

SCANNED BY
MESA REPRO

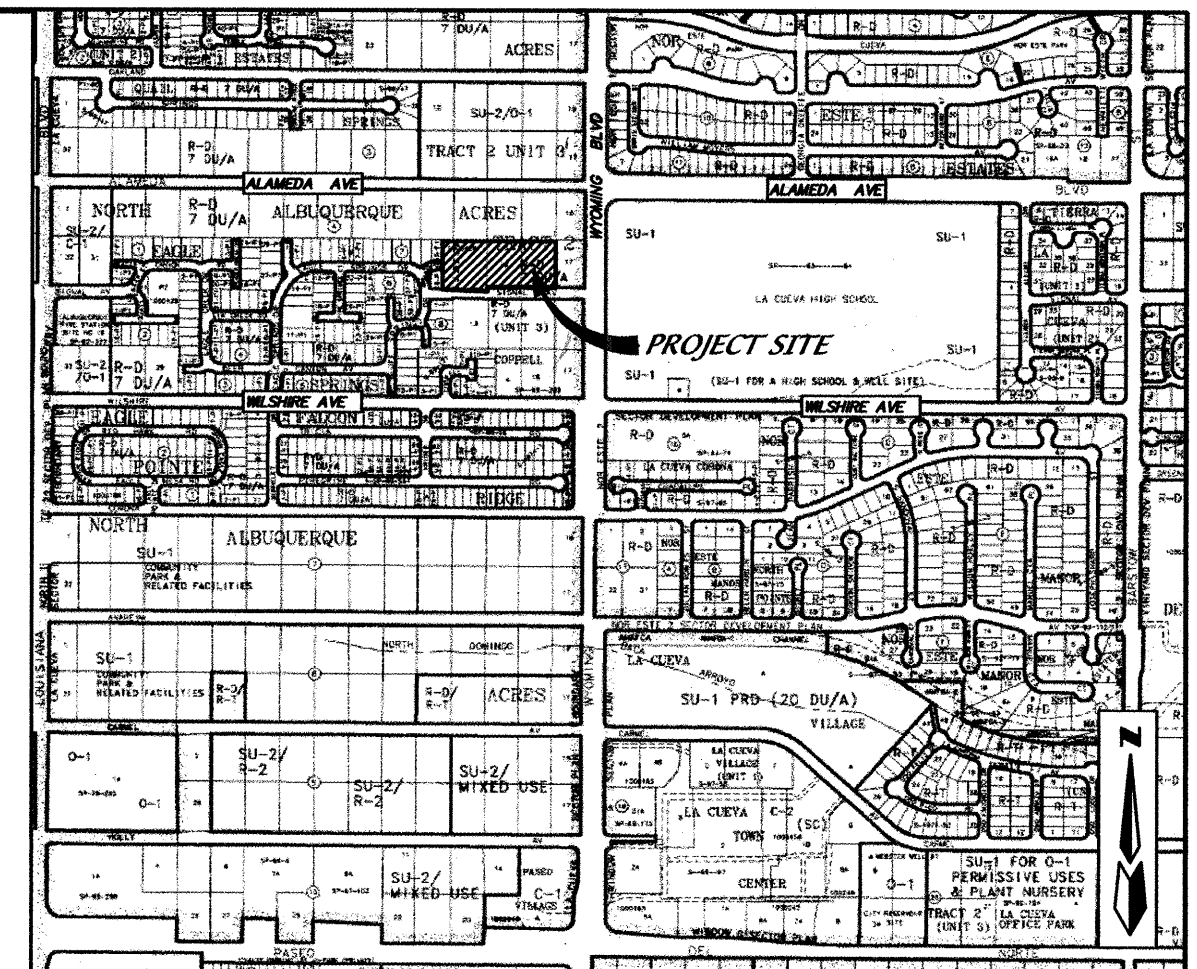
SURVEYOR'S CERTIFICATION

Timothy Aldrich, P.S. No. 7719



1002183

A02jobs\A2087ese\plans\A2058cvr.dwg\01-08-03\DER



VICINITY MAP ZONE ATLAS: C-19-Z

GENERAL NOTES

NOTICE TO CONTRACTORS

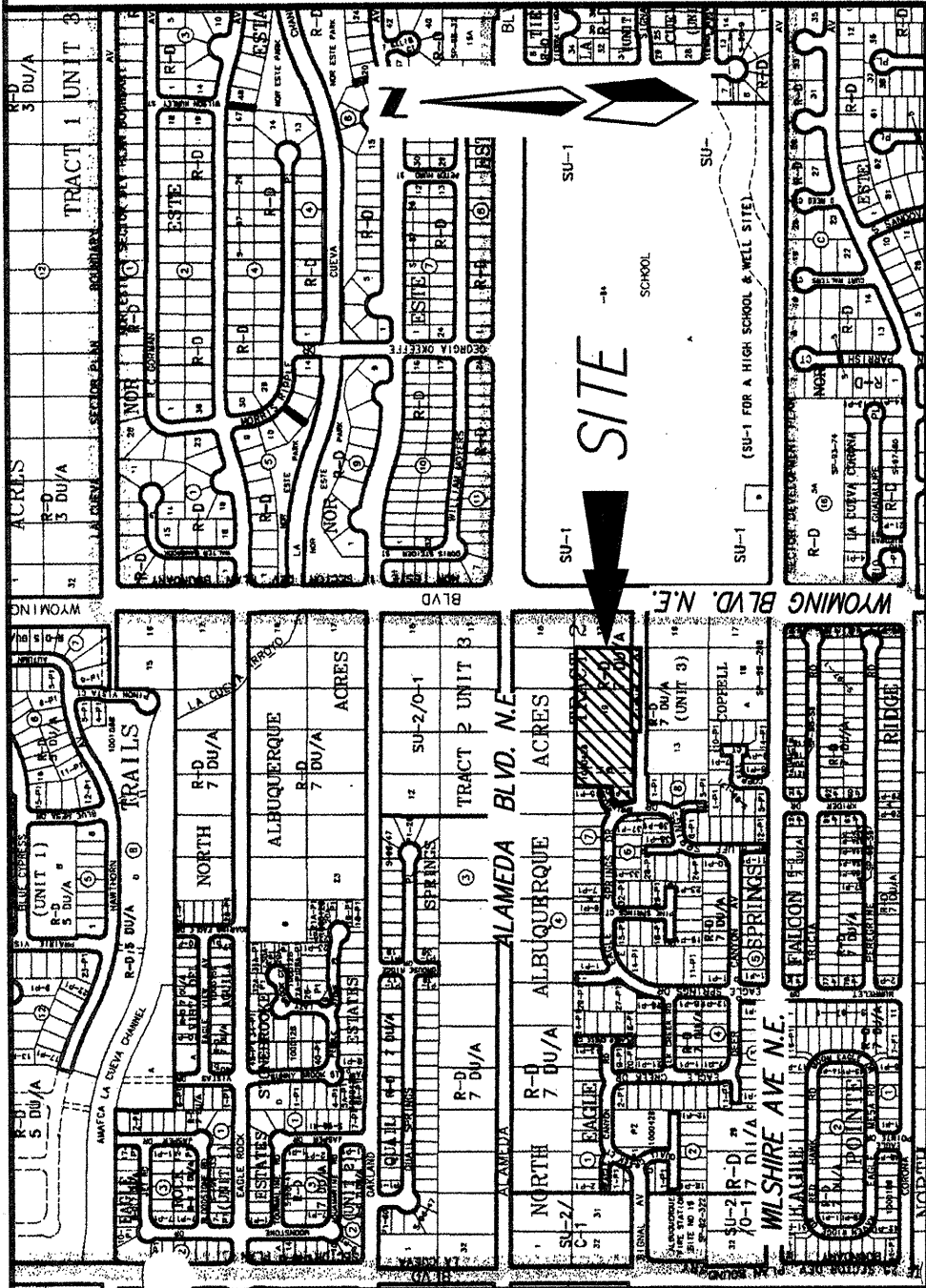
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ANY WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #6.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE.
6. SEVEN (7) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPANCY AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
7. ALL WORK AFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
8. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
9. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT CONSENT. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT TO COVER THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
10. CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAVE BEEN RECORDED.
11. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
12. CONTRACTOR SHALL COORDINATE WITH THE CITY OF ALBUQUERQUE WATER SYSTEMS DIVISION (857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER OR SEWER UTILITIES. EXISTING VALVES TO BE OPERATED BY CITY PERSONNEL ONLY. CONTRACTOR SHALL CONTACT THE WATER SYSTEMS DIVISION SEVEN (7) WORKING DAYS PRIOR TO NEEDING VALVES TURNED ON OR OFF.
13. FOR STORM DRAIN CONSTRUCTION, RCP JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE BY THE CITY.
14. ALL EXCAVATION, TRENCING AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 24 CFR 1926.65 SUBPART P.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☒ SIDEWALK AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☒ IF CURB IS DERESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P. O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539



LEGAL DESCRIPTION (SEE SHEET 2)

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:

Plat for "Eagle Springs Subdivision" (03-11-02, 2002-82)
Plat for "North Albuquerque Acres Subdivision, Tract 2, Unit 3, Block 4"
(9-10-31, D1-20)
Plat for "North Albuquerque Acres Subdivision, Tract 2, Unit 3, Block 5"
(9-10-31, D1-20)

all being records of Bernalillo County, New Mexico.

- Field Survey performed August, 2002.
- Unless otherwise noted all point are SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP).

PURPOSE OF PLAT

- Subdivide 1 Tract and 1 Lot, Eagle Springs, Unit 1 and 2 Lots North Albuquerque Acres Subdivision into Three HOA Tracts and 21 Residential Lots.
- Grant easements as shown.
- Dedicate right-of-way as shown.
- Vacate Easements as shown.
- Rename Willow Springs Court to Willow Springs Road.
- Rename Lot 16-P1, Block 7 to Lot 9-P1, Block 10.

LOCATION MAP

ZONE ATLAS C-19-Z
SCALE: NONE

SUBDIVISION DATA

Plat Case No.s..... Project # 1002183
Case #.....
Gross acreage..... 3.3122 AC
Zone Atlas No..... C-19-Z
No. of existing Tracts/Lots..... 1 TRACT/3 LOTS
No. of Tracts/Lots created..... 3 TRACTS/21 LOTS
No. of Tracts/Lots eliminated..... 1 TRACT/3 LOTS
Miles of full width streets created..... 0.13
Area dedicated to the City of Albuquerque..... 0.8388 AC
Date of Survey..... MAY, 2002
Utility Control Location System Log Number..... 2002361363

FREE CONSENT AND DEDICATION:

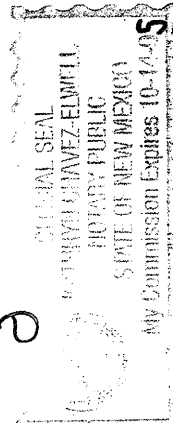
The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby dedicate portions of Signal Ave. in fee simple Without warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

D. R. HORTON, INC.
BY: J. MARK FERGUSON, DIVISION PRESIDENT
J. Mark Ferguson, Division President
Date 01-16-03

OWNER'S ACKNOWLEDGMENT
STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO

This instrument was acknowledged before me on January 16, 2003
By J. Mark Ferguson, Division President of D.R. Horton, Inc., a Delaware Corporation,
on behalf of said corporation.

Kathryn Mang-Chell
NOTARY PUBLIC
MY COMMISSION EXPIRES 10-14-05



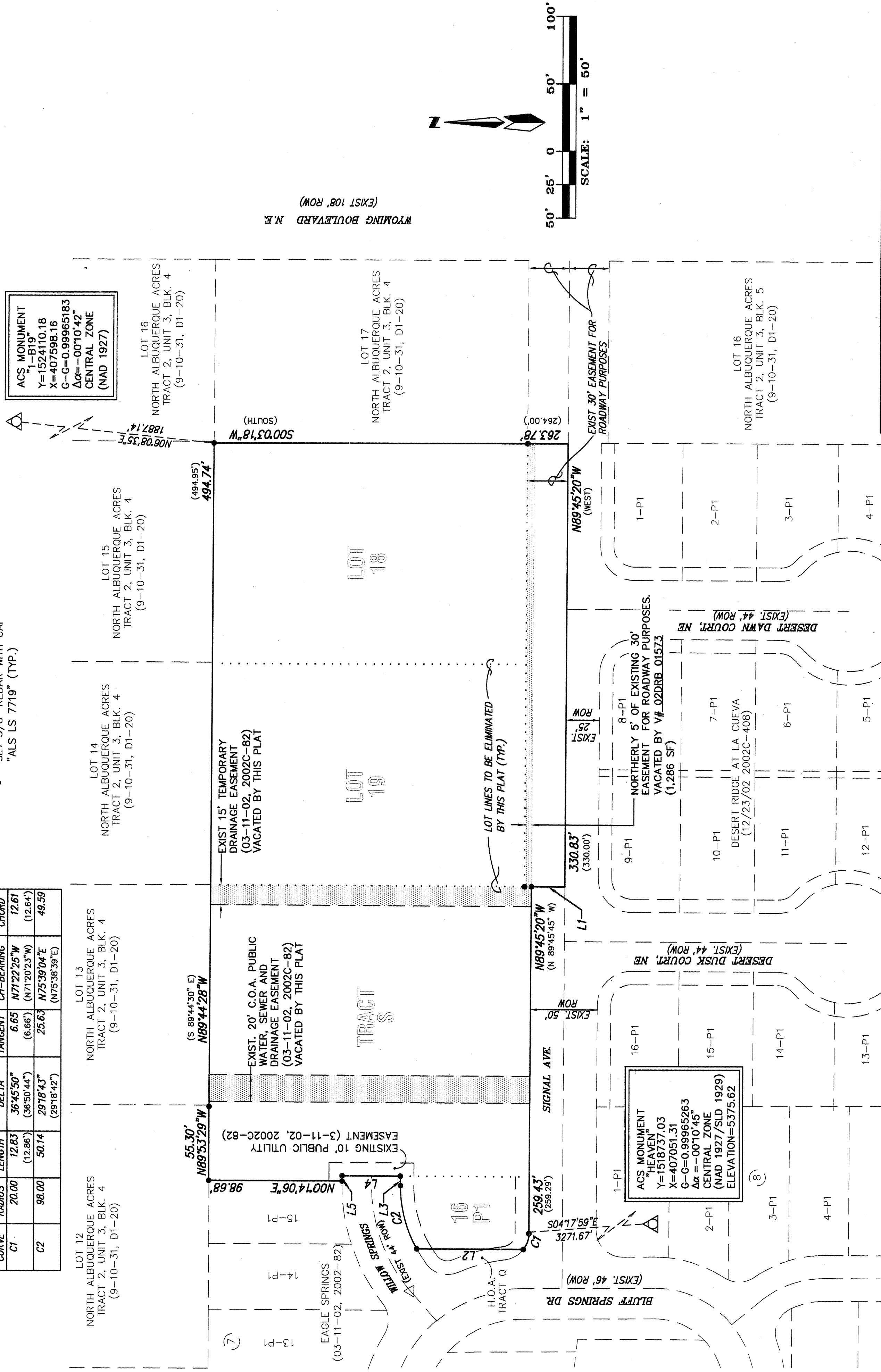
LINE TABLE			
LINE	BEARING	DELTA	DISTANCE
L1	N007°10'2"E	25.00'	12.61
L2	N007°18'00"E	79.63'	(6.66')
L3	S89°37'35"E	71.3'	49.59
L4	N007°18'00"E	44.00'	(7.02')
L5	N89°42'00"W	3.93'	(5.89'±39°39'E)

CURVE TABLE			
CURVE	RADIUS	LENGTH	CHORD
C1	20.00'	12.61	12.61
C2	98.00'	50.14	29.18'±43"

DESCRIPTION

A tract of land within the Elena Gallegos Grant, projected Section 18, Township 11 North, Range 4 East, New Mexico Public Land, Bernalillo County, New Mexico, being all of TRACT 2, UNIT 3, BLOCK 4, EAGLE SPRINGS as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2002 in Book 2002C Page 82 together with all of LOTS 18 AND 19 BLOCK 4, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 and containing 3.3122 acres more or less.

- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP.)



LINE	BEARING	DISTANCE
L1	N0071°02'E	25.00'
L2	N0078°00'E	79.63'
L3	S89°17'55"E	7.13'
L4	N0078°00'E	44.00'
L5	N89°42°00"W	3.93'
L6	S89°51°02"W	22.99'
L7	N44°20'23"W	21.37'

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CH-BEARING	CHORD
C1	20.00'	12.63'	36°45'50"	6.65'	N71°22'25"W	12.61'
C2	98.00'	48.99'	29°18'43"	25.02'	N75°39'04"E	48.59'
C3	25.00'	19.35'	44°21'14"	10.19'	N67°31'23"W	18.87'
C4	25.00'	19.89'	45°35'28"	10.51'	N22°33'03"W	19.37'
C5	25.00'	39.27'	90°00'00"	25.00'	N45°14'40"E	35.36'
C6	25.00'	39.29'	90°03'20"	25.02'	N45°16'20"E	35.37'
C7	25.00'	39.27'	90°00'00"	25.00'	S44°45'20"E	35.36'
C8	25.00'	39.25'	89°56'40"	24.98'	N44°43'40"W	35.34'

PLAT FOR
EAGLE SPRINGS, UNIT 2
WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 18
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2003

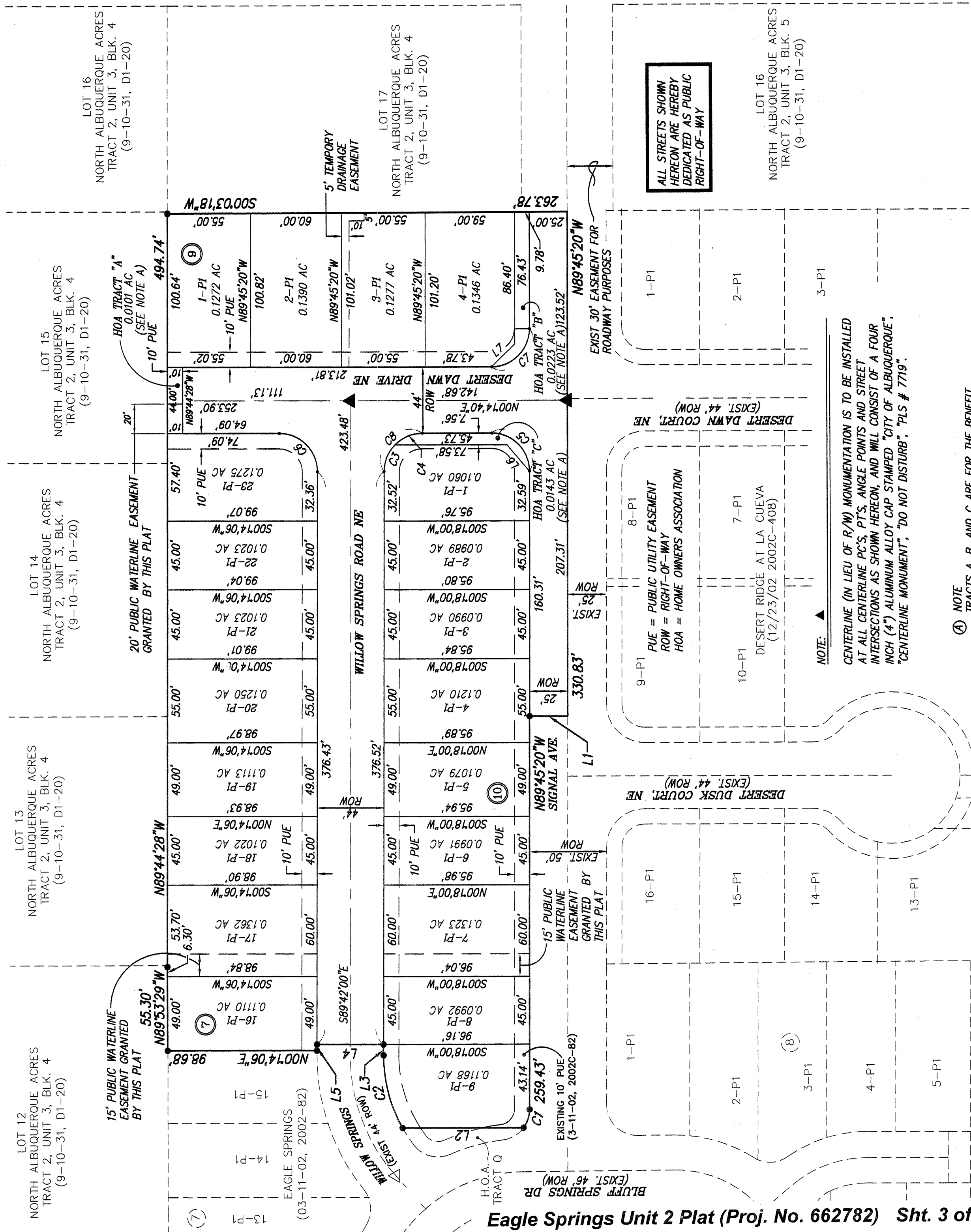
PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. The PNM Gas Services Division for installation, maintenance and services of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.

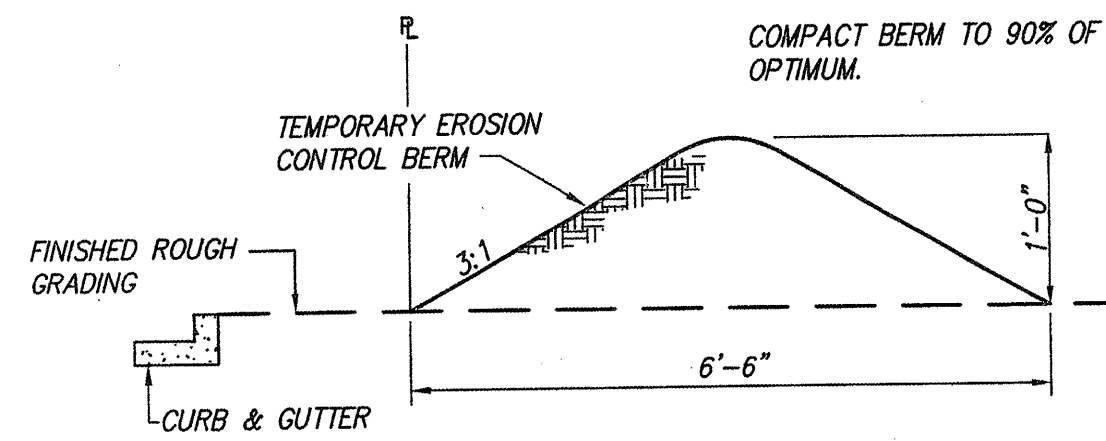
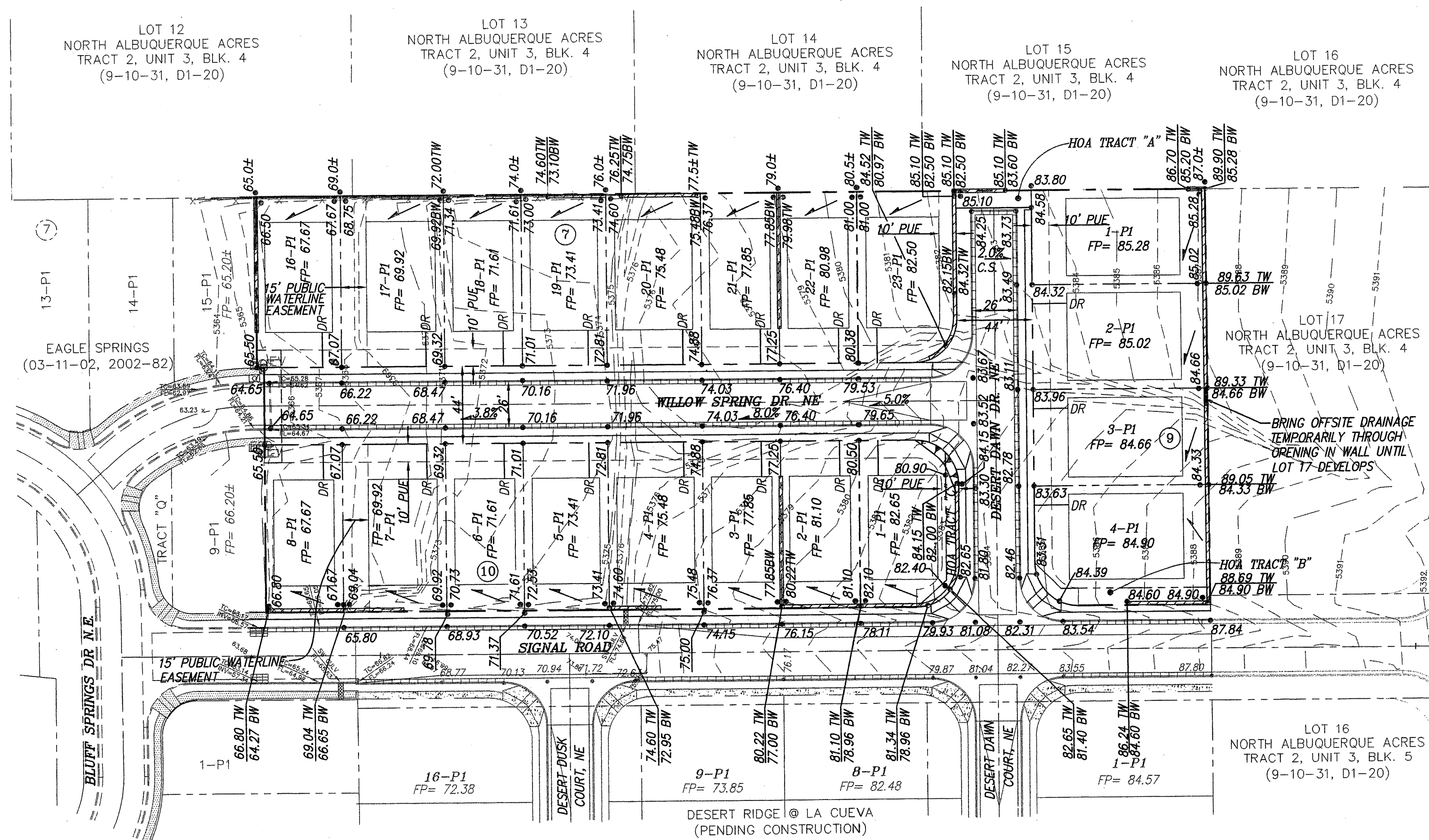
Included, is the right to build, rebuild, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformers/switchgear doors and five feet (5') on each side.



NOTE: CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", PLUS # 7719".

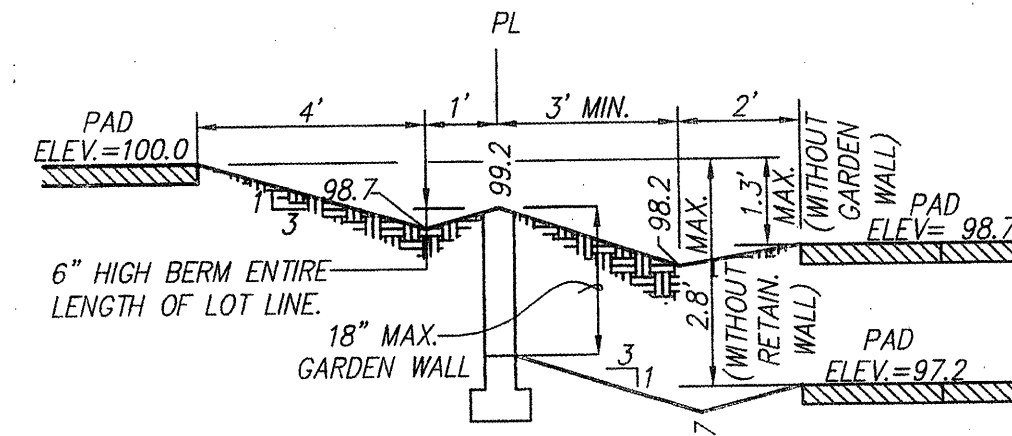
NOTE: TRACTS A, B, AND C ARE FOR THE BENEFIT OF THE HOMEOWNERS TO BE MAINTAINED BY THE EAGLE SPRINGS HOMEOWNERS ASSOCIATION.



EROSION CONTROL BERM DETAIL
N.T.S.

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. EROSION CONTROL BERMS ARE REQUIRED AROUND THE ENTIRE SITE.
5. ALL EROSION CONTROL BERMS MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.



- NOTES:
1. A BLOCK WALL WILL BE CONSTRUCTED ALONG THE ENTIRE PERIMETER BOUNDARY.
 2. WHERE THE DIFFERENCE IN ADJACENT PAD ELEVATIONS IS GREATER THAN 1.3' AND LESS THAN 2.8' A GARDEN WALL SHALL BE CONSTRUCTED TO ACCOMMODATE PROPER SIDEYARD LOT DRAINAGE AS SHOWN ON THE SIDEYARD LOT DETAIL.
 3. WHERE THE DIFFERENCE IN ADJACENT PAD ELEVATIONS IS GREATER THAN 2.8' A RETAINING WALL SHALL BE CONSTRUCTED TO ACCOMMODATE PROPER SIDEYARD LOT DRAINAGE AS SHOWN ON THE SIDEYARD LOT DETAIL.

TYPICAL SIDEYARD GARDEN BLOCKWALL DETAIL

NTS ANY DIFFERENCE IN PAD ELEVATIONS BETWEEN ADJACENT LOTS GREATER THAN 2.8' WILL REQUIRE RETAINING WALLS

LOCATION MAP
ZONE ATLAS C-19-Z
SCALE: NONE

LEGAL DESCRIPTION:

LOTS 18 AND 19, BLOCK 4, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, AND TRACT "S" EAGLE SPRINGS SUBDIVISION, WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

NOTES

1. ALL CURB & GUTTER IN THE SUBDIVISION IS STANDARD CURB & GUTTER.

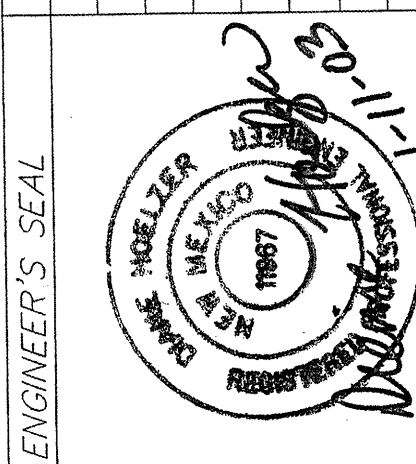
LEGEND

- 5615 — EXISTING CONTOUR (MAJOR)
- 5616 — EXISTING CONTOUR (MINOR)
- TC= — EXISTING SPOT ELEVATION
- FL= x 00.0 — EXISTING CONCRETE CURB
- — EXISTING CONCRETE SIDEWALK
- — EXISTING WALL OR HEAD WALL
- — FUTURE CURB & GUTTER
- — EXISTING CURB & GUTTER
- — NEW MOUNTABLE CURB & GUTTER
- — NEW STANDARD CURB & GUTTER
- — NEW SIDEWALK
- — NEW RIGHT-OF-WAY
- — NEW CENTERLINE
- — NEW LOT LINES
- — NEW EASEMENTS
- — PROPOSED SWALE
- — PROPOSED RETAINING WALL
- — BOTTOM OF RETAINING WALL
- — TOP OF RETAINING WALL
- 83.44 — PROPOSED SPOT ELEVATION
- FP= 85.60 — PROPOSED FINISHED PAD ELEVATION
- DR — PROPOSED DRIVEWAY LOCATION

SURVEY INFORMATION

NO.	DATE	BY

ENGINEER'S SEAL



REVISIONS

NO.	DATE	REVISIONS

DESIGNED BY

DLH	DATE	9/02
KJS	DATE	9/02
DWG	DATE	9/02

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: EAGLE SPRINGS-UNIT 2
GRADING AND DRAINAGE PLAN

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL

MO./DAY/YR. MO./DAY/YR.

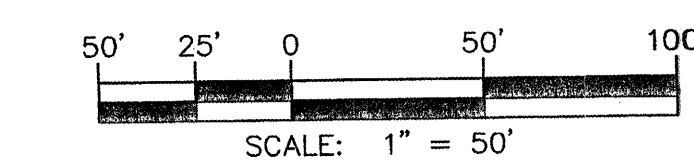
For Information Only

CITY PROJECT NO. 662782

ZONE MAP NO. C-19-Z

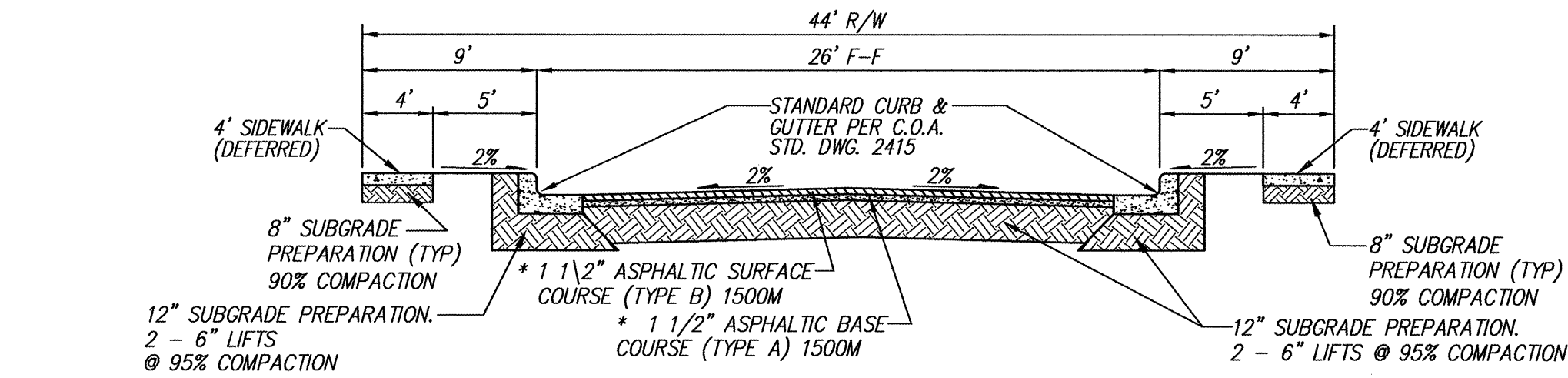
SHEET 4 OF 12

APPROVED ROUGH GRADING ±18" CITY HYDROLOGY DATE



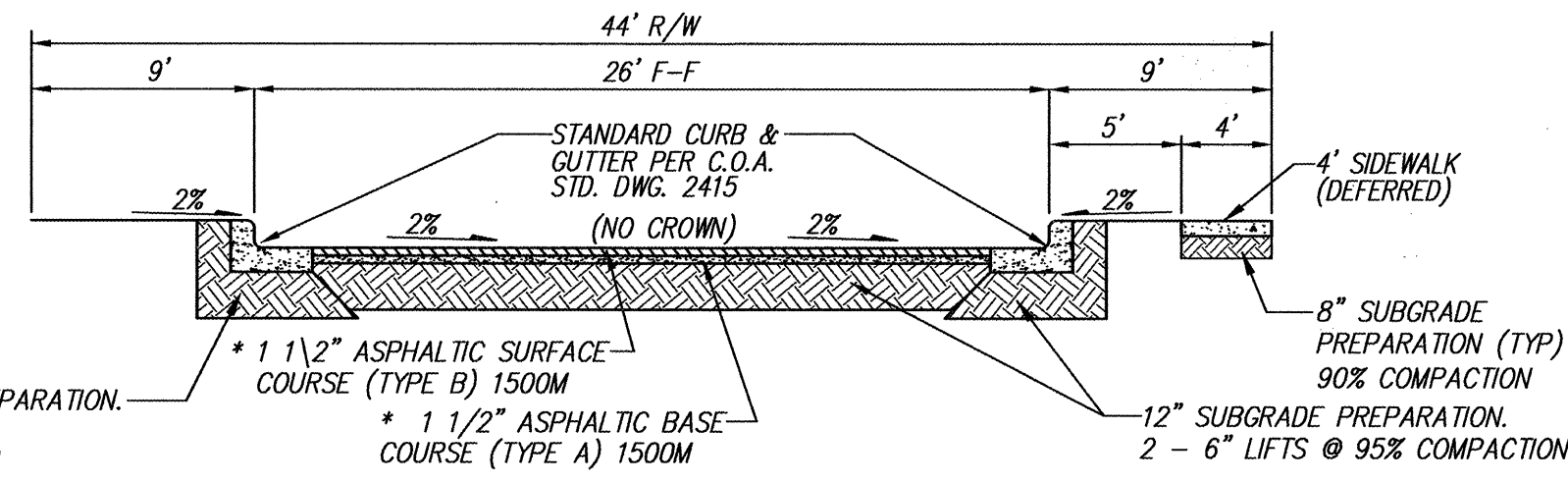
A2087ESE/A2087gd2.dwg/01-10-03/ KJS MJR DER

F:\A02\005\A2087\ese\plans\A2087mp.dwg Fr1 Jan 10 15:16:22 2003 D. MARK GOODWIN & ASSOCIATES; PLTTED BY: DER



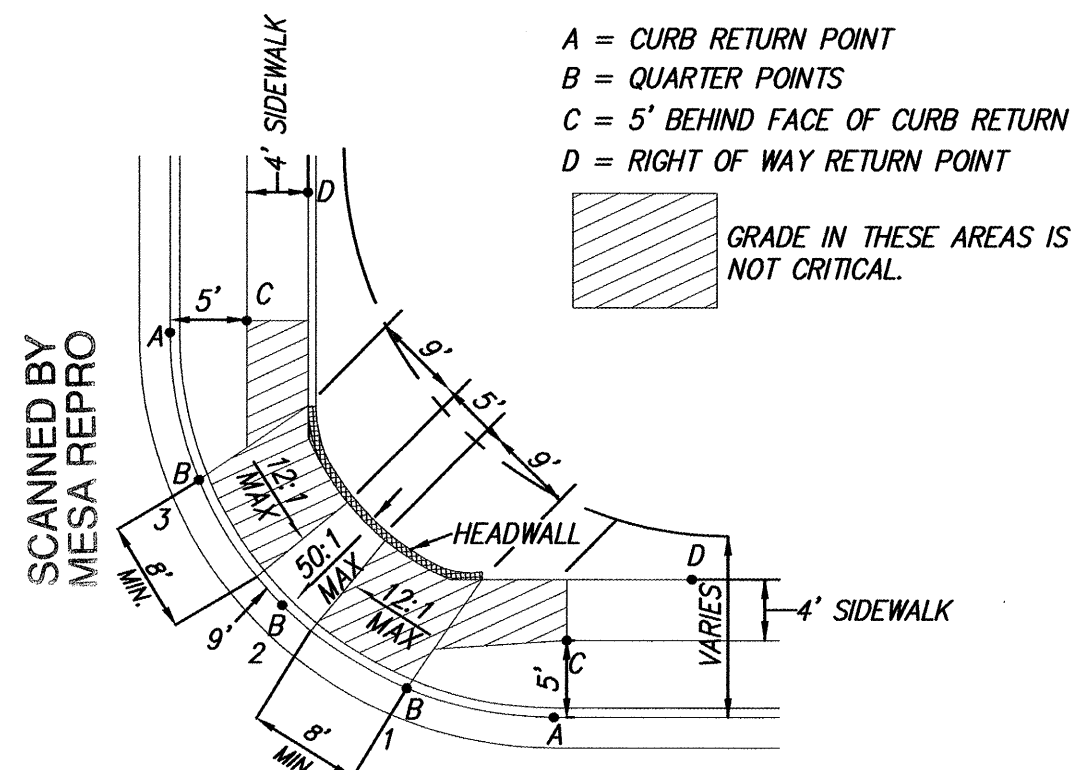
WILLOW SPRINGS ROAD N.E.
TYPICAL 26' RESIDENTIAL STREET SECTION A-A

N.T.S. (SEE NOTE 6)



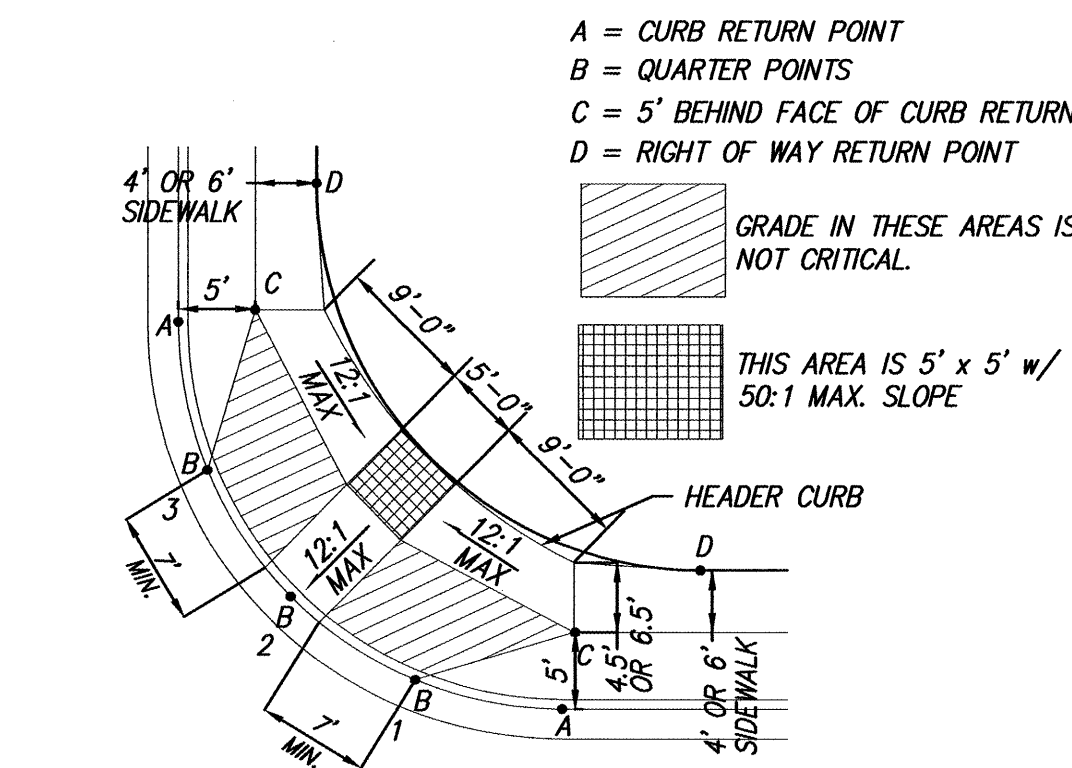
DESERT DAWN DRIVE N.E.
TYPICAL 26' RESIDENTIAL STREET SECTION B-B

N.T.S. (SEE NOTE 6)



NON-ARTERIAL WHEEL CHAIR RAMP DETAIL CASE I

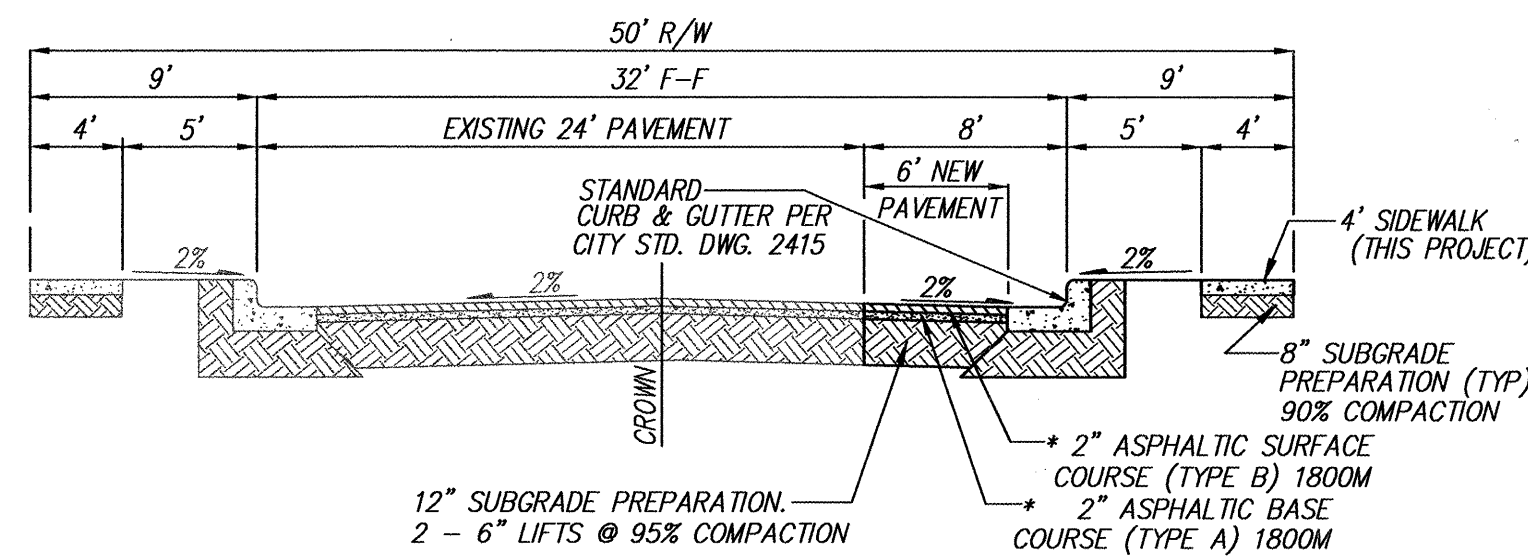
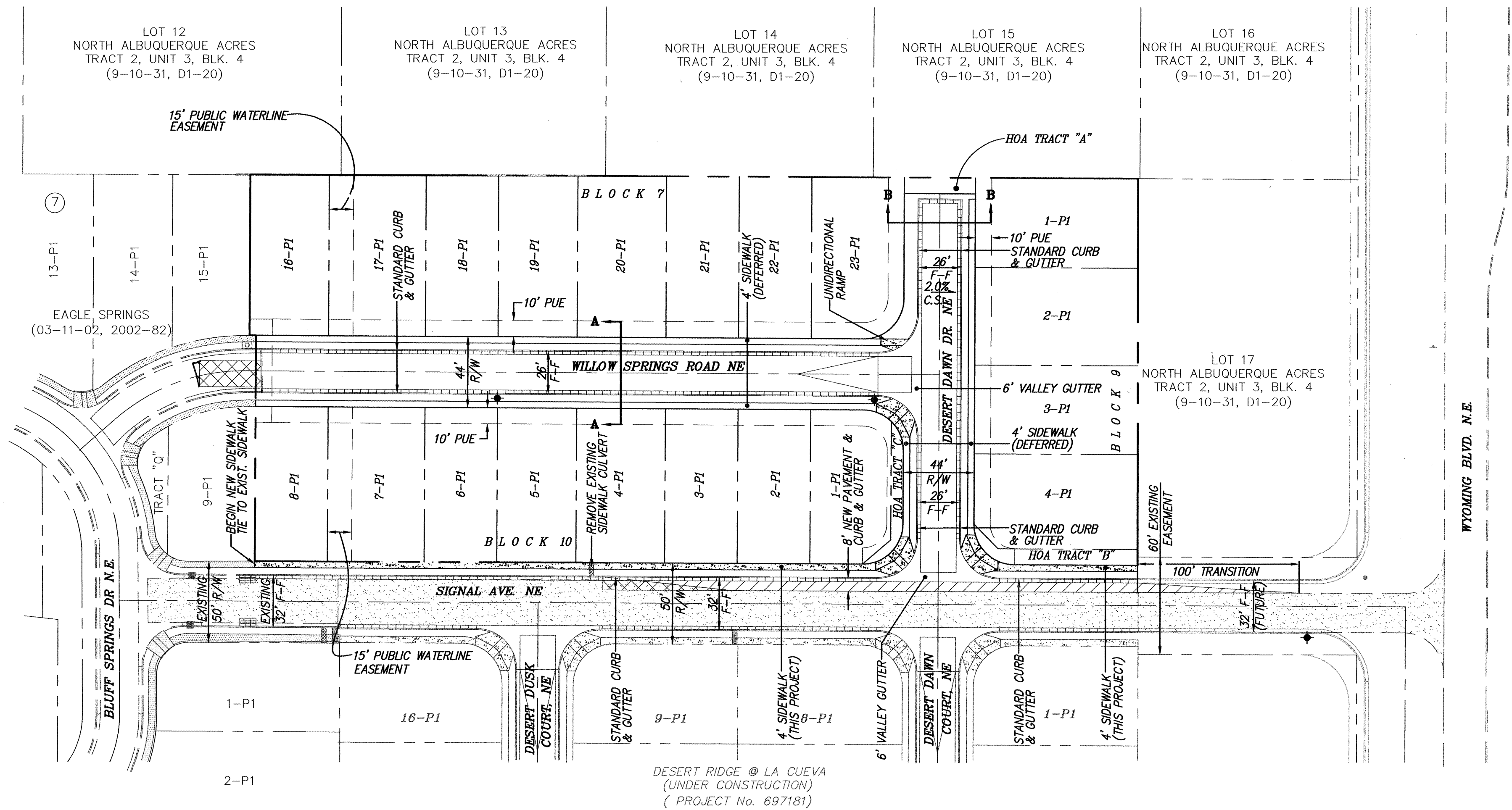
N.T.S. (PER C.O.A. STD. DETAIL #2441)



NON-ARTERIAL WHEEL CHAIR RAMP DETAIL CASE II

N.T.S. (PER C.O.A. STD. DETAIL #2441)

NOTE: ALL WHEELCHAIR RAMPS PER DETAIL ON THIS SHEET. USE CASE I UNLESS A 50:1 SLOPE CANNOT BE ACHIEVED AT RAMP, THEN CONSTRUCT CASE II WITH 5'x5' PAD.



TYPICAL 32' STREET SECTION (SIGNAL AVE N.E.)

N.T.S. (PER PROJECT No. 697181, DESERT RIDGE @ LA CUEVA)
(SEE NOTE 6)

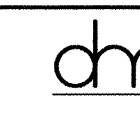
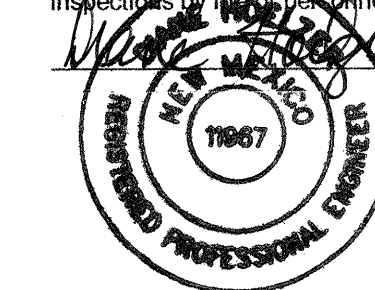
NOTES

- ALL SIDEWALKS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2430.
- ALL 6' VALLEY GUTTERS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2420.
- ALL 4' INTERIOR SIDEWALKS ARE DEFERRED.
- ALL HANDICAP RAMPS ARE CASE I PER DETAILS ON THIS SHEET, UNLESS OTHERWISE NOTED.
- TRANSITION SECTION FROM FULL CROWN TO NO CROWN TO BE A MINIMUM OF 50 FEET PER C.O.A. STD DETAIL #2401.
- SOIL NOT HAVING THE MINIMUM R-VALUE OF 50 FOR STREETS SHALL BE REMOVED TO A DEPTH OF 2 FEET AND REPLACED, BY THE CONTRACTOR, WITH SUITABLE MATERIAL, OR A PAVEMENT SECTION SHALL BE DESIGNED BY THE CONSULTANT ACCOMMODATING THE EXISTING R-VALUE PER C.O.A. STANDARD SPECIFICATIONS.

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING CONCRETE/SIDEWALK
- EXISTING STORM DRAIN INLET
- PROPOSED STANDARD CURB & GUTTER
- PROPOSED MOUNTABLE CURB & GUTTER
- FUTURE CURB & GUTTER
- PROPOSED LOT LINE
- PROPOSED/EXISTING EASEMENT LINE
- PROPOSED CENTERLINE
- PROPOSED CROWN TRANSITION
- PROPOSED CONCRETE SIDEWALK (THIS PROJECT)
- PROPOSED CONCRETE SIDEWALK (DEFERRED)
- PROPOSED STREET LIGHT
- WHEEL CHAIR RAMP (THIS PROJECT)
- PROPOSED NEW OFFSITE PAVEMENT
- EXISTING PAVEMENT
- REMOVE & REPLACE PAVEMENT

I, Diane Hoelzer, NMPE 11967, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspection of the project under my direction, and survey information provided by ALS, Inc., NMPS number 1719.

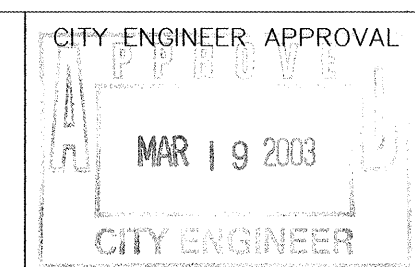
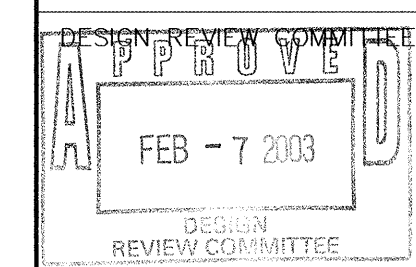


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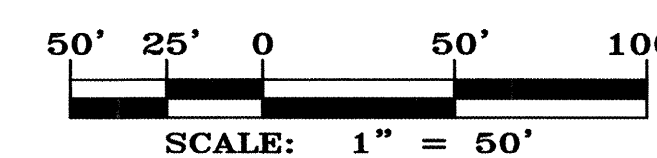
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **EAGLE SPRINGS SUBDIVISION, UNIT 2
MASTER PAVING PLAN**



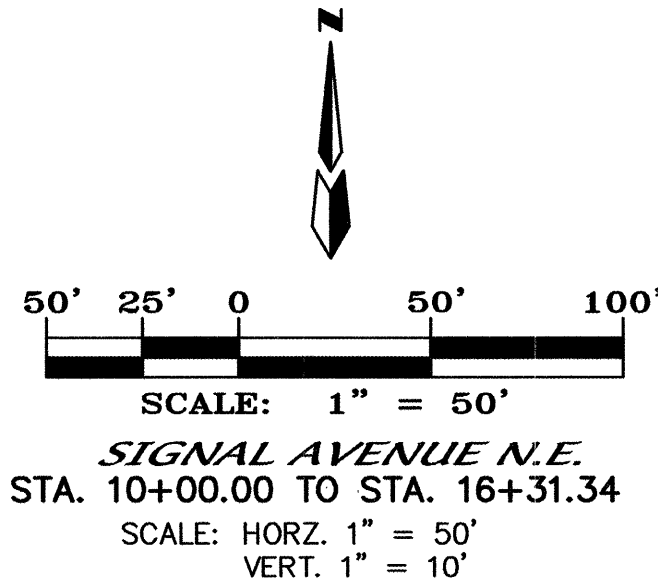
NO.	DATE	REMARKS
1	11/02	DESIGN
2	11/02	DER
3	11/02	DMG

CITY PROJECT NO. **662782** ZONE MAP NO. **C-19-Z** SHEET **5** OF **12**



SCALE: 1" = 50'

A02\jobs\A2087\ese\plans\A2087mp.dwg\01-09-03\DER



1. ALL STATIONING IS CENTERLINE STATIONING.

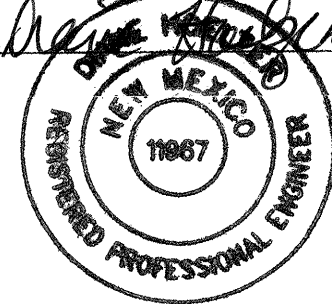
CURVE DATA - DESCRIBES FACE OF NEW CURB

$$\begin{array}{ll} \textcircled{1} \Delta = 90^{\circ}00'00'' & \textcircled{2} \Delta = 90^{\circ}0'00'' \\ R = 25.00' & R = 25.00' \\ L = 39.27' & L = 39.27' \\ T = 25.00' & T = 25.00' \end{array}$$

LEGEND

 *PROPOSED NEW OFFSITE PAVEMENT*
 *EXISTING PAVEMENT*
 *REMOVE & REPLACE PAVEMENT*

I, Diane Hoelzer, NMPE 11967, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by me and that the design and the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 7719



dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

 CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: ***EAGLE SPRINGS SUBDIVISION, UNIT 2
SIGNAL AVENUE N.E.
OFF-SITE PAVING IMPROVEMENTS***

DESIGN REVIEW COMMITTEE
APPROVED
FEB - 7 2003
DESIGN
REVIEW COMMITTEE

CITY ENGINEER APPROVAL

MAR 19 2003

CITY ENGINEER

CITY PROJECT NO.

ZONE MAP NO.

	SHEET	OF
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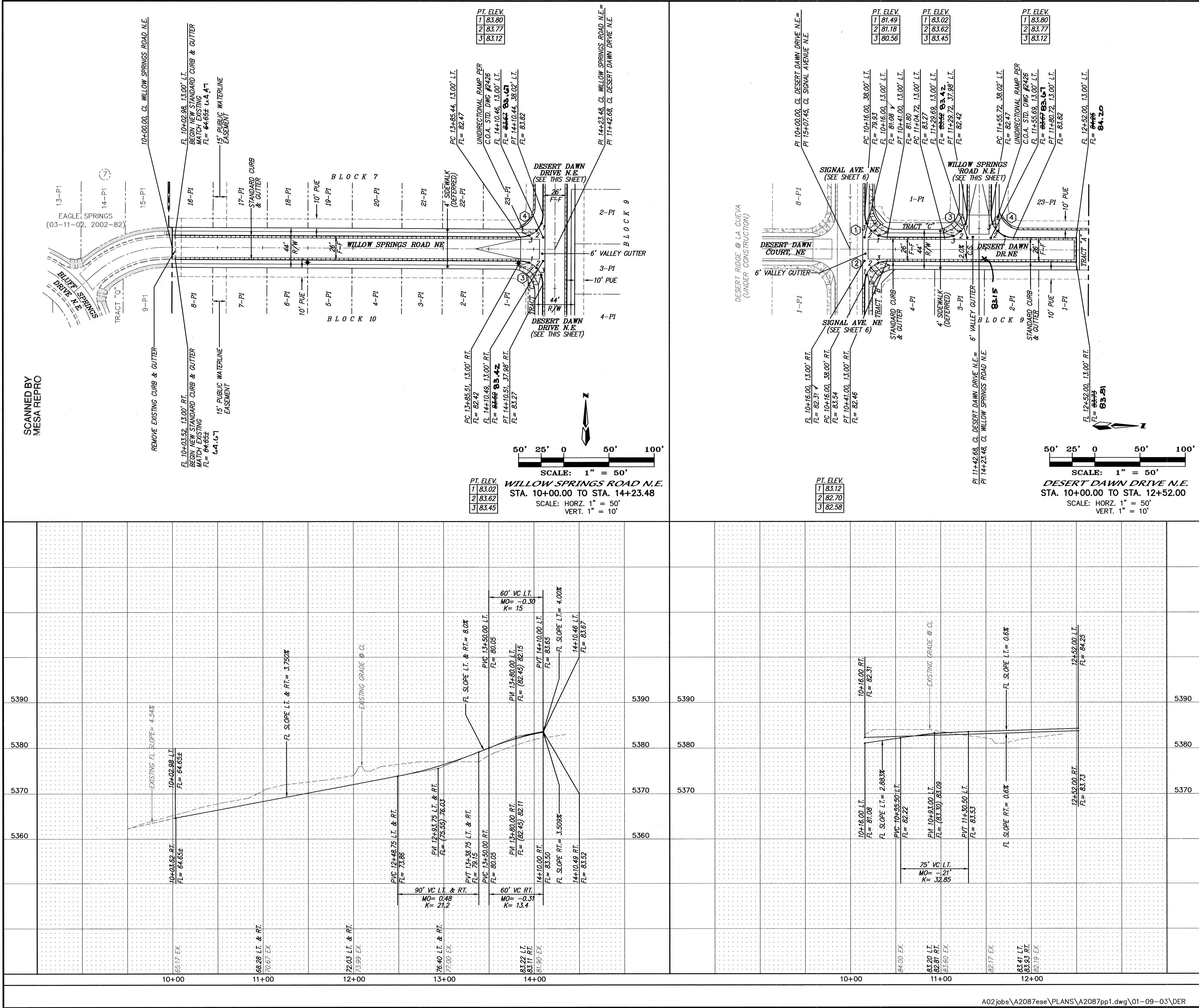
A02jobs\A2087ese\PLANS\A2087pp2.dwg\01-09-03\DER

662782

ZONE MAP NO.

	SHEET	OF
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Z **6**



NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.

CURVE DATA - DESCRIBES FACE OF NEW CURB

- ① $\Delta = 90'00''00''$
 $R = 25.00'$
 $L = 39.27'$
 $T = 25.00'$
- ② $\Delta = 90'00''00''$
 $R = 25.00'$
 $L = 39.27'$
 $T = 25.00'$
- ③ $\Delta = 89'56''40''$
 $R = 25.00'$
 $L = 39.25'$
 $T = 24.98'$
- ④ $\Delta = 90'03''20''$
 $R = 25.00'$
 $L = 39.29'$
 $T = 25.02'$

I, Diane Hoelzer, NMPE 11967, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by A.S. Inc., NMPS number 7718.



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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

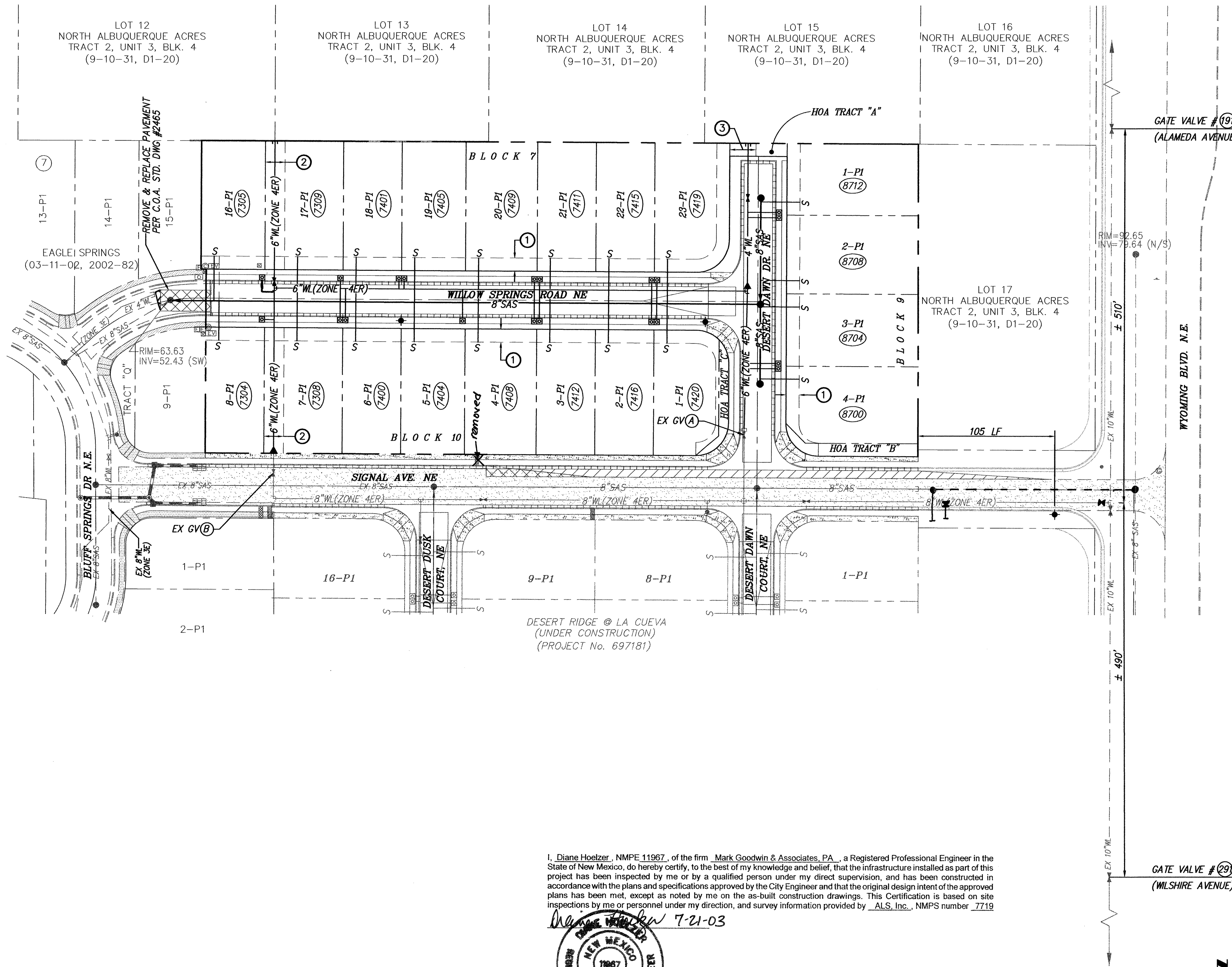
TITLE: EAGLE SPRINGS SUBDIVISION, UNIT 2
WILLOW SPRINGS RD. N.E./DESERT DAWN DR. N.E.
PAVING IMPROVEMENTS

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	DATE	MO./DAY/YR.	MO./DAY/YR.
FEB - 7 2003	MAR 19 2003			
DESIGN REVIEW COMMITTEE	CITY ENGINEER	LAST DESIGN UPDATE		

CITY PROJECT NO. 662782 ZONE MAP NO. C-19-Z SHEET 7 OF 12

ENGINEER'S SEAL		FIELD NOTES		BENCH MARKS		AS BUILT INFORMATION	
	NO.	BY	DATE	NGS STATION "HEAVEN" IS LOCATED 8 MI. NE OF DOWNTOWN ALBUQUERQUE. TO REACH STATION FROM INTERSECTION OF CENTRAL AV. & WYOMING BLVD., GO NORTH ON WYOMING 7.0 MILES TO PASSED DEL NORTE. GO WEST ON PASSED DEL NORTE 0.15 MILE TO STATION ON THE LEFT. STATION IS STANDARD USCAR'S BRASS TABLET STAMPED "HEAVEN 1969", SET IN TOP OF CONCRETE POST FLUSH WITH THE GROUND. X=407,051.31 Y=1,918,737.03 (NAD 1927). ELEV. = 5,375.62 (S.D. 1928)			
				WORK ORDER NO. 11-102			
				CONTRACTOR <u>Sundance</u>			
				STARTED BY <u>AIS</u> DATE <u>03</u>			
				APPROVED BY <u>Don Pyle</u> DATE <u>03</u>			
				FIELD LOCATION BY <u>AIS</u> DATE <u>03</u>			
				DRAWINGS CORRECTED BY <u>AIS</u> DATE <u>03</u>			
				MICRO-FILM INFORMATION			
DESIGNED BY <u>DLH</u>		DATE <u>11/02</u>		RECORDED BY		DATE	
DRAWN BY <u>DER</u>		DATE <u>11/02</u>		NO.			
CHECKED BY <u>DMG</u>		DATE <u>11/02</u>					

SCANNED BY
MESA REPRO



I, Diane Hoeltzer, NMPE 11967, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 7719.



NOTES:

- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 24 CFR 1926.650 SUBPART "P".
- MAINTAIN 3 FOOT SEPARATION ON ALL SANITARY SEWER SERVICE TAPS TO MAIN LINE (MINIMUM).
- ALL SANITARY SEWER AND WATERLINE CONSTRUCTED WITH PVC PIPE

VALVE SHUT-OFF PLAN

- CONTRACTOR WILL CONTACT WATER SYSTEMS AT 857-8200 7 DAYS PRIOR TO NECESSARY SHUT-OFF.
- VALVES SHALL ONLY BE OPERATED BY CITY WATER EMPLOYEES. SEE THIS SHEET FOR VALVE NUMBERS AND LOCATIONS.
- NON PRESSURE CONNECTION IN LOT 7-P1 PUBLIC WATERLINE EASEMENT AT SIGNAL AVE. MAKE SURE EXISTING G.V. (A) IS SHUT OFF.
- NON PRESSURE CONNECTION ON DESERT DAWN DRIVE @ SIGNAL AVENUE N.E., MAKE SURE GATE VALVE (A) IS SHUT OFF.

EASEMENTS

- NEW 10' PUBLIC UTILITY EASEMENT
- NEW 15' PUBLIC WATERLINE EASEMENT.
- NEW 20' PUBLIC WATERLINE EASEMENT.

LEGEND

- EXISTING CURB & GUTTER
- EXISTING CONCRETE/SIDEWALK
- PROPOSED/EXISTING EASEMENT LINE
- EXISTING STORM DRAIN INLET
- EXISTING STORM DRAIN LINE
- EXISTING STORM DRAIN MAN HOLE
- EXISTING SANITARY SEWER LINE
- EXISTING SANITARY SEWER MAN HOLE
- EXISTING WATER LINE
- EXISTING WATER GATE VALVE
- EXISTING FIRE HYDRANT
- EXISTING CAP
- EXISTING GAS LINE MARKER
- EXISTING TELEPHONE PEDISTAL
- EXISTING STREET LIGHT
- EXISTING ELECTRIC PEDISTAL
- EXISTING ELECTRIC VAULT
- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MAN HOLE
- PROPOSED WATER LINE
- PROPOSED SINGLE WATER METER
- PROPOSED DOUBLE WATER METER
- PROPOSED WATER GATE VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED CAP
- PROPOSED STREET ADDRESS
- PROPOSED STREET LIGHT
- REMOVE & REPLACE PAVEMENT

MARK GOODWIN & ASSOCIATES, P.A.
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

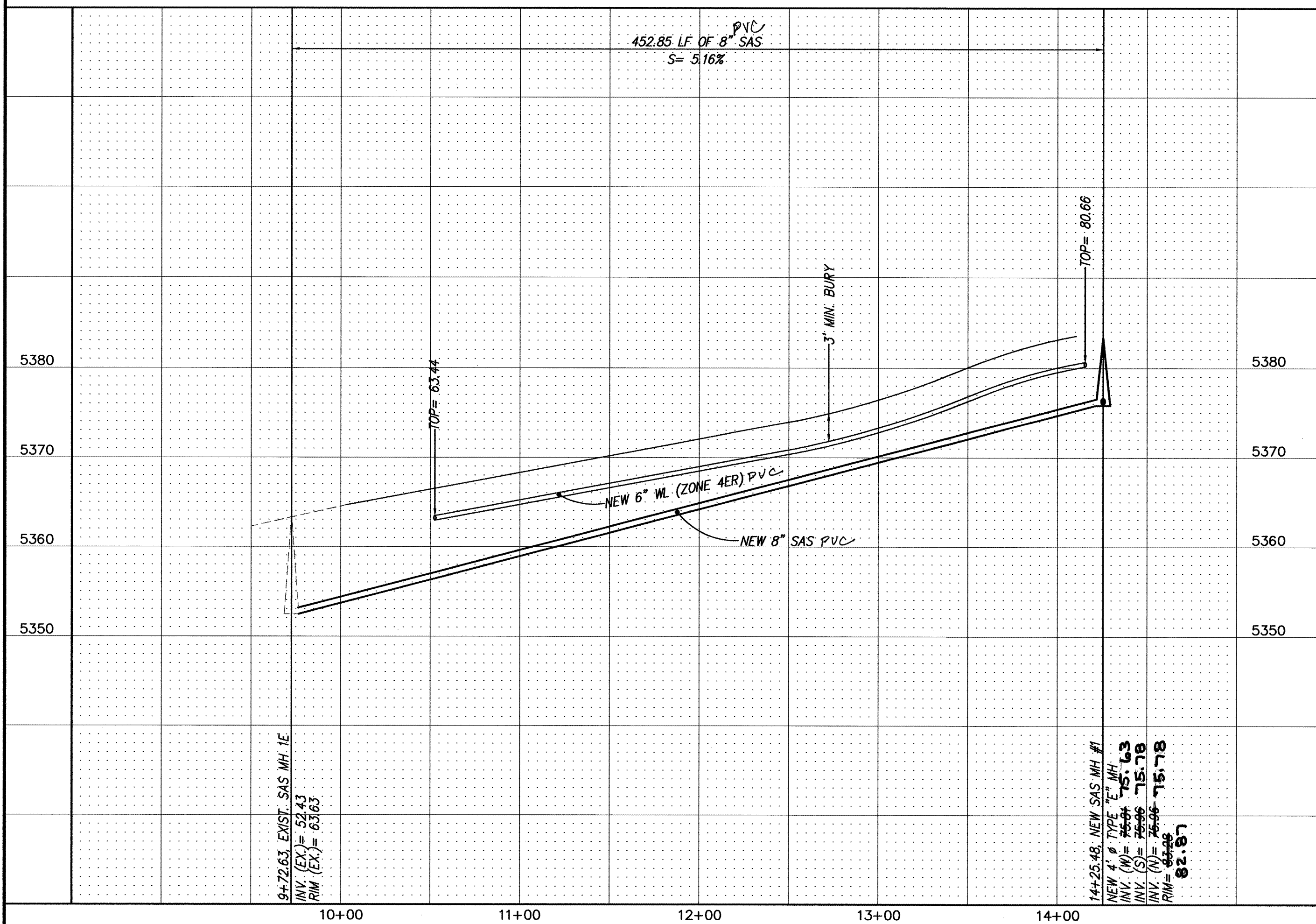
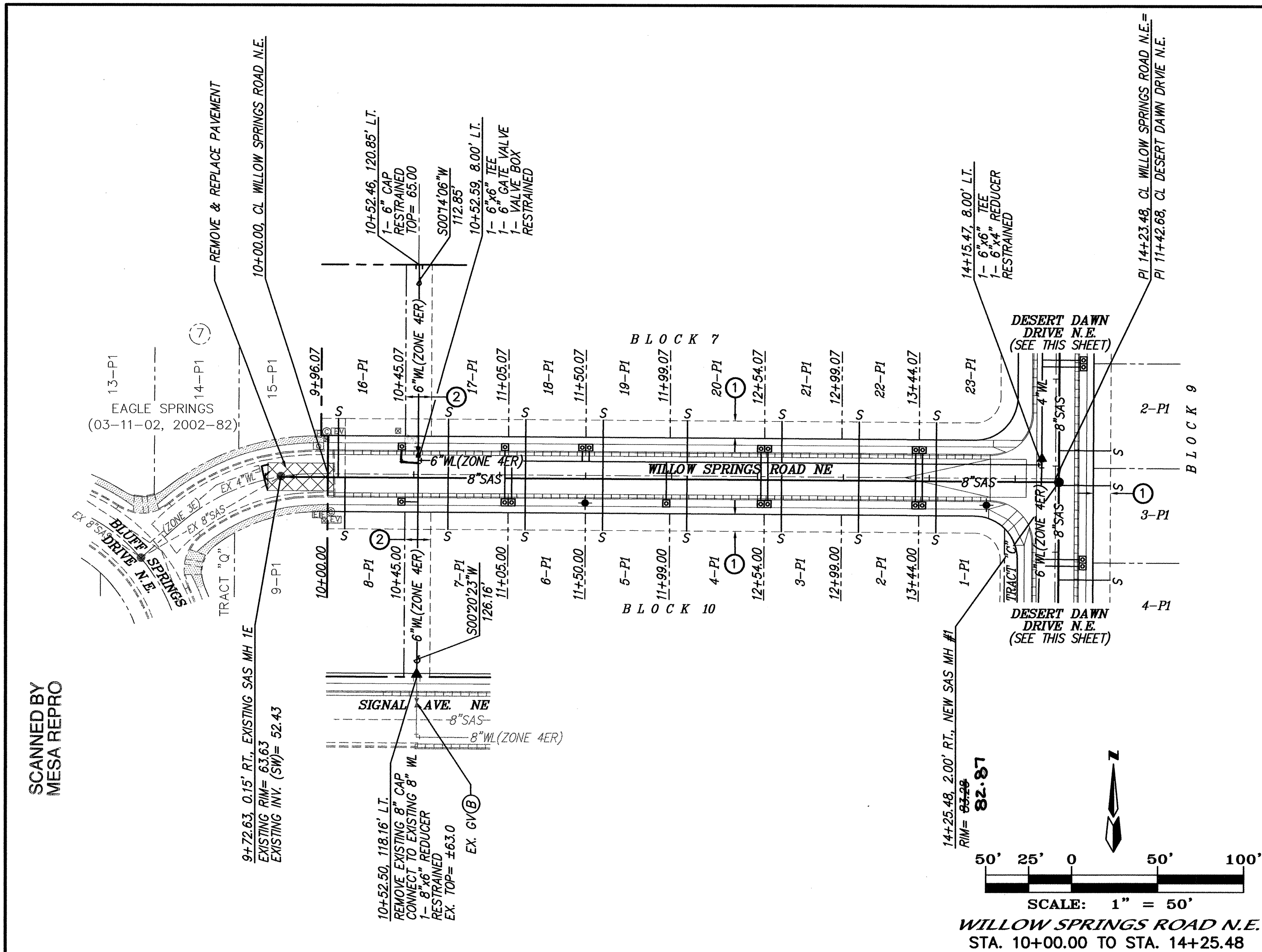
TITLE: **EAGLE SPRINGS SUBDIVISION, UNIT 2
MASTER UTILITY PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
APPROVED FEB - 7 2003	APPROVED MAR 19 2003			
DESIGN REVIEW COMMITTEE	CITY ENGINEER			

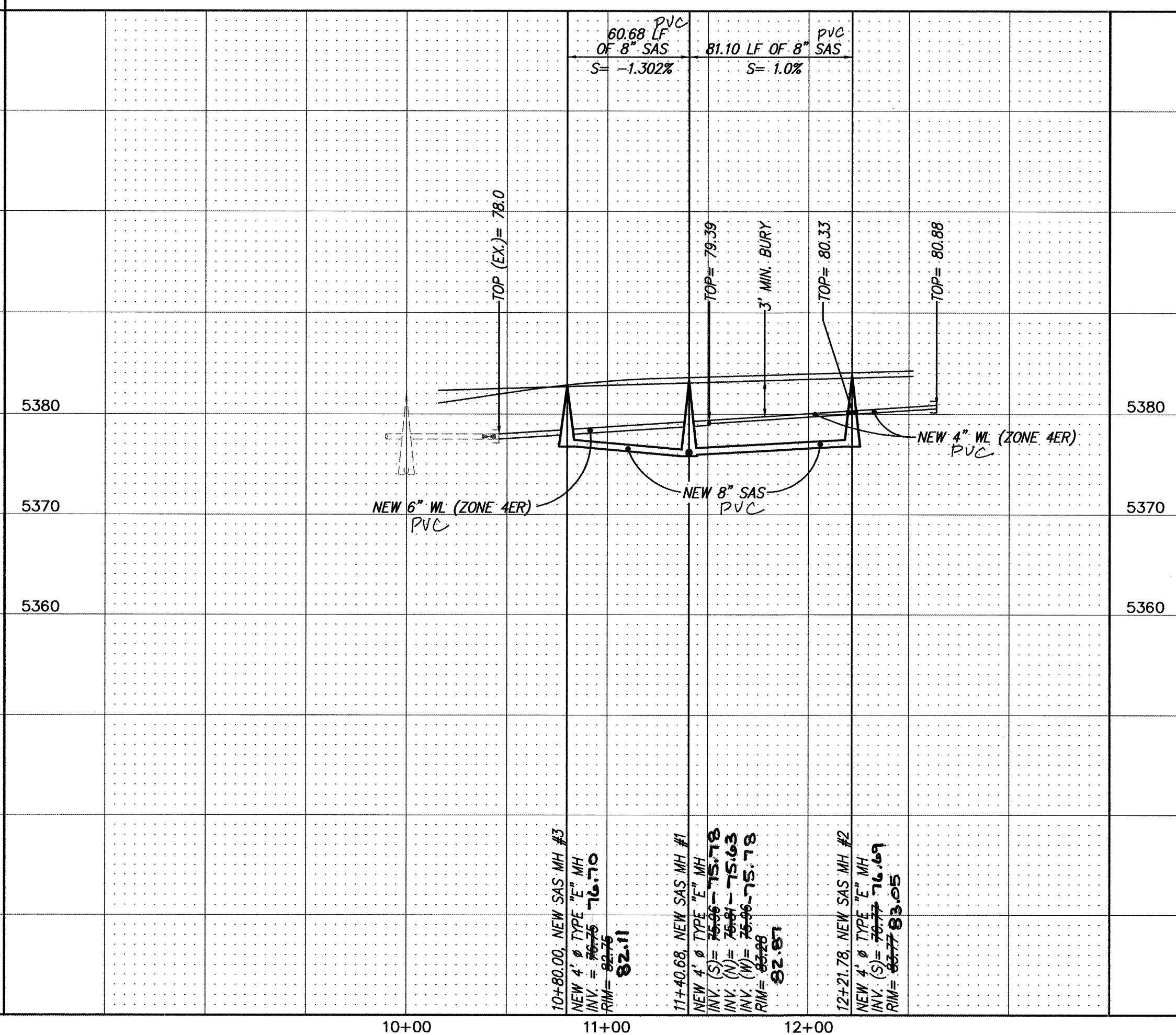
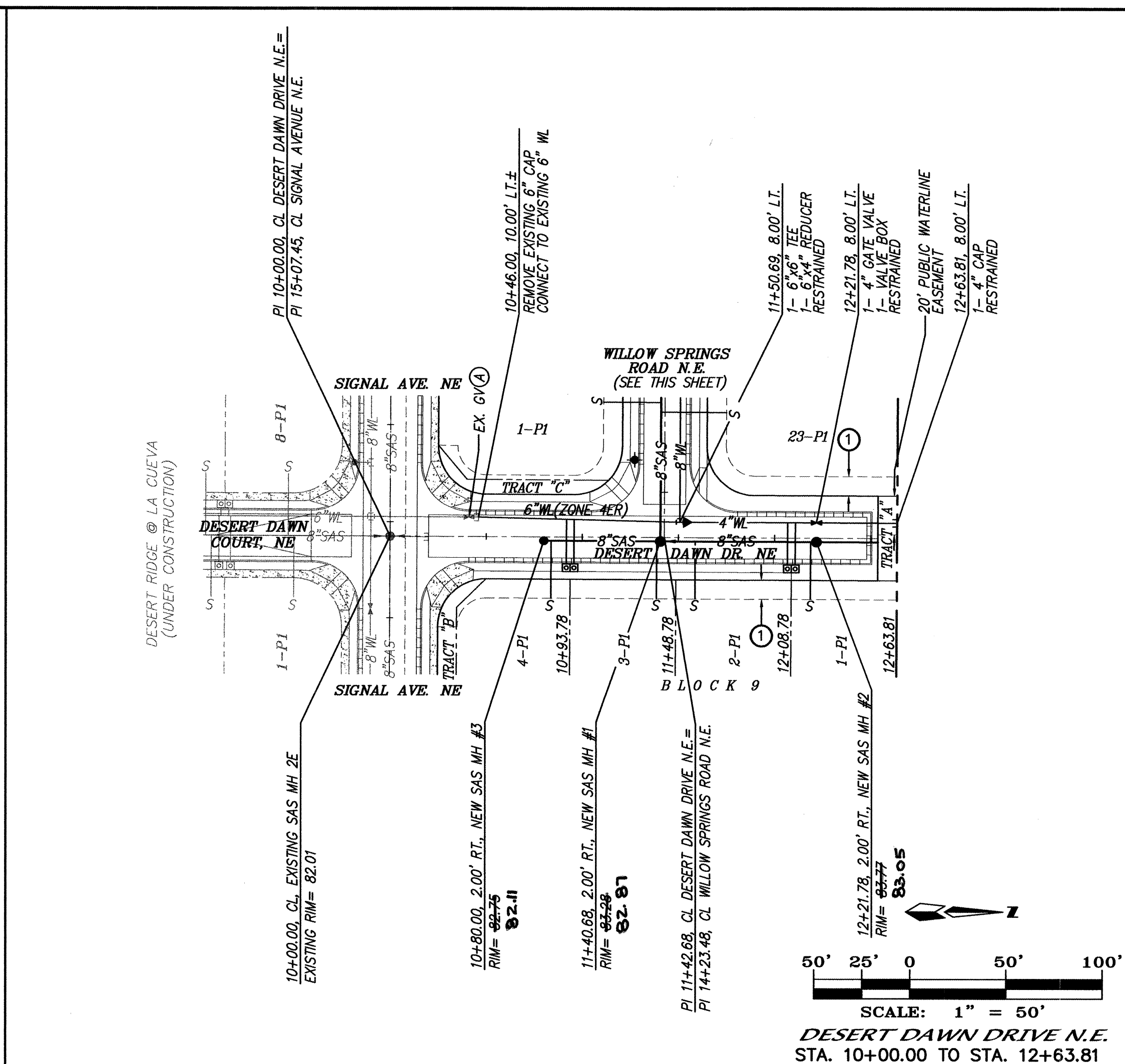
CITY PROJECT NO. **662782** ZONE MAP NO. **C-19-Z** SHEET **8** OF **12**

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SCANNED BY
MESA REPRO



STATION	ELEVATION	PIPE SIZE	PIPE TYPE	PIPE MATERIAL	PIPE LENGTH (FT.)	PIPE INVERT (ELEV.)	PIPE TOP (ELEV.)	PIPE SLOPE (%)	PIPE RADIUS (FT.)
9+72.63	52.43	8"	TYPE "E"	PVC	10.00	52.43	52.43	0.00	8.00
10+00.00	52.43	8"	TYPE "E"	PVC	10.00	52.43	52.43	0.00	8.00
11+00.00	52.43	8"	TYPE "E"	PVC	10.00	52.43	52.43	0.00	8.00
12+00.00	52.43	8"	TYPE "E"	PVC	10.00	52.43	52.43	0.00	8.00
13+00.00	52.43	8"	TYPE "E"	PVC	10.00	52.43	52.43	0.00	8.00
14+25.48	52.43	8"	TYPE "E"	PVC	10.00	52.43	52.43	0.00	8.00



STATION	ELEVATION	PIPE SIZE	PIPE TYPE	PIPE MATERIAL	PIPE LENGTH (FT.)	PIPE INVERT (ELEV.)	PIPE TOP (ELEV.)	PIPE SLOPE (%)	PIPE RADIUS (FT.)
10+00.00	52.43	8"	TYPE "E"	PVC	10.00	52.43	52.43	0.00	8.00
11+00.00	52.43	8"	TYPE "E"	PVC	10.00	52.43	52.43	0.00	8.00
12+63.81	52.43	8"	TYPE "E"	PVC	10.00	52.43	52.43	0.00	8.00

- NOTES**
1. ALL STATIONING IS CENTERLINE STATIONING.
 2. 3" MIN. COVER OVER TOP OF WATERLINES.
 3. MAINTAIN 3' SEPARATION ON ALL SANITARY SEWER SERVICE TAPS (MINIMUM).
 4. SEE SHEET 10 FOR WATER METER AND WATER VALVE DETAIL.

- EASEMENTS**
- ① NEW 10' PUBLIC UTILITY EASEMENT
 - ② NEW 15' PUBLIC WATERLINE EASEMENT.

LEGEND

REMOVE & REPLACE PAVEMENT

SANITARY SEWER SERVICES				
BLOCK	LOT	STATION AT PUE	INV. ELEV. AT PUE	LENGTH AT PUE
7	16-P1	10+06.06	60.68	34.00'
7	17-P1	10+65.06	62.89	34.00'
7	18-P1	11+15.06	64.77	34.00'
7	19-P1	11+60.06	66.46	34.00'
7	20-P1	12+09.06	68.30	34.00'
7	21-P1	12+64.06	70.40	34.00'
7	22-P1	13+09.06	72.78	34.00'
7	23-P1	13+54.06	76.07	34.00'
9	1-P1	12+18.78	79.53	30.00'
9	2-P1	11+58.78	79.17	30.00'
9	3-P1	11+38.78	79.05	30.00'
9	4-P1	10+83.78	78.72	30.00'
10	1-P1	13+54.00	76.06	30.00'
10	2-P1	13+09.00	72.78	30.00'
10	3-P1	12+64.00	70.40	30.00'
10	4-P1	12+09.00	68.30	30.00'
10	5-P1	11+60.00	66.46	30.00'
10	6-P1	11+15.00	64.77	30.00'
10	7-P1	10+70.00	63.08	30.00'
10	8-P1	10+10.00	60.82	30.00'

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RESTRAINED JOINT LENGTH FOR BENDS, VALVES, DEAD ENDS (FT.)				
PIPE SIZE	90°	45°	22.5°	11.25° VALVE
6"	17'	7'	3'	2'
8"	22'	9'	4'	2'

LENGTH OF RESTRAINED PIPE ON EACH SIDE OF THE BEND. RESTRAIN BRANCH AT FITTING ONLY MINIMUM ATTACHED PIPE LENGTH, RUN SIDE OF TEE: 10.00 FEET.

RESTRAINED JOINT LENGTHS FOR REDUCERS (FT.)		
PIPE SIZE	LARGE SIDE	SMALL SIDE
8" X 6"	25'	33'

RESTRAINED JOINT LENGTH FOR TEES (FT.)		
PIPE SIZE	RUN	BRANCH
6"x6"x4"	4'	7'

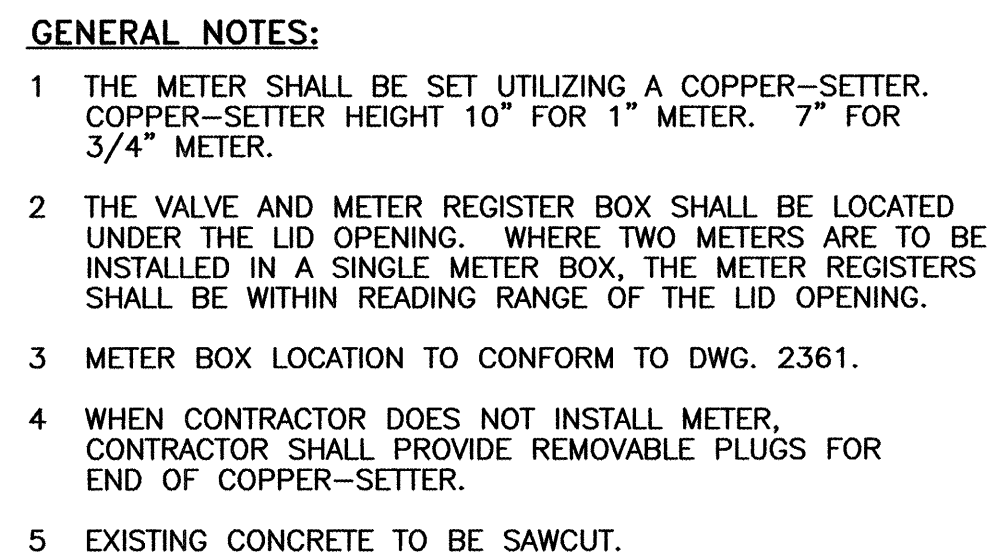
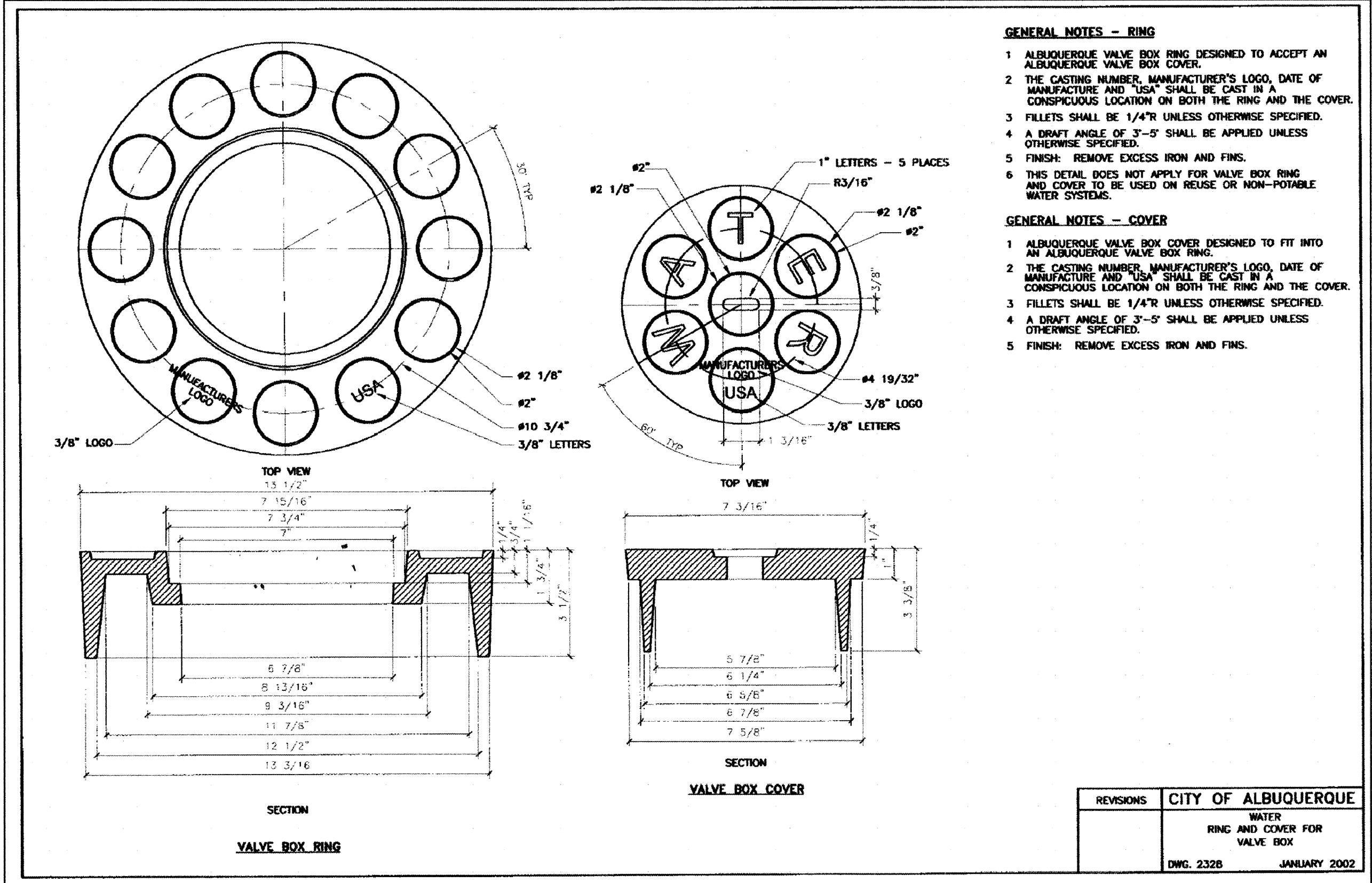
MARK GOODWIN & ASSOCIATES, P.A.
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**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

TITLE: **EAGLE SPRINGS SUBDIVISION, UNIT 2
WILLOW SPRINGS RD. N.E./DESERT DAWN DR. N.E.
UTILITY IMPROVEMENTS**

DESIGN REVIEW COMMITTEE FEB - 7 2003	CITY ENGINEER APPROVAL MAR 19 2003	LAST DESIGN UPDATE
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CITY PROJECT NO. 662782	ZONE MAP NO. C-19-Z	SHEET 9 OF 12
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- A STREET SURFACE.
- B BACK OF CURB.
- C CAST IRON METER BOX, COVER AND LID.
SEE DWG. 2368 OR 2369.
- D 1/2" EXPANSION JOINT.
- E CURB STOP, LOCATE INSIDE METER BOX.
- F SIDEWALK OR DRIVEPAD.
- G METER. TOP OF METER TO BE 12"—18" BELOW COVER.
- H CORP STOP.
- J MAIN WATER LINE.
- K TAPPING SADDLE.
- L COPPER SERVICE LINE.
- M COPPER SETTER.
- N TAPPED TO PROPERTY LINE WITH INSTA—TITE I.P.T.
CAIPEE FITTING.
- Q CONCRETE PAD REQUIRED IN ALL AREAS.
- R #4 REBAR CONTINUOUS ALL AROUND METER BOX.
- S STABILIZER BAR. 12" LONG X 1/2" DIAMETER GALVANIZED
STEEL PIPE.
- T METER BOX LID SHALL BE FLUSH WITH SURROUNDING
SIDEWALK.

REVISIONS	CITY OF ALBUQUERQUE
	WATER RING AND COVER FOR VALVE BOX
	DWG. 2328 JANUARY 2002

DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL		MO./DAY/YR.		MO./DAY/YR.	
C.O.A. STANDARD		C.O.A. STANDARD		LAST DESIGN UPDATE			
CITY PROJECT NO. 662782				ZONE MAP NO. C-19-Z		SHEET 10 OF 12	

ENGINEER'S SEAL

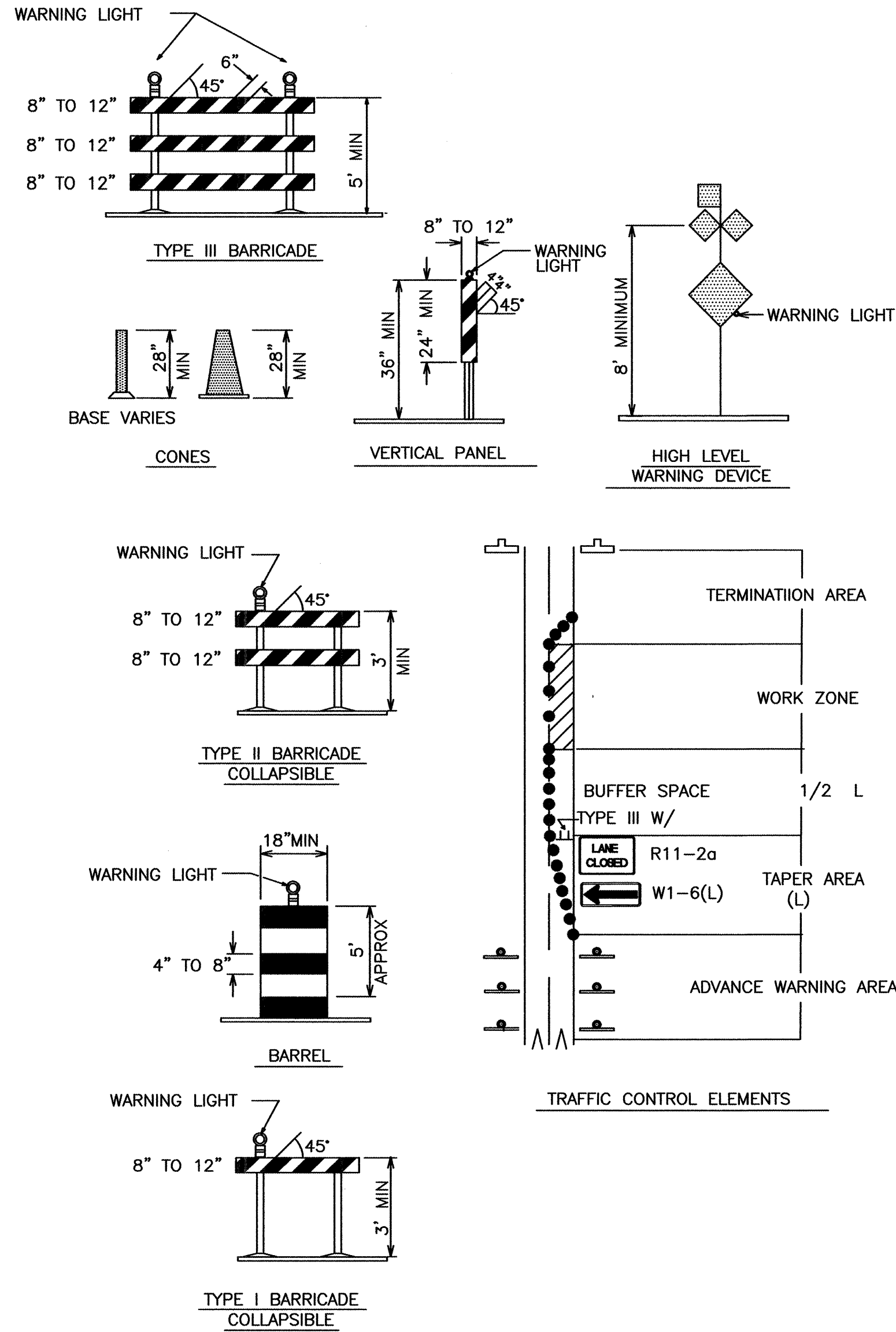
DRAFT

C.O.A. STANDARD

SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
FIELD NOTES					
NO.	BY	DATE	CONTRACTOR	WORK STATED BY	DATE
			Sundance	AIS	03
				INSPECTION ACCEPTANCE BY	DATE DMG
				FIELD DRAWINGS	DATE 03
				REVISION BY	DATE AIS
				CORRECTED BY	DATE 96
			MICRO-FILM INFORMATION		
				RECORDED BY	DATE
				NO.	

CONSTRUCTION TRAFFIC CONTROL GENERAL NOTES

1. CONTRACTOR MUST OBTAIN FROM CONSTRUCTION COORDINATION AN EXCAVATION/BARRICADING PERMIT BEFORE ENGAGING IN ANY CONSTRUCTION, MAINTENANCE OR REPAIR WORK IN ANY OF THE CITY OF ALBUQUERQUE'S RIGHTS-OF-WAY. EMERGENCY WORK THAT WOULD PRESERVE LIFE OR PROPERTY IS EXCLUDED WITH THE UNDERSTANDING, THAT A PERMIT SHALL BE OBTAINED WITHIN 24 TO 48 HOURS.
2. CONTRACTOR SHALL AT THE TIME OF PERMIT REQUEST, SUBMIT FOR APPROVAL BY CONSTRUCTION COORDINATION, A TRAFFIC CONTROL PLAN DETAILING ALL EXISTING TOPOGRAPHY SUCH AS LANE WIDTHS, DRIVEWAYS, AND BUSINESS/RESIDENTIAL ACCESSES. THE TRAFFIC CONTROL PLAN SHALL INCLUDE ALL PHASES OF WORK AND SCHEDULES INVOLVED IN THE CONSTRUCTION PROJECT. ANY SEPARATE PHASES OF A CONSTRUCTION PROJECT SHALL BE GIVEN AN INDIVIDUAL PERMIT EACH. BLANKET PERMITS WILL NOT BE ISSUED.
3. THESE TYPICAL TRAFFIC CONTROL PLANS DO NOT REFLECT THE EXISTING TOPOGRAPHY SUCH AS DRIVEWAYS, LANE WIDTHS, AND BUSINESS/RESIDENTIAL ACCESSES. EVERY LOCATION THAT REQUIRES CONSTRUCTION TRAFFIC CONTROL SHALL HAVE A DETAILED TRAFFIC CONTROL PLAN SHOWING ALL EXISTING TOPOGRAPHY.
4. CONSTRUCTION SHALL NOT BEGIN UNLESS A TRAFFIC CONTROL PLAN HAS BEEN APPROVED AND VERIFIED BY CONSTRUCTION COORDINATION.
5. CONSTRUCTION COORDINATION SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY TRAFFIC CONTROL CHANGES NEEDED BY CONTRACTOR, THAT WERE NOT PREVIOUSLY APPROVED. THESE TRAFFIC CONTROL CHANGES SHALL BE REQUESTED IN WRITING ACCOMPANIED WITH A TRAFFIC CONTROL PLAN REFLECTING SUCH CHANGES.
6. ALL CONSTRUCTION TRAFFIC CONTROL DEVICES SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL, SERVICE AND MAINTAIN ALL TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL DEVICES SHALL NOT BE REMOVED OR ALTERED IN ANY WAY WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION, PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.
7. THE CONSTRUCTION TRAFFIC CONTROL INITIAL SET-UP SHALL BE BY AN AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA) CERTIFIED WORKSITE TRAFFIC SUPERVISOR. THE MAINTENANCE AND SERVICING SHALL ALSO BE DONE BY AN ATSSA CERTIFIED WORKSITE TRAFFIC SUPERVISOR OR EQUIVALENT.
8. CONTRACTOR IS RESPONSIBLE TO MAINTAIN AND SERVICE ALL TRAFFIC CONTROL DEVICES 24 HOURS A DAY, 7 DAYS A WEEK THROUGHOUT LENGTH OF PROJECT. CONTRACTOR IS RESPONSIBLE THAT ALL TRAFFIC CONTROL DEVICES COMPLY WITH THE MUTCD, LATEST EDITION.
9. ALL ADVANCE WARNING SIGNS SHALL BE DOUBLE INDICATED WHENEVER THERE ARE MULTI-LANE TRAFFIC IN ANY ONE GIVEN DIRECTION AND THERE IS SUFFICIENT MEDIAN SPACE.
10. ALL BARRICADES IN ALL TAPERS AND TANGENTS SHALL BE PLACED APART, A DISTANCE MEASURED IN FEET, EQUAL TO THAT OF THE POSTED SPEED LIMIT. NO EXCEPTIONS UNLESS APPROVED BY CONSTRUCTION COORDINATION PER MUTCD SECTION 6A-4.
11. ALL WORK IN ARTERIAL ROADWAYS SHALL BE ON A CONTINUOUS 24 HOUR PER DAY BASIS UNTIL COMPLETED.
12. CONTRACTOR IS RESPONSIBLE TO PROVIDE CONSTRUCTION COORDINATION, A WEEKLY LOG OF DAILY INSPECTIONS OF BARRICADE AND MAINTENANCE SCHEDULES ON PROJECTS THAT ARE OVER ONE WEEK DURATION.
13. EQUIPMENT OR MATERIALS SHALL NOT BE STORED WITHIN 15 FEET OF A TRAVELED TRAFFIC LANE DURING NON-WORKING HOURS WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION.
14. CONTRACTOR SHALL PROVIDE AND MAINTAIN A SAFE AND ADEQUATE MEANS OF CHANNELIZING PEDESTRIAN TRAFFIC AROUND AND THROUGH THE CONSTRUCTION AREA.
15. CONTRACTOR IS RESPONSIBLE FOR OBLITERATION OF ANY CONFLICTING STRIPING AND RESPONSIBLE FOR ALL TEMPORARY STRIPING.
16. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES, BUSINESSES AND/OR RESIDENTS AT ALL TIMES.
17. CONTRACTOR SHALL PROVIDE ACCESS SIGNS FOR BUSINESSES LOCATED WITHIN THE CONSTRUCTION AREA UNDER THE SUPERVISION OF CONSTRUCTION COORDINATION. EACH ACCESS SIGN SHALL HAVE 5 INCH, WHITE OPAQUE LETTERING ON BLUE REFLECTORIZED BACKGROUND. ACCESS SIGNS SHALL BE CONSIDERED INCIDENTAL TO THE BID AND NOT PART OF THE CONTRACT UNLESS OTHERWISE STATED. NO MORE THAN 3 BUSINESSES SHALL BE LISTED ON A ACCESS SIGN. SHOPPING CENTERS AND MALLS SHALL BE LISTED AS SUCH.
18. ALL ADVANCE WARNING SIGNS SHALL MEET THE MINIMUM REFLECTIVE INTENSITY REQUIREMENTS SET FORTH BY THE CITY OF ALBUQUERQUE. CONSTRUCTION COORDINATION SHALL DETERMINE ALL REQUIREMENTS AND APPROVE OR DISAPPROVE ANY ADVANCE WARNING SIGN PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.
19. 48 HOURS PRIOR TO OCCUPYING OR CLOSING OF A RIGHT-OF-WAY, CONTRACTOR SHALL NOTIFY: POLICE, FIRE DEPARTMENT, SCHOOLS, HOSPITALS, TRANSIT AUTHORITY, BUSINESSES AND/OR RESIDENTS THAT WILL BE AFFECTED BY THE CONSTRUCTION.
20. ANY FIELD ADJUSTMENTS SHALL BE APPROVED BY CONSTRUCTION COORDINATION.
21. EXCAVATIONS SHALL BE PLATED, TEMPORARILY PATCHED OR RESURFACED PRIOR TO OPENING OF TRAFFIC. A MINIMUM OF 11 FEET SHALL BE PROVIDED FOR TRAFFIC IN ANY GIVEN DIRECTION. CONTRACTOR IS RESPONSIBLE FOR ANY WORK INVOLVED IN SATISFYING THESE REQUIREMENTS.
22. CONTRACTOR SHALL AT ALL TIMES COMPLY WITH THE FOLLOWING:
- STANDARDS AND REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - THE CITY OF ALBUQUERQUE TRAFFIC CODE, LATEST EDITION.
 - SECTION 19 OF THE CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTION, AS WELL AS OTHER SECTIONS.
23. FAILURE TO COMPLY WITH ANY OF THE ABOVE MENTIONED, WILL BE ADEQUATE CAUSE TO CEASE ALL WORK ON ANY CONSTRUCTION PROJECT. WORK WILL NOT RESUME UNTIL ALL REQUIREMENTS ARE ADDRESSED AND APPROVED BY CONSTRUCTION COORDINATION.
24. ALL TRAFFIC CONTROL DEVICES SHALL BE KEPT IN NEW-CLEAN CONDITION, WASHING OF EQUIPMENT IS INCIDENTAL TO IT'S PLACEMENT AND MAINTENANCE.
25. TRAFFIC CONTROL STANDARDS APPLY ONLY WHERE THE CONSTRUCTION TRAFFIC CONTROL PLANS ARE NOT SPECIFIC.
26. ADVANCE WARNING SIGNS SHALL BE 36"x36" MIN. WITH SUPER ENGINEERING GRADE SHEETING OR BETTER. MOUNTING HEIGHT AT TOP OF SIGN SHALL BE THE SAME AS FOR A 48" SIGN AS INDICATED IN THE M.U.T.C.D.
27. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORKSITE. ALL GRAFFITI SHALL BE PROMPTLY REMOVED FROM ALL EQUIPMENT, BOTH PERMANENT AND TEMPORARY.



LEGEND

WORK AREA

- BARRICADE - TYPE I, TYPE II, OR BARREL
- BARRICADE - TYPE III
- VERTICAL PANEL
- WARNING SIGN
- DISTANCE BETWEEN SIGNS - A DISTANCE MEASURED IN FEET EQUAL TO A VALUE OF TEN TIMES THE SPEED LIMIT OF THE STREET
- FLAGMAN POSITION
- SPACING BETWEEN BARRICADES - A DISTANCE MEASURED IN FEET EQUAL TO THE STREET LIMIT OF THE STREET
- TAPER LENGTH - SEE CHART BELOW

THE TANGENT LENGTH IS EQUAL TO THE TAPER LENGTH FOR A GIVEN STREET.

TAPER REQUIREMENT

SPEED LIMIT (MPH)	TAPER LENGTH(L) (FEET)			MINIMUM NUMBER OF DEVICES FOR TAPER	MAXIMUM DEVICE SPACING IN FEET	
	10' LANE	11' LANE	12' LANE		ALONG TAPER	AFTER TAPER
20	70	75	80	5	20	20
25	105	115	125	6	25	25
30	150	165	180	7	30	30
35	205	225	245	8	35	35
40	270	295	320	9	40	40
45	450	495	540	13	45	45
50	500	550	600	13	50	50
55	550	605	660	13	55	55

RECOMMENDED SIGN SPACING(D) FOR
ADVANCE WARNING SIGN SERIES

SPEED MILES PER HOUR	MINIMUM DISTANCE BETWEEN SIGNS	DISTANCE IN FEET FROM LAST SIGN TO TAPER	
0-20	10 X SPEED LIMIT	10 X	SPEED LIMIT
25-30	10 X SPEED LIMIT	10 X	SPEED LIMIT
30-35	10 X SPEED LIMIT	10 X	SPEED LIMIT
40-45	10 X SPEED LIMIT	10 X	SPEED LIMIT
50-60	10 X SPEED LIMIT	10 X	SPEED LIMIT

TAPER CRITERIA

TYPE OF TAPER	TAPER LENGTH
UPSTREAM TAPER:	
MERGING TAPER	L MINIMUM
SHIFTING TAPER	1/2 L MINIMUM
SHOULDER TAPER	1/2 L MINIMUM
TWO-WAY TRAFFIC TAPER	100 FEET MAXIMUM
DOWNSTREAM TAPERS	100 FEET PER LANE

TAPER LENGTH COMPUTATION

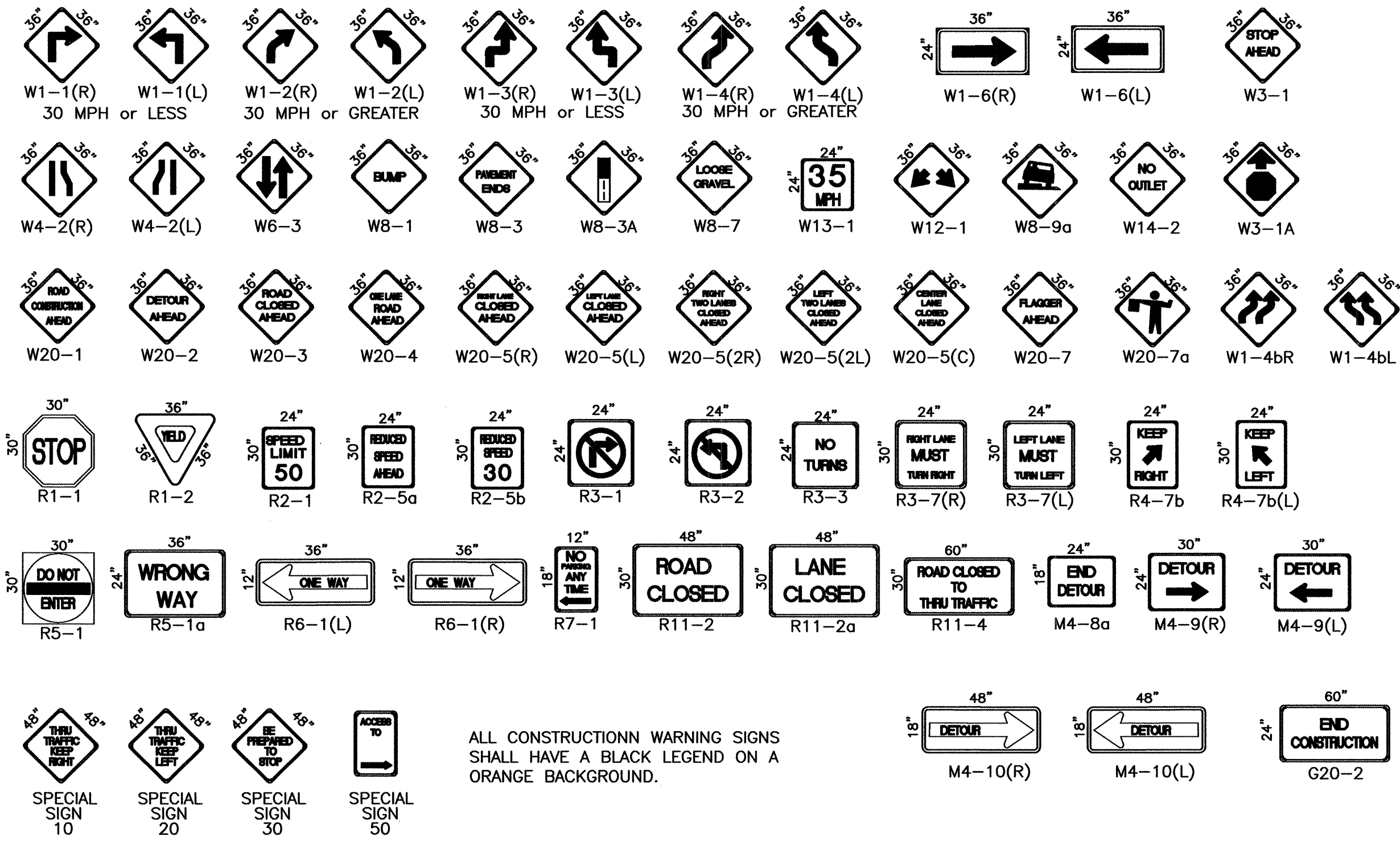
SPEED LIMIT

40 MPH OR LESS $L = \frac{WS^2}{60}$

40 MPH OR GREATER $L = W \times S$

L = TAPER LENGTH
W = WIDTH OF OFFSET IN FEET
S = POSTED SPEED OR OFF-PEAK 85-PERCENTILE SPEED IN MPH

SIGN FACE DETAILS

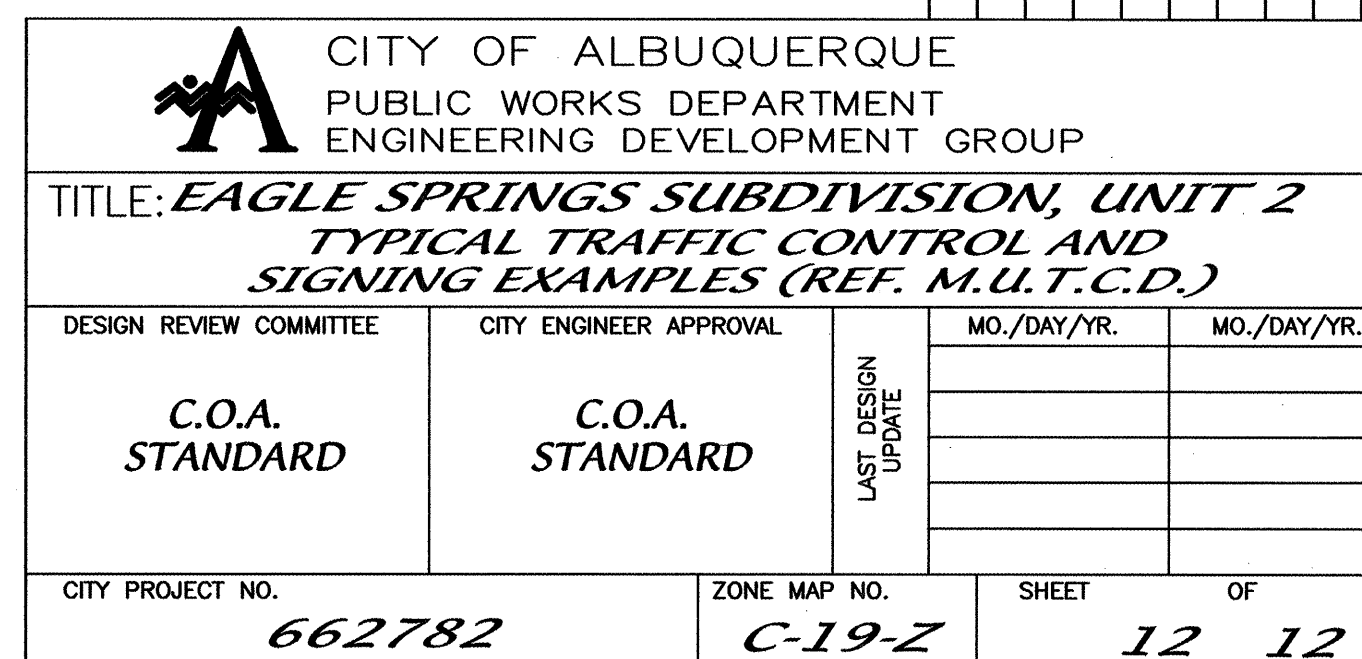


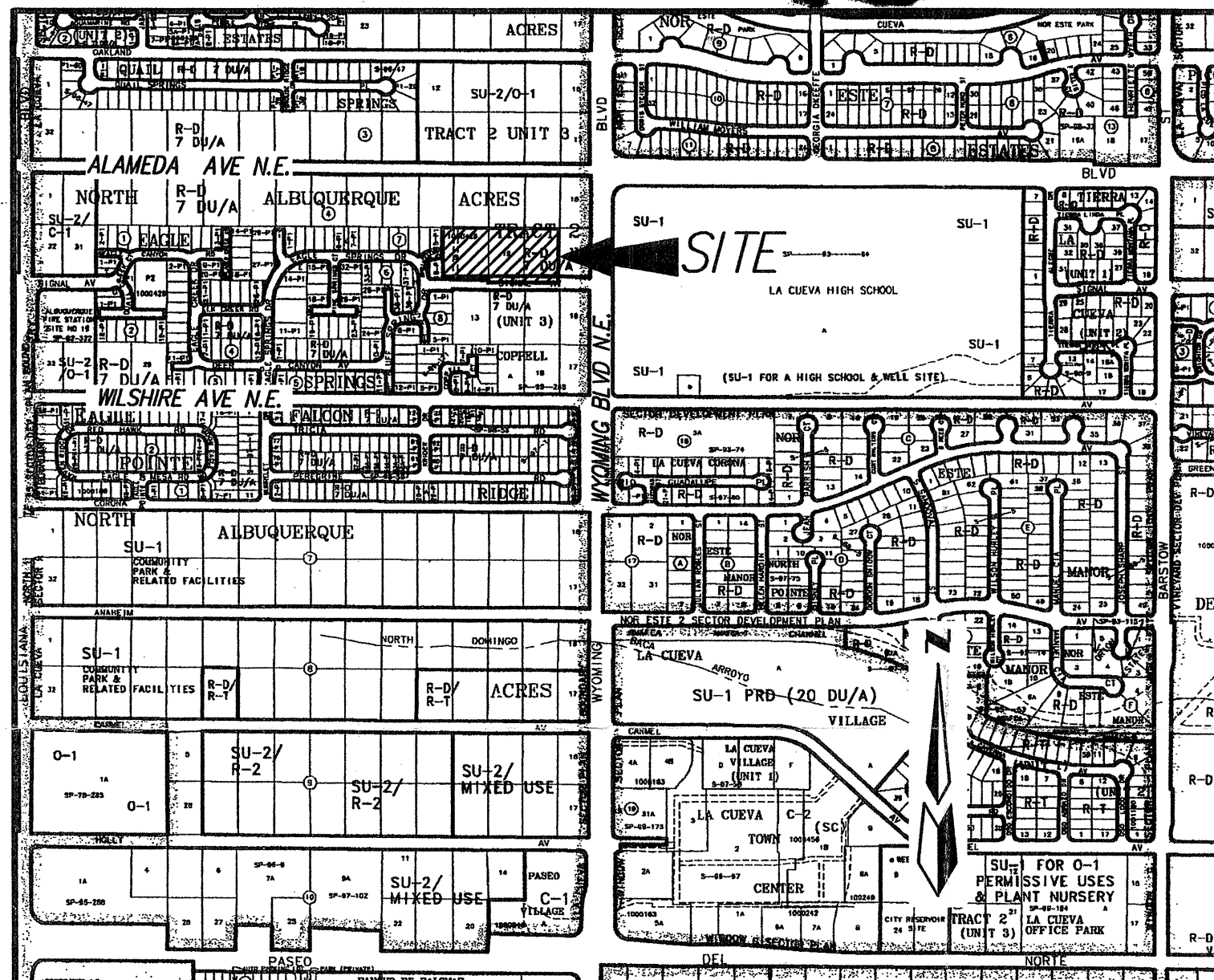
ALL CONSTRUCTION WARNING SIGNS SHALL HAVE A BLACK LEGEND ON A ORANGE BACKGROUND.

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: EAGLE SPRINGS SUBDIVISION, UNIT 2 SIGNING AND CONSTRUCTION TRAFFIC CONTROL STANDARDS

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
C.O.A. STANDARD	C.O.A. STANDARD		
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
662782	C-19-Z	11	12



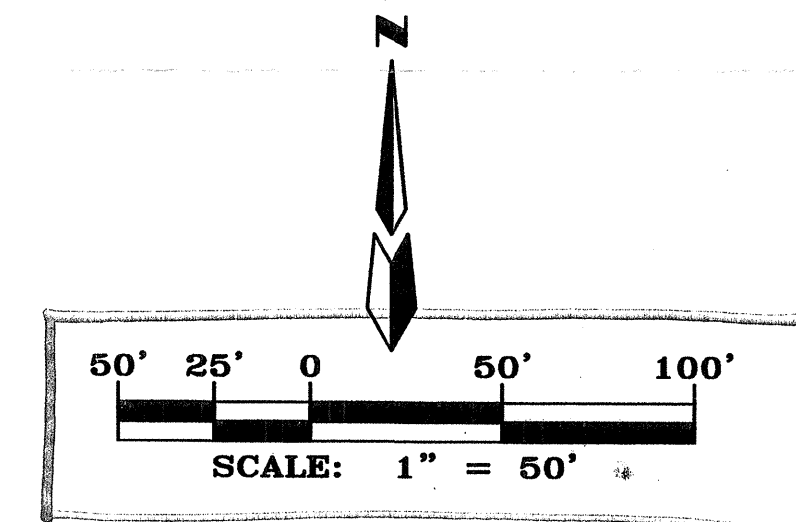


ZONE ATLAS MAP # C-19-Z

SCALE: NONE

GENERAL NOTES:

- DEVELOPMENT DENSITY:**
Gross site area is 3.1954 acres.
Site is zoned R-D with maximum density of 7 du/ac. Density limitation allows for a maximum of 20 units over entire site.
- MINIMUM BUILDING SETBACK:**
There is a five foot (5') internal sideyard set back to property line. Front yard setback is 15' and backyard is 15'. Minimum driveway length is 20'. Minimum distance between buildings is 10'.
- BUILDING HEIGHT:**
Structure shall not exceed 26 feet in height.
- PARK DEVELOPMENT:**
The developer will pay cash in lieu of park dedication.
- OPEN SPACE:**
Total remaining Open Space requirements are met via the Provision of Detached Open Space per the Provisions of Section 14-16-3-8(A)(3) of the City Zoning Code.
- PARKING:**
Off-street parking is provided on each site in accordance with Section 14-16-3-1 of the zoning code for lots with the "P1" designation.
- BUILDINGS:**
Buildings will be traditional style with pitched roofs and Siding will be stucco and may include stone or wood trim accents. The exterior stucco finish will consist of colors in shades of earthtones.
- LANDSCAPING:**
Both individual and community landscaping shall comply with the Water Conservation Landscaping and Water Waste Ordinance. Perimeter landscaping shall be in accordance with the Street Tree Ordinance and trees planted will be in accordance with the list of deciduous and evergreen trees listed in the City of Albuquerque Guide to Xeriscaping.
- PERIMETER WALL:**
The subdivision perimeter garden wall will be constructed of CMU and will be covered by either stucco or consist of a Split-Faced texture. The maximum wall height will be 8.0 feet, and minimum of 4.0 feet.
- THE LANDSCAPE AREAS WITHIN/AND ABUTTING THE PUBLIC RIGHTS-OF-WAY:**
As shown on the approved Site Development/Utility Plan, Landscape area within and abutting the public right-of-way shall be for the benefit of the Homeowners within Eagle Springs Subdivision, and shall be maintained by the Eagle Springs Homeowners Association.



EAGLE SPRINGS, UNIT 2

WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 18
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2002

SUBDIVISION DATA

GROSS ACREAGE	3.1954 AC
ZONE ATLAS NO.	C-19-Z
NO. OF LOTS CREATED	20 LOTS
NO. OF TRACTS CREATED	3 TRACTS
AREA DEDICATED TO CITY	0.8388 AC
DATE OF SURVEY	MAY 2002
ZONING	R-D 7 DU/AC

DESCRIPTION

A tract of land situate, within the Elena Gallegos Grant, projected Section 18, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 18 and 19, BLOCK 4, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 and TRACT "S", EAGLE SPRINGS SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2002 Book 2002, Page 82 and containing 3.1954 acres more or less.

PROJECT NO. 1002183

APPLICATION NO. 02DRB-01569

APPROVED AND ACCEPTED BY:

Planning Department

City Engineer

Robert D. Cook

Transportation Development

Roger A. Green

Utility Development

Christina Sandoval

Parks and Recreation

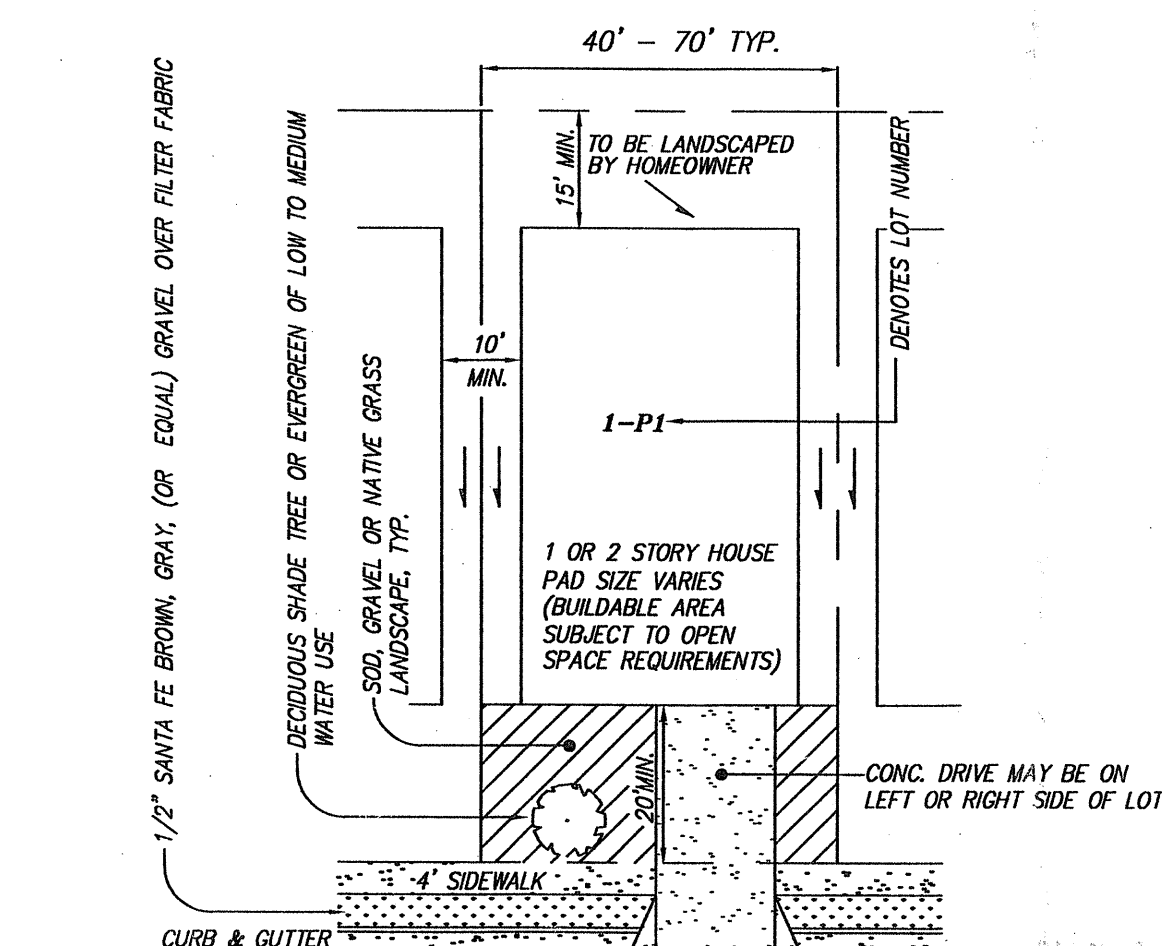
11-06-02

11/6/02

11/6/02

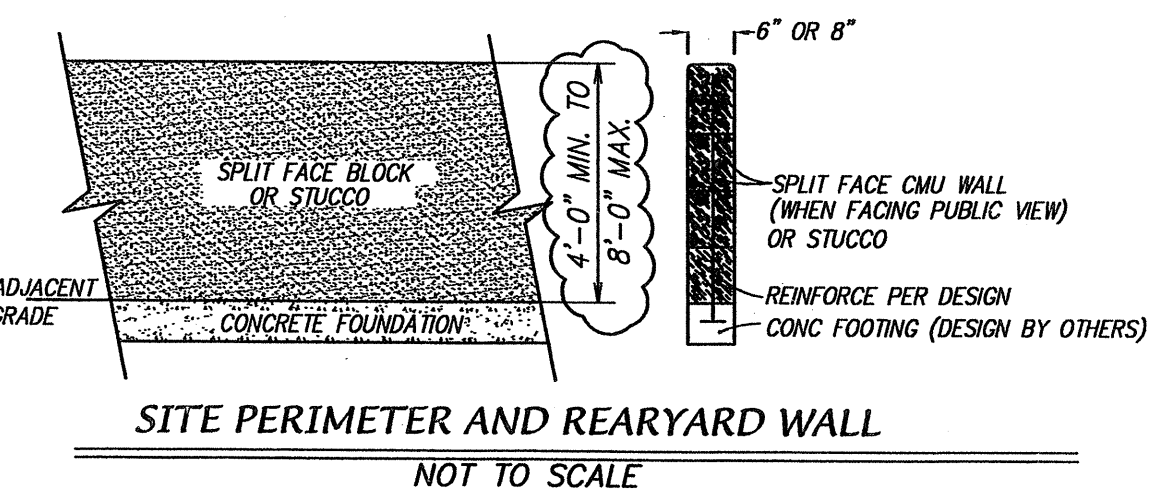
LEGEND

	EXISTING EDGE OF PAVEMENT
	EXISTING WATERLINE
	EXISTING SANITARY SEWER LINE
	NEW 8" SAS
	NEW RETAINING WALL
	NEW CURB AND GUTTER
	EXISTING CURB AND GUTTER
	EXISTING PROPERTY LINE
	ASPHALT PATH/TRAIL (WIDTH VARIES)
	NEW SIDEYARD WALL
	NEW SANITARY SEWER SERVICE
	NEW DOUBLE WATER METER BOX
	NEW SINGLE WATER METER BOX
	NEW PROPERTY LINE
	NEW EASEMENT LINE
	FUTURE SANITARY SEWER LINE
	FUTURE WATERLINE
	NEW 4" SIDEWALK
	5' ROW VACATION



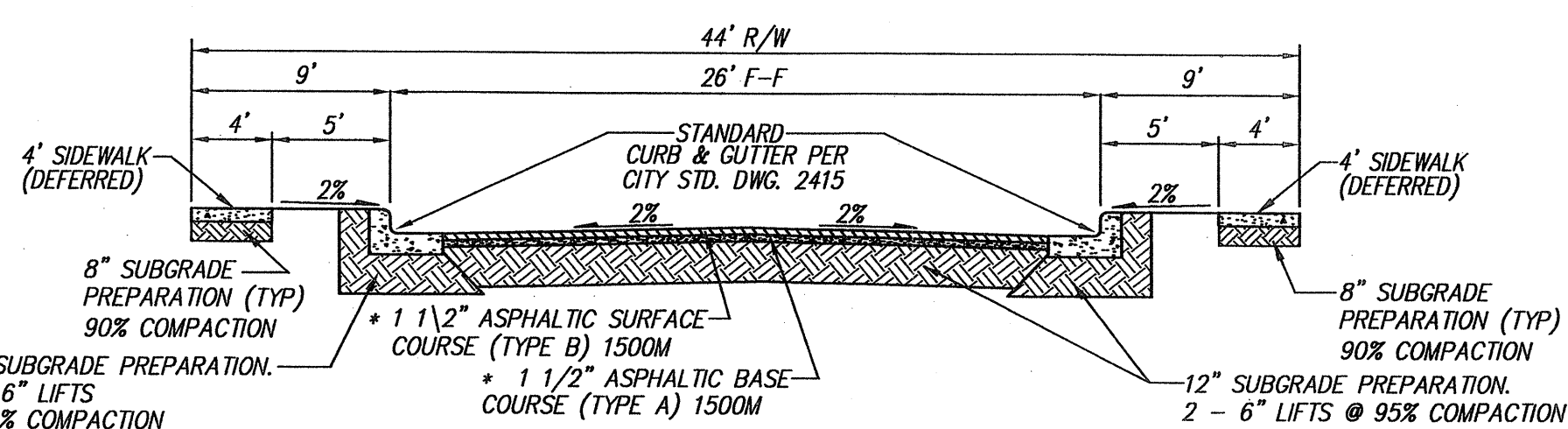
TYPICAL LOT LAYOUT & LANDSCAPE PLAN

NOT TO SCALE



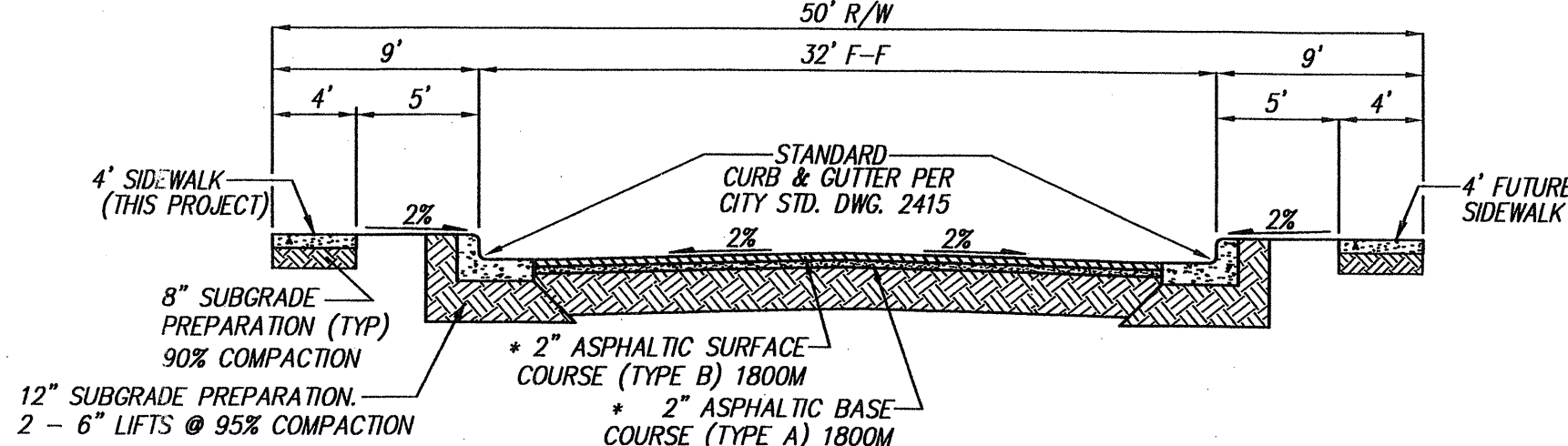
SITE PERIMETER AND REARYARD WALL

NOT TO SCALE



TYPICAL 26' RESIDENTIAL STREET SECTION

N.T.S.



TYPICAL 32' STREET SECTION (SIGNAL AVE N.E.)

N.T.S.

(SEE NOTE B)

Fire Marshall's Approval

APD PLANS CHECKING OFFICE
624-6611
APPROVED/DISAPPROVED
HYDRAULIC(S) ONLY
11-06-02
SANDERS & SONS

EAGLE SPRINGS SUBDIVISION, UNIT 2

SITE DEVELOPMENT / UTILITY PLAN



MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS

P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Eagle Springs Unit 2 Site Plan Sht 3 of 12

11/6/02