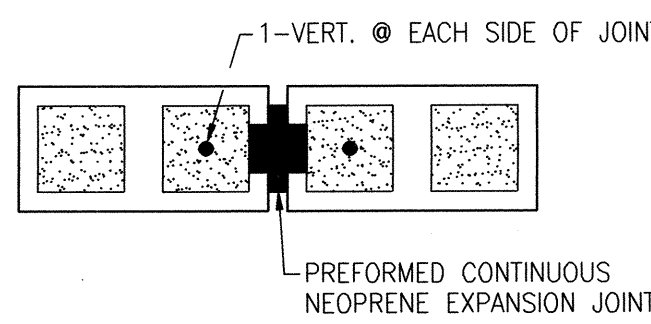


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File Name:	40801PP.DWG	Plot Time:	09:46 am



TYPICAL MASONRY CONTROL JOINT DETAIL
SCALE: 1" = 1'- 0"

- RETAINING WALL NOTES:
1. 8"x8"x16" CMU of UBC STD. 24-4 OR 24-5.
 2. USE KNOCK-OUT BOND BEAM BLOCK AT 4'-0" MAX C/C. VERTICALLY, AND 1 #4 CONTINUOUS.
 3. FILL ALL BLOCK VOIDS WITH 3000 PSI CONCRETE.
 4. REINFORCING TO BE INTERMEDIATE GRADE STEEL.
fs=20,000 psi
 5. IN LIEU OF CONTINUOUS KNOCK-OUT BOND BEAMS, CONTRACTOR MAY INSTALL DUR-O-WALL REINFORCING EVERY SECOND COURSE.
 6. SPLICE SHALL BE 40 BAR DIA. MINIMUM FOR VERTICAL BARS. ALL OTHER SHALL BE 20 BAR DIA. MINIMUM.
 7. CONCRETE FILL SHALL BE 21 DAYS OLD OR ACHIEVE 70% OF DESIGN STRENGTH PRIOR TO BACKFILLING.
 8. INSTALL MASONRY CONTROL JOINTS PER TYPICAL DETAIL AT UNIFORM SPACINGS OF 20' (MIN.) TO 24' (MAX.).
 9. WALL CONSTRUCTION IS NOT PART OF CITY WORK ORDER. A SEPARATE PERMIT IS REQUIRED.

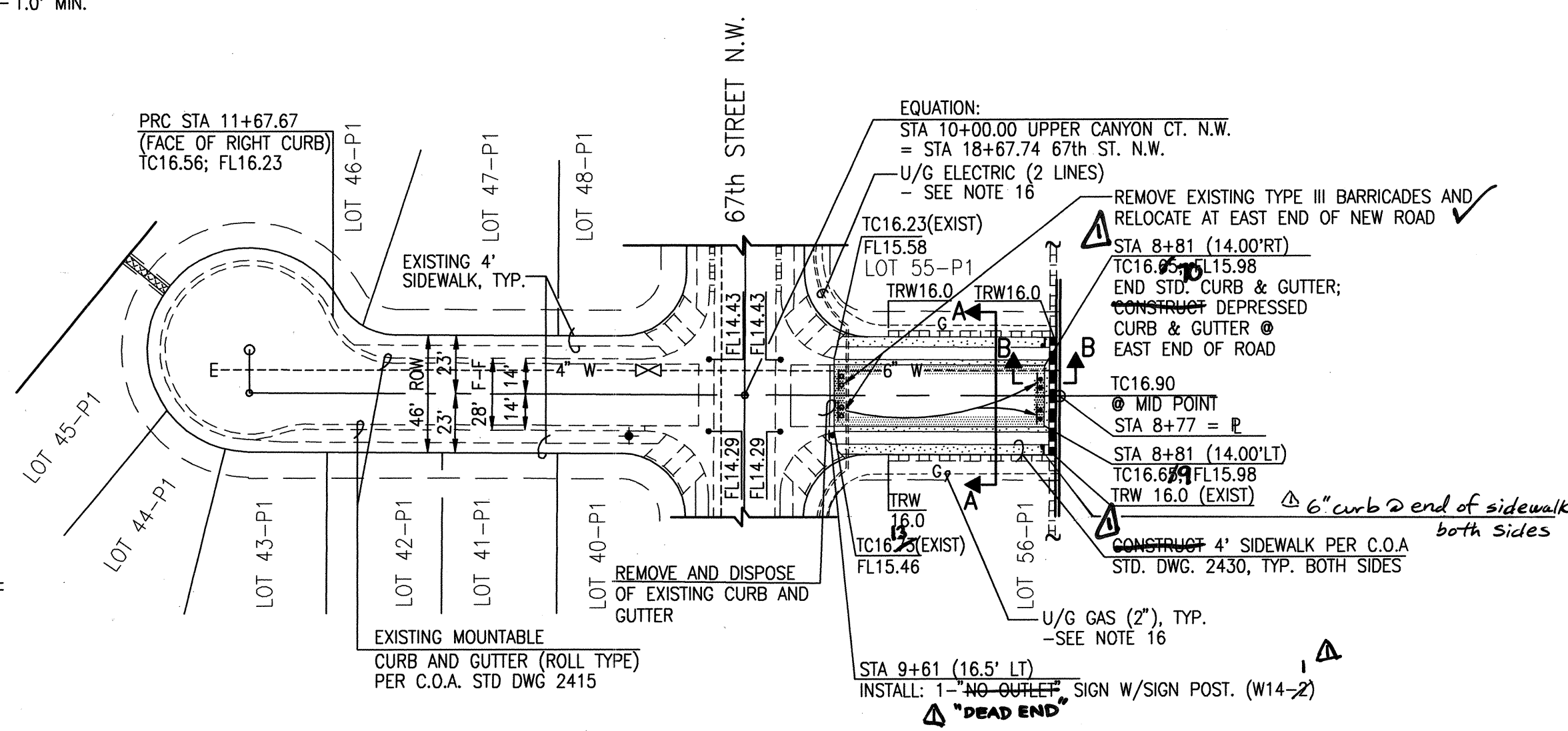
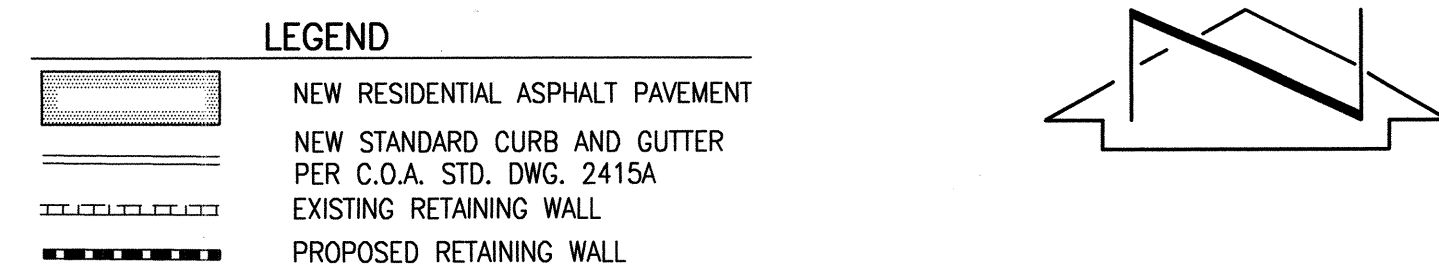
I, J. GRAEME MEYER, NMPD 3676, OF THE FIRM JEFF MORTENSEN & ASSOCIATES, INC. HEREBY CERTIFY THAT THE INFRASTRUCTURE CONSTRUCTED AS PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR UNDER MY DIRECT SUPERVISION, AND, TO THE BEST OF MY KNOWLEDGE AND BELIEF, HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, AND THE ORIGINAL DESIGN INTENT OF THE CITY ENGINEER. APPROVED PLANS. THE AS-BUILT INFORMATION DATED ON THIS ORIGINAL DESIGN DOCUMENT WAS OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE RECORD CURB ELEVATIONS ARE THE RECORD INFORMATION. THIS RECORD INFORMATION IS NOT STAKED CONTROL HUBS TO THE CONSTRUCTED CURB ELEVATIONS. THE RECORD CURB ELEVATIONS ARE THE RECORD INFORMATION. THIS RECORD INFORMATION IS NOT NECESSARILY CONSIDERED IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, AND THE ORIGINAL DESIGN INTENT OF THIS PROJECT. THOSE RELYING ON THIS DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR ACCEPTANCE OF THE PROJECT BY THE CITY ENGINEER.

J. GRAEME MEANS, NMPE 13676

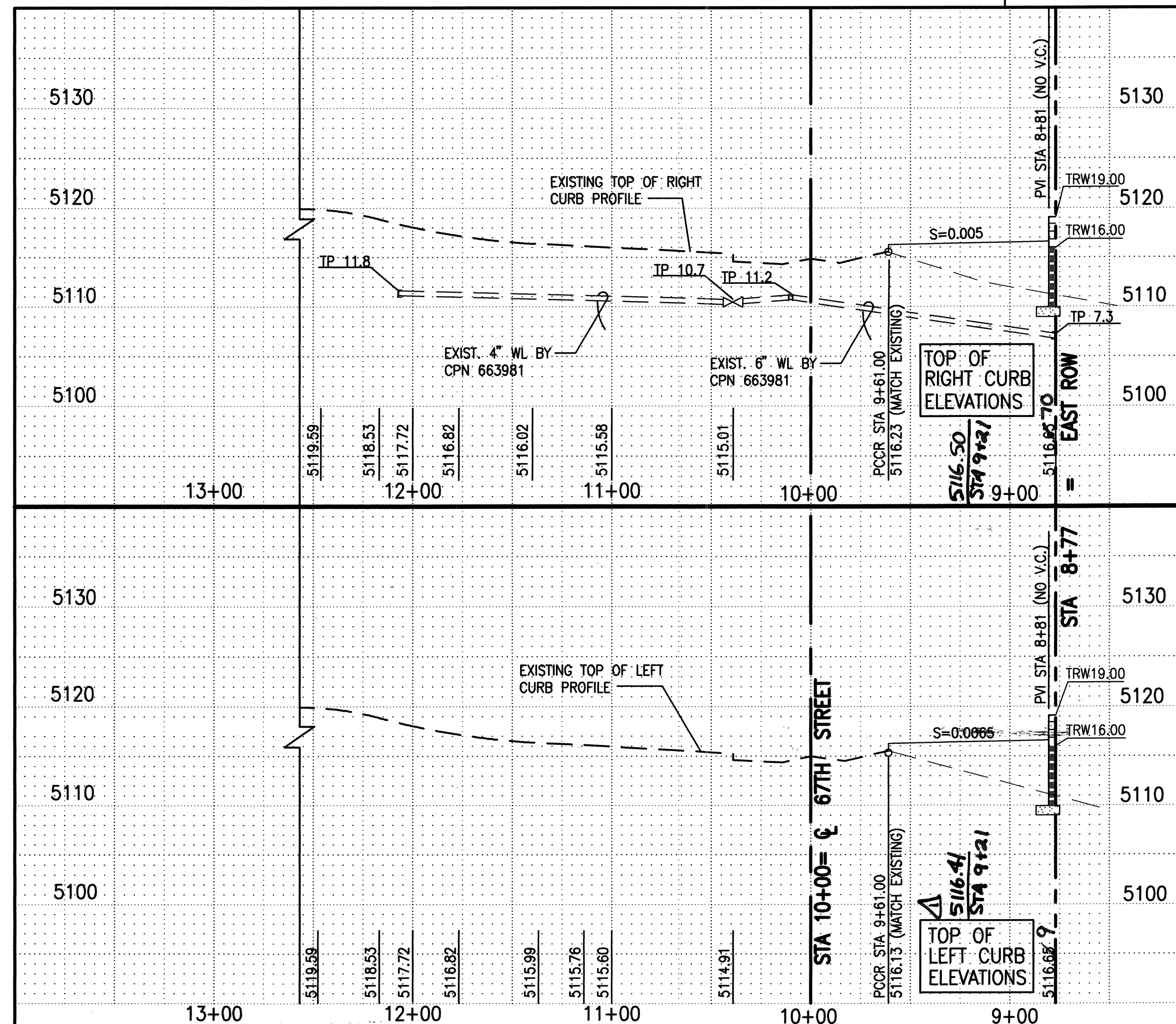
04/27/2006
DATE

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY CONSTRUCTION ENGINEER
Jamie H. Long
DATE: 7/26/06

ELEVATIONS ARE IN NGVD 1929



UPPER CANYON COURT N.W.



CERTIFICATE OF SUBSTANTIAL COMPLIANCE

GENERAL NOTES:

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS—PUBLIC WORKS CONSTRUCTION—1986 — UPDATE NO. 7.
2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, (ALBUQUERQUE AREA) 1-800-321-ALERT (2537) (STATEWIDE) FOR LOCATION OF EXISTING UTILITIES.
3. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPLICABLE MANNER. IF ANY UTILITY LINES ARE SHOWN WHERE NONE ARE SHOWN, IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
4. SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
6. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH.
7. ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
8. BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
9. TACK COAT REQUIREMENTS SHALL BE DETERMINED DURING CONSTRUCTION BY THE PROJECT ENGINEER.
10. CONTRACTOR SHALL NOTIFY THE CITY SURVEYOR NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE SPECIFICATIONS.
11. FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION CO-ORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION CO-ORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. CONTRACTOR MUST REFER TO SECTION 19 OF THE STANDARD SPECIFICATION FOR TRAFFIC CONTROL.
12. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED STRIPING BY CONTRACTOR TO EXISTING LOCATION OR AS INDICATED BY THIS PLAN SET.
13. CAUTION: THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926, SUBPART P-EXCAVATIONS.
14. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
15. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
16. EXISTING PNM GAS AND ELECTRIC LINES ARE SHOWN BASED ON INFORMATION PROVIDED BY PNM. QWEST AND COMCAST DO NOT RESPOND TO THE UTILITY LOCATION REQUEST AND THEIR FACILITIES ARE NOT SHOWN. PLEASE REFER TO NOTES 2 & 3 ABOVE.

RECORD DRAWING



JEFF MORTENSEN & ASSOCIATES, INC.
☐ 6010-B MIDWAY PARK BLVD. N.E.
☐ ALBUQUERQUE ☐ NEW MEXICO 87109
☐ ENGINEERS ☐ SURVEYORS (505) 345-4250
☐ FAX: 505 345-4254

DRB# 1000352
2004.080.1

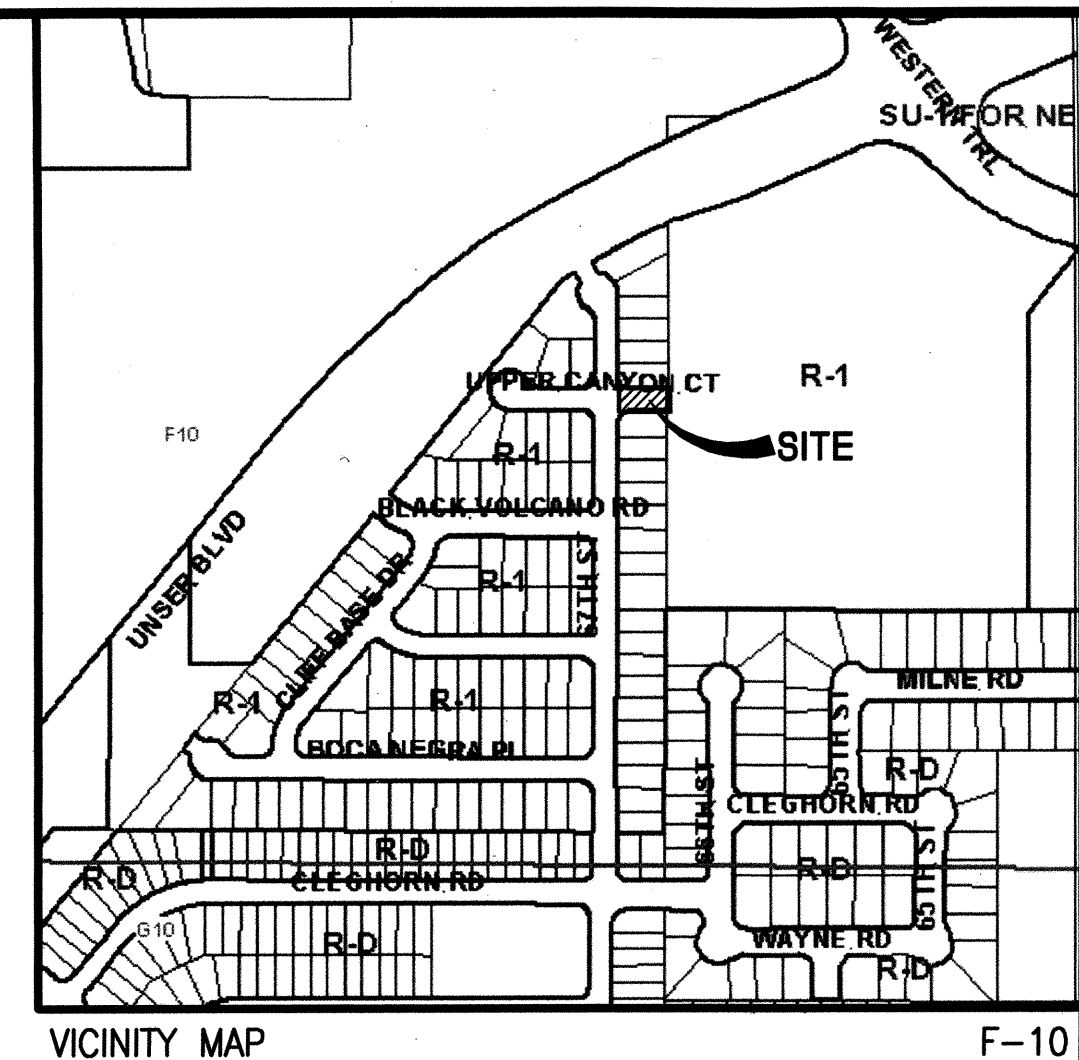
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APPROVED FOR CONSTRUCTION

City Engineer Date

City Project No. 663982

SHEET OF



AS BUILT INFORMATION	
CONTRACTOR	Sals Brothers, Inc
WORKED BY	JMA
INSPECTOR'S	JMA
DATE	05/06
FIELD	JMA
ADVICE BY	JMA
DATE	06/06
EXAMINATION BY	JMA
DATE	06/06
DRAWINGS	JMA
CORRECTED BY	JMA
MICRO INFORMATION	
RECORDED BY	DATE
NO.	

BENCH MARKS
 25 BENCHMARK 2-G10
 60 PENNY NAIL ON THE EAST SIDE OF A POWER POLE APPROX.
 10 MILES FROM THE INTERSECTION OF UNSER BLVD. AND
 I. JOSEPH AVE.
 ELEVATION = 5734.59 FEET (NSVD-1929)

SURVEY INFORMATION			
FIELD NOTES			
NO.	BY	DATE	
980964	JMA	8/99	A
00166	JMA	4/02	O
			S
			E

[illegible]

DESIGN	Revisions	
	Date	08-04
	Date	08-04
		08-04

[illegible]

-15-06