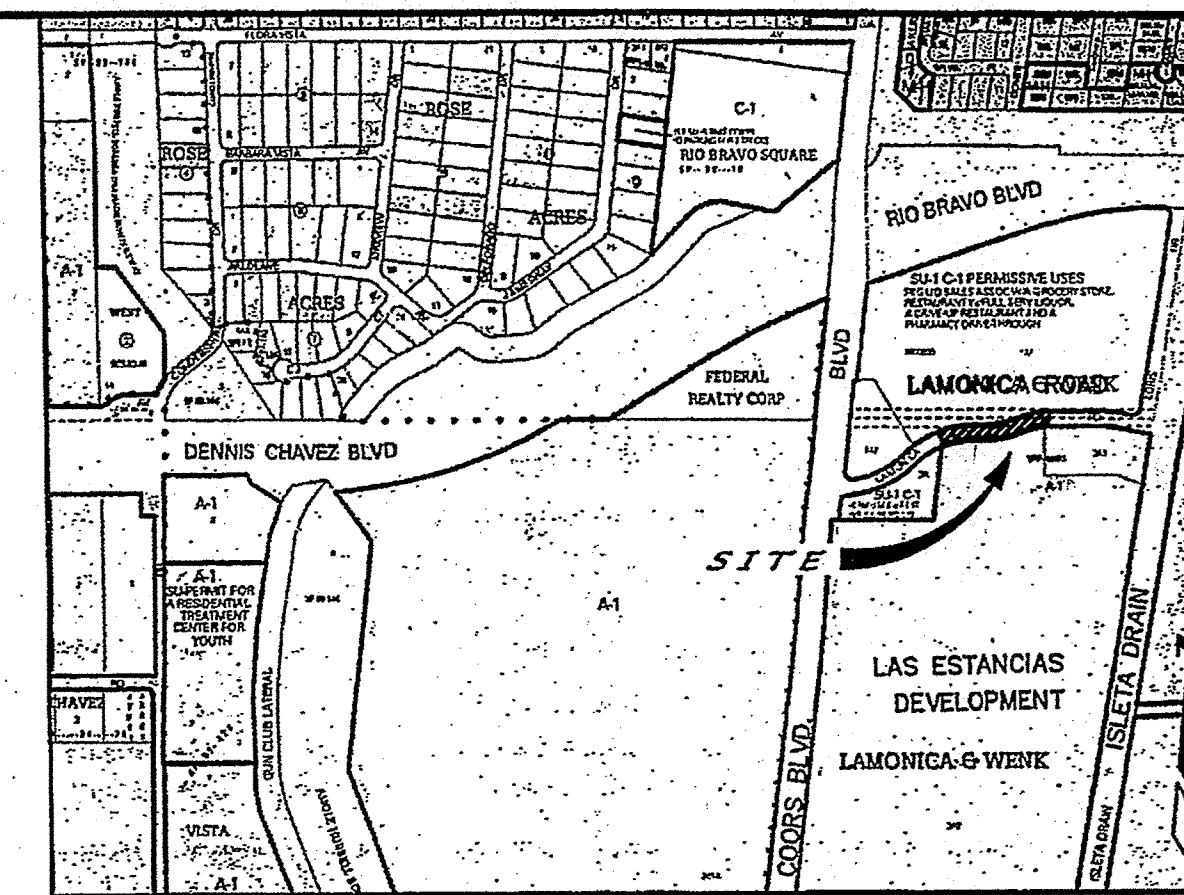


APPROVED AS RECORD DRAWING
DESIGN REVIEW SECTIONS
CITY CONSTRUCTION ENGINEER
DATE: 7/8/19



VICINITY MAP

ZONE ATLAS P-10

GENERAL NOTES

SCALE: NONE

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1998 EDITION AS REVISED THROUGH UPDATE #6.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (202-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION COORDINATION ENGINEER (824-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
6. ALL WORK AFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
7. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAINT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
8. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
9. CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAVE BEEN RECORDED.
10. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
11. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/729/](http://abcwua.org/content/view/full/729/)
12. RCP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATIONS. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF PIPE. RCP JOINTS SHALL NOT BE GROUDED UNLESS DIRECTED BY THE ENGINEER AFTER CITY APPROVAL.
13. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT WITH: OSHA 29 CFR 1926.650 SUBPART P.
14. ELECTRONIC MARKER SPHERES (EMS) OR DEVICES WILL BE PLACED ACCORDING TO SECTION 170 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1998 EDITION AS REVISED THROUGH UPDATE #6.
15. PRIVATE STREETS REQUIRE STREET NAME SIGNS, STOP SIGNS, AND ANY NECESSARY STRIPING (DEVELOPER'S RESPONSIBILITY).
16. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENT, PAVEMENT MARKINGS, CURB & GUTTER, HANDICAP RAMPS AND SIDEWALK DURING CONSTRUCTION APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE, PER CITY OF ALBUQUERQUE STANDARDS, AT HIS OWN EXPENSE.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE.

CAUTION:

NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P. O. BOX 80608
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 787-9539

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER		DATE	
		DRC CHAIRMAN		<i>[Signature]</i>		11/23/19	
		TRANSPORTATION		<i>[Signature]</i>		09/23/13	
		WATER/WASTEWATER		<i>[Signature]</i>		6-13-13	
		HYDROLOGY		<i>[Signature]</i>		6/13/13	
		CIP					
		CONSTR. MGMT.					
		CONSTR. COORD.					
		CITY PROJECT NO.		663382			
		SHEET OF		1		4	

DRB NO.

N.A.

CONSTRUCTION PLANS

FOR

LAS ESTANCIAS COMMERCIAL

LAMONICA ROAD

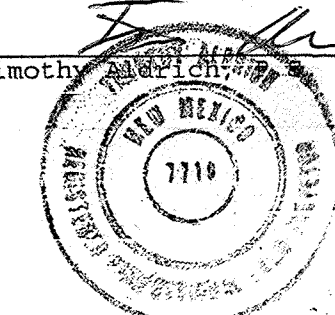
CURB & GUTTER & SIDEWALK IMPROVEMENTS

ALBUQUERQUE, NEW MEXICO

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the 'as-built' information shown on these drawings was obtained from field construction and 'as-built' surveys performed by me or under my supervision, that the 'as-built' information shown on these drawings was added by me or under my supervision, and that this 'as-built' information is true and correct to the best of my knowledge and belief." Aldrich Land Surveying is not responsible for any of the design concepts, calculations, engineering, or input of the record drawings.

Timothy Aldrich No. 7719 Date 04/08/19



INDEX TO DRAWINGS

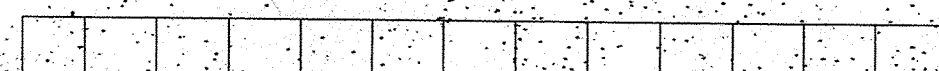
SHEET NO.	SHEET NO.	TITLE SHEET
1	2.0-2.3	PLAT
3		SITE PLAN (For Information Only)
4		LAMONICA PAVING IMPROVEMENTS

RECORD DRAWING
CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Mark Goodwin, NMPE 8948, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by Timothy Aldrich, NMPS number 7719.

Mark Goodwin NMPE 8948 Date 4/17/19

This set of drawings is accepted for RECORD purposes by _____ on _____ 2019.



Correction Plat of

Las Estancias

comprised of

Tract 3-A-2

Lands of Lamonia & Wenk

Bernalillo County, New Mexico

May 2010

Easement Notes

- EXISTING 20' AMATEL DRAINAGE EASEMENT (9/26/77, BK. D-561, PG. 1-2, DOC. #77-58064)
- EXISTING 5' PUBLIC SERVICE AND MOUNTAIN STATES (1/4/57, BK. D372, PG. 587)
- EXISTING 32' PNM EASEMENT (2/2/56, BK. D340, PG. 587)
- TEMPORARY CONSTRUCTION EASEMENT (9/20/04, BK. A84, PG. 1916)
- LOTS 1-21 AND TRACTS A-H, ALL INTERNAL PRIVATE ACCESS, UTILITY AND DRAINAGE EASEMENTS AND THEIR ASSOCIATED MAINTENANCE HAVE BEEN ALREADY BEEN GRANTED THROUGH AN ECR DOCUMENT FILED 09/26/05, BOOK A104, PAGE 2027 AND AMENDED IN SUPPLEMENTAL DECLARATION FILED 09/26/05, BOOK A104, PAGE 2027
- 10' PRIVATE BRIGATION EASEMENT GRANTED WITH THE FILING OF THIS PLAT TO THE OWNER OF TRACT H AND TO BE MAINTAINED BY THE OWNER OF TRACT H
- 20' PUBLIC NON-MOTORIZED ACCESS EASEMENT GRANTED WITH THE FILING OF THIS PLAT TO BERNALILLO COUNTY
- 20' PRIVATE ACCESS EASEMENT GRANTED WITH THE FILING OF THIS PLAT TO THE OWNERS OF LOTS 22-46 AND TO BE MAINTAINED BY THE OWNER OF TRACT H
- PRIVATE ACCESS AND DRAINAGE EASEMENT OVER TRACT J IS GRANTED WITH THE FILING OF THIS PLAT TO THE OWNERS OF LOTS 22-46, AND TO BE MAINTAINED BY THE OWNER OF TRACT J
- 10' PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT

Notes

- ALL UTILITIES WILL BE REQUIRED TO BE MAINTAINED BY THE OWNER OF THE LOT OR TRACT TO WHICH THEY ARE GRANTED. THE EASEMENTS WILL BE REQUIRED TO BE MAINTAINED BY THE OWNER OF THE LOT OR TRACT TO WHICH THEY ARE GRANTED. THE EASEMENTS WILL BE REQUIRED TO BE MAINTAINED BY THE OWNER OF THE LOT OR TRACT TO WHICH THEY ARE GRANTED.
- UNLESS OTHERWISE STATED IN OR REQUIRED BY SEPARATE DOCUMENTS, ALL LOTS AND TRACTS SHALL BE OWNED AND MAINTAINED BY THE SUBDIVIDER, THEIR SUCCESSORS OR ASSIGNS, UPON CREATION OF A LAS ESTANCIAS HOMEOWNERS ASSOCIATION.
- PUBLIC UTILITY EASEMENTS WILL BE REQUIRED FOR ALL ELECTRICAL POWER, GAS, AND COMMUNICATION FACILITIES THAT WILL SERVE THE LOTS IN THE SUBDIVISION. THE EASEMENTS WILL BE REQUIRED PRIOR TO OR IN CONJUNCTION WITH THE CONSTRUCTION OF ANY FACILITIES. THE EASEMENTS MAY BE DEDICATED BY SEPARATE DOCUMENT, A MINIMUM WIDTH EASEMENT OF 20' IS REQUIRED FOR A SINGLE UTILITY AND 25' FOR WATER AND SEWER BOTH WITHIN THE SAME EASEMENT.

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CARTESIAN SURVEYS INC.
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 886-3050 Fax (505) 881-0244

Sheet 3 of 7
071530

Note

AREAS OF LOTS AND TRACTS SHOWN HEREON ARE BOTH GROSS AND NET SIZES

Tract 3-A-1
Lands of Lamonia & Wenk
(9/16/2004, 2004C-244)

Las Estancias

(60' R/W)

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Las Estancias

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Correction Plat of
Las Estancias
comprised of
Tract 3-A-2
Lands of Lamonica & Wenk
Bernalillo County, New Mexico
May 2010

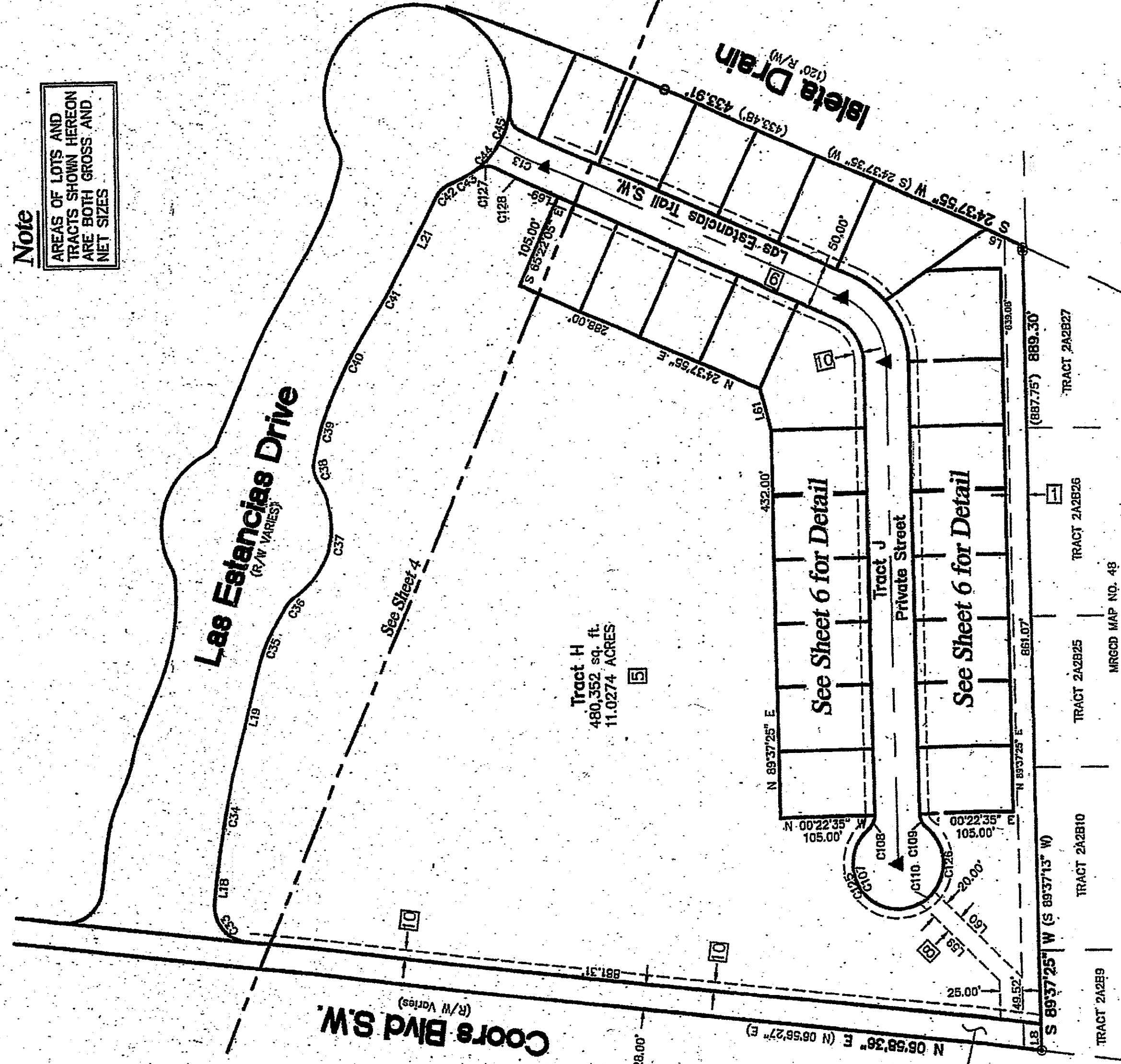
Notes
1. ABC/W/LA WILL REQUIRE THE DEDICATION OF EASEMENTS FOR ALL PUBLIC WATER LINES AND PUBLIC SEWER LINES. EASEMENTS WILL BE REQUIRED PRIOR TO THE APPROVAL OF ANY CONSTRUCTION PLANS FOR PUBLIC WATER AND SEWER IMPROVEMENTS IN THE SUBDIVISION. THE EASEMENTS MAY BE DEDICATED BY SEPARATE RECORDED DOCUMENT. A MINIMUM WIDTH EASEMENT OF 20' IS REQUIRED FOR A SINGLE UTILITY AND 25' FOR WATER AND SEWER BOTH WITHIN THE SAME EASEMENT.
2. UNLESS OTHERWISE STATED, OR REQUIRED BY SEPARATE DOCUMENT, ALL EASEMENTS AND TRACTS SHALL BE MAINTAINED BY THE OWNER OF THE RESPECTIVE LOT OR TRACT. TRACT A THROUGH H SHALL BE OWNED AND MAINTAINED BY THE SUBDIVIDER, THEIR SUCCESSORS OR ASSIGNS. TRACTS I AND J SHALL BE INITIALLY OWNED AND MAINTAINED BY THE CREATOR OF A LAS ESTANCIAS HOMEOWNERS ASSOCIATION. TRACTS K AND L SHALL BE INITIALLY OWNED AND MAINTAINED BY THE PUBLIC UTILITY EASEMENTS ASSOCIATION.
3. PUBLIC UTILITY EASEMENTS WILL BE REQUIRED FOR ALL ELECTRICAL POWER, GAS, AND COMMUNICATION FACILITIES. EASEMENTS WILL BE REQUIRED PRIOR TO OR IN CONJUNCTION WITH THE CONSTRUCTION OF SEPARATE EASEMENTS. A MINIMUM UTILITY EASEMENT OF 10' IS REQUIRED FOR A SINGLE UTILITY AND 20' FOR WATER AND SEWER BOTH WITHIN THE SAME EASEMENT. THE OWNER OF A LOT REQUESTING THE UTILITY SERVICES SHALL BE RESPONSIBLE FOR OBTAINING THE SIGNATURES OF ANY OF THE OWNERS IN THE SUBDIVISION NECESSARY FOR THE DEDICATION OF THE EASEMENTS ASSOCIATED WITH THE SERVICES.

Legend

- FOUND AND USED MONUMENT AS INDICATED ON SHEET 2
- SET BATTERY MARKER WITH CAP "S 1427"
- SET CENTERLINE MONUMENT "S 1427"
- C/S/E CURVE - CONCAVE EAST - SEE CURVE TABLE ON SHEET 7
- C/S/W CURVE - CONCAVE WEST - SEE CURVE TABLE ON SHEET 7

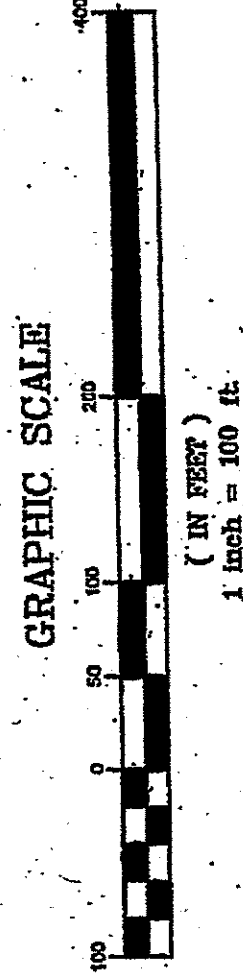
Note

AREAS OF LOTS AND TRACTS SHOWN HEREON ARE BOTH GROSS AND NET SIZES



Key

Right of Way Dedicated
to the County of
Bernalillo in fee simple
with warranty covenants



CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174

Phone (505) 886-3050 Fax (505) 891-0244

Sheet 5 of 7
071530

Correction Plat of
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Easement Notes

- EXISTING 20' AMATECA DRAINAGE EASEMENT (9/26/77, BK. D-561, PG. 1-2, DOC. #77-58064)
- EXISTING 5' PUBLIC SERVICE AND MOUNTAIN STATES (1/4/57, BK. D372, PG. 587)
- EXISTING 32' PNM EASEMENT (2/2/56, BK. D340, PG. 587)
- TEMPORARY CONSTRUCTION EASEMENT (9/20/04, BK. A84, PG. 1916)
- LOTS 1-21 AND TRACTS A-H, ALL INTERNAL PRIVATE ACCESS, UTILITY, AND DRAINAGE EASEMENTS AND THEIR ASSOCIATED MAINTENANCE HAVE BEEN ALREADY BEEN GRANTED THROUGH AN ECCR DOCUMENT FILED 08/26/05, BOOK A104, PAGE 2027 AND AMENDED IN SUPPLEMENTAL DECLARATION FILED 10/21/11, BOOK 2-11090894, PAGE 2/2.
- 10' PRIVATE IRRIGATION EASEMENT GRANTED WITH THE FILING OF THIS PLAT TO THE OWNER OF TRACT H AND TO BE MAINTAINED BY THE OWNER OF TRACT H
- 20' PUBLIC NON-MOTORIZED ACCESS EASEMENT GRANTED WITH THE FILING OF THIS PLAT TO BERNALILLO COUNTY
- 20' PRIVATE ACCESS EASEMENT GRANTED WITH THE FILING OF THIS PLAT TO THE OWNERS OF LOTS 22-46 AND TO BE MAINTAINED BY THE OWNER OF TRACT H
- PRIVATE ACCESS AND DRAINAGE EASEMENT OVER TRACT J IS GRANTED WITH THE FILING OF THIS PLAT TO THE OWNERS OF LOTS 22-46, AND TO BE MAINTAINED BY THE OWNER OF TRACT J (SEE NOTE 2 - THIS SHEET).
- 10' PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT

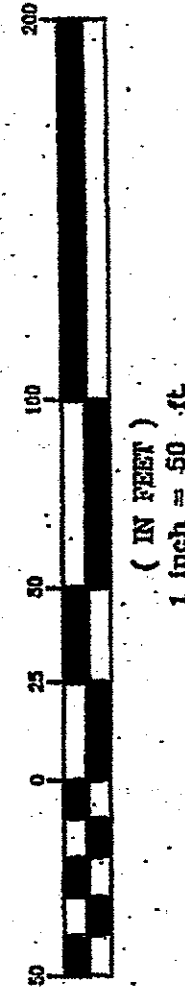
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- SET CENTERLINE MONUMENT "S 1427"
- C/S/E CURVE - CONCAVE EAST - SEE CURVE TABLE ON SHEET 7
- C/S/W CURVE - CONCAVE WEST - SEE CURVE TABLE ON SHEET 7

Note

AREAS OF LOTS AND TRACTS SHOWN HEREON ARE BOTH GROSS AND NET SIZES

GRAPHIC SCALE



- EXISTING 20' AMATECA DRAINAGE EASEMENT (9/26/77, BK. D-561, PG. 1-2, DOC. #77-58064)
- EXISTING 5' PUBLIC SERVICE AND MOUNTAIN STATES (1/4/57, BK. D372, PG. 587)
- EXISTING 32' PNM EASEMENT (2/2/56, BK. D340, PG. 587)
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Tract H

See Sheet 5

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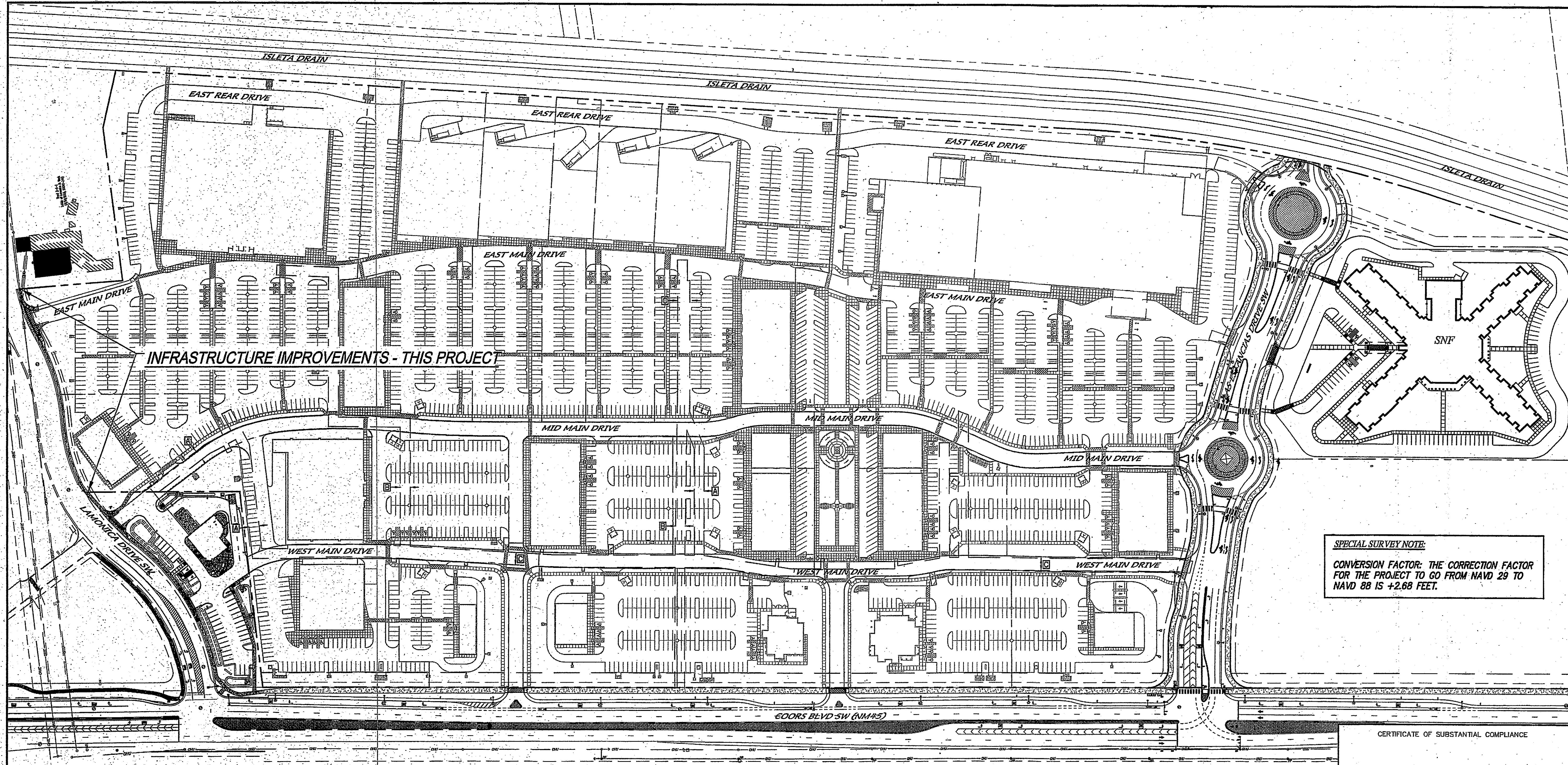
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**Tract 3-A-2
Lands of Lamonica & Wenk
Bernalillo County, New Mexico
May 2010**

1. The first part of the paper is devoted to the study of the asymptotic behavior of the solutions of the system (1) as $t \rightarrow \infty$. It is shown that the solutions of the system (1) tend to zero as $t \rightarrow \infty$ if and only if the matrix A is Hurwitz. The second part of the paper is devoted to the study of the asymptotic behavior of the solutions of the system (1) as $t \rightarrow \infty$ if the matrix A is not Hurwitz. It is shown that the solutions of the system (1) tend to infinity as $t \rightarrow \infty$ if and only if the matrix A is not Hurwitz. The third part of the paper is devoted to the study of the asymptotic behavior of the solutions of the system (1) as $t \rightarrow \infty$ if the matrix A is not Hurwitz. It is shown that the solutions of the system (1) tend to infinity as $t \rightarrow \infty$ if and only if the matrix A is not Hurwitz.

CARTESIAN SURVEYS INC.

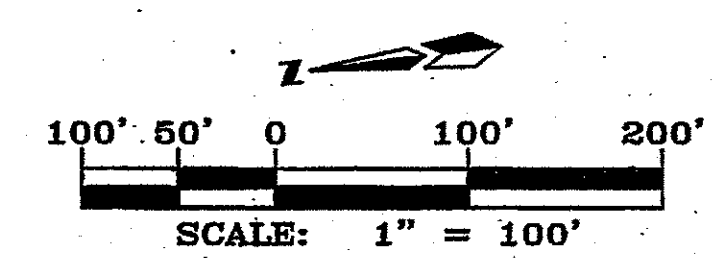
LINE		LENGTH		LINE TABLE		BEARING	
L1	37.88'						S243°55'W
L2	72.00'						S243°55'W
L3	72.00'						S243°55'W
L4	72.00'						S243°55'W
L5	135.16'						S243°55'W
L6	17.89'						S243°55'W
L7	27.59'						S243°55'W
L8	29.30'						S89°37'25"W
L9	106.23'						S83°30'24"E
L10	82.41'						S70°38'07"E
L11	32.23'						S83°30'24"E
L12	56.58'						S67°22'00"E
L13	14.42'						N89°37'36"E
L14	88.72'						S68°24'35"E
L15	11.90'						N67°22'00"W
L16	29.30'						S67°22'00"E
L17	15.38'						S67°22'00"E
L18	32.23'						S83°30'24"E
L19	96.91'						S76°37'12"E
L20	14.42'						S60°51'59"E
L21	94.35'						S82°15'25"E
L22	102.90'						S70°38'07"E
L23	29.00'						N83°30'24"W
L24	76.52'						S83°30'24"E
L25	126.56'						S06°58'48"W
L26	56.28'						N07°35'20"W
L27	50.00'						N06°58'36"E
L28	29.00'						S83°02'20"W
L29	81.61'						S83°03'17"E
L30	121.56'						N06°58'36"E
L31	29.00'						N80°53'57"W
L32	57.83'						S06°57'40"W
L33	83.02'						S06°58'36"W
L34	36.49'						N06°57'40"E
L35	129.99'						N89°44'45"W
L36	142.44'						S06°57'19"W
L37	98.03'						N30°24'22"W
L38	114.97'						N06°57'19"E
L39	59.05'						N30°24'22"W
L40	139.61'						N68°47'11"E
L41	39.80'						S83°30'24"E
L42	47.79'						S06°57'19"W
L43	13.51'						S101°19'52"W
L44	58.34'						N06°57'40"E
L45	51.19'						S83°30'24"E
L46	59.46'						N06°58'36"E
L47	92.05'						S06°58'36"W
L48	77.89'						S06°58'36"W
L49	86.41'						S06°58'36"W
L50	80.41'						S06°58'36"W
L51	50.00'						S07°45'20"W
L52	84.76'						N89°44'45"W
L53	31.87'						S08°38'35"W
L54	29.00'						N70°38'07"W
L55	29.00'						S20°28'46"W
L56	2.98'						N44°37'25"E
L57	10.00'						S44°37'25"W
L58	29.69'						N75°50'01"E
L59	122.87'						S1°42'24"W
L60	138.12'						S89°44'45"E
L61	48.22'						N83°30'24"W
L62	12.07'						S06°58'36"W
L63	29.20'						S93°02'20"E
L64	2.70'						N06°57'25"W
L65	29.00'						S1°42'24"W
L66	29.00'						S89°44'45"E
L67	94.49'						N83°30'24"E
L68	1.32'						N06°57'25"W
L69	26.88'						S24°37'55"W



INFRASTRUCTURE IMPROVEMENTS - THIS PROJECT

SPECIAL SURVEY NOTE:
CONVERSION FACTOR: THE CORRECTION FACTOR FOR THE PROJECT TO GO FROM NAVD 29 TO NAVD 88 IS +2.68 FEET.

- NEW EASEMENT NOTES:**
- ☐ NEW 20' PUBLIC WATER LINE EASEMENT
 - ☐ NEW 20' PUBLIC SANITARY SEWER EASEMENT
 - ☐ NEW 25' PUBLIC WATER AND SANITARY SEWER EASEMENT



CERTIFICATE OF SUBSTANTIAL COMPLIANCE

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 787-9539



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

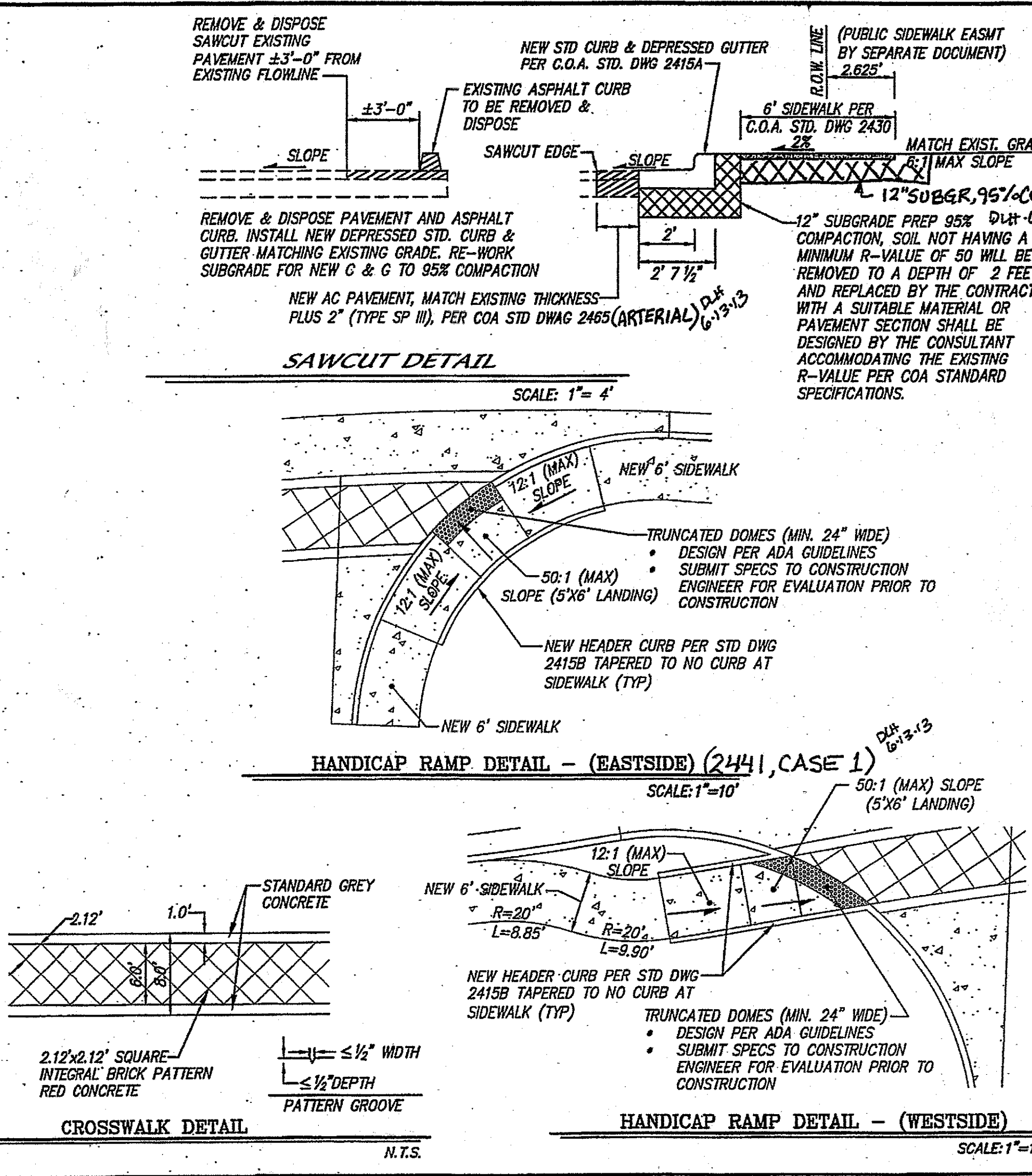
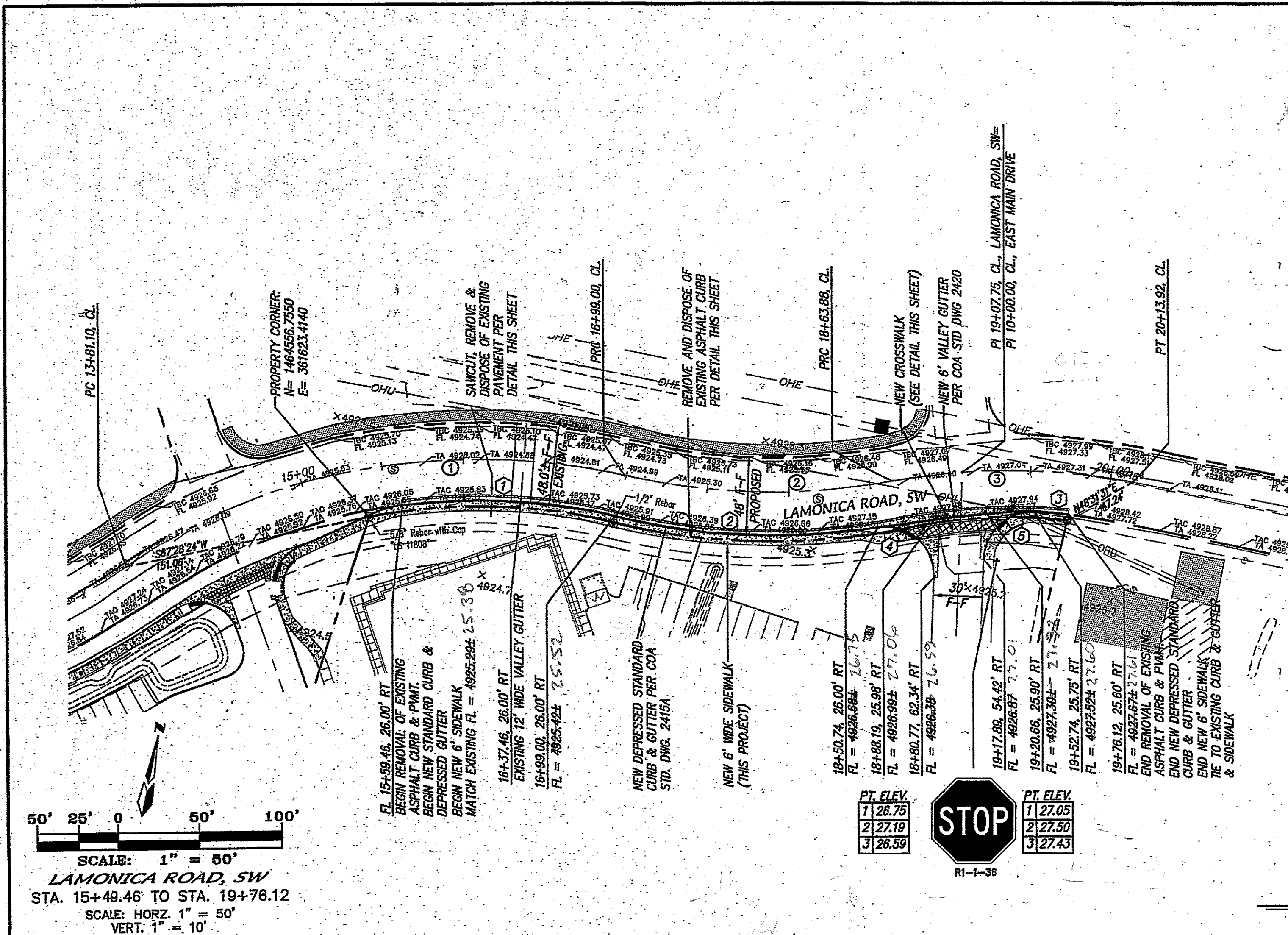
TITLE: **LAS ESTANCIAS COMMERCIAL SITE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
FOR INFORMATION ONLY		LAST DATE	
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
663382	P-10-Z	3	4

SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	DATE	NO.	DATE	CONTRACTOR	DATE
				SLANDER	4/19
				WORK	DATE
				STARTED BY	DATE
				ACCEPTANCE BY	DATE
				FIELD	DATE
				DRAWINGS	DATE
				CORRECTED BY	DATE
				RECORDED BY	DATE
				NO.	

ENGINEER'S SEAL		REVISIONS	
		NO.	DATE
		BY	DATE
		REVISIONS	DATE
		DESIGN	DATE
		DRAWN BY	DATE
		CHECKED BY	DATE
		DMG	4/13
		DMG	4/13

RECORD DRAWING



STATION	15+00.00	16+00.00	17+00.00	18+00.00	19+00.00	20+00.00	21+00.00	22+00.00	NGVD 29
4980									4960
4950									4950
4940									4940
4930									4930
4920									4920
4910									4910
4900									4900
4890									4890
4880									4880
4870									4870

CONTRACTOR'S INFORMATION

CONTRACTOR: **MARK GOODWIN & ASSOCIATES, P.A.**

DATE: **4/17/19**

PROJECT: **LAMONICA ROAD SW PAVING IMPROVEMENTS**

AS BUILT INFORMATION

DATE: **4/17/19**

PROJECT: **LAMONICA ROAD SW PAVING IMPROVEMENTS**

CURVE DATA - DESCRIBES CENTERLINE

① Δ = 47°55'02"	② Δ = 24°51'40"	③ Δ = 22°37'07"
R = 380.00'	R = 380.00'	R = 380.00'
L = 317.89'	L = 164.89'	L = 150.04'
T = 168.91'	T = 83.76'	T = 76.01'

CURVE DATA - DESCRIBES FACE OF CURB

① Δ = 21°02'22"	② Δ = 22°52'47"	③ Δ = 03°26'10"
R = 354.00'	R = 408.00'	R = 363.47'
L = 65.74'	L = 82.16'	L = 10.90'
T = 129.99'	T = 162.13'	T = 21.80'

Easement Notes

- EXISTING 5' PUBLIC SERVICE AND MOUNTAIN STATES EASEMENT PER DOCUMENT FILED 1/4/87, BK D372, PG. 587.
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CITY OF ALBUQUERQUE

PUBLIC WORKS DEPARTMENT

TITLE: LAS ESTANCIAS LAMONICA ROAD SW PAVING IMPROVEMENTS

DESIGN REVIEW COMMITTEE

APPROVED

NOV 25 2013

CITY ENGINEER

APPROVED

JAN 28 2019

DESIGN REVIEW COMMITTEE

CITY ENGINEER

MARK GOODWIN & ASSOCIATES, P.A.

CONSULTING ENGINEERS

P.O. BOX 90606

ALBUQUERQUE, NEW MEXICO 87199

OFFICE (505) 828-2200, FAX (505) 787-9539

DESIGNED BY: DLH

DRAWN BY: DER

CHECKED BY: DMG

DATE: 04/13

DATE: 04/13

DATE: 04/13