

Albuquerque Eye Institute

LOTS 13 THRU 24, BLOCK 9, CROSSAN + KENNEDY ADDITION, ALBUQUERQUE, NEW MEXICO

Construction Plans for Public Infrastructure: 20' Wide Alley Paving

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• PROVIDED FOR INFORMATION ONLY

Notice to Contractor

GENERAL NOTES:

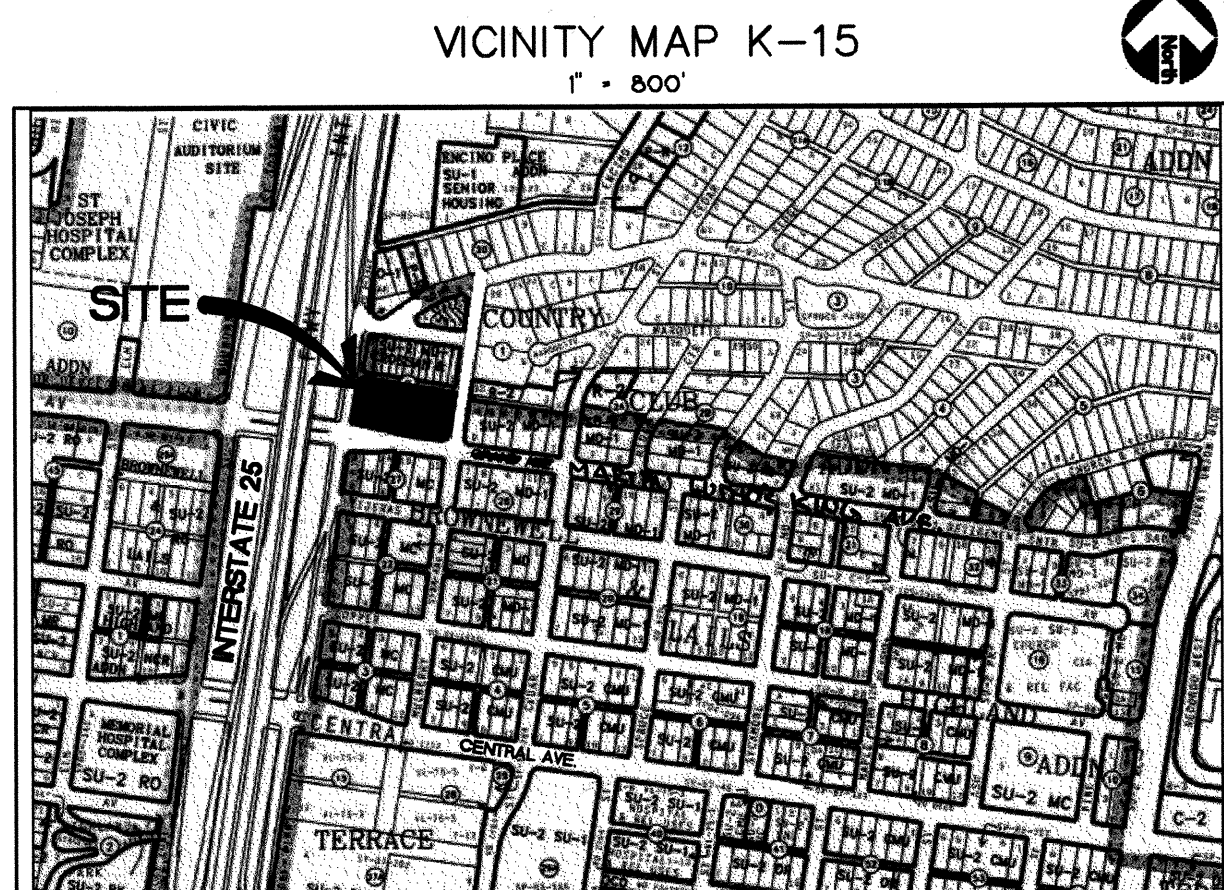
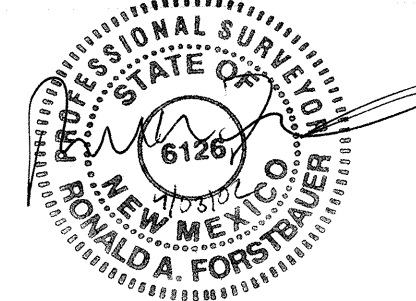
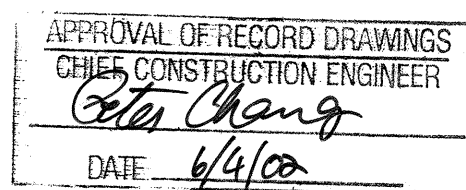
- ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITION OF CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. 1986 EDITION SHALL INCLUDE UPDATE NO. 6.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION, ETC.).
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE TRAFFIC ENGINEERING DEPARTMENT PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.

- FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. THE CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- THE WATER SYSTEMS DIVISION (857-8200) SHALL BE NOTIFIED FIVE (5) WORKING DAYS IN ADVANCE OF ANY WORK WHICH MAY AFFECT EXISTING PUBLIC WATER FACILITIES. THE CONTRACTOR SHALL ALSO COORDINATE FOR VALVE OPERATION FOR WATER SHUTOFF.
- THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL SYSTEM, PHONE: 260-1990, TO LOCATE UNDERGROUND UTILITIES TWO (2) WORK DAYS PRIOR TO BEGINNING EXCAVATION.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION SHALL BE COORDINATED WITH THAT UTILITY COMPANY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- FOR PURPOSES OF THIS PROJECT THE TERM ENGINEER SHALL REFER TO EITHER THE OWNER'S EMPLOYEE OR THE CONSTRUCTION OBSERVER RESPONSIBLE FOR CONSTRUCTION INSPECTION OF THE PROJECT.
- ALL EXISTING IMPROVEMENTS ARE TO REMAIN, UNLESS SPECIFICALLY NOTED TO BE REMOVED. CONTRACTOR SHALL REPAIR ANY CONTRACTOR-CAUSED DAMAGE, AS DETERMINED BY THE ENGINEER TO EXISTING IMPROVEMENTS TO THE SATISFACTION OF THE OWNER AT THE CONTRACTOR'S EXPENSE.

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CHECK ALL DIMENSIONS, HORIZONTAL AND VERTICAL, AND SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CONFLICT CAN BE RESOLVED WITH THE MINIMUM AMOUNT OF DELAY.
- ALL REFERENCES TO COMPACTED BACKFILL OR COMPACTED SUBGRADE SHALL MEAN SOIL COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557 UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK, IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY OF ALBUQUERQUE SURVEY SECTION. WHEN A CHANGE IS MADE IN THE FINISH ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO NEW GRADE, UNLESS OTHERWISE SPECIFIED.
- PAVING NOTES:
 - ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY THE CONTRACTOR TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED IN THIS PLAN.
 - ANY WORK AFFECTING AN ARTERIAL ROADWAY REQUIRES TWENTY-FOUR (24) HOUR CONSTRUCTION.
 - ALL PAVEMENT TO BE REMOVED SHALL BE SAW CUT, HAVE A UNIFORM EDGE AND BE SPRAYED WITH TACK.

- WHEN ABUTTING NEW CURB AND GUTTER TO EXISTING PAVEMENT, A 1'-WIDE SECTION OF EXISTING PAVEMENT ADJACENT TO THE CURB AND GUTTER SHALL BE NEATLY SAW CUT, REMOVED AND REPLACED.
- PAVING AND ROADWAY GRADES SHALL BE $\pm 0.05'$ FROM ELEVATIONS SHOWN ON PLANS.
- GRADING NOTES:
 - THE CONTRACTOR MUST CONFORM TO ALL COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS, PERMITS AND APPROVALS. THE COST FOR REQUIRED MEASURES SHALL BE INCIDENTAL TO THE PROJECT COSTS.
 - THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO PREVENT WIND EROSION.
 - A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE CONSTRUCTION OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- TRAFFIC CONTROL NOTE:
 - THE CONTRACTOR SHALL CONTACT TRAFFIC ENGINEERING OPERATIONS AT 857-8000 FOR REMOVAL AND REPLACEMENT OF TRAFFIC SIGNS.

As-built verification, as indicated hereon, is based on field surveying performed March 19, 2002, and does not include underground improvements.



THE FOLLOWING NOTES APPLY WHEN CHECKED

- ☐ ALL UTILITIES AND UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☐ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- ☐ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEPRESSIONED FOR A DRIVE PAD, THE DRIVE PAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- ☐ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.



C.L. WEISS ENGINEERING, INC.
POST OFFICE BOX 97 SANDIA PARK, N.M. 87047 - (505) 281-1800
100 ALVARADO DR. NE ALBUQUERQUE, N.M. 87102 - (505) 266-3441

DRB NO. 1000272

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS	ENGINEER	DATE	*****		
		DRC Chairman		6-14-01	APPROVED FOR CONSTRUCTION		
		Transportation		6-14-01			
		Water/Wastewater		6/14/01			
		Hydrology		6/14/01			
		C.I.P.		6/14/01			
		Constr. Mngmt.			City Engineer Date		
		Constr. Coord.		6-14-01			
		City Project No.	664281		Sheet	Of	
					1	7	

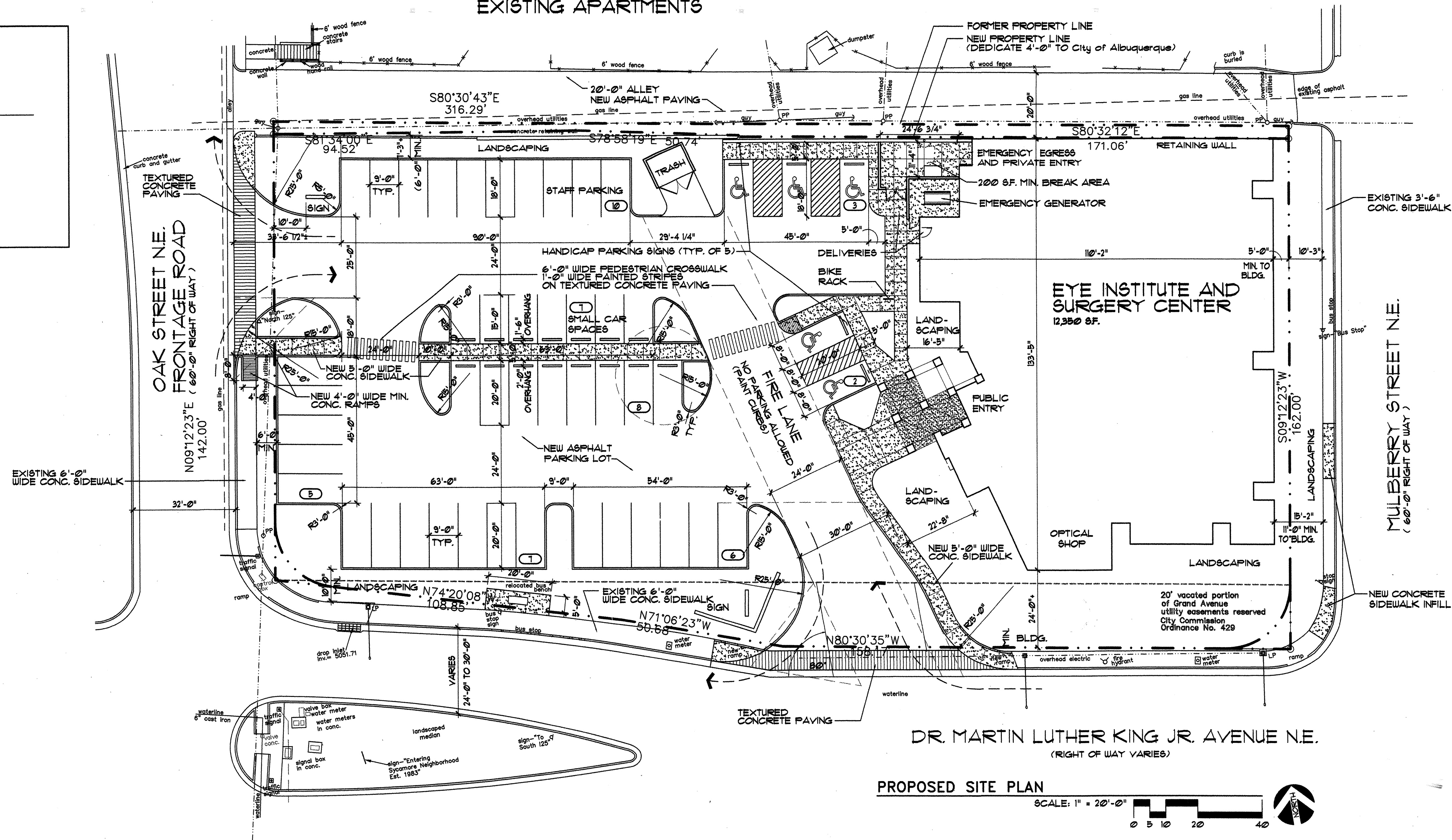
PARKING REQUIREMENTS

REQUIRED	PROVIDED
Medical Clinic-5 spaces per doctor 4 doctors x 5 = 20 spaces	Regular Spaces 36
Retail-one space per 100 s.f. 800/200 = 4 spaces	Small Car Spaces 7
	Handicap Spaces 5
Total 24 spaces	Total 48 spaces
Required Handicap Spaces 10% of 24 = 2.4 or 3 spaces	Required Handicap Spaces 10% of 48 = 4.8 or 5 spaces
Required Bicycle Spaces 1 required per 20 car spaces 24 / 20 = 1.2 or 2 spaces required	Allowed Small Car Spaces 15% of 48 = 7.2 or 7 spaces Provided Bicycle Spaces 4 spaces provided

KEYED NOTES

1. CONCRETE PAVING W/ WELDED WIRE FABRIC THRUOUT.
2. 1/2" EXPANSION JOINT MATERIAL, FULL DEPTH OF CONCRETE.
3. 6" STEEL PIPE BOLLARD
4. 8" CMU WALL WITH STUCCO FINISH
5. FOUNDATION
6. SEE LANDSCAPING FOR GROUND COVER
7. BOND BEAM W/ 1/4" CONT.
8. DUR-O-WALL AT 16" O.C.
9. #4 VERT. AT 32" O.C. IN GROUTED CELLS
10. #4 AT 32" O.C. W/ ALTERNATING BANDS
11. METAL GATES, 6'-0" HIGH (OLIVE)

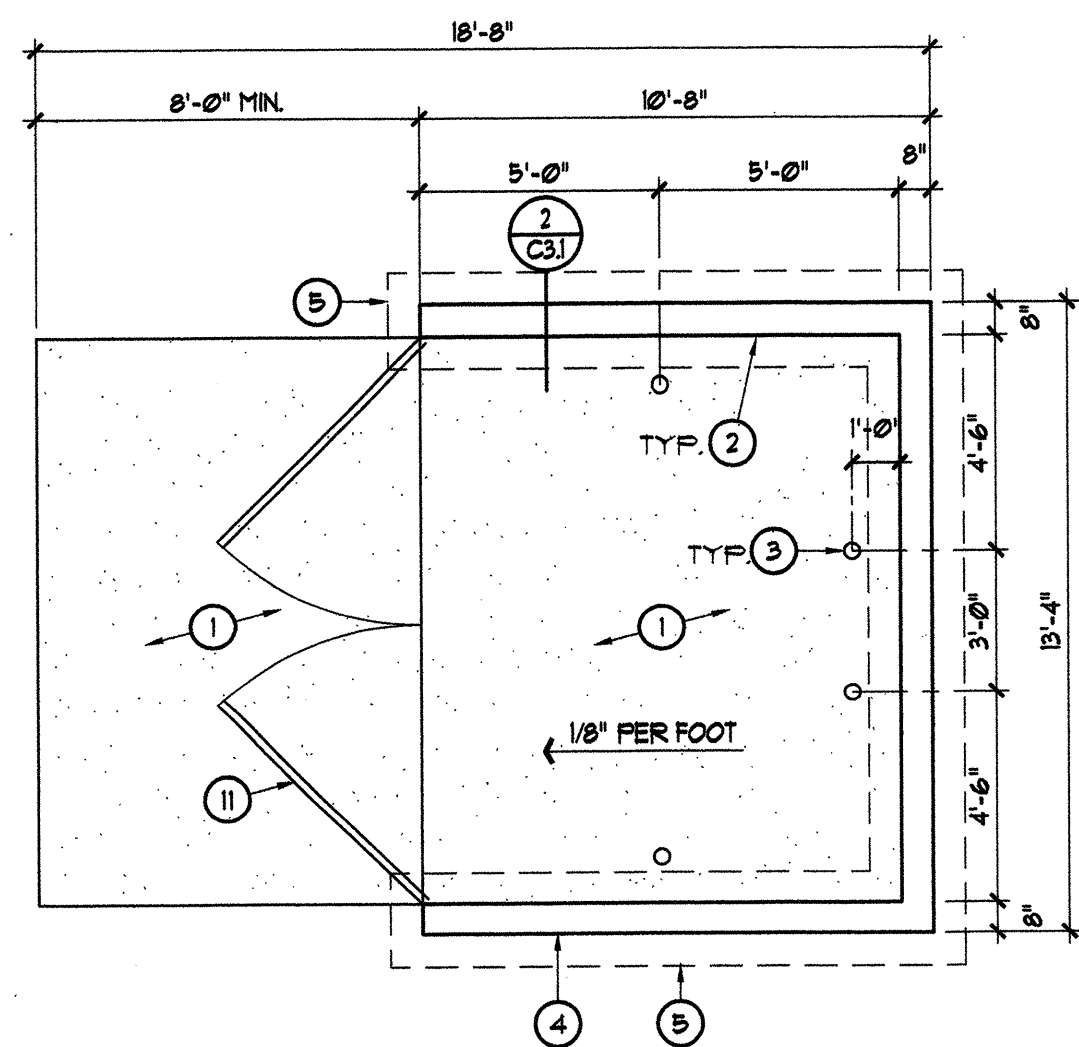
EXISTING APARTMENTS



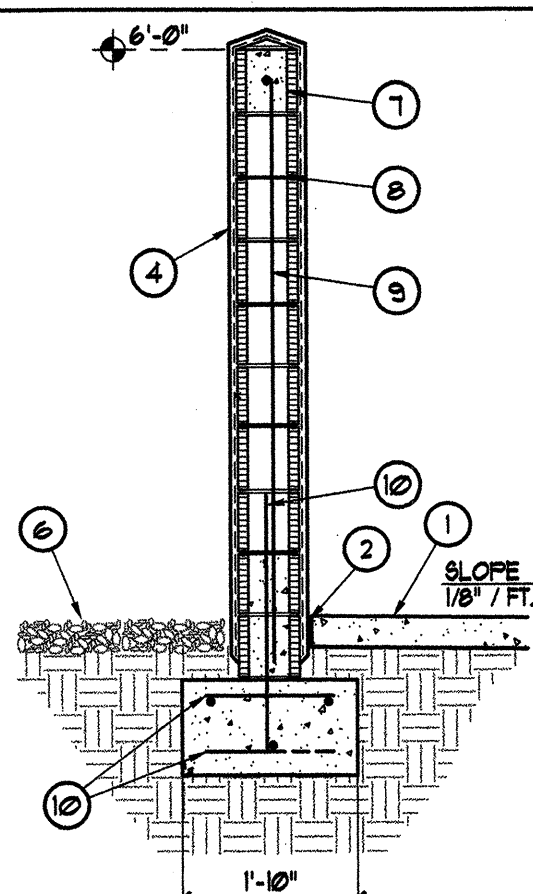
PROPOSED SITE PLAN

SCALE: 1" = 20'-0"

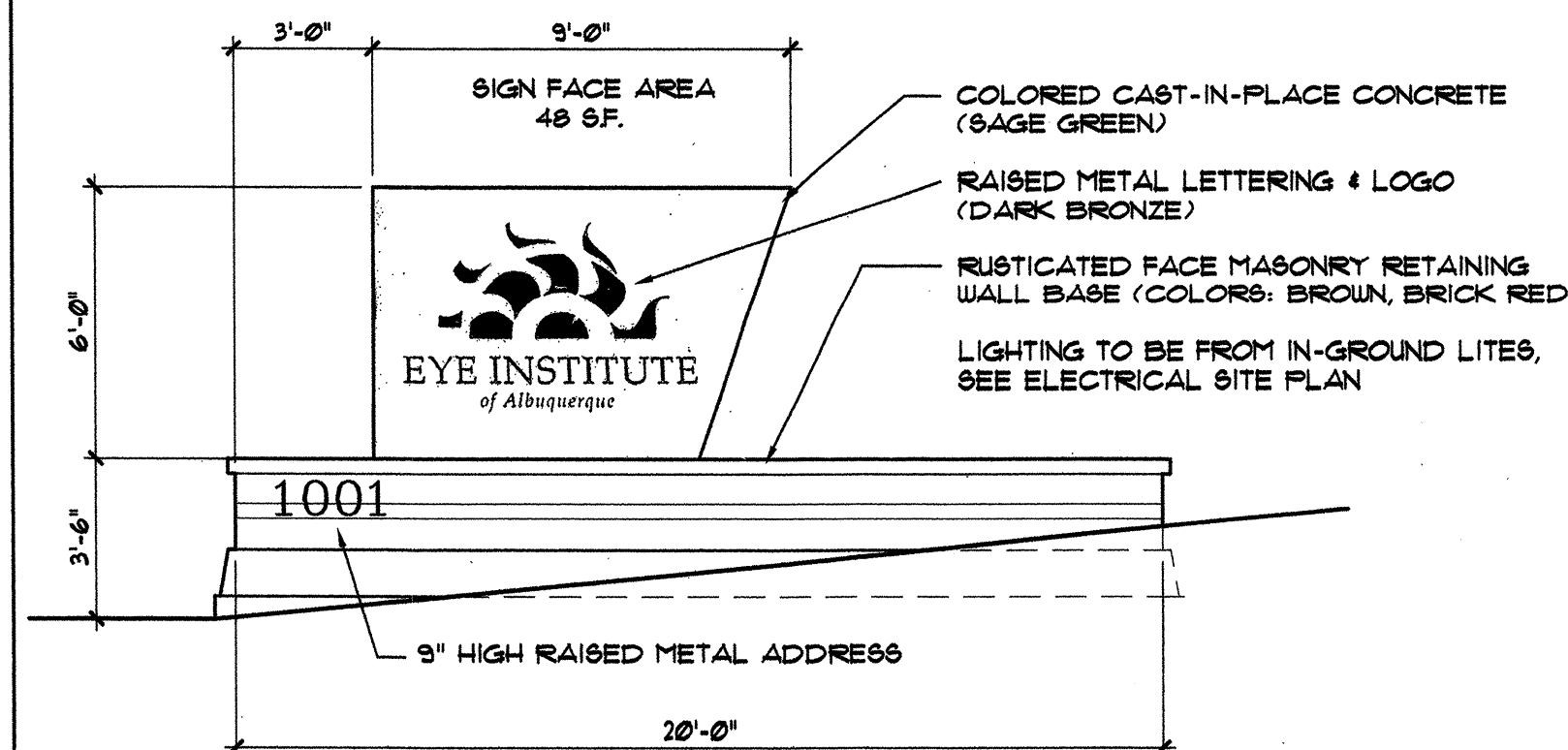
THE REFUSE ENCLOSURE SHALL BE COMPATIBLE IN DESIGN, COLOR AND MATERIAL WITH BUILDING ARCHITECTURE.



1 REFUSE ENCLOSURE
SCALE: 1/4" = 1'-0"



2 SECTION
REFUSE ENCLOSURE
SCALE: 1/2" = 1'-0"



3 MONUMENT SIGNAGE
WITH RETAINING WALL
SCALE: 1/4" = 1'-0"

PROJECT No.: 1000272
CASE NUMBER: 00128-00000-01521
THIS PLAN IN CONSENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON DECEMBER 21, 2000; AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION HAVE BEEN COMPLETED:

SITE DEVELOPMENT PLAN

CHAIR, DEVELOPMENT REVIEW BOARD
DATE 3/5/01

TRANSPORTATION DEV.
DATE 1/24/01

UTILITY DEV.
DATE 2/27/01

PARKS AND RECREATION
DATE 2/27/01

CITY ENGINEER
DATE 3/2/01

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

SOLID WASTE DEPARTMENT
DATE 3/2/01

AFD PLANS CHECKING OFFICE
824-3611
APPROVED/DISAPPROVED
SIGNATURE & DATE

INDEX OF DRAWINGS

C3.1	SITE PLAN
C1.1	GRADING & DRAINAGE PLAN
L1.1	LANDSCAPE PLAN
A1.1	FLOOR PLAN
A4.1	BUILDING ELEVATIONS
E 1	ELECTRICAL SITE PLAN
E 2	ELECTRICAL DETAILS & SCHEDULES

ALBUQUERQUE EYE INSTITUTE
AND SURGERY CENTER

Martin Luther King Jr. Ave.
Albuquerque, New Mexico

proj. no.: 9906
acad file: 9906C31
date: 1-16-01

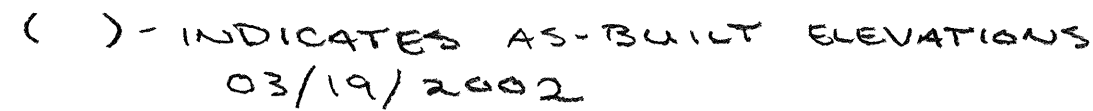
SITE PLAN
SCHEMATIC DESIGN

C3.1

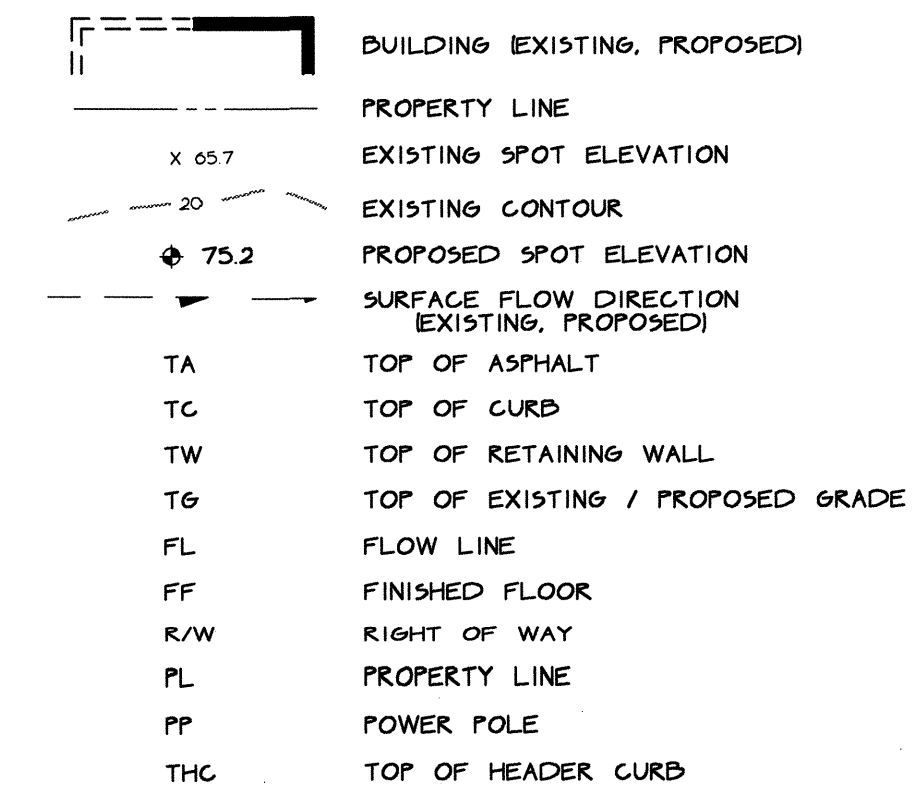
C.O.A. 664281

STATE OF NEW MEXICO
GREGORY TYLER
HICKS
No. 1230
REGISTERED ARCHITECT
2/13/01

GREGORY T. HICKS & ASSOC., P.C.
ARCHITECTS • PLANNERS
The Sunshine Building
Albuquerque, New Mexico 87102
(505) 243-7492 Fax (505) 243-1106
DESIGNING TODAY DESIGNING TOMORROW.

$$1'' = 20'$$


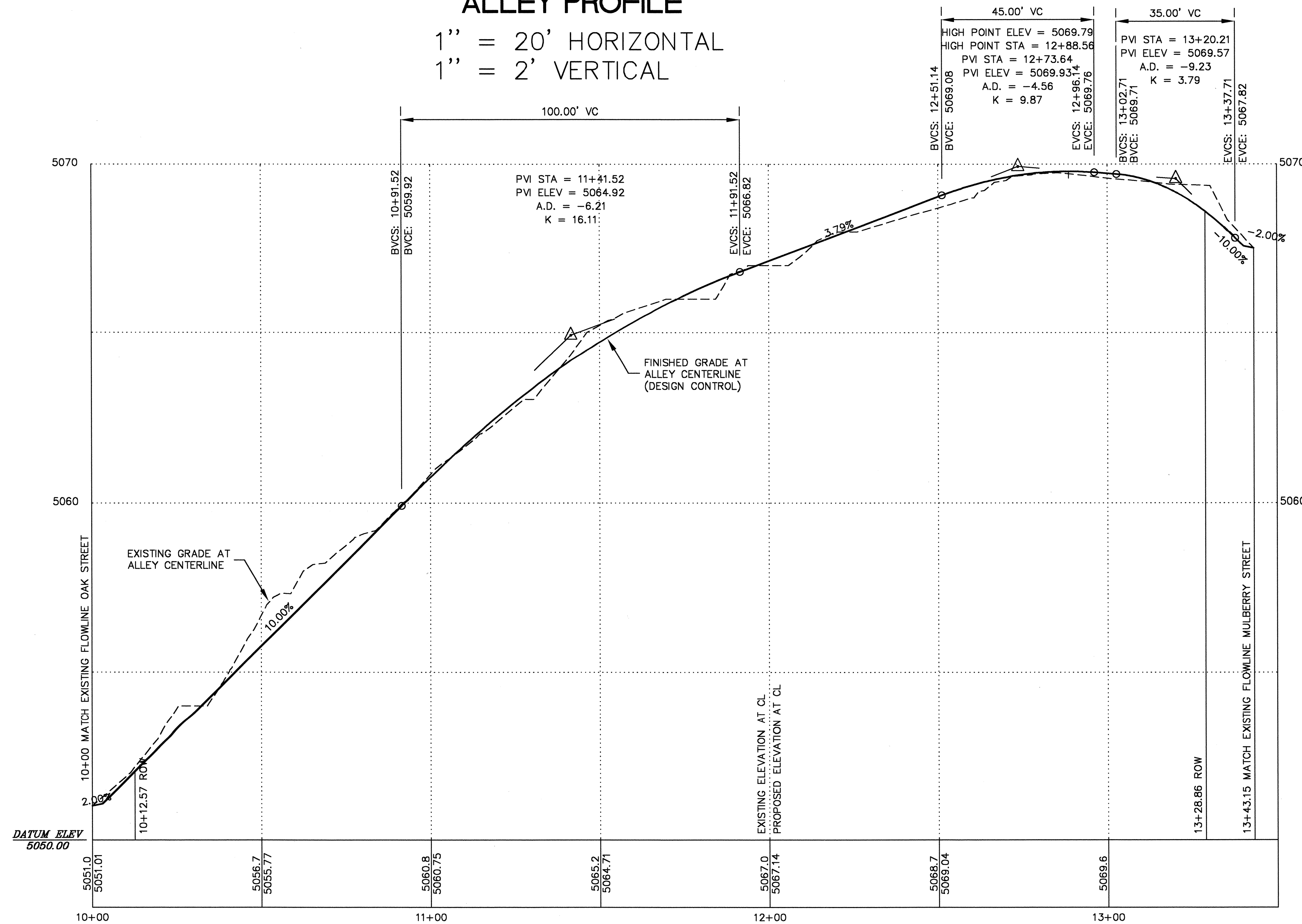
As-built verification, as indicated hereon, is based on field surveying performed March 19, 2002, and does not include underground improvements.



KEYED NOTES

- ① PROJECT BASIS OF BEARINGS IS WEST PROPERTY LINE. REFER TO PLAT.
- ② ALLEY STA 10+00 IS LOCATED N 42°06'49" W, 16.10' FROM NW PROPERTY CORNER.
- ③ T.B.M. = WEST BONNET BOLT ELEVATION OF EXISTING FIRE HYDRANT LOCATED ON MARTIN LUTHER KING JR. AVENUE WEST OF MULBERRY ST. ELEVATION = 5062.56 MSLD NOTE: CONTRACTOR TO REESTABLISH CONSTRUCTION BENCHMARKS AS REQUIRED.
- ④ CONSTRUCT 20'-WIDE RESIDENTIAL ALLEY PER C.O.A. STD. DWG. 2411 AS SHOWN FROM OAK STREET TO MULBERRY STREET. PROVIDE 2' WIDE CONCRETE ALLEY GUTTER AT CENTERLINE PER C.O.A. STD. DWG. 2415. SEE C.O.A. STD. DWG. 2405 FOR PAVEMENT SECTION. PROVIDE 2.4% INVERTED CROWN WITH NO-CROWN AREAS STA 10+12 TO 10+37 AND 13+04 TO 13+29.
- ⑤ PROVIDE 6" x 18" PCC CUTOFF WALL AT NORTH EDGE OF NEW ASPHALT ALLEY PAVING.
- ⑥ BUTT NEW ASPHALT PAVING UP TO BASE OF RETAINING WALL ON SOUTH SIDE OF ALLEY. SEE ARCHITECTURAL PLANS FOR ADJACENT EYE CLINIC CONSTRUCTION FOR RETAINING WALL RAIL GUARD.
- ⑦ REMOVE AND DISPOSE 50 LF OF LF CONCRETE CURB RETURN AND 10 SF SIDEWALK.
- ⑧ REMOVE AND DISPOSE 20 LF OF CONCRETE CURB RETURN AND 20 SF SIDEWALK.
- ⑨ CONSTRUCT ALLEY INTERSECTION PER COA STD. DWG. 2428. MATCH EXISTING CURB ELEVATIONS.
- ⑩ REMOVE AND DISPOSE 5 LF OF CONCRETE CURB AND RETURN AND 5 SF SIDEWALK.
- ⑪ CONSTRUCT ALLEY INTERSECTION PER COA STD. DWG. 2428. REVISE CONSTRUCTION TO ACCOMMODATE SOUTH CURB RETURN/WHEELCHAIR RAMP PREVIOUSLY APPROVED WITH PROJECT SITE PLAN. MATCH EXISTING CURB ELEVATIONS.
- ⑫ EXISTING UTILITIES LOCATED WITHIN ALLEY INCLUDE UNDERGROUND GAS / CABLE TV AND OVERHEAD UTILITIES. IN ADDITION, FOUR (4) EXISTING POWER POLES WITH ASSOCIATED GUY WIRES ARE TO REMAIN. CONTRACTOR TO PAVE AROUND EXISTING POLES AND ADJUST ANY UTILITY FIXTURES (VALVES, ETC.) TO NEW GRADES AS REQUIRED.
- ⑬ REGRADE NORTH ALLEY ENTRANCES TO MATCH NEW GRADE AT BACK OF NEW HEADER CURB.

1'' = 20' HORIZONTAL
1'' = 2' VERTICAL



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AS-BUILT INFORMATION	CONTRACTOR	<i>Franklin Fellowship</i>
WORK	INSTALLED BY	<i>Forshawer, Inc. 2002</i>
INSPECTOR'S	FIELD "WANCE" BY	<i>P. Jaramilla DATE 2002</i>
REVISION	REVISION/NOTED BY	<i>P. Jaramilla DATE 2002</i>
DRAWINGS	DATE	<i>Forshawer, Inc. DATE 4/6/02</i>
MICRO-FILM INFORMATION	RECORDED BY	DATE
NO.		

<i>BENCH</i>	<i>MARKS</i>
CITY OF ALBUQUERQUE 1-25-26. A BRASS CAP LOCATED IN THE NORTHWEST QUADRANT OF THE INTERSECTION OF 1-25 AND MARTIN LUTHER KING JR. AVENUE. ELEVATION = 5068.8 MSLD (1929) - NAVD	

[illegible]

CHRISTOPHER L. McLESKEY
NEW MEXICO
8653
5-31-01
REGISTERED PROFESSIONAL ENGINEER

NO.		DATE	REMARKS	BY
REVISIONS				
DESIGN				
DESIGNED BY	SOC	DATE	04/01	
DRAWN BY	SOC	DATE	04/01	
CHECKED BY	CW	DATE	04/01	




C.L.WEISS ENGINEERING, INC.

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1100 ALVARADO DR. NE ALBUQUERQUE, N.M. 87110 - (505) 266-3444

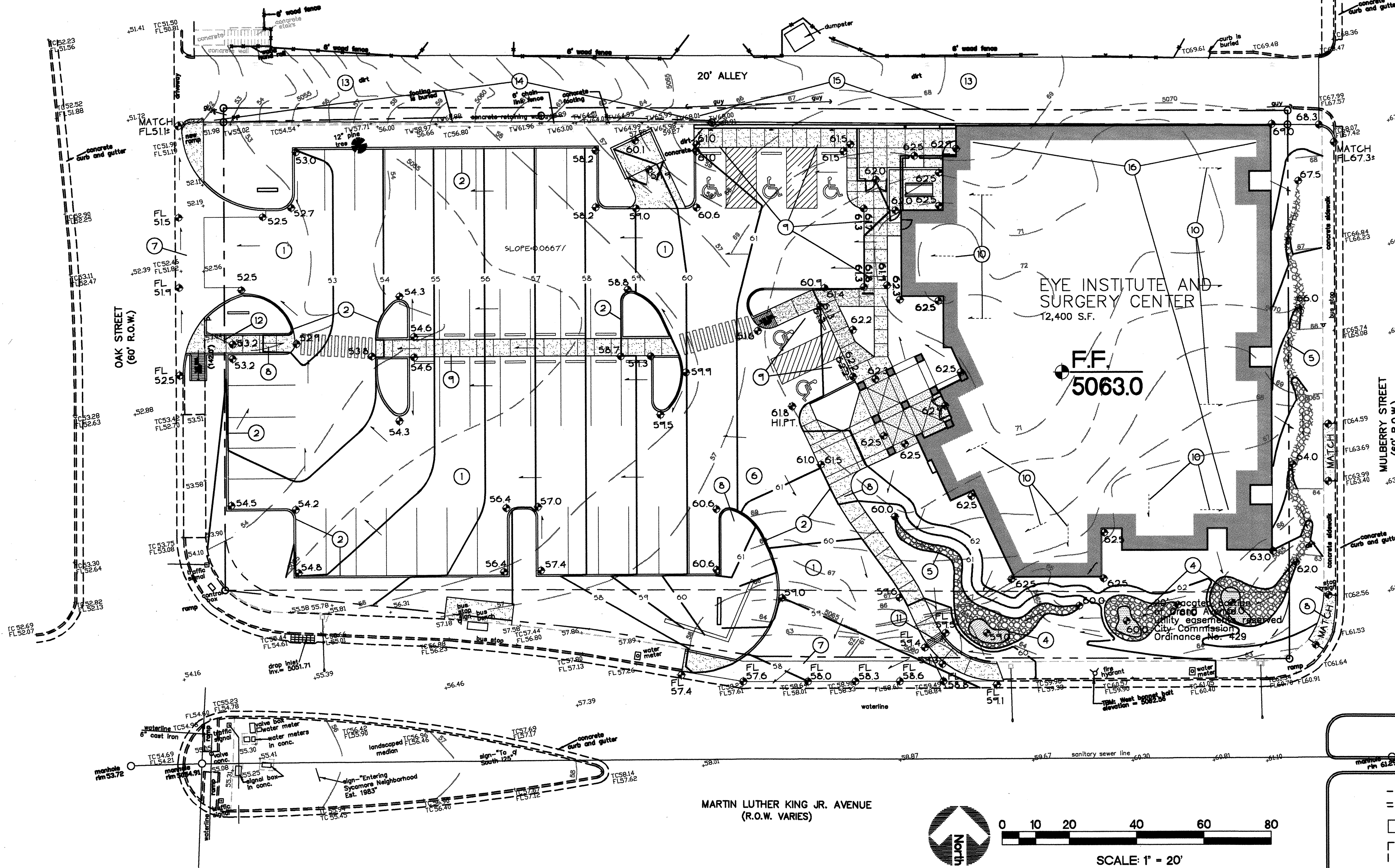
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE:	ALBUQUERQUE EYE INSTITUTE ALLEY PLAN / PROFILE
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Design Review Committee APPROVED JUN 14 2011 DESIGN REVIEW COMMITTEE	City Engineer Approval  JUN 14 2011 CITY ENGINEER	Month / Day / Year	Month / Day / Year

City Project No.	664281	Zone Map No.	K-15	Sheet	3	Of	7
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EXISTING APARTMENTS



MARTIN LUTHER KING JR. AVENUE
(R.O.W. VARIES)



0 10 20 40 60 80
SCALE: 1" = 20'

LEGEND

---	SIDEWALK, CURB AND GUTTER (EXISTING, PROPOSED)
---	PROPOSED PAVED DRIVE
---	BUILDING EXISTING, PROPOSED
---	PROPERTY LINE
+ 05.7	EXISTING SPOT ELEVATION
20	EXISTING CONTOUR
+ 75.2	PROPOSED SPOT ELEVATION
30	PROPOSED CONTOUR
---	SURFACE FLOW DIRECTION (EXISTING, PROPOSED, ROOF)
LA	LANDSCAPED AREA
TGW	TOP OF GRADE WALL (< 18" HIGH)
TRW	TOP OF RETAINING WALL (> 18" HIGH)
TA	TOP OF ASPHALT
TC	TOP OF CURB
FL	FLOW LINE
FF	FINISHED FLOOR
R/W	RIGHT OF WAY
PL	PROPERTY LINE
PP	POWER POLE
▲	ENTRY / EXIT LOCATION

SCOPE

The proposed improvements include an approx. 12,500 sf. Commercial building with associated asphalt parking, walks and landscaped areas. The site is a previously developed commercial property located at the corner of Martin Luther King Ave. (to the west) and Oak Street (to the south) in Albuquerque, New Mexico. Mulberry Street borders the property to the east and an existing alley / apartment complex borders the property to the north. The existing development has been demolished and removed except for a retaining wall which borders the alley on the north.

DRAINAGE PLAN CONCEPT

Per the approved Conceptual Drainage / Grading plan: Prior to the proposed development, this property was approximately 50% residential, with a gas station on the remaining portion of the property. The historic discharge rate from the property was calculated with 100% of the gas station property defined as Treatment 'D' and the residential property defined as 50% Treatment 'B' and 50% Treatment 'D'. Calculations for the 100-year, 6-hour storm event show an increase in flow due to development of 0.1 cfs. This increase does not take into account the proposed water harvesting areas located within the landscaping which will serve to lower the total site discharge to less than previously developed discharge rates.

The site will free discharge flows to adjacent streets with the majority of flows draining west to Oak Street (approx. 4 cfs) to enter existing storm drain inlets north of the site and the remainder draining south to Martin Luther King Ave. (approx. 0.7 cfs) to an existing storm drain inlet located at the southwest corner of the property.

The intent of this plan is to show:

- * Grading relationships between the existing ground elevations and proposed finished elevations in order to facilitate positive drainage to designated discharge points.
- * The extent of proposed site improvements, including buildings, walks and pavement.
- * The flow rate/volume of rainfall runoff across or around these improvements and methods of handling these flows to meet City of Albuquerque requirements for drainage management.
- * The relationship of on-site improvements with existing neighboring property to insure an orderly transition between proposed and surrounding grades.

GENERAL NOTES

LEGAL: Lots 13 thru 24, Block 9, Crossan & Kennedy Addition, Albuquerque, New Mexico

SURVEYOR: Forstbauer Surveying - Ron Forstbauer - 268-2112

B.M.: Benchmark: City of Albuquerque I-25-26. A brass cap located in the Northwest quadrant of the intersection of I-25 and Martin Luther King Jr. Avenue. Elevation = 5068.8 MSLD

T.B.M.: West bonnet bolt elevation of existing Fire Hydrant located on Martin Luther King Jr. Avenue west of Mulberry St. Elevation = 5062.56 MSLD

OFF-SITE DRAINAGE: No off-site drainage affects this property.

FLOOD HAZARD: Per Bernalillo County FIRM Map #334 (see plan), the site is not located within a flood zone.

EROSION CONTROL: The contractor is responsible for retaining on-site all sediment generated during construction by means of temporary earth berms or silt fences at the low points on the west and north property lines.

GENERAL NOTES

- ALL SPOT ELEVATIONS REFERENCE TOP OF PAVING UNLESS NOTED OTHERWISE. ADD 0.5' FOR ON-SITE TOP OF CURB / TOP OF WALK DATA. (TYPICAL)
- SEE ARCHITECTURAL PLANS FOR ALL HANDICAP RAMP LOCATIONS.
- SEE ARCHITECTURAL PLANS FOR SITE DEMOLITION INFORMATION.
- ALL RIP-RAP TO BE MIN. 6" DIA. ANGULAR RIP RAP.

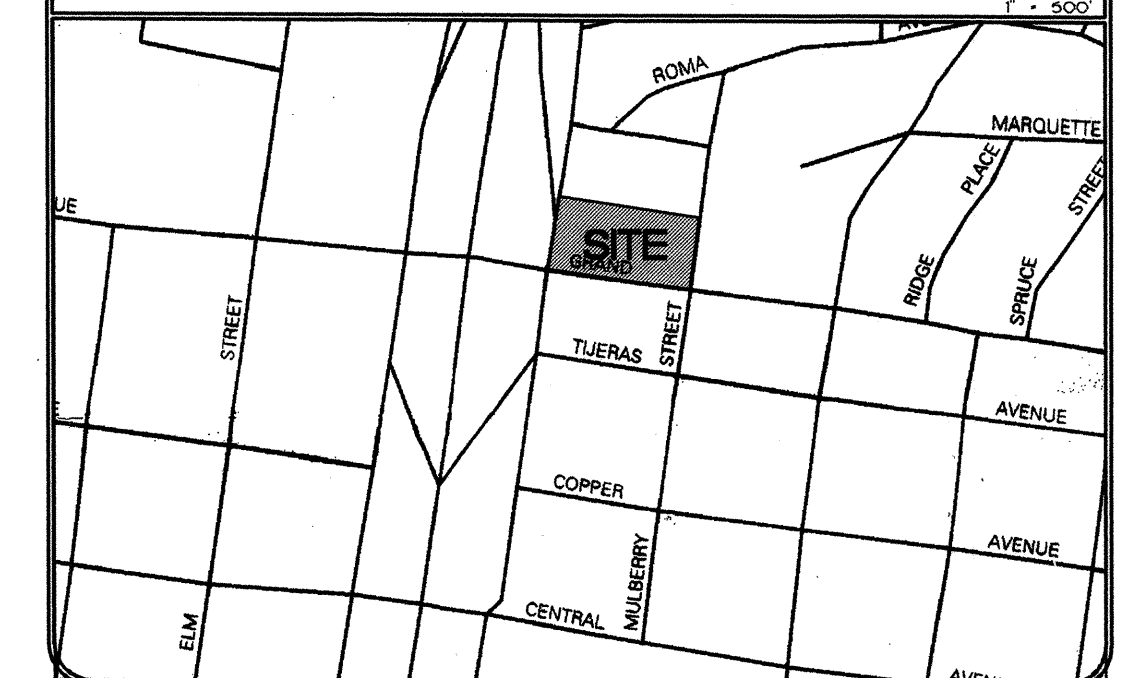
KEYNOTES

- PROPOSED ASPHALT PAVING. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION REGARDING PARKING LAYOUT, DIMENSIONS, STRIPING, ETC.
- CONSTRUCT CONCRETE HEADER CURB AS NOTED. SEE ARCHITECTURAL FOR DETAIL.
- NOT USED
- CONSTRUCT WATER HARVESTING AREA INTEGRATED WITH LANDSCAPING TO CAPTURE SITE / ROOF FLOWS. UTILIZE FOR LANDSCAPING AND RELEASE EXCESS AS SHEETFLOW. NOTE: DO NOT LOCATE WITHIN 10' OF PROPOSED BUILDING. SEE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
- PROVIDE 2' WIDE SHALLOW COBBLE LINED SWALES WITHIN LANDSCAPED AREAS TO DIRECT FLOWS TO WATER HARVESTING AREAS AS SHOWN. SEE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
- PAVING / LANDSCAPING HIGH POINT THIS AREA.
- CONSTRUCT SITE ENTRANCE PER C.O.A. STANDARDS. MATCH EXISTING FLOWLINE ELEVATIONS TO PROVIDE A SMOOTH RIDING TRANSITION. CONSTRUCT CONCRETE VALLEY GUTTER / HANDICAP RAMPS MATCHING EXISTING TOP OF WALK / FLOWLINE ELEVATIONS. SEE ARCHITECTURAL FOR DIMENSIONS / DETAILS / DEMOLITION OF EXISTING CURBS.
- CONSTRUCT CONCRETE WALK THIS AREA AT GRADES SHOWN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
- CONSTRUCT CONCRETE WALK FLUSH WITH ASPHALT PAVING THIS AREA FOR ACCESSIBILITY.
- ROOF FLOWS TO BE RELEASED TO GRADE. PROVIDE COBBLE SWALE TO DIRECT FLOWS TO WATER HARVESTING AREAS AS SHOWN. SEE ARCHITECTURAL FOR SPECIFIC OUTFALL POINTS. NOTE: NO ROOF FLOWS WILL DRAIN NORTH TO ADJACENT ALLEY.
- CONSTRUCT 1' WIDE SIDEWALK CULVERT AT ELEVATIONS SHOWN. CONSTRUCT PER C.O.A. DETAILS / SPECIFICATIONS.
- TRANSITION WALK THIS AREA TO PROVIDE SMOOTH TRANSITION TO PROPOSED ACCESSIBLE RAMP.
- PROPOSED ALLEY GRADES WILL BE SUBMITTED TO C.O.A. FOR APPROVAL. GRADES WILL APPROX. MATCH EXISTING GRADES. AN ALLEY GUTTER WILL BE CONSTRUCTED DOWN THE CENTER OF THE ALLEY TO DIRECT FLOWS TO OAK STREET.
- EXISTING RETAINING WALL TO REMAIN
- CONSTRUCT RETAINING WALL FROM END OF EXISTING RETAINING WALL TO BUILDING CORNER TO ACHIEVE GRADE DIFFERENCES SHOWN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION (DESIGN BY OTHERS).
- CONSTRUCT BUILDING RETAINING WALL ON NORTH AND EAST SIDES TO ACHIEVE GRADE DIFFERENCES SHOWN. DESIGN BY OTHERS.

VICINITY MAP #K-15



FIRM MAP #334



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ALBUQ. EYE INSTITUTE
& SURGERY CENTER

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DRAINAGE AND
GRADING PLAN

C.I.I.

C.O.A. 664281

CONSTRUCTION TRAFFIC CONTROL GENERAL NOTES

1. CONTRACTOR MUST OBTAIN FROM CONSTRUCTION COORDINATION AN EXCAVATION/BARRICADING PERMIT BEFORE ENGAGING IN ANY CONSTRUCTION, MAINTENANCE OR REPAIR WORK IN ANY OF THE CITY OF ALBUQUERQUE'S RIGHTS-OF-WAY. EMERGENCY WORK THAT WOULD PRESERVE LIFE OR PROPERTY IS EXCLUDED WITH THE UNDERSTANDING, THAT A PERMIT SHALL BE OBTAINED WITHIN 24 TO 48 HOURS.
2. CONTRACTOR SHALL AT THE TIME OF PERMIT REQUEST, SUBMIT FOR APPROVAL BY CONSTRUCTION COORDINATION, A TRAFFIC CONTROL PLAN DETAILING ALL EXISTING TOPOGRAPHY SUCH AS LANE WIDTHS, DRIVEWAYS, AND BUSINESS/RESIDENTIAL ACCESSES. THE TRAFFIC CONTROL PLAN SHALL INCLUDE ALL PHASES OF WORK AND SCHEDULES INVOLVED IN THE CONSTRUCTION PROJECT. ANY SEPARATE PHASES OF A CONSTRUCTION PROJECT SHALL BE GIVEN AN INDIVIDUAL PERMIT EACH. BLANKET PERMITS WILL NOT BE ISSUED.
3. THESE TYPICAL TRAFFIC CONTROL PLANS DO NOT REFLECT THE EXISTING TOPOGRAPHY SUCH AS DRIVEWAYS, LANE WIDTHS, AND BUSINESS/RESIDENTIAL ACCESSES. EVERY LOCATION THAT REQUIRES CONSTRUCTION TRAFFIC CONTROL SHALL HAVE A DETAILED TRAFFIC CONTROL PLAN SHOWING ALL EXISTING TOPOGRAPHY.
4. CONSTRUCTION SHALL NOT BEGIN UNLESS A TRAFFIC CONTROL PLAN HAS BEEN APPROVED AND VERIFIED BY CONSTRUCTION COORDINATION.
5. CONSTRUCTION COORDINATION SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY TRAFFIC CONTROL CHANGES NEEDED BY CONTRACTOR, THAT WERE NOT PREVIOUSLY APPROVED. THESE TRAFFIC CONTROL CHANGES SHALL BE REQUESTED IN WRITING ACCOMPANIED WITH A TRAFFIC CONTROL PLAN REFLECTING SUCH CHANGES.
6. ALL CONSTRUCTION TRAFFIC CONTROL DEVICES SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL, SERVICE AND MAINTAIN ALL TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL DEVICES SHALL NOT BE REMOVED OR ALTERED IN ANY WAY WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION, PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.
7. THE CONSTRUCTION TRAFFIC CONTROL INITIAL SET-UP SHALL BE BY AN AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA) CERTIFIED WORKSITE TRAFFIC SUPERVISOR. THE MAINTENANCE AND SERVICING SHALL ALSO BE DONE BY AN ATSSA CERTIFIED WORKSITE TRAFFIC SUPERVISOR OR EQUIVALENT.
8. CONTRACTOR IS RESPONSIBLE TO MAINTAIN AND SERVICE ALL TRAFFIC CONTROL DEVICES 24 HOURS A DAY, 7 DAYS A WEEK THROUGHOUT LENGTH OF PROJECT. CONTRACTOR IS RESPONSIBLE THAT ALL TRAFFIC CONTROL DEVICES COMPLY WITH THE MUTCD, LATEST EDITION.
9. ALL ADVANCE WARNING SIGNS SHALL BE DOUBLE INDICATED WHENEVER THERE ARE MULTI-LANE TRAFFIC IN ANY ONE GIVEN DIRECTION AND THERE IS SUFFICIENT MEDIAN SPACE.
10. ALL BARRICADES IN ALL TAPERS AND TANGENTS SHALL BE PLACED APART, A DISTANCE MEASURED IN FEET, EQUAL TO THAT OF THE POSTED SPEED LIMIT. NO EXCEPTIONS UNLESS APPROVED BY CONSTRUCTION COORDINATION PER MUTCD SECTION 6A-4.
11. ALL WORK IN ARTERIAL ROADWAYS SHALL BE ON A CONTINUOUS 24-HOUR PER DAY BASIS UNTIL COMPLETED.
12. CONTRACTOR IS RESPONSIBLE TO PROVIDE CONSTRUCTION COORDINATION, A WEEKLY LOG OF DAILY INSPECTIONS OF BARRICADE AND MAINTENANCE SCHEDULES ON PROJECTS THAT ARE OVER ONE WEEK DURATION.
13. EQUIPMENT OR MATERIALS SHALL NOT BE STORED WITHIN 15 FEET OF A TRAVELLED TRAFFIC LANE DURING NON-WORKING HOURS WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION.
14. CONTRACTOR SHALL PROVIDE AND MAINTAIN A SAFE AND ADEQUATE MEANS OF CHANNELIZING PEDESTRIAN TRAFFIC AROUND AND THROUGH THE CONSTRUCTION AREA.
15. CONTRACTOR IS RESPONSIBLE FOR OBLITERATION OF ANY CONFLICTING STRIPING AND RESPONSIBLE FOR ALL TEMPORARY STRIPING.
16. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES, BUSINESSES AND/OR RESIDENTS AT ALL TIMES.
17. CONTRACTOR SHALL PROVIDE ACCESS SIGNS FOR BUSINESSES LOCATED WITHIN THE CONSTRUCTION AREA UNDER THE SUPERVISION OF CONSTRUCTION COORDINATION. EACH ACCESS SIGN SHALL HAVE 5 INCH, WHITE OPAQUE LETTERING ON BLUE REFLECTORIZED BACKGROUND. ACCESS SIGNS SHALL BE CONSIDERED INCIDENTAL TO THE BID AND NOT PART OF THE CONTRACT UNLESS OTHERWISE STATED. NO MORE THAN 3 BUSINESSES SHALL BE LISTED ON A ACCESS SIGN. SHOPPING CENTERS AND MALLS SHALL BE LISTED AS SUCH.
18. ALL ADVANCE WARNING SIGNS SHALL MEET THE MINIMUM REFLECTIVE INTENSITY REQUIREMENTS SET FORTH BY THE CITY OF ALBUQUERQUE. CONSTRUCTION COORDINATION SHALL DETERMINE ALL REQUIREMENTS AND APPROVE OR DISAPPROVE ANY ADVANCE WARNING SIGN PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.
19. 48 HOURS PRIOR TO OCCUPYING OR CLOSING OF A RIGHT-OF-WAY, CONTRACTOR SHALL NOTIFY: POLICE, FIRE DEPARTMENT, SCHOOLS, HOSPITALS, TRANSIT AUTHORITY, BUSINESSES AND/OR RESIDENTS THAT WILL BE AFFECTED BY THE CONSTRUCTION.
20. ANY FIELD ADJUSTMENTS SHALL BE APPROVED BY CONSTRUCTION COORDINATION.

21. EXCAVATIONS SHALL BE PLATED, TEMPORARILY PATCHED OR RESURFACED PRIOR TO OPENING OF TRAFFIC. A MINIMUM OF 11 FEET SHALL BE PROVIDED FOR TRAFFIC IN ANY GIVEN DIRECTION. CONTRACTOR IS RESPONSIBLE FOR ANY WORK INVOLVED IN SATISFYING THESE REQUIREMENTS.

22. CONTRACTOR SHALL AT ALL TIMES COMPLY WITH THE FOLLOWING:
1. STANDARDS AND REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 2. THE CITY OF ALBUQUERQUE TRAFFIC CODE, LATEST EDITION.
 3. SECTION 19 OF THE CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTION, AS WELL AS OTHER SECTIONS.

23. FAILURE TO COMPLY WITH ANY OF THE ABOVE MENTIONED, WILL BE ADEQUATE CAUSE TO CEASE ALL WORK ON ANY CONSTRUCTION PROJECT. WORK WILL NOT RESUME UNTIL ALL REQUIREMENTS ARE ADDRESSED AND APPROVED BY CONSTRUCTION COORDINATION.

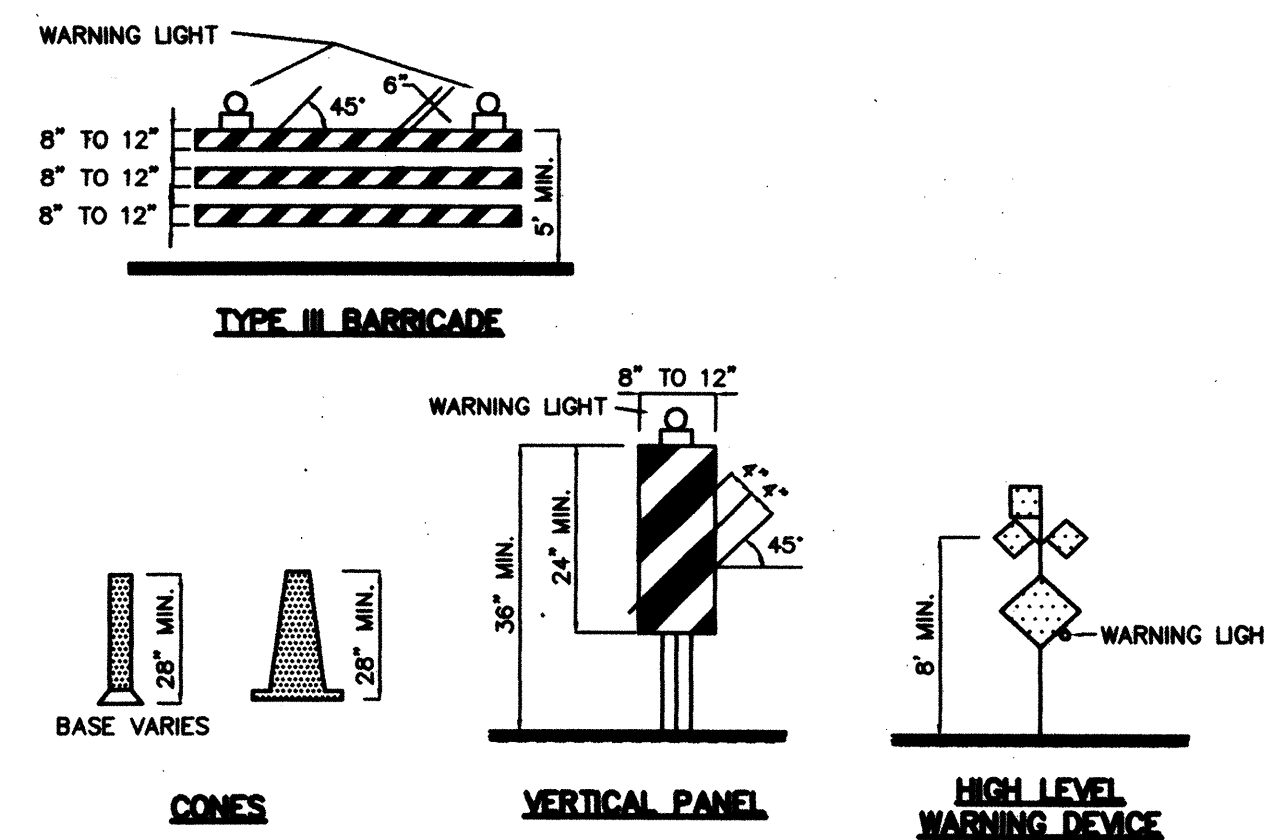
24. ALL TRAFFIC CONTROL DEVICES SHALL BE KEPT IN NEW-CLEAN CONDITION. WASHING OF EQUIPMENT IS INCIDENTAL TO IT'S PLACEMENT AND MAINTENANCE.

25. TRAFFIC CONTROL STANDARDS APPLY ONLY WHERE THE CONSTRUCTION TRAFFIC CONTROL PLANS ARE NOT SPECIFIC.

26. ADVANCE WARNING SIGNS SHALL BE 36"x36" MIN. WITH SUPER ENGINEERING GRADE SHEETING OR BETTER. MOUNTING HEIGHT AT TOP OF SIGN SHALL BE THE SAME AS FOR A 48" SIGN AS INDICATED IN THE M.U.T.C.D.

27. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORKSITE. ALL GRAFFITI SHALL BE PROMPTLY REMOVED FROM ALL EQUIPMENT, BOTH PERMANENT AND TEMPORARY.

The CONTRACTOR shall coordinate with all adjacent property owners and the Solid Waste Department prior to closing the alley.



TAPER REQUIREMENTS

SPEED LIMIT (MPH)	TAPER LENGTH (L) (FEET)			MINIMUM NUMBER OF DEVICES FOR TAPER	MAXIMUM DEVICE SPACING IN FEET	
	10' LANE	11' LANE	12' LANE		ALONG TAPER	AFTER TAPER
20	70	75	80	5	20	20
25	105	115	125	6	25	25
30	150	165	180	7	30	30
35	205	225	245	8	35	35
40	270	295	320	9	40	40
45	450	495	540	13	45	45
50	500	550	600	13	50	50
55	550	605	660	13	55	55

RECOMMENDED SIGN SPACING(D) FOR ADVANCE WARNING SIGN SERIES

SPEED LIMIT (MPH)	MINIMUM DISTANCE IN FEET	
	BETWEEN SIGNS	FROM LAST SIGN TO TAPER
0-20	10 X SPEED LIMIT	10 X SPEED LIMIT
25-30	10 X SPEED LIMIT	10 X SPEED LIMIT
30-35	10 X SPEED LIMIT	10 X SPEED LIMIT
40-45	10 X SPEED LIMIT	10 X SPEED LIMIT
50-60	10 X SPEED LIMIT	10 X SPEED LIMIT

TAPER CRITERIA

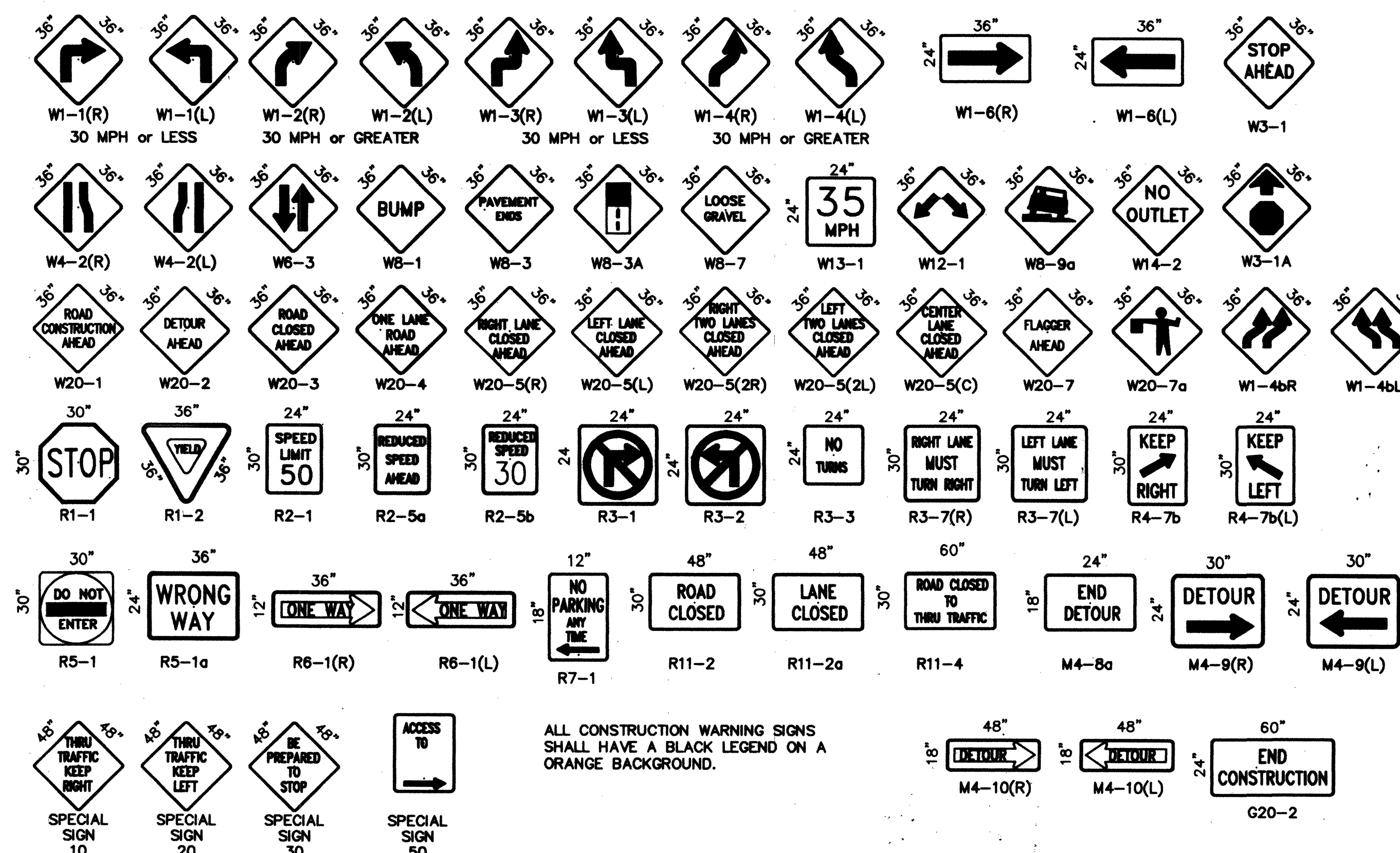
TYPE OF TAPER	TAPER LENGTH
UPSTREAM TAPER:	
Merging Taper	L MINIMUM
Shifting Taper	1/2 L MINIMUM
Shoulder Taper	1/2 L MINIMUM
Two-way Traffic Taper	100 FEET MAXIMUM
DOWNSTREAM TAPERS	100 FEET PER LANE

TAPER LENGTH COMPUTATION

SPEED LIMIT	L =
40 MPH OR LESS	$L = \frac{WS^2}{60}$
45 MPH OR GREATER	$L = W \times S$

L = TAPER LENGTH
W = WIDTH OF OFFSET IN FEET
S = POSTED SPEED OR OFF-PEAK 85-PERCENTILE SPEED IN MPH

SIGN FACE DETAILS

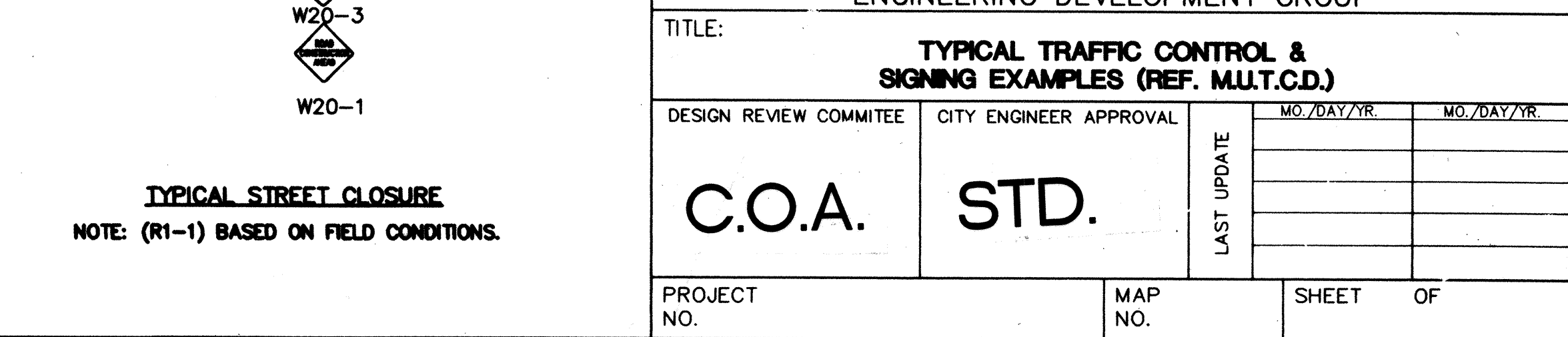
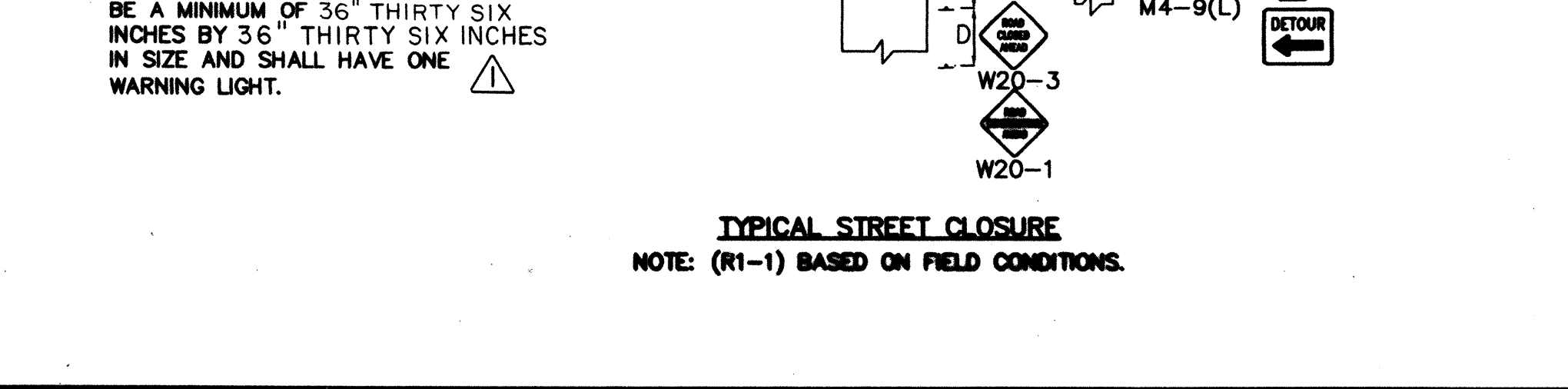
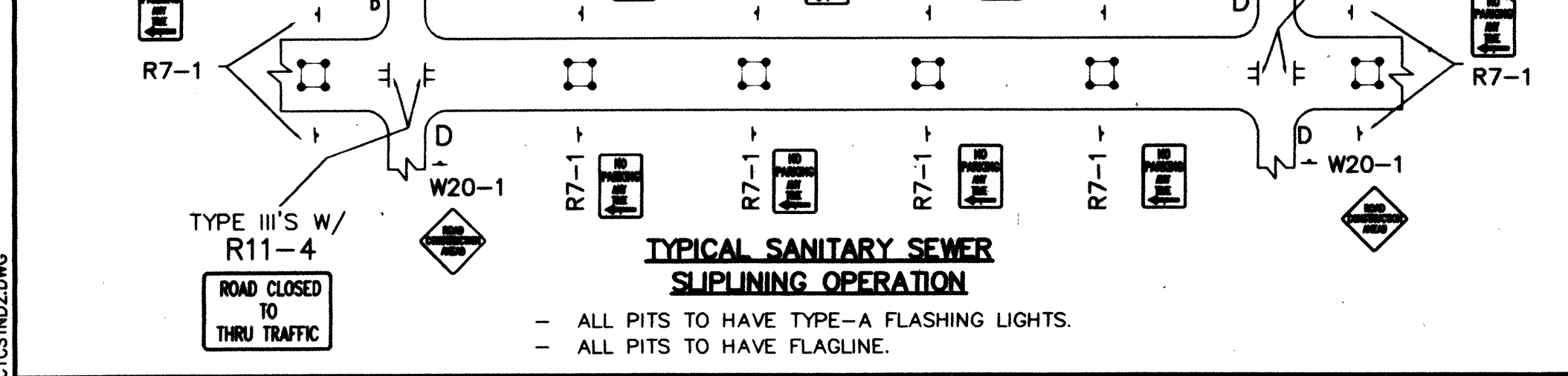


ALL CONSTRUCTION WARNING SIGNS SHALL HAVE A BLACK LEGEND ON A ORANGE BACKGROUND.

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		DESIGNED BY		DRAWN BY		CHECKED BY	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
WORK	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
DESIGNED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
APPROVED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
RECORDED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
TITLE: SIGNING AND CONSTRUCTION TRAFFIC CONTROL STANDARDS	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
C.O.A.	STD.
PROJECT NO.	MAP NO.
SHEET OF	

C.O.A. 664281



PROJECT GROUP		ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
				FIELD NOTES					
				NO.		BY		DATE	
								CONTRACTOR	
								SUSPECTED BY	
								DATE	
								ACCEPTANCE BY	
								DATE	
								FIELD ACCEPTANCE BY	
								DATE	
								DRAWINGS	
								CORRECTED BY	
								DATE	
								MICRO-FILM INFORMATION	
								RECORDED BY	
								DATE	
								NO.	

C.O.A.

STD.

DESIGNED BY		C.O.A. STANDARDS		DATE	
DRAWN BY				DATE	
CHECKED BY				DATE	

MO./DAY/YR

MO./DAY/YR

SHEET

OF