTER AS PER STD. DWG. 2420
 - INSTALL 12" CONCRETE VALLEY GUTTER AS PER STD. DWG. 2422
 - MEDIAN CURB & GUTTER AS PER STD DWG 2415
 - INSTALL WHEELCHAIR RAMP AS PER MODIFIED STD. DWG. 2441, CASE II WITH ALTERNATE SECTION AA AND AS PER DETAIL SHEET 10
 - STD. CURB & GUTTER AS PER STD. DWG. 2415
 - ROLL CURB & GUTTER AS PER STD. DWG. 2415
 - DEFERRED 4' SIDEWALK
 - BUILD 4' SIDEWALK PER STD DWG 2430
 - DEPRESSED CURB & GUTTER AS PER STD. DWG 2415

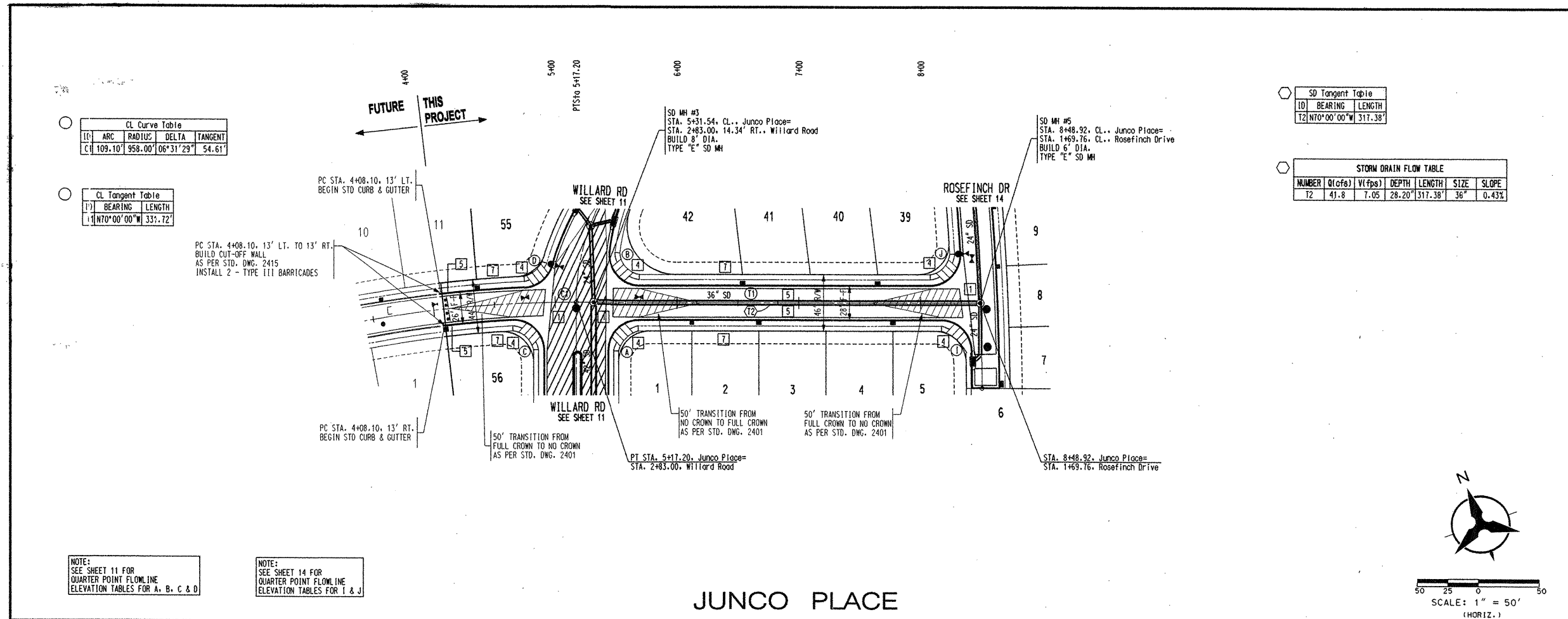
Bohannon & Huston
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

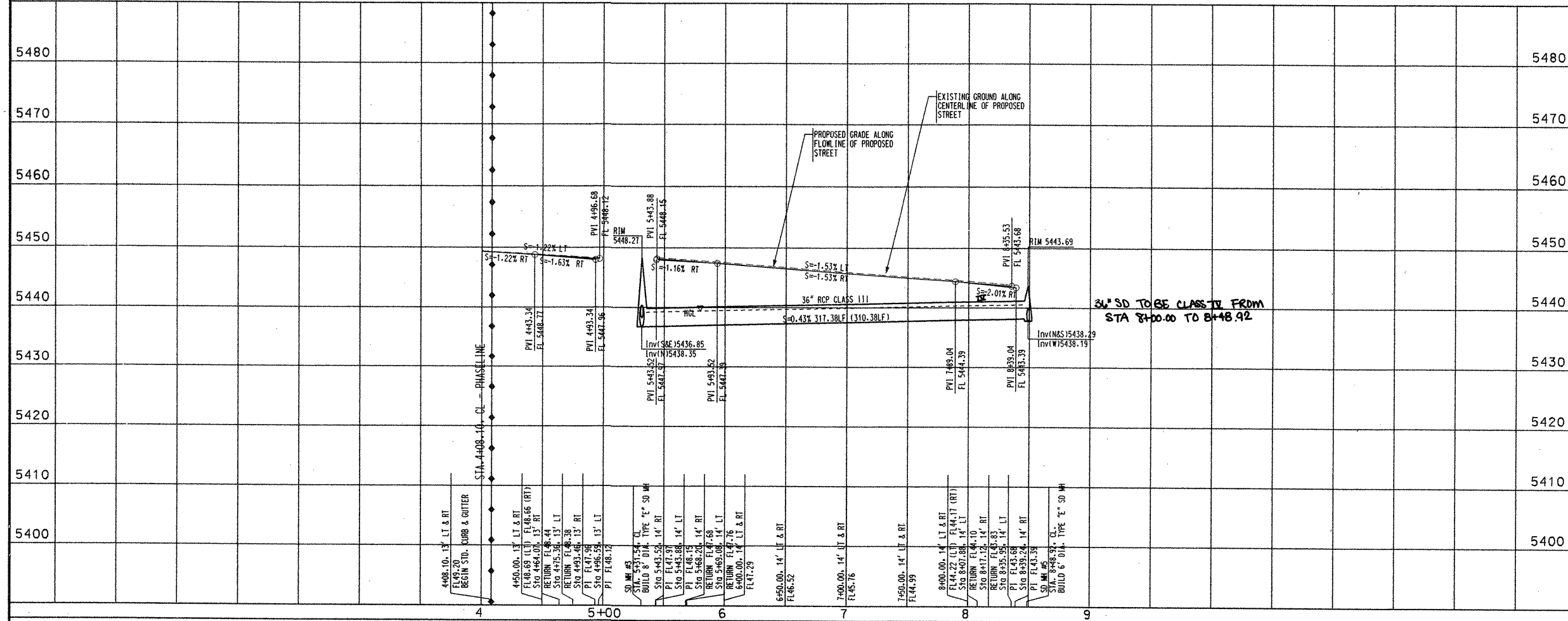
PINON POINTE III SUBDIVISION AT VENTANA RANCH
 PAVING PLAN & PROFILE
 WILLARD ROAD

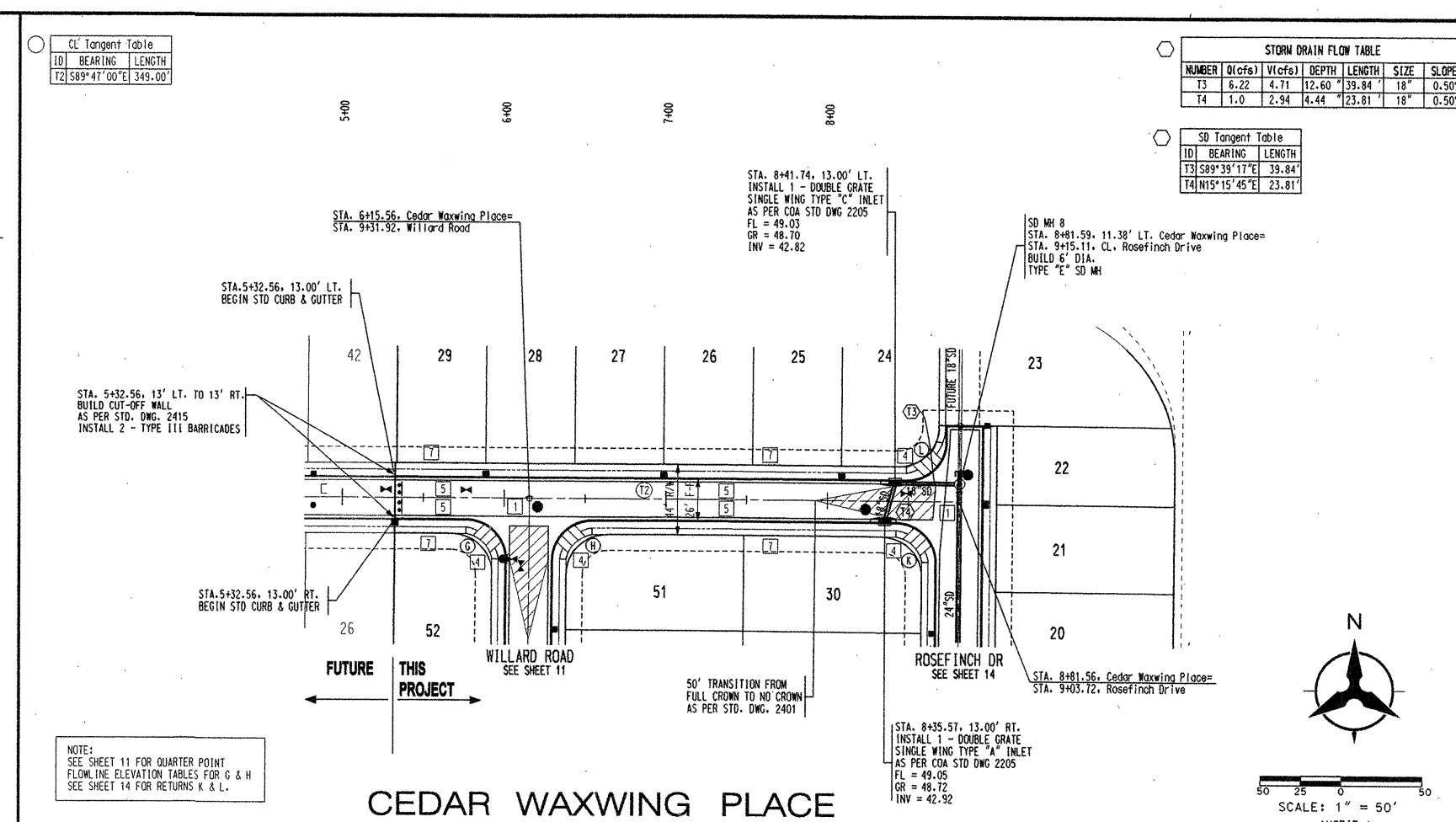
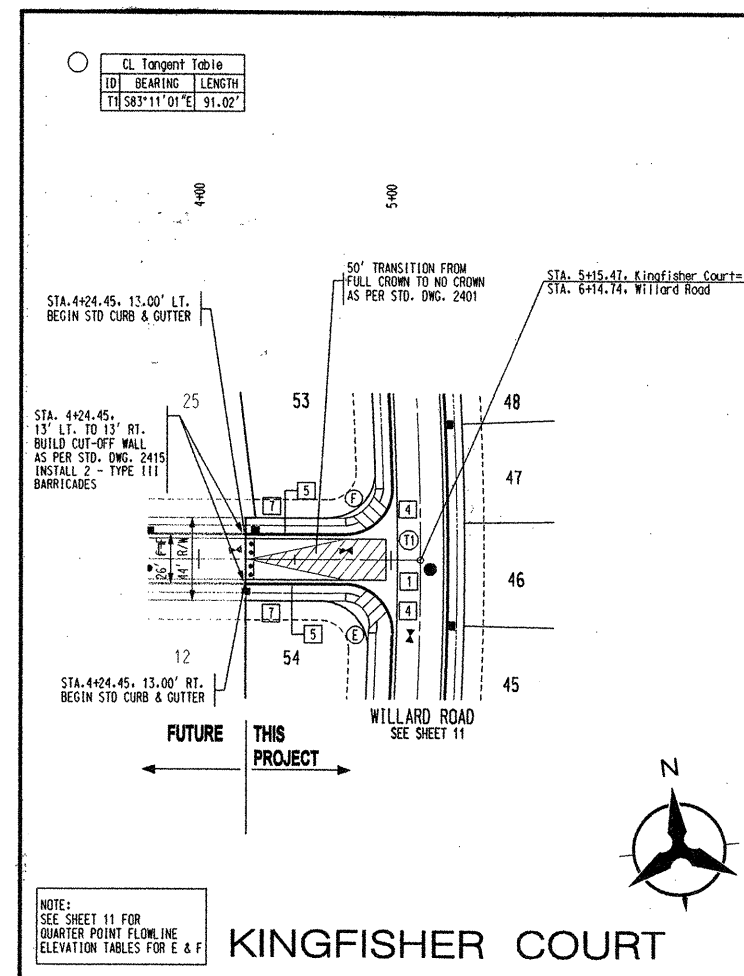
DESIGN REVIEW COMMITTEE: AUG 16 2002
 CITY ENGINEER: AUG 19 2002

MO./DAY/YR. MO./DAY/YR.
 SHEET 11 OF 22



- NOTES**
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 - ALL CURB RETURN RADIUS SHALL BE 25' UNLESS OTHERWISE SPECIFIED.
 - ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 - GRADE ELEVATIONS, WHERE NOTED, ARE ALONG FLOWLINE OF STANDARD CURB UNLESS OTHERWISE SPECIFIED.
 - CONTRACTOR IS TO INSTALL A 4" X 4" X 5' POST AND END AT THE END OF EACH SANITARY SEWER SERVICE.
 - CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
 - ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
 - CONTRACTOR SHALL PROVIDE THE INSPECTORS, (CITY AND PRIVATE) WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
 - CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
 - ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER), PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
 - REMOVAL OF THE EXISTING CURB AND GUTTER SHALL BE AS PER COA STD. DWG. 2415 (SAWCUT ONLY).
 - WHEELCHAIR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB & GUTTER.
- KEYED GENERAL NOTES**
- INSTALL 6" CONCRETE VALLEY GUTTER AS PER STD. DWG. 2420
 - INSTALL 12" CONCRETE VALLEY GUTTER AS PER STD. DWG. 2422
 - MEDIAN CURB & GUTTER AS PER STD DWG 2415
 - INSTALL WHEELCHAIR RAMP AS PER MODIFIED STD. DWG. 2441, CASE II WITH ALTERNATE SECTION AA AND AS PER DETAIL SHEET 10
 - STD. CURB & GUTTER AS PER STD. DWG. 2415
 - ROLL CURB & GUTTER AS PER STD. DWG. 2415
 - DEFERRED 4' SIDEWALK
 - BUILD 4' SIDEWALK PER STD DWG 2430
 - DEPRESSED CURB & GUTTER AS PER STD. DWG 2415





P:\020278\CDP\PNP\ 020278_PNP01.DGN

SCALE: 1" = 50' (HORIZ.)
1" = 10' (VERT.)

BHI JOB NO. 020278

P:\020278\CDP\PNP\020278_PNP01.dgn
11-JUN-2002
P:\B

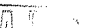
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
2. ALL CURB RETURN RADII SHALL BE 25' UNLESS OTHERWISE SPECIFIED.
3. ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
4. GRADE ELEVATIONS, WHERE NOTED, ARE ALONG FLOWLINE OF STANDARD CURB UNLESS OTHERWISE SPECIFIED.
5. CONTRACTOR IS TO INSTALL A 4" X 4" X 5' CAST AND END THE END OF EACH SANITARY SEWER SERVICE.
6. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
7. ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
8. CONTRACTOR SHALL PROVIDE THE INSPECTORS, (CITY AND PRIVATE) WITH THE PROPOSED HYDROSTATIC TESTING PLAN, THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
9. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
10. ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER), PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
11. REMOVAL OF THE EXISTING CURB AND GUTTER SHALL BE AS PER COA STD. DWG. 2415 (SAWCUT ONLY).
12. WHEELCHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB & GUTTER.

- KEYED GENERAL NOTES
- 1 INSTALL 6' CONCRETE VALLEY GUTTER
AS PER STD. DWG. 2420
 - 2 INSTALL 12' CONCRETE VALLEY GUTTER
AS PER STD. DWG. 2422
 - 3 MEDIAN CURB & GUTTER AS
PER STD DWG 2415
 - 4 INSTALL WHEELCHAIR RAMP AS
PER MODIFIED STD. DWG. 2441,
CASE 11 WITH ALTERNATE SECTION
AA AND AS PER DETAIL SHEET 10
 - 5 STD. CURB & GUTTER
AS PER STD. DWG. 2415
 - 6 ROLL CURB & GUTTER
AS' PER STD. DWG. 2415
 - 7 DEFERRED 4' SIDEWALK
 - 8 BUILD 4' SIDEWALK PER STD DWG 2430
 - 9 DEPRESSED CURB & GUTTER
AS PER STD. DWG 2415

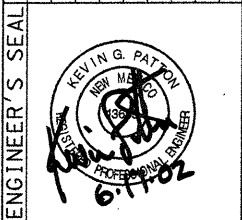
Bohannon & Huston

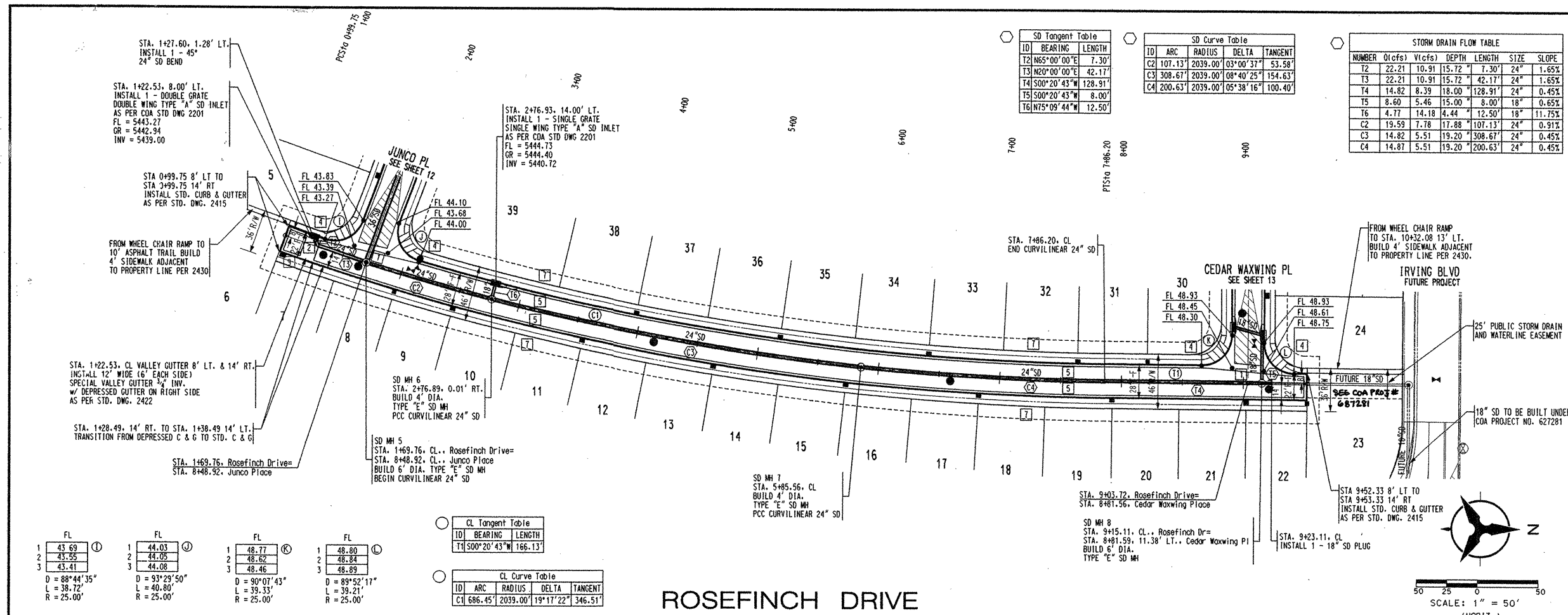
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

	CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP
	PINON POINTE III SUBDIVISION AT VENTANA RANCH PAVING PLAN & PROFILE KINGFISHER COURT / CEDAR WAXWING PLACE

DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL		MG./DAY/YR.		MG./DAY/YR.	
				LAST DESIGN UPDATE			
CITY PROJECT NO.		ZONE MAP NO.		SHEET		OF	
658684		B-9		13		22	

SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	FIELD NOTES	DATE	CONTRACTOR	WORK RECORDED BY	DATE
			ACS BRASS TABLET STAMPED "1-B9 1980"	INSPECTOR'S ACCEPTANCE BY	DATE
			GEOGRAPHIC POSITION (NAD 1927)	FIELD CORRECTION BY	DATE
			N.M. STATE PLANE COORDINATES (CENTRAL ZONE) X=5355.077.00 Y=1,529,056.93	DRAWINGS CORRECTED BY	DATE
			GROUND-TO-GRID FACTOR = .99966334 DELTA ALPHA -00° 16' 47"	MICRO-FILM INFORMATION	
			NCVD 1929 ELEVATION = 5450.51	RECORDED BY	DATE
				NO.	

[illegible]



1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
2. ALL CURB RETURN RADII SHALL BE 25' UNLESS OTHERWISE SPECIFIED.
3. ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
4. GRADE ELEVATIONS, WHERE NOTED, ARE ALONG FLOWLINE STANDARD CURB UNLESS OTHERWISE SPECIFIED.
5. CONTRACTOR IS TO INSTALL A 4" X 4" X 5' POST AND END AT THE END OF EACH SANITARY SEWER SERVICE.
6. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
7. ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
8. CONTRACTOR SHALL PROVIDE THE INSPECTORS, (CITY AND PRIVATE) WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
9. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
10. ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER), PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
11. REMOVAL OF THE EXISTING CURB AND GUTTER SHALL BE AS PER COA STD. DWG. 2415 (SAWCUT ONLY).
12. WHEELCHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB & GUTTER.

- 1 INSTALL 6' CONCRETE VALLEY GUTTER
AS PER STD. DWG. 2420
- 2 INSTALL 12' CONCRETE VALLEY GUTTER
AS PER STD. DWG. 2422
- 3 MEDIAN CURB & GUTTER AS
PER STD DWG 2415
- 4 INSTALL WHEELCHAIR RAMP AS
PER MODIFIED STD. DWG. 2441.
CASE II WITH ALTERNATE SECTION
AA AND AS PER DETAIL SHEET 10
- 5 STD. CURB & GUTTER
AS PER STD. DWG. 2415
- 6 ROLL CURB & GUTTER
AS PER STD. DWG. 2415
- 7 DEFERRED 4' SIDEWALK
- 8 BUILT 4' SIDEWALK PER STD DWG 2430
- 9 DEPRESSED CURB & GUTTER
AS PER STD. DWG 2415



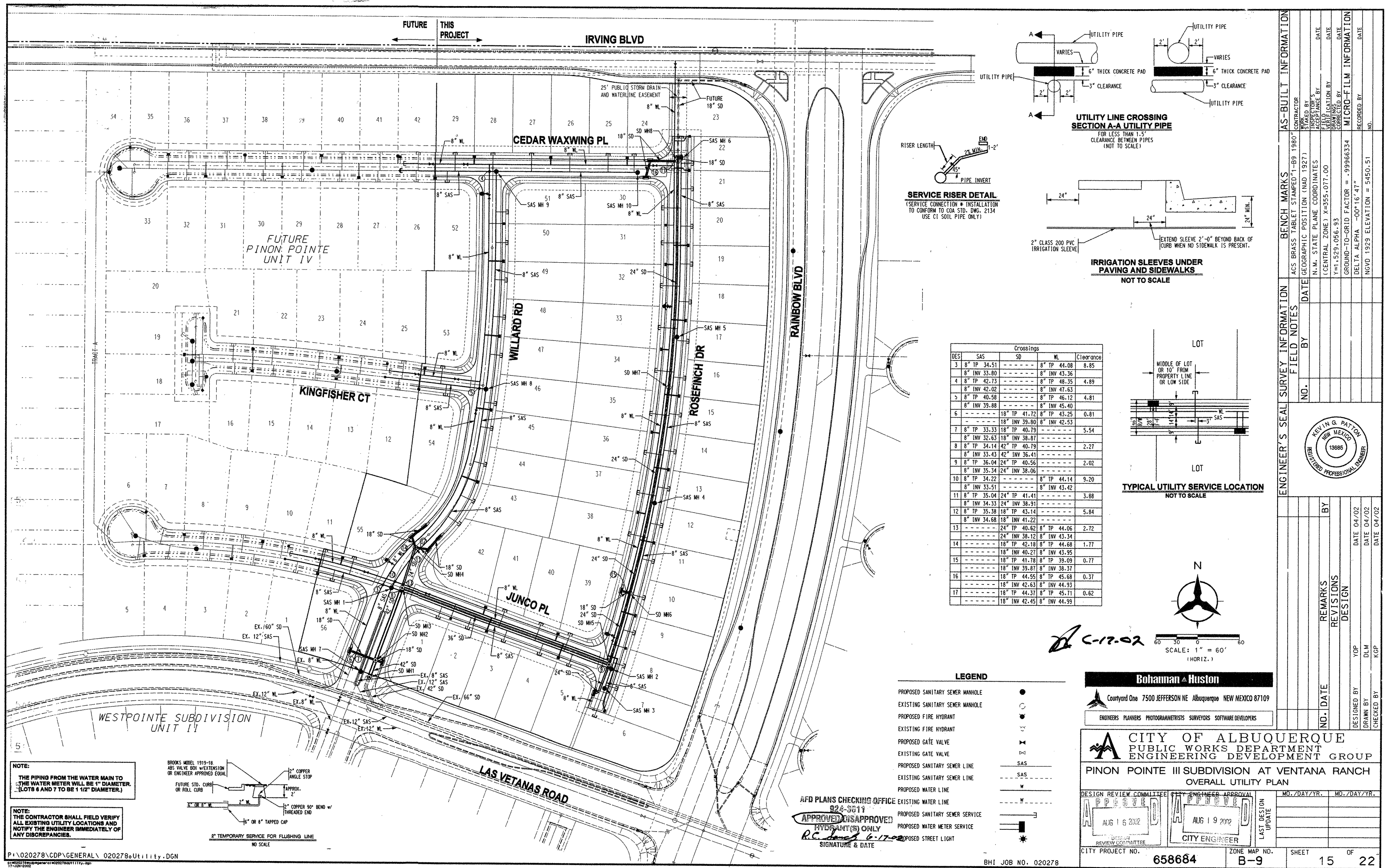
Bohannon & Huston

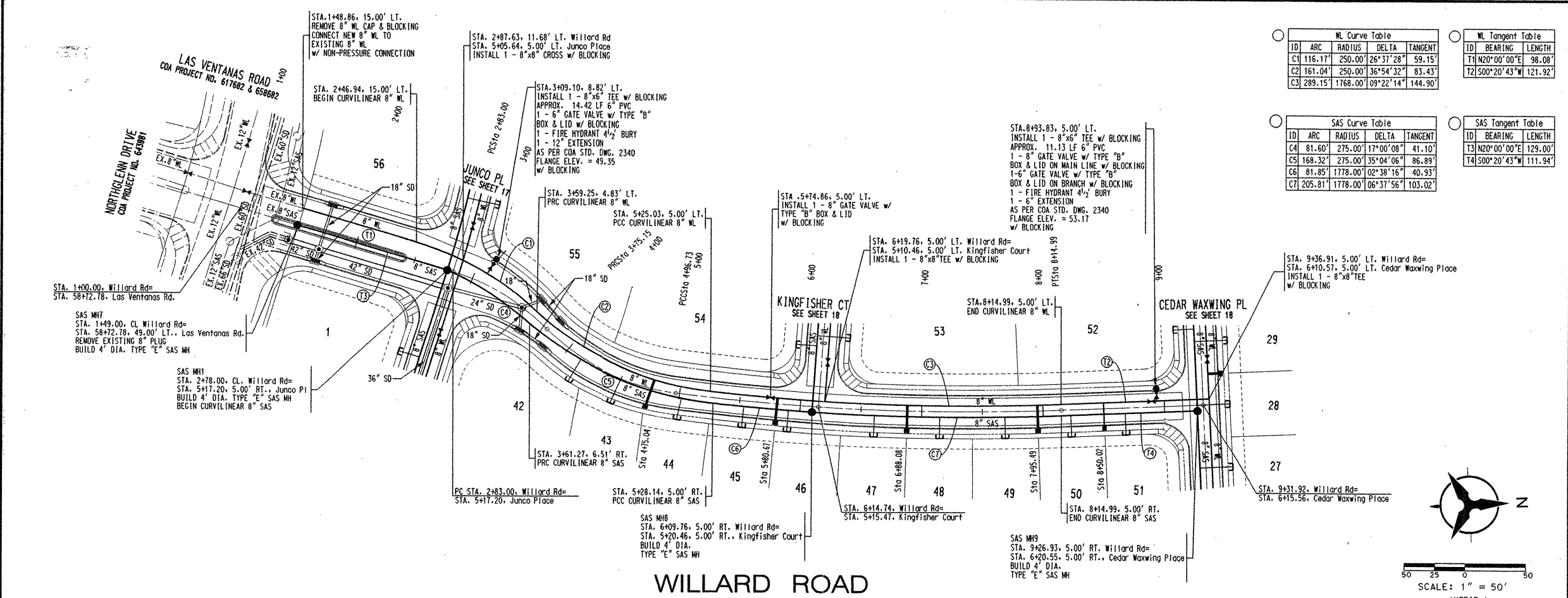
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

	CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP
	PINON POINTE III SUBDIVISION AT VENTANA RANCH PAVING PLAN & PROFILE ROSEFINCH DRIVE

DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL		MO./DAY/YR.	MO./DAY/YR.
AUG 16 2002 DESIGN REVIEW COMMITTEE	AUG 19 2002 CITY ENGINEER	LAST DESIGN UPDATE			

CITY PROJECT NO.	658684	ZONE MAP NO.	B-9	SHEET	14	OF	22
------------------	--------	--------------	-----	-------	----	----	----





- NOTES
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 2. ALL CURB RETURN RADIUS SHALL BE 25' UNLESS OTHERWISE SPECIFIED.
 3. ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 4. GRADE ELEVATIONS, WHERE NOTED, ARE ALONG FLOWLINE OF STANDARD CURB UNLESS OTHERWISE SPECIFIED.
 5. CONTRACTOR IS TO INSTALL A 4" X 4" X 5' POST AND END AT THE END OF EACH SANITARY SEWER SERVICE.
 6. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
 7. ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
 8. CONTRACTOR SHALL PROVIDE THE INSPECTORS, (CITY AND PRIVATE) WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
 9. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
 10. ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER), PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC., DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
 11. REMOVAL OF THE EXISTING CURB AND GUTTER SHALL BE AS PER COA STD. DWG. 2415 (SAWCUT ONLY).
 12. WHEELCHAIR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB & GUTTER.

SANITARY SEWER SERVICES

LOT	SAS	SAS TOP OF PIPE AT
ID	STATION & OFFSET	LENGTH PLUG (W/RISER)
42	4+13.44, 1.88' RT.	21.16' 5442.80 (8')
43	4+49.83, 0.94' RT.	22.06' 5442.83 (7')
44	5+02.07, 3.95' RT.	19.11' 5442.72 (5')
45	5+53.81, 5.00' RT.	18.00' 5442.98 (4')
46	5+90.54, 5.00' RT.	18.03' 5442.98 (3')
47	6+61.23, 5.00' RT.	18.00' 5443.73 (3')
48	7+14.93, 5.00' RT.	18.00' 5444.09 (3')
49	7+68.64, 5.00' RT.	18.00' 5444.45 (3')
50	8+22.63, 5.00' RT.	18.00' 5444.81 (3')
51	8+67.52, 5.00' RT.	18.00' 5444.41 (2')

NOTE: WATER METER LOCATIONS ARE DESIGNATED BY STATIONING AT PROPERTY CORNERS.

6-17-02

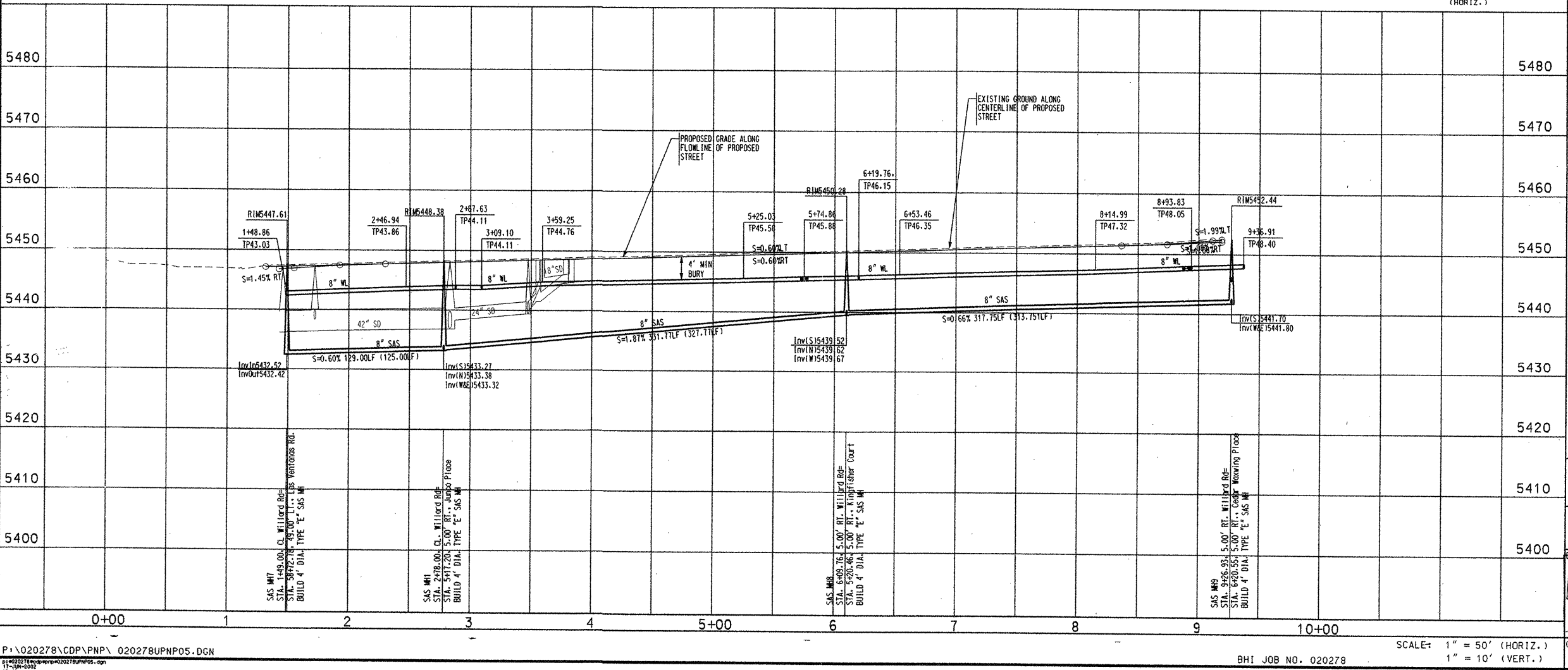
Bohannon & Huston
Courtney One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
PINON POINTE III SUBDIVISION AT VENTANA RANCH
UTILITY PLAN & PROFILE
WILLARD ROAD

DESIGN REVIEW COMMITTEE: AUG 16 2002
CITY ENGINEER: AUG 19 2002

MO. / DAY / YR. MO. / DAY / YR.
LAST DESIGN UPDATE

CITY PROJECT NO. 658684 ZONE MAP NO. B-9 SHEET 16 OF 22

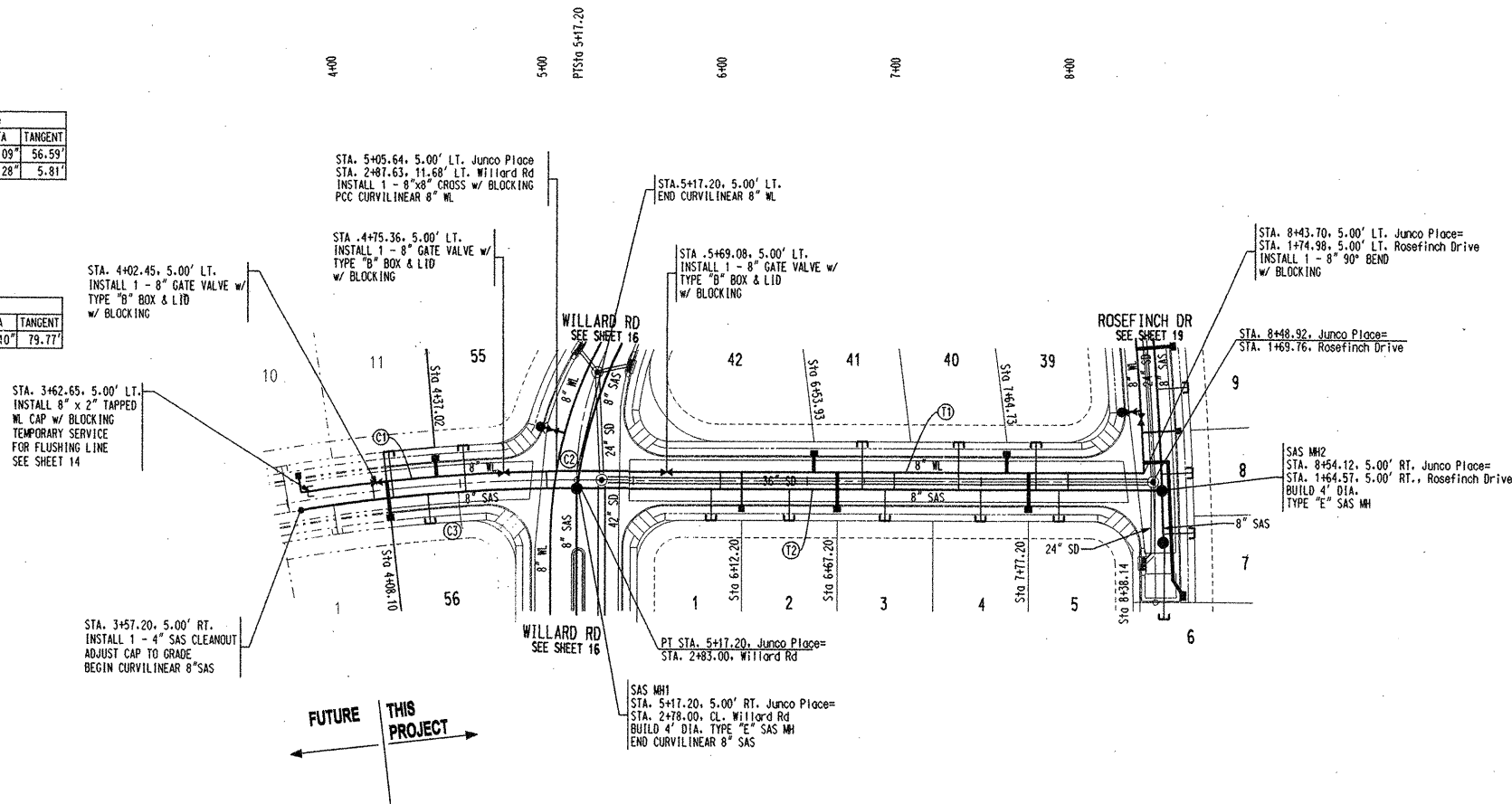


W. Tangent Table		
STATION	BEARING	LENGTH
1	N70°00'20"W	326.50'

W. Curve Table			
STATION	ARC	RADIUS	DELTA
1	143.74'	963.00'	08°33'09"
2	11.62'	963.00'	10°41'28"

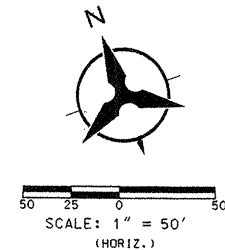
SAS Tangent Table		
STATION	BEARING	LENGTH
1	N70°00'00"W	336.92'

Curve Table			
STATION	ARC	RADIUS	DELTA
1	159.17'	953.00'	09°34'10"
2	79.77'	953.00'	09°34'10"



SANITARY SEWER SERVICES			
LOT	STATION & OFFSET	LENGTH	TOP OF PIPE AT
56	4431.08, 5.00' RT.	17.00'	5441.85 (5')
1	5494.70, 5.00' RT.	18.00'	5441.06 (8')
2	6439.70, 5.00' RT.	18.00'	5440.62 (17')
3	6494.70, 5.00' RT.	18.00'	5438.91 (4')
4	7449.70, 5.00' RT.	18.00'	5437.85 (12')
5	7494.75, 5.00' RT.	18.00'	5437.43 (11')
39	7481.51, 5.00' RT.	28.00'	5437.55 (11')
40	7437.03, 5.00' RT.	28.00'	5438.67 (3')
41	6481.63, 5.00' RT.	28.00'	5439.03 (4')
55	4453.08, 5.00' RT.	27.00'	5442.22 (17')
11	4411.16, 5.00' RT.	27.00'	5442.14 (4)

NOTE: WATER METER LOCATIONS ARE DESIGNATED BY STATIONING AT PROPERTY CORNERS.
FUTURE LOT PHASE 4



- NOTES
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 - ALL CURB RETURN RADII SHALL BE 25' UNLESS OTHERWISE SPECIFIED.
 - ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 - GRADE ELEVATIONS, WHERE NOTED, ARE ALONG FLOWLINE OF STANDARD CURB UNLESS OTHERWISE SPECIFIED.
 - CONTRACTOR IS TO INSTALL A 4" X 4" X 5' POST AND END AT THE END OF EACH SANITARY SEWER SERVICE.
 - CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
 - ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
 - CONTRACTOR SHALL PROVIDE THE INSPECTORS, (CITY AND PRIVATE) WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
 - CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
 - ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER), PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
 - REMOVAL OF THE EXISTING CURB AND GUTTER SHALL BE AS PER COA STD. DWG. 2415 (SAWCUT ONLY).
 - WHEELCHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB & GUTTER.

BENCH MARKS		AS-BUILT INFORMATION	
CONTRACTOR	STATION	CONTRACTOR	STATION
FIELD NOTES		MICRO-FILM INFORMATION	
DATE	BY	DATE	BY



REVISIONS		DESIGN	
NO.	DATE	BY	DATE

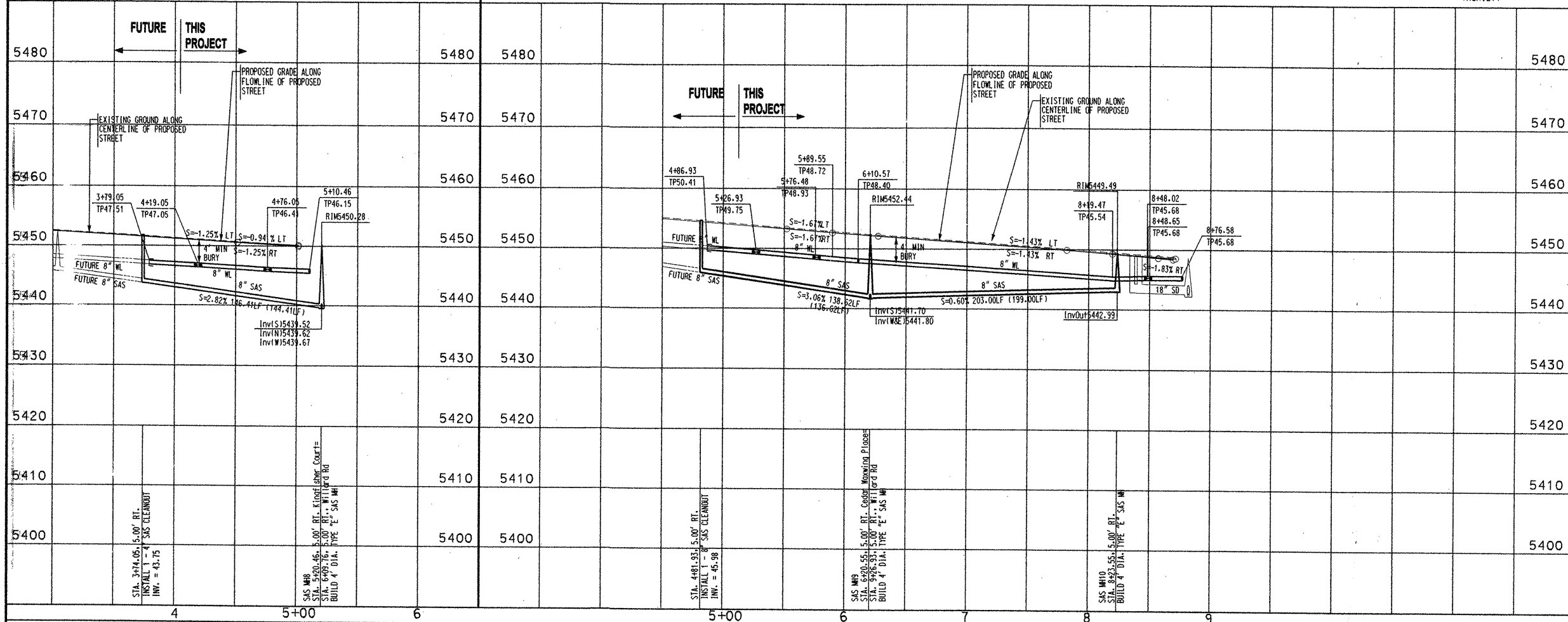
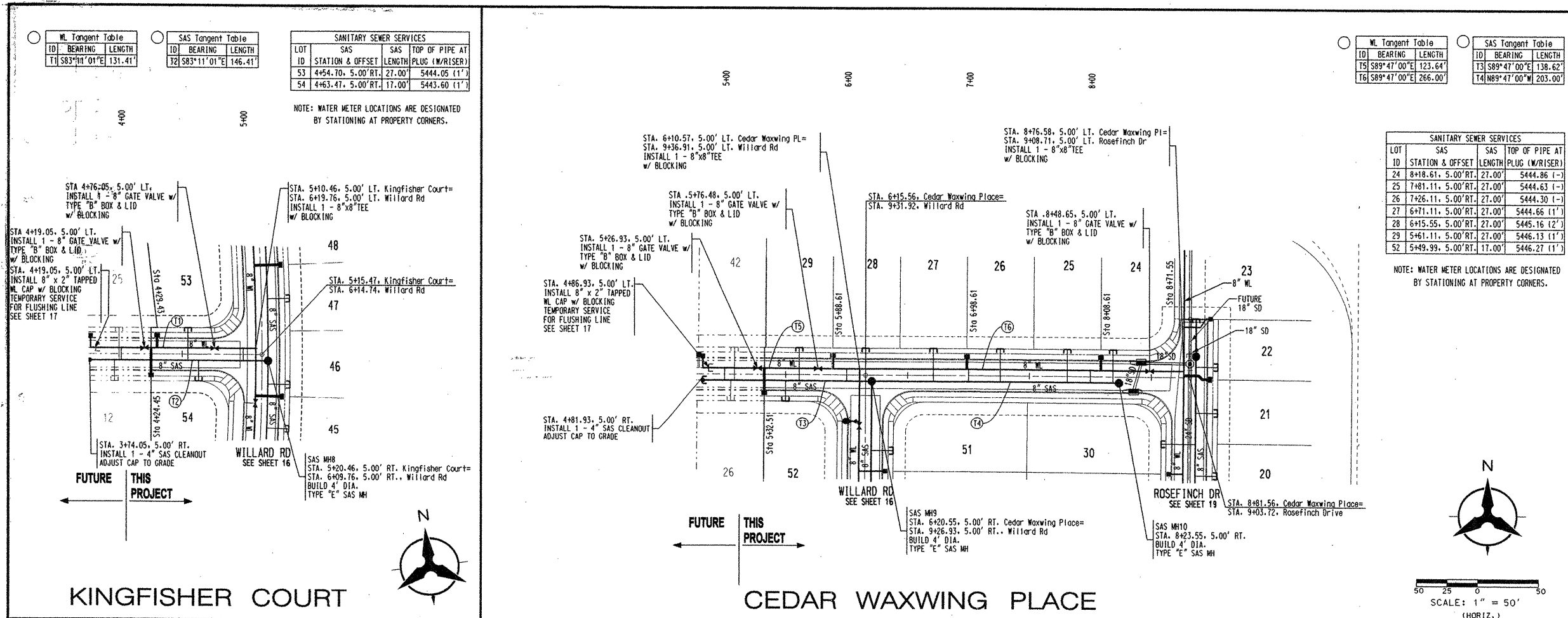
C-17-02

Bohannon & Huston
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP
 PINON POINTE III SUBDIVISION AT VENTANA RANCH
 UTILITY PLAN & PROFILE
 JUNCO PLACE

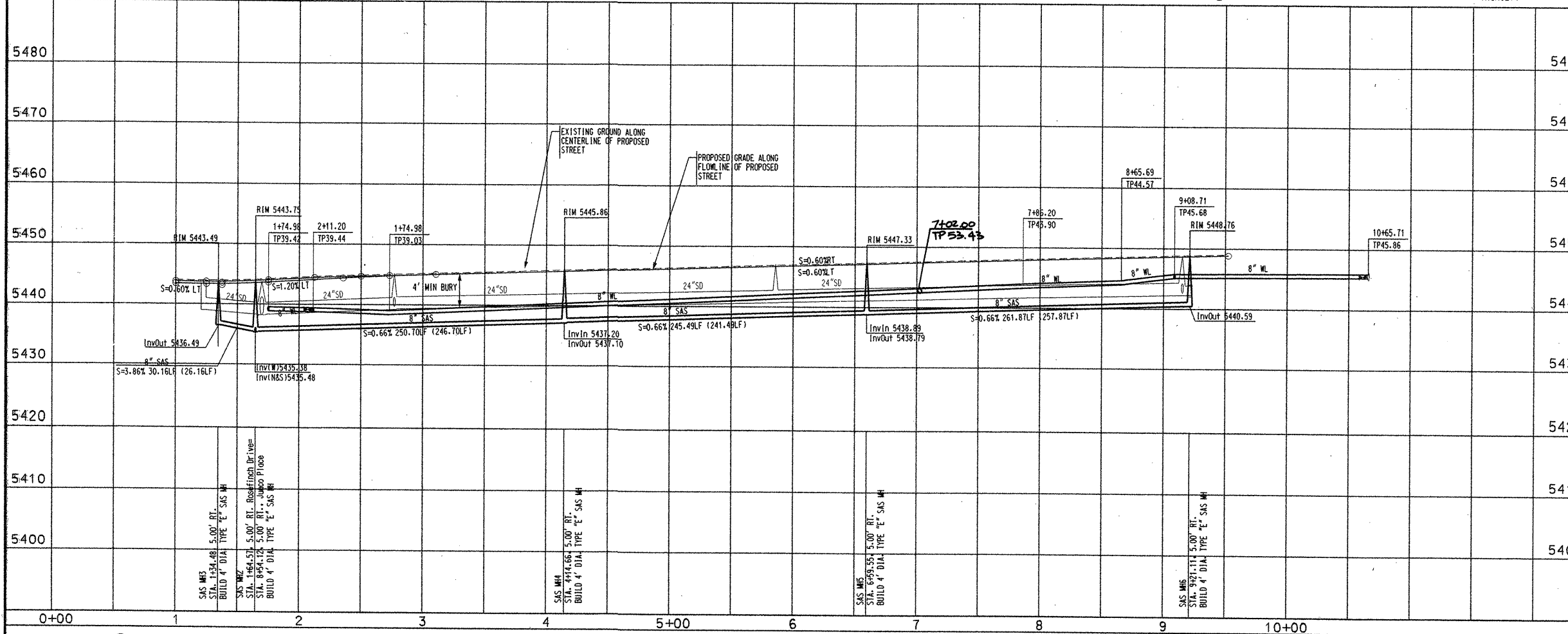
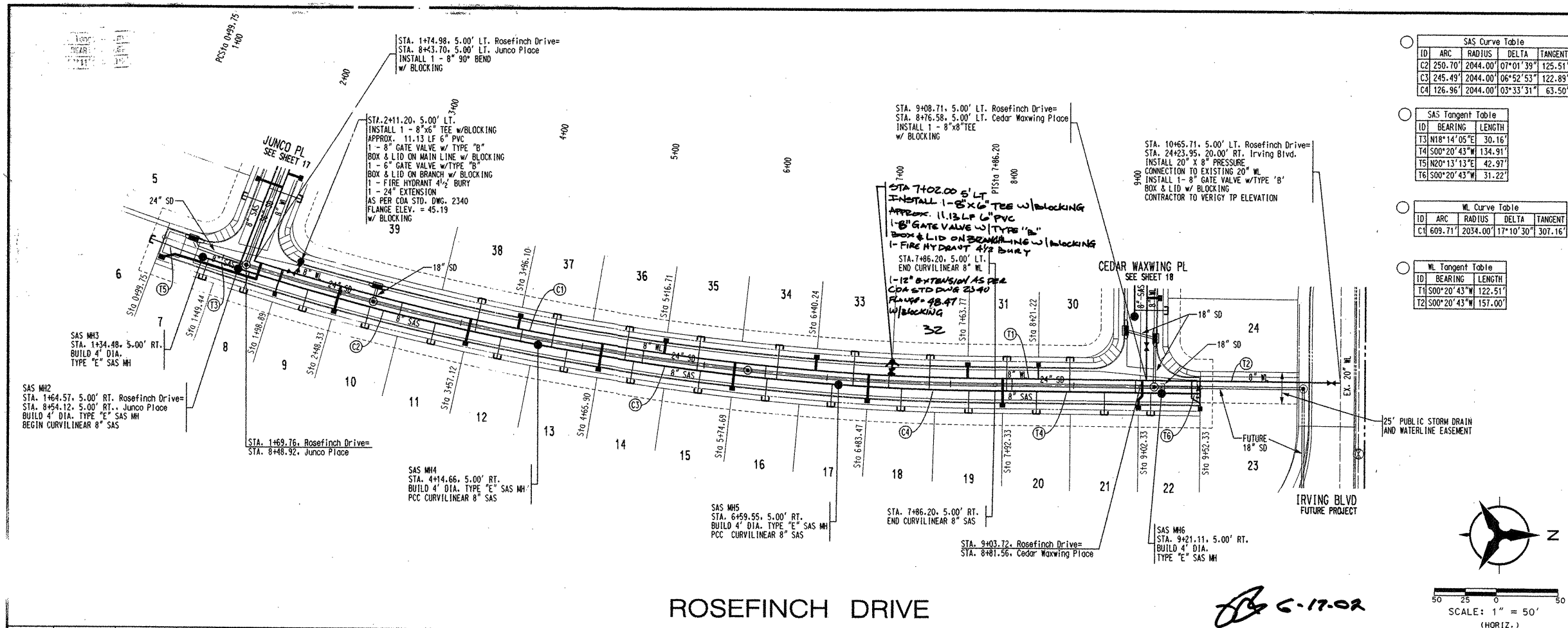
DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL	
DATE	BY	DATE	BY

CITY PROJECT NO. **658684** ZONE MAP NO. **B-9** SHEET **17** OF **22**



- | NOTES | | INFORMATION | | BENCH MARKS | | AS-BUILT INFORMATION | |
|---|------|--------------------------------------|----------|---|------|------------------------|------|
| LD NOTES | DATE | CONTRACTOR | DATED BY | INSPECTOR'S FIELD CHECK BY | DATE | MICRO-FILM INFORMATION | DATE |
| 1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. | | ACS BRASS TABLET STAMPED "1-B9 1980" | | GEOGRAPHIC POSITION (NAD 1927) | | | |
| 2. ALL CURB RETURN RADII SHALL BE 25' UNLESS OTHERWISE SPECIFIED. | | | | N.M. STATE PLANE COORDINATES | | | |
| 3. ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED. | | | | (CENTRAL ZONE) X=355,077.00
Y=1,529,056.93 | | | |
| 4. GRADE ELEVATIONS, WHERE NOTED, ARE ALONG FLOWLINE OF STANDARD CURB UNLESS OTHERWISE SPECIFIED. | | | | GROUND-TO-GRID FACTOR = .99966334 | | | |
| 5. CONTRACTOR IS TO INSTALL A 4" x 4" x 5' POST AND END AT THE END OF EACH SANITARY SEWER SERVICE. | | | | DELTA ALPHA -00°16'47" | | | |
| 6. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES. | | | | NVD 1929 ELEVATION = 5450.51 | | | |
| 7. ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS. | | | | | | | |
| 8. CONTRACTOR SHALL PROVIDE THE INSPECTORS, (CITY AND PRIVATE) WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN. | | | | | | | |
| 9. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE. | | | | | | | |
| 10. ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER), PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE. | | | | | | | |
| 11. REMOVAL OF THE EXISTING CURB AND GUTTER SHALL BE AS PER COA STD. DWG. 2415 (SAWCUT ONLY). | | | | | | | |
| 12. WHEELCHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB & GUTTER. | | | | | | | |

[illegible]



P:\020278\CDP\PNP\ 020278UPNP04.DGN

BHI JOB NO. 020278

SCALE: 1" = 50' (HORIZ.)
1" = 10' (VERT.)

CITY PROJECT NO.	
------------------	--

658684

ZONE MAP NO.
B-9

SHEET	19	OF
-------	----	----

22

1

NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
2. ALL CURB RETURN RADII SHALL BE 25' UNLESS OTHERWISE SPECIFIED.
3. ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
4. GRADE ELEVATIONS, WHERE NOTED, ARE ALONG CLOWLINE OF STANDARD CURB UNLESS OTHERWISE SPECIFIED.
5. CONTRACTOR IS TO INSTALL A 4" X 4" X 5' POST AND RING AT THE END OF EACH SANITARY SEWER SERVICE.
6. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
7. ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
8. CONTRACTOR SHALL PROVIDE THE INSPECTORS, (CITY AND PRIVATE) WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN SHALL BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
9. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
10. ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
11. REMOVAL OF THE EXISTING CURB AND GUTTER SHALL BE AS PER COA STD. DWG. 2415 (SAWCUT ONLY).
12. WHEELCHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB & GUTTER.

SANITARY SERVICE SERVICES				
LOT	SAS STATION & OFFSET	SAS LENGTH	SAS TOP OF PIPE & PLUS W/IN/SERIES	
10	1+32.59, 5.64' RT.	42.37'	5438.43 (-)	
	1+39.42, 4.97' RT.	18.03	5438.08 (-)	
	1+74.17, 5.00' RT.	18.00	5437.23 (-)	
9	2+23.61, 5.00' RT.	18.00	5437.56 (-)	
10	2+75.53, 5.00' RT.	18.00	5437.90 (-)	
11	3+29.92, 5.00' RT.	18.00	5438.26 (-)	
12	3+84.31, 5.00' RT.	18.00	5438.62 (-)	
13	4+38.71, 5.00' RT.	18.00	5439.05 (-)	
14	4+93.10, 5.00' RT.	18.00	5439.41 (-)	
15	5+47.60, 5.00' RT.	18.00	5439.77 (-)	
16	6+01.88, 5.00' RT.	18.00	5440.13 (-)	
17	6+54.56, 5.01' RT.	18.00	5440.47 (-)	
18	7+10.67, 5.00' RT.	18.00	5440.92 (-)	
19	7+65.06, 5.00' RT.	18.00	5441.28 (-)	
20	8+19.83, 5.00' RT.	18.00	5441.64 (-)	
21	8+74.83, 5.00' RT.	18.00	5442.00 (-)	
22	9+12.33, 5.00' RT.	18.00	5442.25 (-)	
23	9+68.72, 5.00' RT.	28.00	5442.01 (-)	
31	7+95.62, 5.00' RT.	28.00	5441.68 (-)	
32	7+32.89, 5.00' RT.	28.00	5441.27 (-)	
33	6+71.12, 5.00' RT.	28.00	5440.86 (-)	
34	6+09.36, 5.00' RT.	28.00	5440.38 (-)	
35	5+44.60, 5.00' RT.	28.00	5439.95 (-)	
36	4+85.83, 5.00' RT.	28.00	5439.56 (-)	
37	4+25.53, 5.00' RT.	28.00	5439.16 (-)	
38	3+62.54, 5.00' RT.	28.00	5438.67 (-)	

NOTE: WATER METER LOCATIONS ARE DESIGNATED
BY STATIONING AT PROPERTY CORNERS.

Bohannon & Huston

 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

 CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

PINON POINTE III SUBDIVISION AT VENTANA RANCH
UTILITY PLAN & PROFILE
ROSEFINCH DRIVE

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
--	-------------	-------------

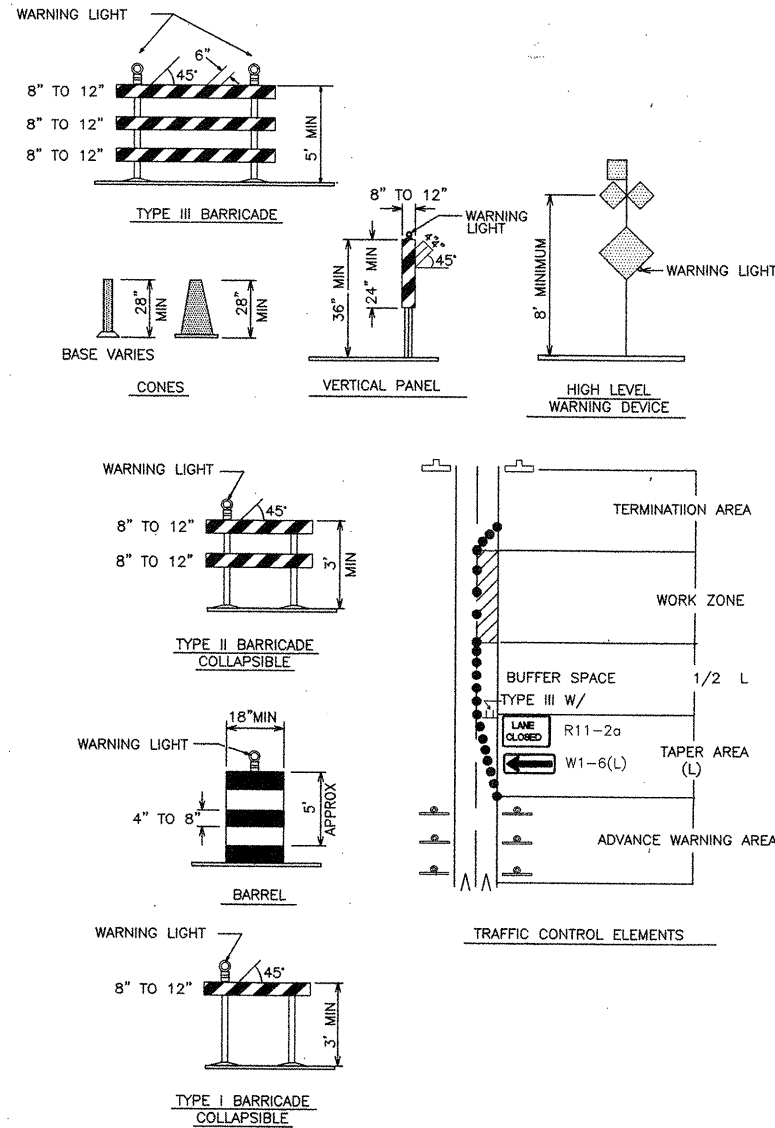
[illegible]

CITY PROJECT NO.	658684	ZONE MAP NO.	B-9	SHEET	19	OF	22
------------------	--------	--------------	-----	-------	----	----	----

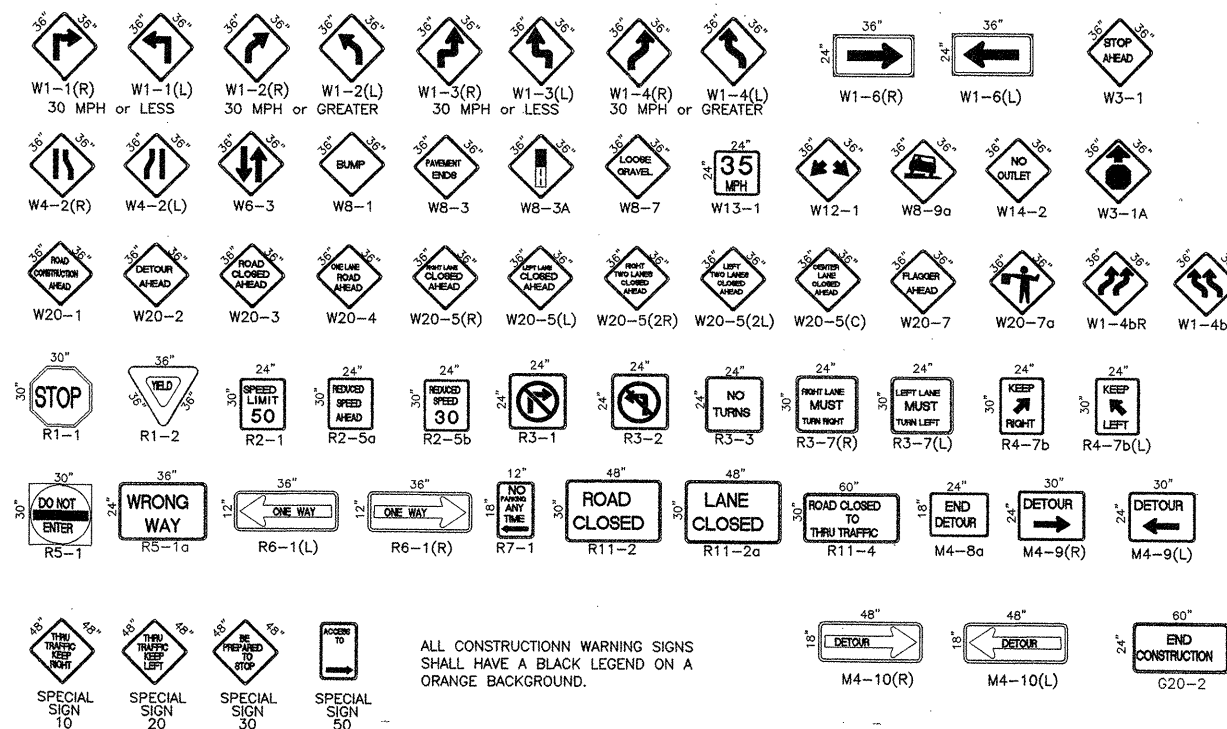
CONSTRUCTION TRAFFIC CONTROL GENERAL NOTES

- CONTRACTOR MUST OBTAIN FROM CONSTRUCTION COORDINATION AN EXCAVATION/BARRICADING PERMIT BEFORE ENGAGING IN ANY CONSTRUCTION, MAINTENANCE OR REPAIR WORK IN ANY OF THE CITY OF ALBUQUERQUE'S RIGHTS-OF-WAY. EMERGENCY WORK THAT WOULD PRESERVE LIFE OR PROPERTY IS EXCLUDED WITH THE UNDERSTANDING, THAT A PERMIT SHALL BE OBTAINED WITHIN 24 TO 48 HOURS.
- CONTRACTOR SHALL AT THE TIME OF PERMIT REQUEST, SUBMIT FOR APPROVAL BY CONSTRUCTION COORDINATION, A TRAFFIC CONTROL PLAN DETAILING ALL EXISTING TOPOGRAPHY SUCH AS LANE WIDTHS, DRIVEWAYS, AND BUSINESS/RESIDENTIAL ACCESSES. THE TRAFFIC CONTROL PLAN SHALL INCLUDE ALL PHASES OF WORK AND SCHEDULES INVOLVED IN THE CONSTRUCTION PROJECT. ANY SEPARATE PHASES OF A CONSTRUCTION PROJECT SHALL BE GIVEN AN INDIVIDUAL PERMIT EACH. BLANKET PERMITS WILL NOT BE ISSUED.
- THESE TYPICAL TRAFFIC CONTROL PLANS DO NOT REFLECT THE EXISTING TOPOGRAPHY SUCH AS DRIVEWAYS, LANE WIDTHS, AND BUSINESS/RESIDENTIAL ACCESSES. EVERY LOCATION THAT REQUIRES CONSTRUCTION TRAFFIC CONTROL SHALL HAVE A DETAILED TRAFFIC CONTROL PLAN SHOWING ALL EXISTING TOPOGRAPHY.
- CONSTRUCTION SHALL NOT BEGIN UNLESS A TRAFFIC CONTROL PLAN HAS BEEN APPROVED AND VERIFIED BY CONSTRUCTION COORDINATION.
- CONSTRUCTION COORDINATION SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY TRAFFIC CONTROL CHANGES NEEDED BY CONTRACTOR, THAT WERE NOT PREVIOUSLY APPROVED. THESE TRAFFIC CONTROL CHANGES SHALL BE REQUESTED IN WRITING ACCOMPANIED WITH A TRAFFIC CONTROL PLAN REFLECTING SUCH CHANGES.
- ALL CONSTRUCTION TRAFFIC CONTROL DEVICES SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL, SERVICE AND MAINTAIN ALL TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL DEVICES SHALL NOT BE REMOVED OR ALTERED IN ANY WAY WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION, PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.
- THE CONSTRUCTION TRAFFIC CONTROL INITIAL SET-UP SHALL BE BY AN AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA) CERTIFIED WORKSITE TRAFFIC SUPERVISOR. THE MAINTENANCE AND SERVICING SHALL ALSO BE DONE BY AN ATSSA CERTIFIED WORKSITE TRAFFIC SUPERVISOR OR EQUIVALENT.
- CONTRACTOR IS RESPONSIBLE TO MAINTAIN AND SERVICE ALL TRAFFIC CONTROL DEVICES 24 HOURS A DAY, 7 DAYS A WEEK THROUGHOUT LENGTH OF PROJECT. CONTRACTOR IS RESPONSIBLE THAT ALL TRAFFIC CONTROL DEVICES COMPLY WITH THE MUTCD, LATEST EDITION.
- ALL ADVANCE WARNING SIGNS SHALL BE DOUBLE INDICATED WHENEVER THERE ARE MULTI-LANE TRAFFIC IN ANY ONE GIVEN DIRECTION AND THERE IS SUFFICIENT MEDIAN SPACE.
- ALL BARRICADES IN ALL TAPERS AND TANGENTS SHALL BE PLACED APART, A DISTANCE MEASURED IN FEET, EQUAL TO THAT OF THE POSTED SPEED LIMIT. NO EXCEPTIONS UNLESS APPROVED BY CONSTRUCTION COORDINATION PER MUTCD SECTION 6A-4.
- ALL WORK IN ARTERIAL ROADWAYS SHALL BE ON A CONTINUOUS 24 HOUR PER DAY BASIS UNTIL COMPLETED.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE CONSTRUCTION COORDINATION, A WEEKLY LOG OF DAILY INSPECTIONS OF BARRICADE AND MAINTENANCE SCHEDULES ON PROJECTS THAT ARE OVER ONE WEEK DURATION.
- EQUIPMENT OR MATERIALS SHALL NOT BE STORED WITHIN 15 FEET OF A TRAVELED TRAFFIC LANE DURING NON-WORKING HOURS WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN A SAFE AND ADEQUATE MEANS OF CHANNELIZING PEDESTRIAN TRAFFIC AROUND AND THROUGH THE CONSTRUCTION AREA.
- CONTRACTOR IS RESPONSIBLE FOR OBLITERATION OF ANY CONFLICTING STRIPING AND RESPONSIBLE FOR ALL TEMPORARY STRIPING.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES, BUSINESSES AND/OR RESIDENTS AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE ACCESS SIGNS FOR BUSINESSES LOCATED WITHIN THE CONSTRUCTION AREA UNDER THE SUPERVISION OF CONSTRUCTION COORDINATION. EACH ACCESS SIGN SHALL HAVE 5 INCH, WHITE OPAQUE LETTERING ON BLUE REFLECTORIZED BACKGROUND. ACCESS SIGNS SHALL BE CONSIDERED INCIDENTAL TO THE BID AND NOT PART OF THE CONTRACT UNLESS OTHERWISE STATED. NO MORE THAN 3 BUSINESSES SHALL BE LISTED ON A ACCESS SIGN. SHOPPING CENTERS AND MALLS SHALL BE LISTED AS SUCH.
- ALL ADVANCE WARNING SIGNS SHALL MEET THE MINIMUM REFLECTIVE INTENSITY REQUIREMENTS SET FORTH BY THE CITY OF ALBUQUERQUE. CONSTRUCTION COORDINATION SHALL DETERMINE ALL REQUIREMENTS AND APPROVE OR DISAPPROVE ANY ADVANCE WARNING SIGN PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.
- 48 HOURS PRIOR TO OCCUPYING OR CLOSING OF A RIGHT-OF-WAY, CONTRACTOR SHALL NOTIFY: POLICE, FIRE DEPARTMENT, SCHOOLS, HOSPITALS, TRANSIT AUTHORITY, BUSINESSES AND/OR RESIDENTS THAT WILL BE AFFECTED BY THE CONSTRUCTION.
- ANY FIELD ADJUSTMENTS SHALL BE APPROVED BY CONSTRUCTION COORDINATION.

- EXCAVATIONS SHALL BE PLATED, TEMPORARILY PATCHED OR RESURFACED PRIOR TO OPENING OF TRAFFIC. A MINIMUM OF 11 FEET SHALL BE PROVIDED FOR TRAFFIC IN ANY GIVEN DIRECTION. CONTRACTOR IS RESPONSIBLE FOR ANY WORK INVOLVED IN SATISFYING THESE REQUIREMENTS.
- CONTRACTOR SHALL AT ALL TIMES COMPLY WITH THE FOLLOWING:
 - STANDARDS AND REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - THE CITY OF ALBUQUERQUE TRAFFIC CODE, LATEST EDITION.
 - SECTION 19 OF THE CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTION, AS WELL AS OTHER SECTIONS.
- FAILURE TO COMPLY WITH ANY OF THE ABOVE MENTIONED, WILL BE ADEQUATE CAUSE TO CEASE ALL WORK ON ANY CONSTRUCTION PROJECT. WORK WILL NOT RESUME UNTIL ALL REQUIREMENTS ARE ADDRESSED AND APPROVED BY CONSTRUCTION COORDINATION.
- ALL TRAFFIC CONTROL DEVICES SHALL BE KEPT IN NEW-CLEAN CONDITION, WASHING OF EQUIPMENT IS INCIDENTAL TO IT'S PLACEMENT AND MAINTENANCE.
- TRAFFIC CONTROL STANDARDS APPLY ONLY WHERE THE CONSTRUCTION TRAFFIC CONTROL PLANS ARE NOT SPECIFIC.
- ADVANCE WARNING SIGNS SHALL BE 36"x36" MIN. WITH SUPER ENGINEERING GRADE SHEETING OR BETTER. MOUNTING HEIGHT AT TOP OF SIGN SHALL BE THE SAME AS FOR A 48" SIGN AS INDICATED IN THE M.U.T.C.D.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORKSITE. ALL GRAFFITI SHALL BE PROMPTLY REMOVED FROM ALL EQUIPMENT, BOTH PERMANENT AND TEMPORARY.



SIGN FACE DETAILS



ALL CONSTRUCTION WARNING SIGNS SHALL HAVE A BLACK LEGEND ON A ORANGE BACKGROUND.

LEGEND

- WORK AREA
 - BARRICADE - TYPE I, TYPE II, OR BARREL
 - BARRICADE - TYPE III
 - VERTICAL PANEL
 - WARNING SIGN
 - DISTANCE BETWEEN SIGNS - A DISTANCE MEASURED IN FEET EQUAL TO A VALUE OF TEN TIMES THE SPEED LIMIT OF THE STREET
 - FLAGMAN POSITION
 - SPACING BETWEEN BARRICADES - A DISTANCE MEASURED IN FEET EQUAL TO THE STREET LIMIT OF THE STREET
 - TAPER LENGTH - SEE CHART BELOW
- THE TANGENT LENGTH IS EQUAL TO THE TAPER LENGTH FOR A GIVEN STREET.

TAPER REQUIREMENT

SPEED LIMIT (MPH)	TAPER LENGTH(L) (FEET)			MINIMUM NUMBER OF DEVICES FOR TAPER	MAXIMUM DEVICE SPACING IN FEET	
	10' LANE	11' LANE	12' LANE		ALONG TAPER	AFTER TAPER
20	70	75	80	5	20	20
25	105	115	125	6	25	25
30	150	165	180	7	30	30
35	205	225	245	8	35	35
40	270	295	320	9	40	40
45	450	495	540	13	45	45
50	500	550	600	13	50	50
55	550	605	660	13	55	55

RECOMMENDED SIGN SPACING(D) FOR ADVANCE WARNING SIGN SERIES

SPEED LIMIT (MPH)	MINIMUM DISTANCE IN FEET BETWEEN SIGNS	
	FROM LAST SIGN TO TAPER	FROM TAPER TO ADVANCE WARNING AREA
0-20	10 X SPEED LIMIT	10 X SPEED LIMIT
25-30	10 X SPEED LIMIT	10 X SPEED LIMIT
30-35	10 X SPEED LIMIT	10 X SPEED LIMIT
40-45	10 X SPEED LIMIT	10 X SPEED LIMIT
50-60	10 X SPEED LIMIT	10 X SPEED LIMIT

TAPER CRITERIA

TYPE OF TAPER	TAPER LENGTH
UPSTREAM TAPER:	L MINIMUM
MERGING TAPER	1/2 L MINIMUM
SHIFTING TAPER	1/2 L MINIMUM
SHOULDER TAPER	100 FEET MAXIMUM
TWO-WAY TRAFFIC TAPER	100 FEET PER LANE
DOWNSTREAM TAPERS	100 FEET PER LANE

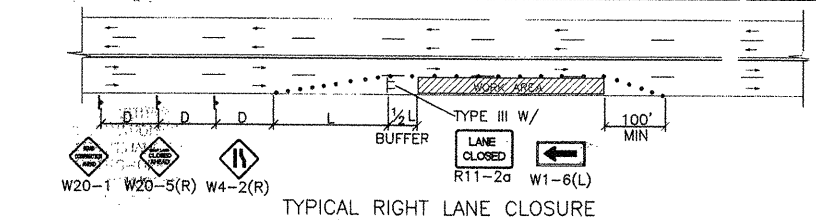
TAPER LENGTH COMPUTATION

SPEED LIMIT	L =
40 MPH OR LESS	$L = \frac{WS^2}{60}$
40 MPH OR GREATER	$L = W \times S$

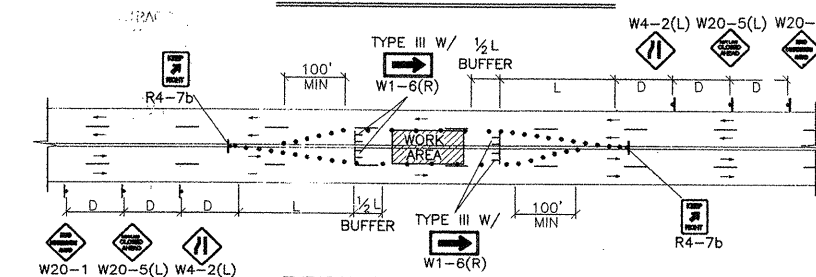
L = TAPER LENGTH
W = WIDTH OF OFFSET IN FEET
S = POSTED SPEED OR OFF-PEAK 85-PERCENTILE SPEED IN MPH

Bohannon & Huston
Courtney One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

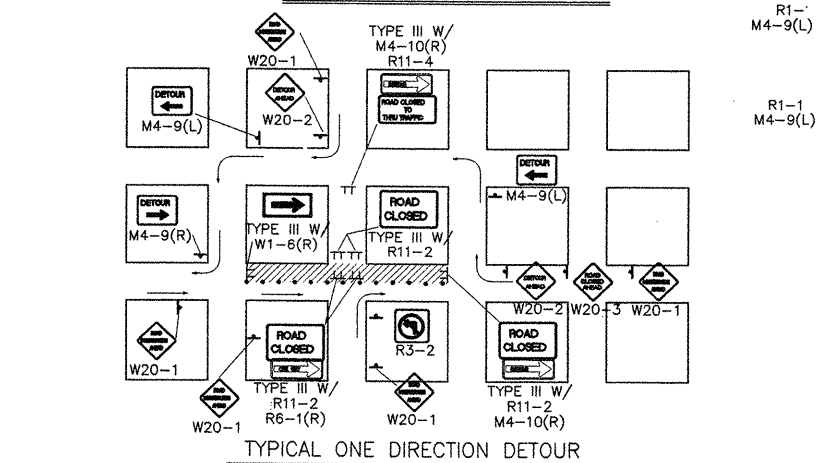
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT	
PINON POINTE III AT VENTANA RANCH SIGNING & CONSTRUCTION TRAFFIC CONTROL STANDARDS	
Design Review Committee	City Engineer Approval
City Project No. 658684	Zone Map No. B-9
Sheet 20	Of 22



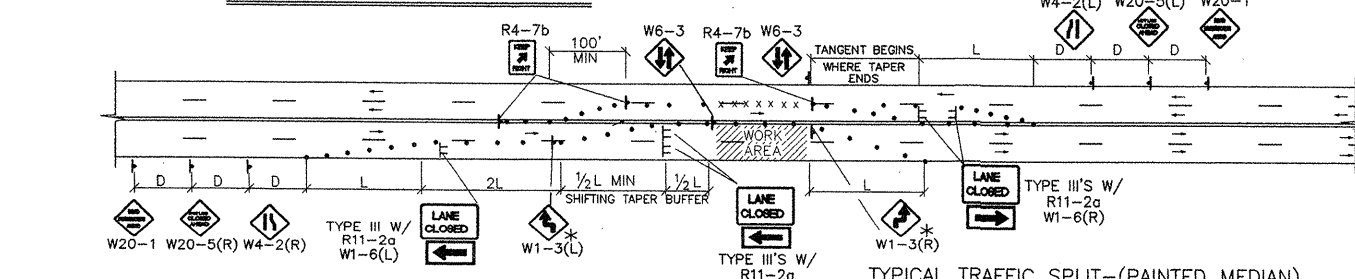
TYPICAL RIGHT LANE CLOSURE



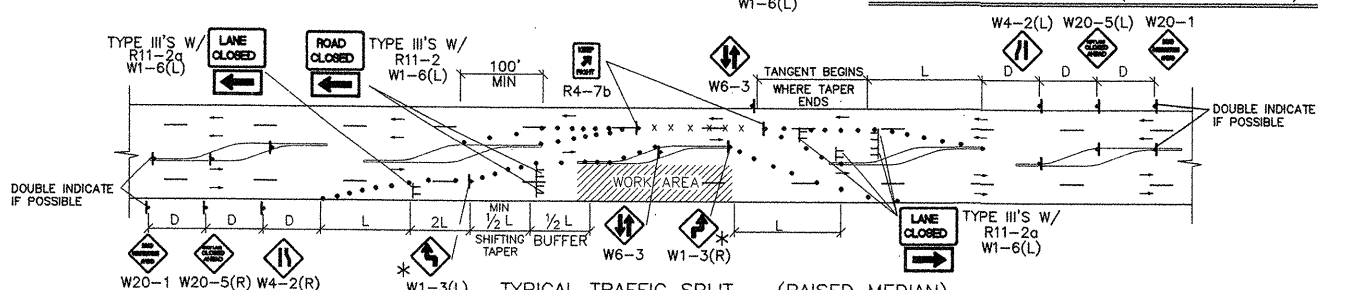
TYPICAL LEFT LANE CLOSURE



TYPICAL ONE DIRECTION DETOUR

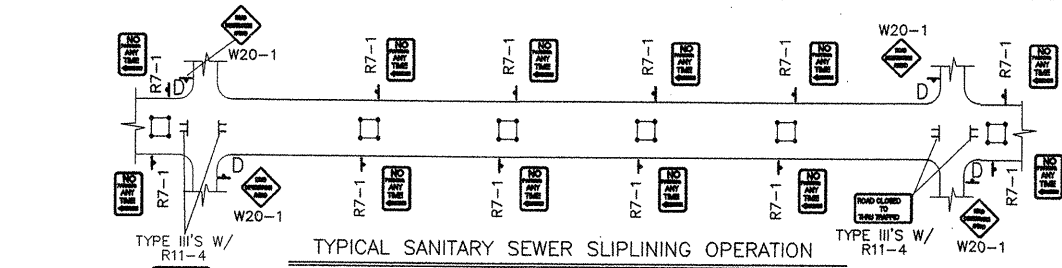


TYPICAL TRAFFIC SPLIT - (PAINTED MEDIAN)



TYPICAL TRAFFIC SPLIT - (RAISED MEDIAN)

- TRAFFIC SPLIT NOTES:
1. THE OFFSET DISTANCE MUST BE CALCULATED IN ALL SHIFTING TAPERS. THE OFFSET DISTANCES SHALL INCLUDE LANE WIDTHS PLUS MEDIAN WIDTHS.
 2. 1/2 L IS THE MINIMUM DISTANCE FOR SHIFTING TAPERS.
 3. REVERSE CURVES MAY BE IMPLEMENTED. ALL CURVE DATA SHALL BE CALCULATED.
 4. MEDIAN REMOVAL SHALL BE REQUIRED IF 1/2 L OR REVERSE CURVE IS NOT SUFFICIENT. MEDIAN REMOVAL SHALL TAKE PLACE BEFORE SPLITS.
 5. REDUCED SPEED MAY BE CONSIDERED.
 6. * USE W1-3 FOR 30 MPH OR LESS, W1-4 FOR SPEED 35 MPH OR GREATER.

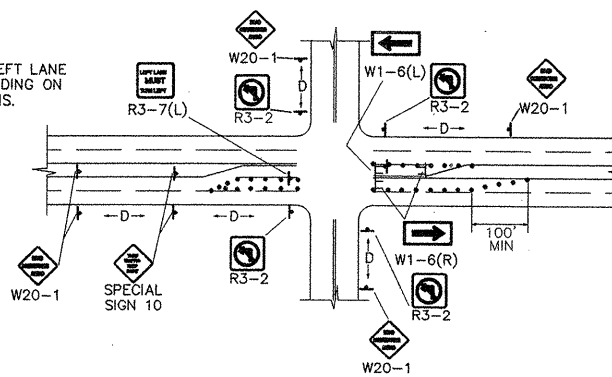


TYPICAL SANITARY SEWER SLIPLINING OPERATION

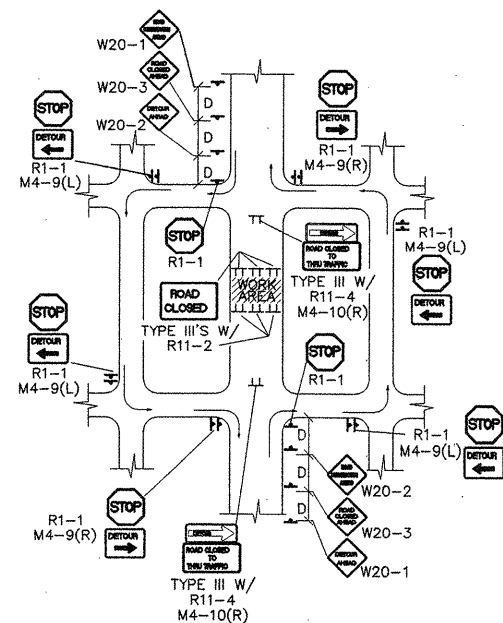
- ALL PITS TO HAVE TYPE-A FLASHING LIGHTS
- ALL PITS TO HAVE FLAGLINE

GENERAL NOTE:
ALL CONSTRUCTION WARNING SIGNS SHALL HAVE A BLACK LEGEND ON AN ORANGE BACKGROUND.
ALL ADVANCE WARNING SIGNS SHALL BE A MINIMUM OF 36" THIRTY SIX INCHES BY 36" THIRTY SIX INCHES IN SIZE AND SHALL HAVE ONE WARNING LIGHT.

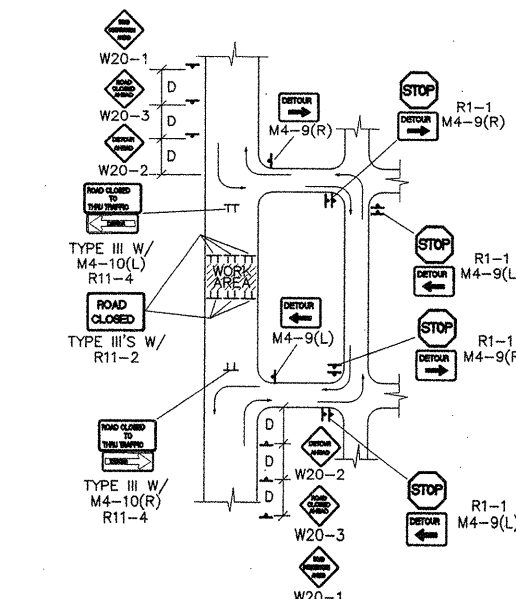
NOTE:
MAY REQUIRE LEFT LANE CLOSURE DEPENDING ON FIELD CONDITIONS.



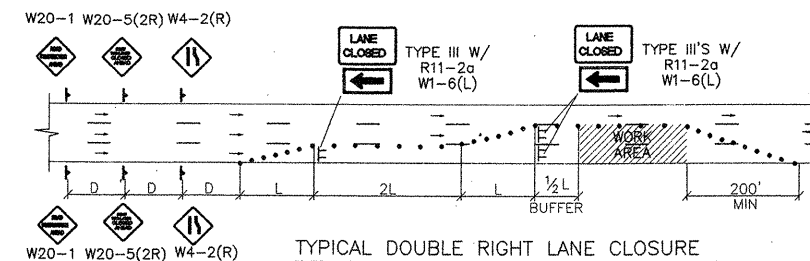
TYPICAL LANE CLOSURE AT INTERSECTION
NOTE: DEPENDING ON WORK ZONE LOCATION.



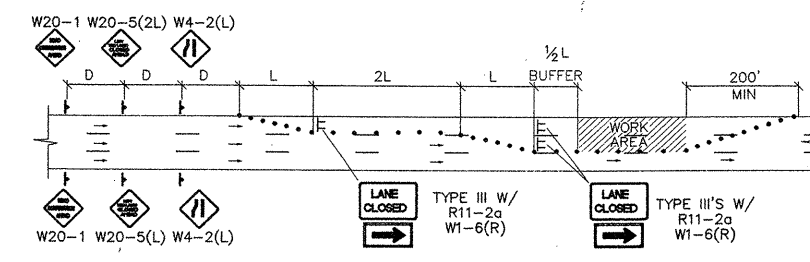
TYPICAL MID-BLOCK CLOSURE
NOTE: (R1-1) BASED ON FIELD CONDITIONS.



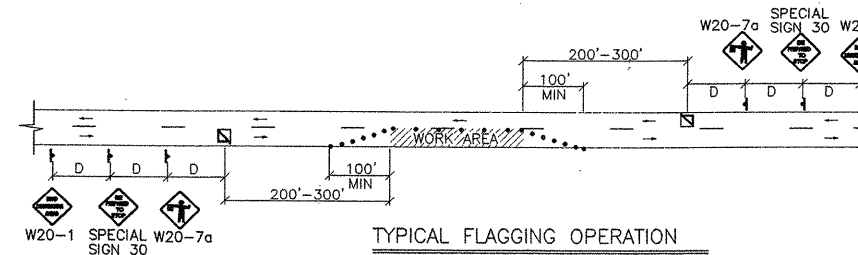
TYPICAL STREET CLOSURE
NOTE: (R1-1) BASED ON FIELD CONDITIONS.



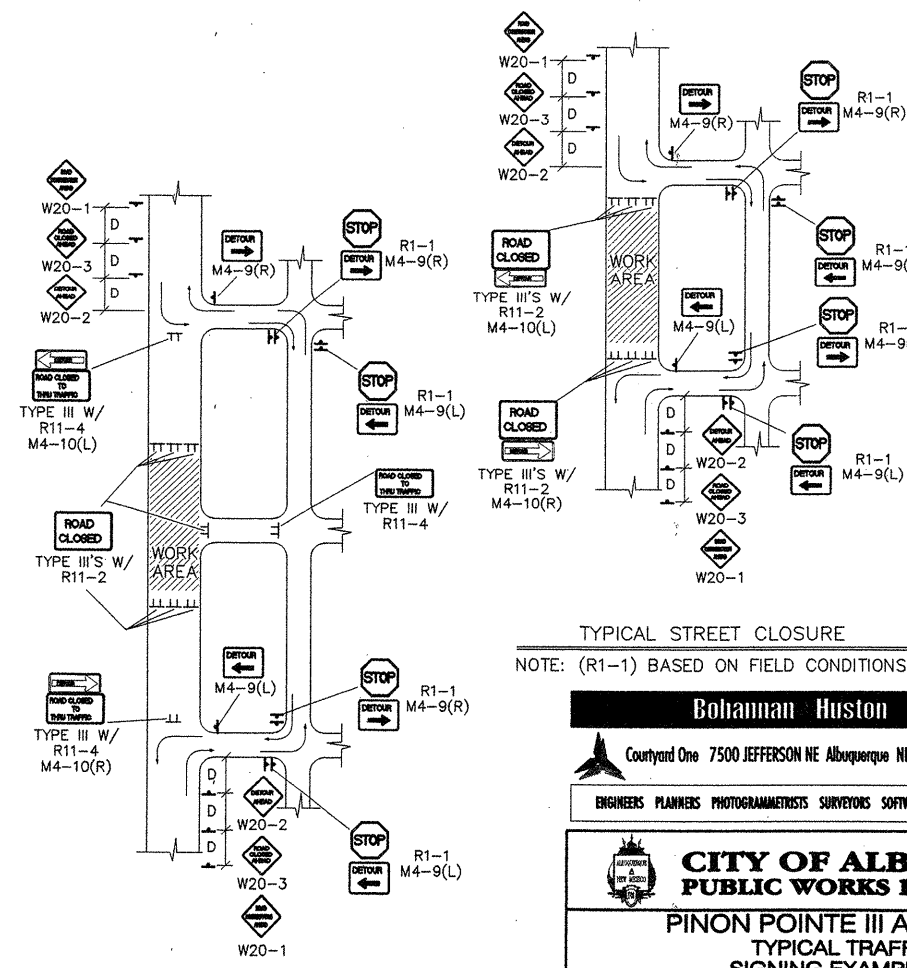
TYPICAL DOUBLE RIGHT LANE CLOSURE



TYPICAL DOUBLE LEFT LANE CLOSURE



TYPICAL FLAGGING OPERATION



TYPICAL STREET CLOSURE
NOTE: (R1-1) BASED ON FIELD CONDITIONS.

Bohannon Huston
Courtney One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT		PINON POINTE III AT VENTANA RANCH TYPICAL TRAFFIC CONTROL & SIGNING EXAMPLES (REF MUTCD)	
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
658684	B-9	21	22

	2' Cal.	SHADE TREE	TO 35'
	2' Cal.	ORNAMENTAL TREE	TO 35'
	20 Gal.	PINON PINE	TO 25'
	15 Gal.	WASHINGTON HAWTHORN	16' TO 18'
	15 Gal.	DESERT WILLOW	16' TO 18'
		OCOTILLO	10'
	5 Gal.	SHRUB/MAIDEN GRASS	TO 2'
	1 Gal.	VINE	TO 1'
	1 Gal.	GROUND COVER	TO 24'
	1 Gal.	CATMINT	8" TO 12"
		OVERSIZED GRAVEL ACCENT	
		SANTA ANA TAN GRAVEL WITH FF, SIDEWALK TO PROPERTY LINE	
		BROWN GRAVEL WITH FF, SIDEWALK TO CURB AND MEDIANS	

1. ALL LANDSCAPE TO BE MAINTAINED BY THE VENTANA RANCH COMMUNITY ASSOCIATION.
2. NO TREES SHALL BE PLANTED WITHIN 8' OF CURBS OR SIDEWALKS.



	CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP														
	PINON POINTE 3 SUBDIVISION AT VENTANA RANCH LANDSCAPE PLAN														
DESIGN REVIEW COMMITTEE APPROVED AUG 16 2002 CITY ENGINEER REVIEW COMMITTEE	CITY ENGINEER APPROVAL APPROVED AUG 19 2002 CITY ENGINEER	LAST UPDATE	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%; padding: 5px;">MO./DAY/YR.</th> <th style="width: 50%; padding: 5px;">MO./DAY/YR.</th> </tr> <tr> <td style="padding: 5px;">6/18/02</td> <td style="padding: 5px;"></td> </tr> <tr><td style="padding: 5px;"></td><td style="padding: 5px;"></td></tr> <tr><td style="padding: 5px;"></td><td style="padding: 5px;"></td></tr> <tr><td style="padding: 5px;"></td><td style="padding: 5px;"></td></tr> <tr><td style="padding: 5px;"></td><td style="padding: 5px;"></td></tr> </table>	MO./DAY/YR.	MO./DAY/YR.	6/18/02									
MO./DAY/YR.	MO./DAY/YR.														
6/18/02															
CITY PROJECT NO. 6586 84	ZONE MAP NO. 13-9	SHEET 22	OF 22												

[illegible]