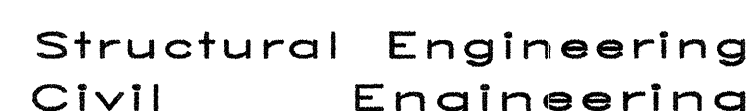


7441 and 7501 PASEO DEL NORTE SEWER and WATERLINE

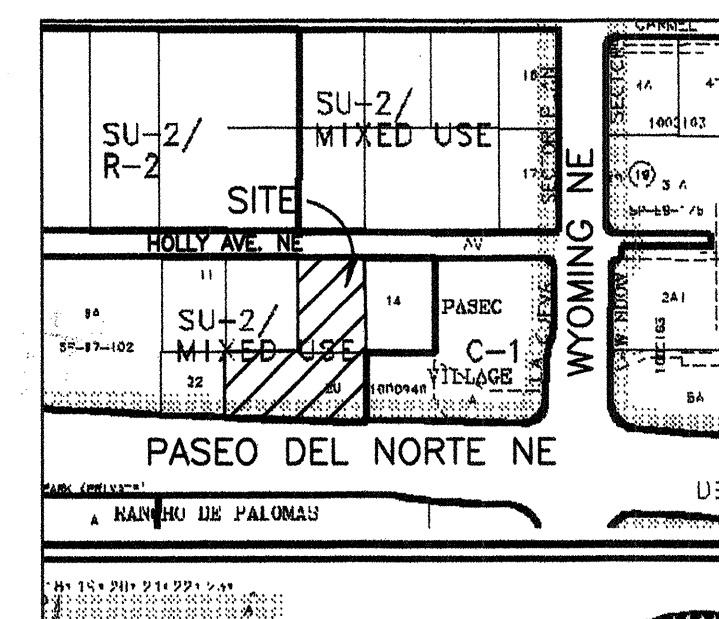
7441 and 7510 Paseo Del Norte NE
ALBUQUERQUE, NEW MEXICO



6100 Indian School Road NE • Suite 210
Albuquerque • New Mexico • 87110
881-3008 • Facsimile 881-4025

INDEX OF DRAWINGS

<u>SHEET</u>	<u>TITLE</u>
1	TITLE SHEET, INDEX, GENERAL NOTES
2	PLAT PLAN – INFORMATION ONLY
3	SITE PLAN – INFORMATION ONLY
4	GRADING AND DRAINAGE PLAN – INFORMATION ONLY
5	MASTER UTILITY PLAN
6	PLAN AND PROFILE "A"
7	PLAN AND PROFILE "B"
8	PLAN AND PROFILE "C"
9	DETAILS
10	TRAFFIC CONTROL DETAILS – FOR INFORMATION ONLY
11	TRAFFIC CONTROL DETAILS – FOR INFORMATION ONLY



VICINITY MAP

C-19-Z

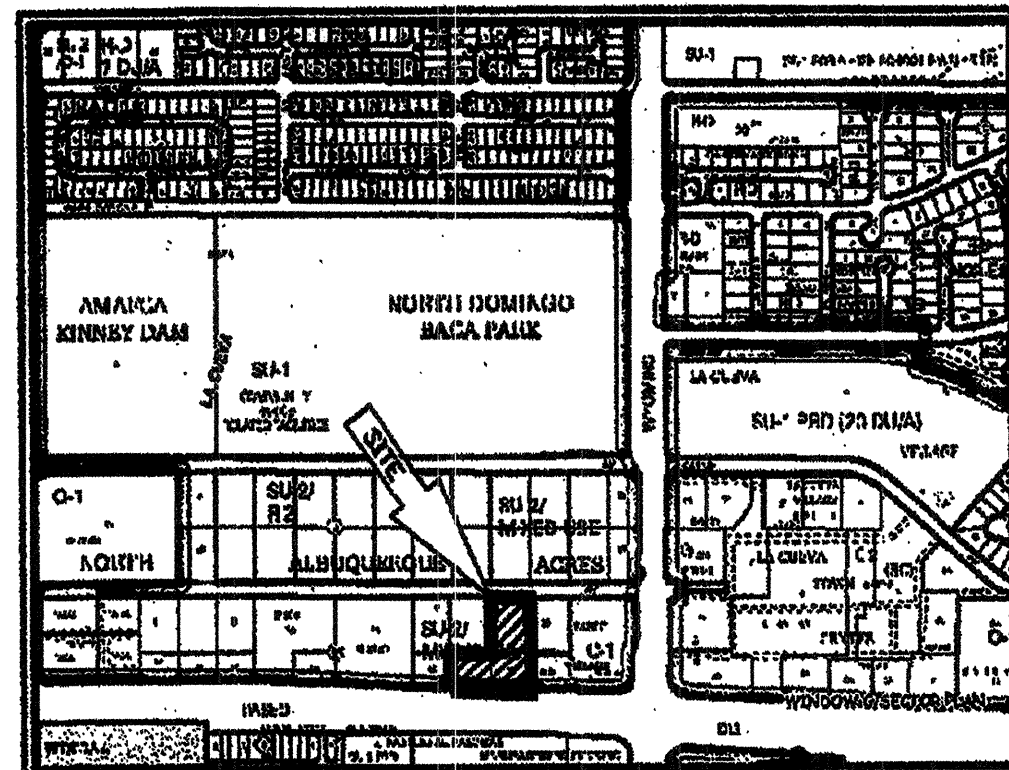
GENERAL NOTES

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 INCLUDING AMENDMENT NO.1.
3. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
6. ALL WORK EFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
7. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY THE CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
8. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
9. CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
10. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OF TEMPORARY.
11. CONTRACTOR SHALL COORDINATE WITH THE ALBUQUERQUE/BERNALILLO COUNTY WATER UTILITY AUTHORITY (857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER OR SEWER UTILITIES. EXISTING VALVES TO BE OPERATED BY ABCWUA PERSONNEL ONLY. CONTRACTOR SHALL CONTACT THE ABCWUA SEVEN (7) WORKING DAYS PRIOR TO NEEDING VALVES TURNED ON OR OFF.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNAGE UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE.
13. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENT, PAVEMENT MARKINGS, CURB AND GUTTER, HANDICAP RAMPS AND SIDEWALK DURING CONSTRUCTION APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE, PER CITY OF ALBUQUERQUE STANDARDS, AT HIS OWN EXPENSE.
14. CONTRACTOR SHALL, AS A PART OF THE AS-BUILTS FOR THIS PROJECT, PROVIDE HORIZONTAL GPS CONTROL DATA TO LOCATE THE NEW GATE VALVE. COMPLETE HORIZONTAL COORDINATES AS INDICATED ONCE THE VALVE IS INSTALLED.

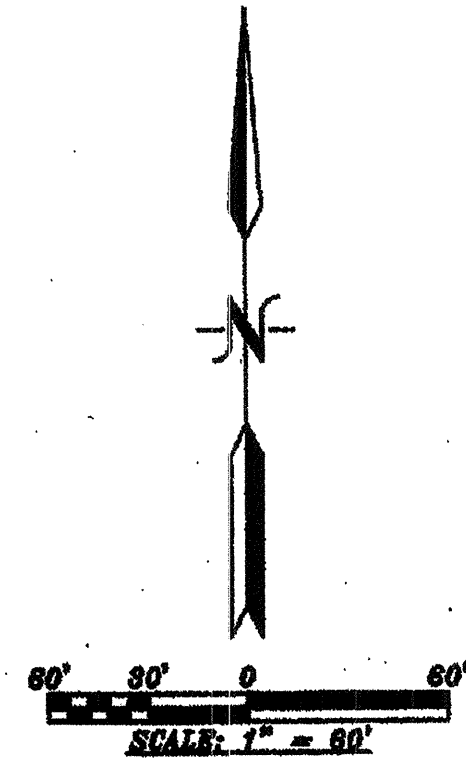
X-COORDINATE_____ Y-COORDINATE_____

DRB PROJECT #1008069

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE		
ENGINEER'S STAMP & SIGNATURE		APPROVALS	ENGINEER		DATE	*****			
		DRC Chairman	S. Upshall		12-8-10	APPROVED FOR CONSTRUCTION			
		Transportation	M.H.		10/25/10				
		Water/Wastewater	Cunningham		11-15-10				
		Hydrology	Curtis & Chen		10-25-10				
		Parks							
		Const. Coord.							
City Project No.					Sheet Of				
664483					1 11				



VICINITY MAP No. C-19



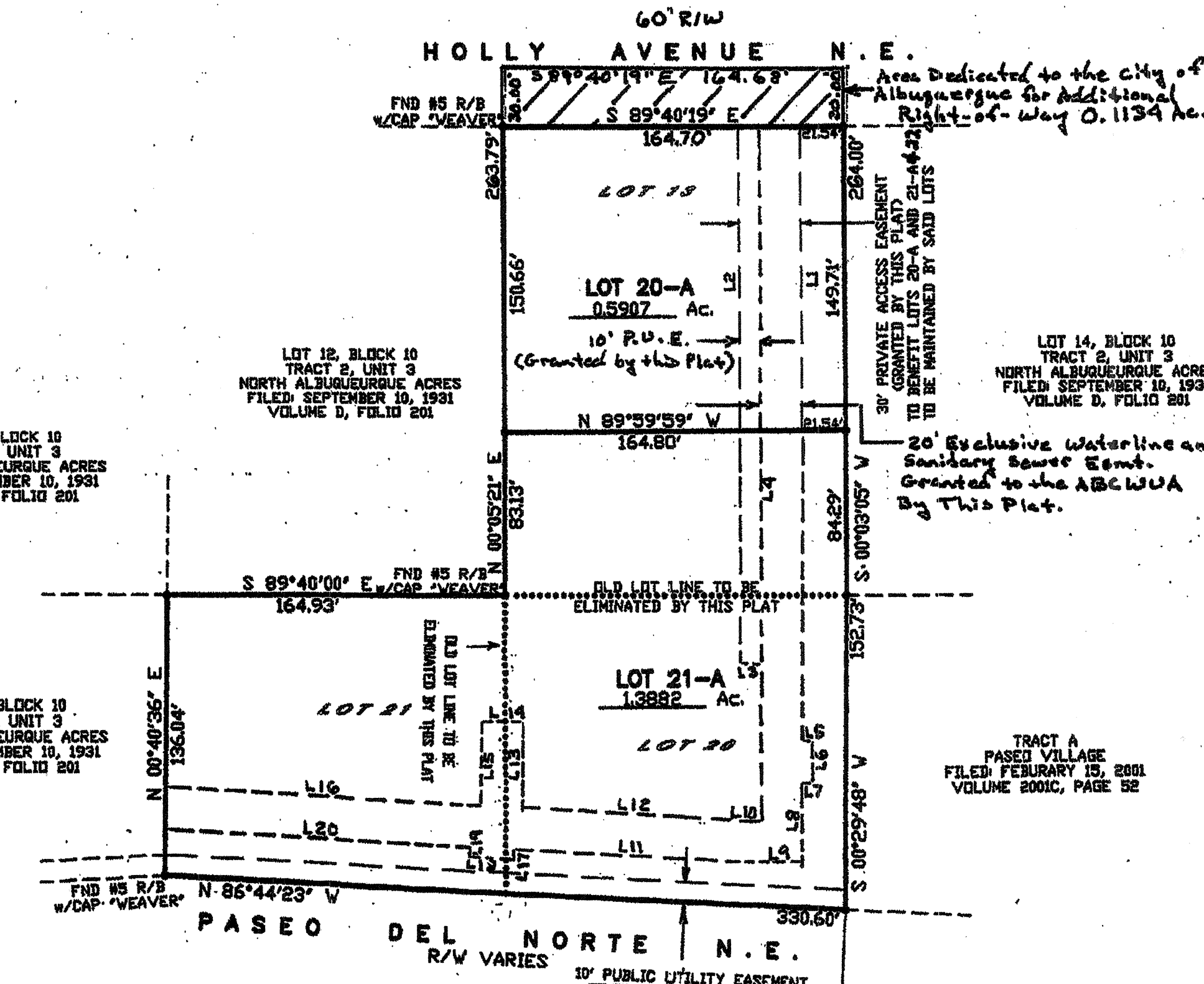
PURPOSE OF PLAT:
THE PURPOSE OF THIS PLAT IS TO COMBINE LOTS 13, 20 AND 21 INTO 2 LOTS AND GRANT ANY EASEMENTS AS SHOWN AND DEDICATE ADDITIONAL Right-of-Way.

- GENERAL NOTES:**
- UNLESS NOTED, NO. 4 REBAR WITH CAP STAMPED P.S.#11483 WERE SET AT ALL PROPERTY CORNERS.
 - THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
 - TOTAL AREA OF PROPERTY: 2.0924 ACRES.
 - TALOS LOG NO. 2010030876
 - BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
 - DISTANCES ARE GROUND, BEARINGS ARE GRID.
 - BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
 - DATE OF FIELD WORK: AUGUST, 2008
 - NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC# 1-019-064-189016-301-12
PROPERTY OWNER OF RECORD: NORTH ALBUQUERQUE ACRES
BERNALILLO CO. TREASURER'S OFFICE: Mark Shaw

LEGAL DESCRIPTION

A CERTAIN TRACT OF LAND BEING THE REMAINING PORTIONS OF LOTS NUMBERED TWENTY (20) AND TWENTY-ONE (21) AND ALL OF LOT NUMBERED THIRTEEN (13) IN BLOCK NUMBERED TEN (10) IN TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1991 IN VOLUME D, FOLIO 201, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT ON THE NORTHERLY LINE OF PASEO DEL NORTE, WHENCE CITY OF ALBUQUERQUE CONTROL MONUMENT "HEAVEN UNDERGROUND" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD 1983) X=1,547,297.145 AND Y=1,518,799.515 BEARS S 02°32'23" W, A DISTANCE OF 177.65 FEET RUNNING THENCE N 86°44'23" W, ALONG THE NORTHERLY LINE OF PASEO DEL NORTE, A DISTANCE OF 330.60 FEET TO THE SOUTHWEST CORNER;
THENCE N 00°40'36" E, A DISTANCE OF 136.04 FEET TO A POINT;
THENCE S 89°40'00" E, A DISTANCE OF 164.93 FEET TO A POINT;
THENCE N 00°05'21" E, A DISTANCE OF 263.79 FEET TO THE NORTHWEST CORNER, BEING A POINT ON THE SOUTH LINE OF HOLLY AVENUE;
THENCE S 89°40'19" E, ALONG THE SOUTH LINE OF HOLLY AVENUE, A DISTANCE OF 164.70 FEET TO THE NORTHEAST CORNER;
THENCE S 00°03'03" W, A DISTANCE OF 264.00 FEET TO A POINT;
THENCE S 00°29'49" W, A DISTANCE OF 152.73 FEET TO THE SOUTHEAST CORNER AND PLACE OF BEGINNING CONTAINING 2.0124 ACRES MORE OR LESS



FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED, AND DO HEREBY DEDICATE ADDITIONAL Right-of-Way to the City of Albuquerque in City 1/13/10 warranty covenants.

JAMES R. ACHEN CO-MANAGING MEMBER FOR
RESOLUTIONS EQUITIES LLC
DATE: 1/15/2010

GORDON L. SKARSGARD CO-MANAGING MEMBER FOR
RESOLUTIONS EQUITIES LLC
OFFICIAL SEAL
Trisha A. Lopes
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires: 4/10/2013

ACKNOWLEDGMENT
STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC
THIS 15TH DAY OF January 20 10
BY: James R. Achen and Gordon L. Skarsgard
OWNERS NAME

MY COMMISSION EXPIRES: 4/10/2013 BY: Trisha A. Lopes NOTARY PUBLIC

**PLAT OF
LOTS 20-A AND 21-A, BLOCK 10
TRACT 2, UNIT 3
NORTH ALBUQUERQUE ACRES**

WITHIN:
ELENA GALLEGOS LAND GRANT
PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2010

PROJECT NUMBER: 1008069
APPLICATION NUMBER: 10PRB-70028

CITY APPROVALS	DATE
CITY SURVEYOR	1-19-10
REAL PROPERTY DIVISION (CONDITIONAL)	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	02/17/10
ABOQUA	2/17/10
PARKS AND RECREATION DEPARTMENT	2/17/10
AMAPCA	2/17/10
CITY ENGINEER	05-17-10
DRE CHAIRPERSON, PLANNING DEPARTMENT	DATE

LINE TABLE

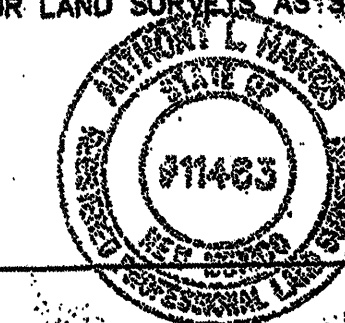
NUMBER	DIRECTION	DISTANCE
L1	S 00°03'03" W	304.57
L2	S 00°03'03" W	267.89
L3	S 89°40'00" E	164.93
L4	S 00°03'03" W	343.05
L5	S 89°40'00" E	5.00
L6	S 00°03'03" W	20.00
L7	S 89°40'00" E	5.00
L8	S 00°03'03" W	32.42
L9	S 89°40'00" E	25.70
L10	S 89°40'00" E	5.14
L11	N 86°43'56" W	114.61
L12	N 86°43'56" W	105.30
L13	S 00°03'03" W	41.96
L14	S 89°40'00" E	20.00
L15	S 00°03'03" W	40.84
L16	N 86°43'56" W	195.05
L17	S 03°16'04" W	5.00
L18	N 86°43'56" W	20.00
L19	N 03°16'04" E	5.00
L20	N 86°43'56" W	149.63

ACS STATION "HEAVEN UNDERGROUND"
X=1,547,297.145
Y=1,518,799.515
GRD TO GRID=0.9996555810
Δα = -00° 10' 48.22"
CENTRAL ZONE, NAD 1983

SURVEYOR'S CERTIFICATE:
STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)
I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
THIS 19th DAY OF January, 2010.

ANTHONY L. HARRIS, P.S. # 11483
HARRIS SURVEYING, INC.
ALBUQUERQUE, NEW MEXICO 87110
PHONE: (505) 265-8865
FAX: (505) 265-8845



Walla Structural Engineering Civil Engineering 5100 Indian School Road NE, Suite 210 Albuquerque, New Mexico 87110 861-3008 • Facsimile 864-5390	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP 7441 and 7501 PASEO DEL NORTE ALBUQUERQUE, NEW MEXICO 87113 PLAT PLAN	
Design Review Committee 	City Engineer Approval
City Project No. 664483	Zone Map No. C-19
Sheet 2 OF 11	No. / Day / Yr. 05/03/10

FOR INFORMATION ONLY

HOLLY AVE. (60'-0" PUBLIC R.O.W.)

RECORD DRAWINGS

architecture
interiors
landscape
planning
engineering

**Dekker
Perich
Sabatini**

7601 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org

ARCHITECT

ENGINEER

PROJECT

7441 & 7501
Paseo Del Norte
Albuquerque, New Mexico 87113

GENERAL NOTES

- SITE PLAN SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS.
- SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
- DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- ALL FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT, THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9 AREA LIGHTING REGULATIONS, AND THE LA CUEVA SDP LIGHTING REGULATIONS.
- LIGHTING WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE SUBJECT TO THE STANDARDS AND REVIEW OF PNM, UNLESS MAINTENANCE FOR RIGHT-OF-WAY LIGHTING IS THE FULL RESPONSIBILITY OF OTHER PARTIES.
- LIGHTING DESIGN FOR PARKING AREAS SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING THROUGHOUT THE LOT AND BE EXTINGUISHED ONE HOUR AFTER THE CLOSE OF BUSINESS, EXCEPT AS NEEDED TO PROVIDE FOR MINIMUM SECURITY LEVELS.
- THE CLOSEST BUS STOP IS LOCATED ON THE NORTHWEST SIDE OF THE HOLLY AVE. AND WYOMING BLVD. INTERSECTION; APPROXIMATELY 700 FT. FROM THE SITE.
- BUILDING PARAPETS SHALL TOTALLY SCREEN ALL ROOF TOP UNITS AND EQUIPMENT FROM SIGHT.
- THE MAXIMUM INDIVIDUAL LETTER SIZE OF ALL BUILDING MOUNTED SIGNAGE SHALL NOT EXCEED 2'-0" IN HEIGHT. LOGO DESIGN SIGNS SHALL COMPLY WITH 13R-9 OF THE LA CUEVA SDP. ALL SIGNS SHALL FOLLOW THE LA CUEVA SDP SIGNAGE REGULATIONS.
- ALL NEW UTILITIES SHALL BE PLACED UNDERGROUND PER 11R-2 OF THE LA CUEVA SDP.
- IF A FREE STANDING SIGN ON LOT 20 IS APPROVED BY ZHE, THE TOTAL SIGN FACE AREA OF BUILDING MOUNTED SIGNS ON LOT 20 SHALL NOT EXCEED 12.5% OF THE TOTAL FACADE AREA FOR THE SOUTHERN ELEVATIONS AND 10% OF THE TOTAL FACADE AREA FOR THE OTHER ELEVATIONS. THE TOTAL SIGN FACE AREA OF EACH TENANT'S BUILDING MOUNTED SIGNS SHALL NOT EXCEED 12.5% OF THE FACADE AREA OF EACH TENANT'S PREMISES FOR SOUTH ELEVATIONS AND 10% FOR OTHER ELEVATIONS.
- ALL SIGNAGE TO PROVIDE MINIMUM CONTRAST OF 70% BETWEEN GRAPHICS AND BACKGROUND PER ADA.
- EXISTING UTILITY EASEMENTS OR RIGHT-OF-WAY SHALL BE DETERMINED IF THEY ARE LOCATED ON OR ADJACENT TO THE PROPERTY AND TO ABIDE BY ANY CONDITIONS OR TERMS OF THOSE EASEMENTS OR AGREEMENTS.
- PNM'S NEW SERVICE DELIVERY DEPARTMENT SHALL BE CONTACTED TO COORDINATE ELECTRIC SERVICE.
- SCREENING SHALL BE DESIGNED TO ALLOW ACCESS TO UTILITY FACILITIES. ADEQUATE CLEARANCE SURROUNDING GROUND MOUNTED UTILITIES FOR SAFE OPERATION AND MAINTENANCE SHALL BE 10 FT. FRONT OF DOOR AND 5 FT. ON THE OTHER SIDES.
- PNM'S NEW SERVICE DELIVERY DEPARTMENT SHALL BE CONTACTED REGARDING COORDINATION OF PROPOSED TREE SPECIES, PLACEMENT, MATURITY HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES AND TO AVOID INTERFERENCE WITH THE EXISTING DISTRIBUTION FACILITIES ALONG PASEO DEL NORTE AND THE SOUTHERN BOUNDARY OF THE SITE. USES SHALL COMPLY AT MINIMUM WITH SU-2/MIXED USE ZONING (SECTION 5.4.5, LA CUEVA SDP 2000, REVISED 2003).
- THE FREE STANDING SIGN SHOWN ON THE SITE DEVELOPMENT PLAN IS NOT ALLOWED UNLESS A VARIANCE IS OBTAINED FROM THE ZHE.

KEYED NOTES

- TYPICAL PARKING SPACE: 9'-0"x18'-0"
- TYPICAL COMPACT PARKING SPACE: 8'-0"x15'-0"
- TYPICAL ADA PARKING SPACE: 9'-0"x20'-0"
- TYPICAL MOTORCYCLE PARKING SPACE: 4'-0"x8'-0"
- LANDSCAPED AREA; REFER TO LANDSCAPE PLAN
- ASPHALT PAVING
- METAL BIKE RACK
- 8'-0" WIDE PEDESTRIAN CROSSWALK. COLOR AND TEXTURE PATTERN TO DIFFERENTIATE FROM SURROUNDING ASPHALT PAVING.
- CONCRETE WHEEL STOP TYPICAL
- PROPOSED MONUMENT SIGN; ELEVATIONS SUBMITTED TO ZHE FOR APPROVAL.
- EXISTING RETAIL BUILDING
- REFUSE ENCLOSURE FOR SOLID WASTE DISPOSAL; REFER 2/SHT.1
- REFUSE ENCLOSURE FOR RECYCLABLE MATERIAL DISPOSAL; REFER 2/SHT.1
- 8'-0" WIDE CONCRETE SIDEWALK TO CONNECT TO EXISTING SIDEWALK ALONG STREET.
- 8'-0" WIDE CONCRETE SIDEWALK TO CONNECT TO EXISTING CONCRETE SIDEWALK IN ADJACENT DEVELOPMENT.
- POLE MOUNTED ADA SIGNAGE
- POLE MOUNTED MOTORCYCLE PARKING SIGNAGE
- PAINTED ADA PAVEMENT SIGNAGE
- CONCRETE DRIVEPAD, SEE COA STANDARD DRAWING #2426
- FUTURE SITE INGRESS/EGRESS; CONNECT DRIVE TO HOLLY AVE. THROUGH ADJACENT UNDEVELOPED PROPERTY. CONNECTION WILL ALSO INCLUDE PEDESTRIAN ACCESS.
- SITE INGRESS/EGRESS; CONNECT TO EXISTING ADJACENT RETAIL DEVELOPMENT PARKING AREA. ADD CONCRETE CURB AROUND EXISTING FREESTANDING SIGN, CLEAR 24 FT. WIDE DRIVE THROUGH EXISTING STRIPED AREA TO CONNECT TO RETAIL PARKING AREA.
- TEMPORARY ASPHALT CURB.
- CONCRETE CURB
- EXISTING UTILITY POLE
- EXISTING OVERHEAD UTILITIES
- EXISTING CONCRETE SIDEWALK
- UNDEVELOPED PROPERTY
- CONCRETE STAIRS WITH PAINTED METAL HAND RAIL.
- TEMPORARY ASPHALT PEDESTRIAN PATH
- EXISTING 10'-0" PUBLIC UTILITY EASEMENT
- PROPOSED NEW LOT LINE ADJUSTMENT PER THIS SUBMITTAL.
- EXISTING 8'-0" WIDE CONCRETE SIDEWALK FRONTING HOLLY AVE.
- NEW CONCRETE ADA RAMP WITH TRUNCATED DOMES PER COA STANDARD DRAWING #2426. 1:12 MAXIMUM SLOPE.
- 8'-0" PEDESTRIAN PATHWAY. COLOR AND TEXTURE PATTERN TO DIFFERENTIATE FROM SURROUNDING ASPHALT PAVING.
- TYPICAL PARKING SPACE FRONTING PASEO DEL NORTE: 9'-0"x18'-0". PLAZA AREA WITH BENCHES; 1320 sf TOTAL OUTDOOR SPACE INCLUDING RESTAURANT PATIO.
- STEEL TRELLIS ABOVE.
- COVERED PATIO AREA FOR RESTAURANT.
- LANDSCAPE AREA FOR SHADE TREE.
- CONCRETE CURB CUT FOR WATER RUNOFF STORAGE.
- NEW CONCRETE RAMP; REFER DETAIL 5/SHEET 1.
- SIMILAR NEW CONCRETE RAMP; REFER DETAIL 5/SHEET 1.
- NEW CONCRETE RAMP; REFER DETAIL 4/SHEET 1.
- BRICK PILE HYDRAULIC

45. EXISTING CONCRETE SIDEWALK
46. EXISTING CONCRETE CURB AND GUTTER
47. NEW 20 FT. PUBLIC UTILITY EASEMENT.
48. NEW 10 FT. PRIVATE UTILITY EASEMENT
49. PRIVATE ALLEYS EASEMENT

SITE DATA

LEGAL DESCRIPTION:
PART OF LOT 13, LOTS 20 AND 21, BLOCK 10, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

ZONE:

SU-2 Mixed Use

GROSS F.A.R. (GBA/SITE AREA):
13,173sf/61,345sf = 0.214

SITE AREA:

61,345sf - 1.40 ACRES

GROSS BUILDING AREA:

RETAIL BLDG. (1-STORY) - 8,773sf
RESTAURANT (1-STORY) - 4,400sf
TOTAL (GBA) - 13,173sf

PARKING INFORMATION

PARKING REQUIRED:

RETAIL BLDG. (M OCCUP.) - 8,800 net sf/200 = 43 SPACES
RESTAURANT (A-2 OCCUP.) - 4,400sf/204 SEATS (1 PER 4) = 51 SPACES
TOTAL SPACES REQUIRED - 94
PARKING PROVIDED: 94 SPACES
(MORE SPACES PROVIDED WITH SHARED PARKING AGREEMENT WITH ADJACENT RETAIL DEVELOPMENT).

ACCESSIBLE PARKING REQUIRED:

51-100 SPACES = 4 ACCESSIBLE SPACES
ACCESSIBLE PARKING PROVIDED:
4 SPACES, 2 VAN ACCESSIBLE

MOTORCYCLE PARKING REQUIRED:

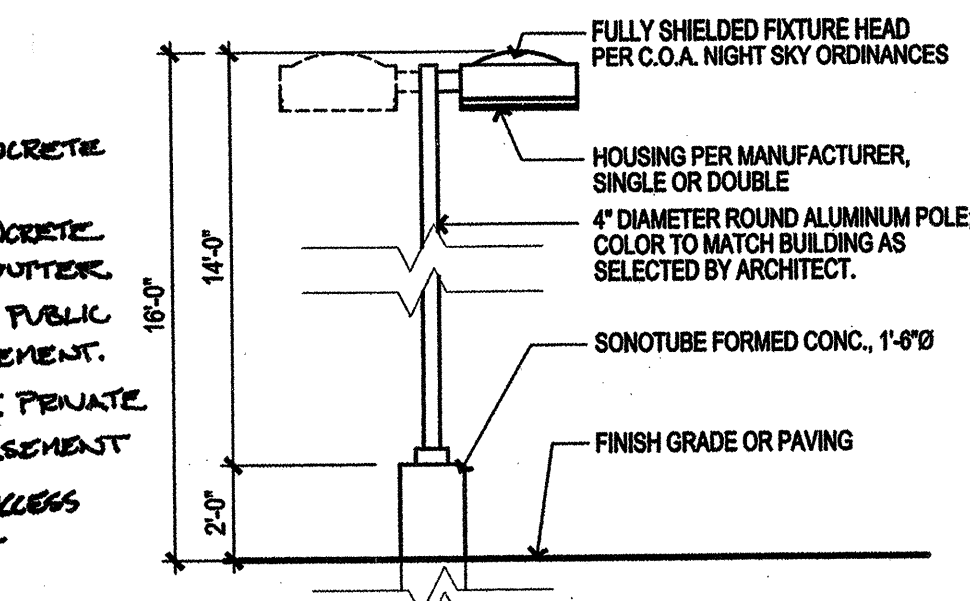
51-100 SPACES = 3 SPACES
MOTORCYCLE PARKING PROVIDED:
3 SPACES

BICYCLE PARKING REQUIRED:

1:20 AUTOMOBILES = 5 SPACES
BICYCLE PARKING PROVIDED:
5 SPACES

LEGEND

- PROPERTY LINE
- BUILDING SETBACK
- EXTENT OF CONCRETE WORK
- POLE MOUNTED PARKING LIGHT;
16'-0" MAX. HEIGHT. RE: DETAIL 3/SHEET 1.
- FIRE HYDRANT
- POTENTIAL FUTURE PHASE PROPERTY



3 LIGHT POLE ELEVATION

FORMER PROJECT NUMBER: 1003532

PROJECT NUMBER: 1008069

APPLICATION NUMBER: 09EPC-40063/10DRB-70026

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated December 17, 2009 and the findings and conditions in the official notification of decision are satisfied.

Is an Infrastructure List Required? (X) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	02/17/10
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	2/17/10
DATE	
<i>[Signature]</i>	2/17/10
DATE	
<i>[Signature]</i>	5/17/10
DATE	
<i>[Signature]</i>	2-1-10
DATE	
<i>[Signature]</i>	05-17-10
DATE	

DRB CHAIRPERSON, PLANNING DEPARTMENT

REVISIONS
1/4/2010 EPC Conditions of Approval

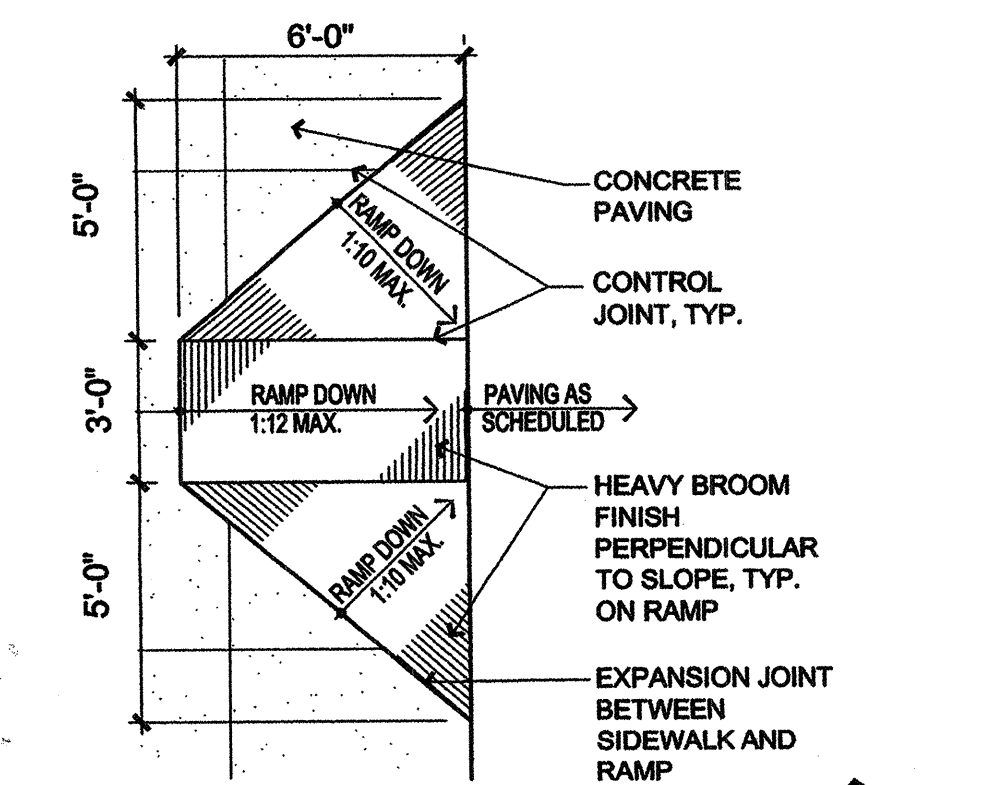
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REVIEWED BY
DATE February 2, 2010
PROJECT NO. 09-0055
DRAWING NAME

**SITE
DEVELOPMENT
PLAN FOR
BUILDING PERMIT**

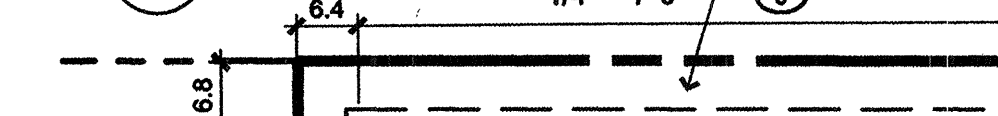
SHEET NO.

3 OF 11

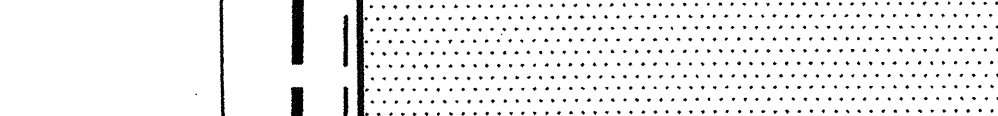
2 TRASH/RECYCLING ENCLOSURE ELEVATION



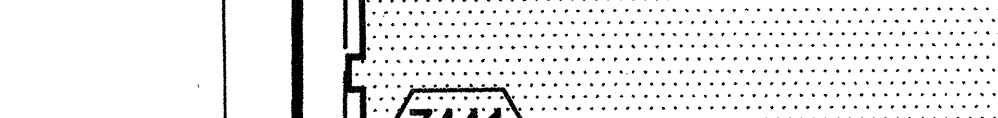
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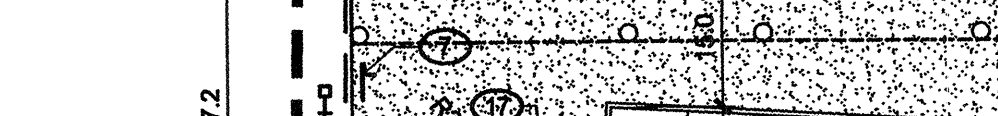
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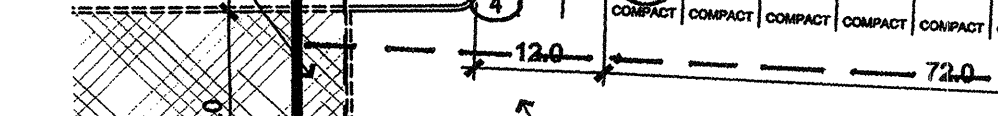
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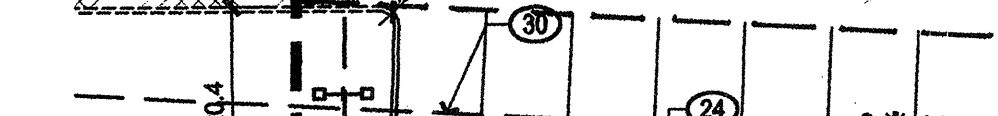
7 RAMP DETAIL



8 RAMP DETAIL



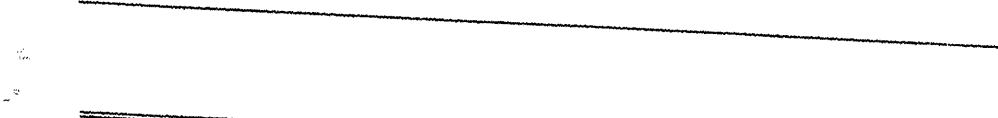
9 RAMP DETAIL



10 RAMP DETAIL



11 RAMP DETAIL



12 RAMP DETAIL



13 RAMP DETAIL

BLDG 1
RETAIL SHOPS
8773 sf

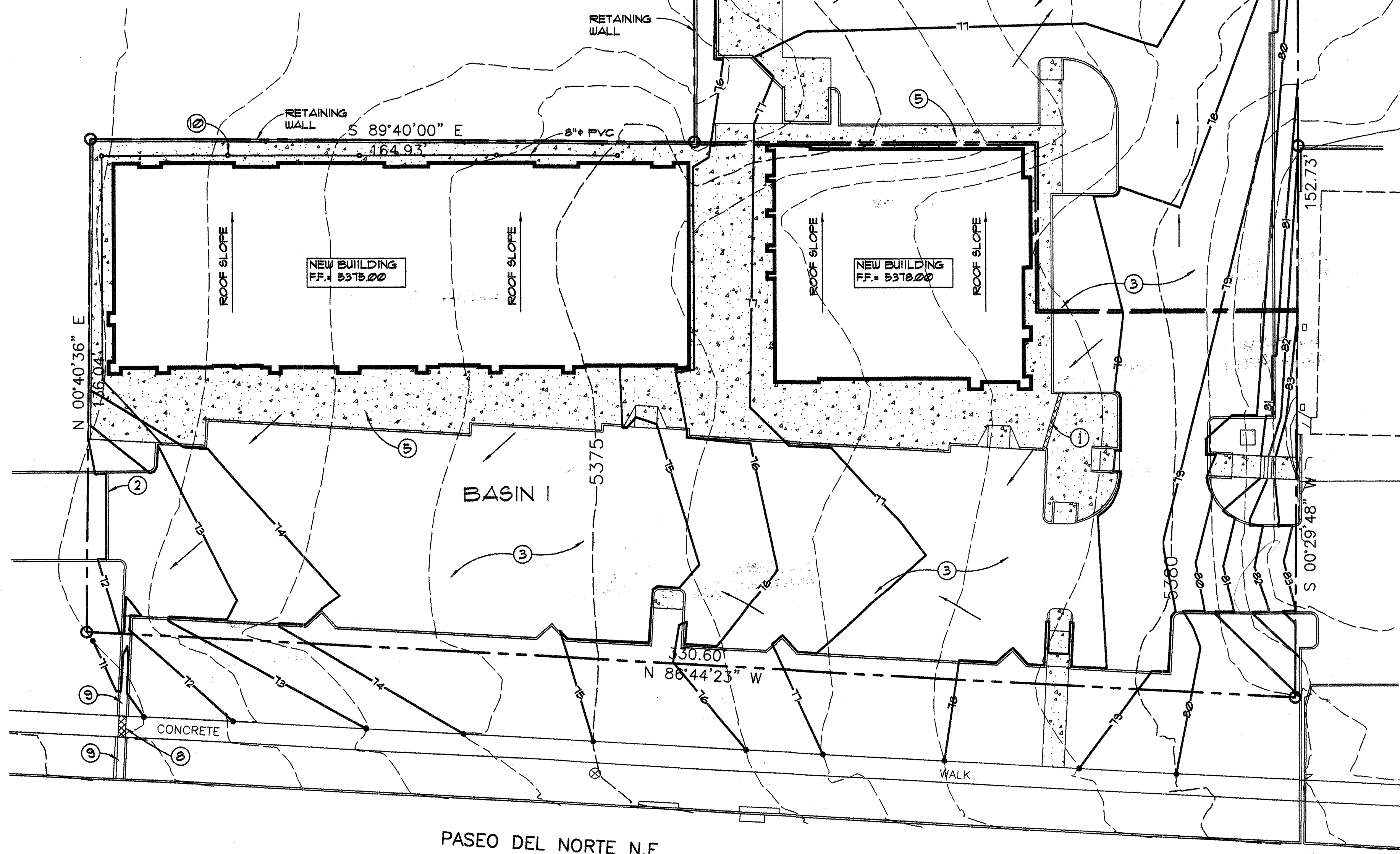
BLDG 2
RESTAURANT
4400sf

SITE PLAN

Paseo del Norte (PUBLIC R.O.W. VARIES)

HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 4 DESIGN STORM: (IN)									
			1hr	6hr	24hr	4day	10day		
			2.23	2.90	3.65	4.10	5.95		
EXISTING CONDITIONS - BASIN I									
LAND TRTMT	AREA (ACRE)	AREA %	P6	Q (CF5/AC)	Q (CF)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.80	2.20	0.00	0	0	0	0
B	0.000	0%	1.00	2.92	0.00	0	0	0	0
C	0.000	0%	1.46	3.73	0.00	0	0	0	0
D	0.000	0%	2.64	5.25	0.00	0	0	0	0
TOTALS	0.000	0%			2.89	3.881	3.881	3.881	3.881
PROPOSED CONDITIONS - BASIN I									
LAND TRTMT	AREA (ACRE)	AREA %	P6	Q (CF5/AC)	Q (CF)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.80	2.20	0.00	0	0	0	0
B	0.010	8%	1.00	2.92	0.20	2.74	2.74	2.74	2.74
C	0.000	0%	1.46	3.73	0.00	0	0	0	0
D	0.000	0%	2.64	5.25	4.36	1,354	10,214	19,377	17,143
TOTALS	0.010	8%			4.56	8,228	10,488	13,652	17,143
EXISTING CONDITIONS - BASIN II									
LAND TRTMT	AREA (ACRE)	AREA %	P6	Q (CF5/AC)	Q (CF)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.80	2.20	0.00	0	0	0	0
B	0.000	0%	1.00	2.92	0.00	0	0	0	0
C	0.000	0%	1.46	3.73	0.00	0	0	0	0
D	0.000	0%	2.64	5.25	0.00	0	0	0	0
TOTALS	0.000	0%			1.15	1,341	1,341	1,341	1,341
PROPOSED CONDITIONS - BASIN II									
LAND TRTMT	AREA (ACRE)	AREA %	P6	Q (CF5/AC)	Q (CF)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.80	2.20	0.00	0	0	0	0
B	0.010	8%	1.00	2.92	0.20	2.74	2.74	2.74	2.74
C	0.000	0%	1.46	3.73	0.00	0	0	0	0
D	0.000	0%	2.64	5.25	1.70	3,095	3,975	5,206	6,671
TOTALS	0.010	8%			1.90	3,370	4,249	5,480	6,946



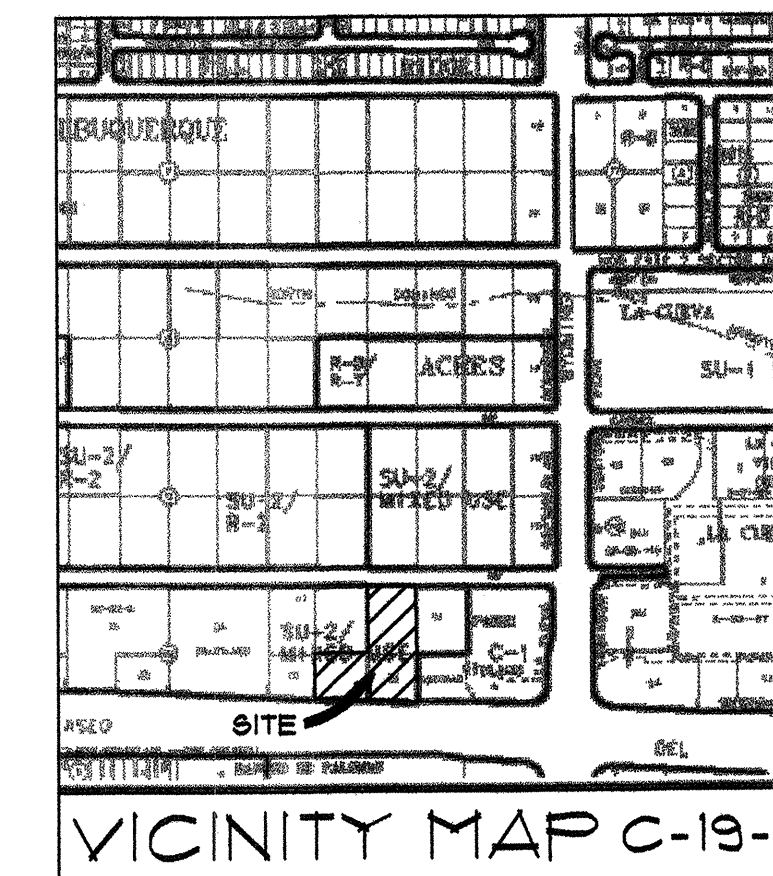
KEYED NOTES

- 12" WIDE SIDEWALK CULVERT PER C.O.A. STD. DWG. #2236
- TEMPORARY ASPHALT CURB
- ASPHALT PAVING
- CONCRETE DRIVE PAD
- CONCRETE SIDEWALK
- TEMPORARY ASPHALT PATH
- 4'-0" WIDE CURB BREAK AT LANDSCAPE ISLAND FOR RUNOFF STORAGE
- 24" WIDE SIDEWALK CULVERT PER C.O.A. STD. DWG. #2236
- 24" WIDE CONCRETE CHANNEL
- 12" AREA DRAIN #2335 BY JAY R. SMITH W/4" OUTLET PIPE - TYP. OF 5

DESIGN NARRATIVE

THIS SITE IS 2.148 ACRES AND IS CURRENTLY UNIMPROVED. THE SITE WILL BE DEVELOPED FOR RETAIL BUILDINGS AND PARKING. THE DEVELOPED SITE WILL BE GRADED TO DIRECT RUNOFF TO IMPROVED DOWNSIDE STORM DRAIN FACILITIES IN PASEO DEL NORTE AND HOLLY AVE. BASIN I STORM RUNOFF WILL ENTER PASEO DEL NORTE VIA A CONCRETE RUNDOWN AND SIDEWALK CULVERT. BASIN II RUNOFF DIRECTED NORTH WILL FLOW TO STREET IMPROVEMENTS IN HOLLY AVE. VIA THE PAVED ACCESS ROAD.

RECORD DRAWINGS



LEGAL DESCRIPTION

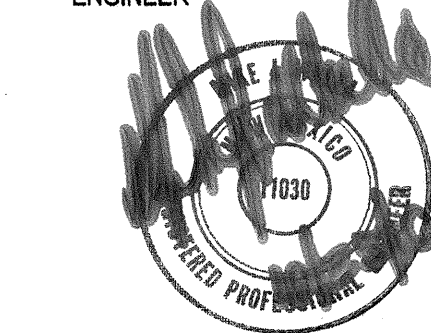
LOTS 13, 20, AND 21, BLOCK 10, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BENCHMARK

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. "HEAVEN UNDERGROUND", HAVING AN ELEVATION OF 5278.235

LEGEND

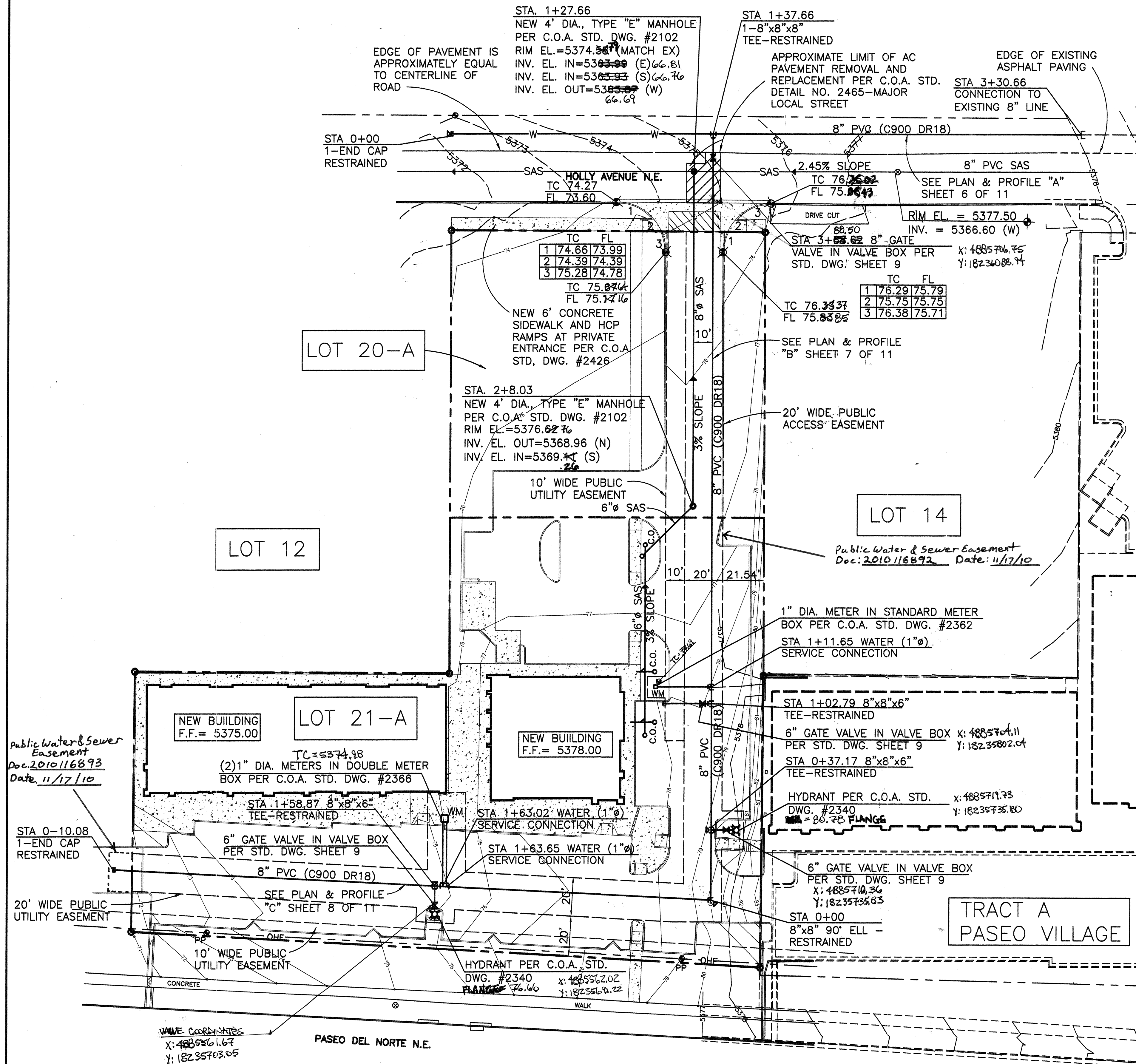
- PROPERTY LINE
- NEW BUILDING LINE
- EXISTING CONTOUR
- NEW CONTOUR
- NEW SPOT ELEVATION
- EXISTING SPOT ELEVATION
- NEW FLOW DIRECTION ARROW
- TA TOP OF ASPHALT
- TC TOP OF CONCRETE
- FG FINISHED GRADE
- NEW CONCRETE PAVING
- NEW AC PAVING
- ROOF DRAIN LOCATION
- BOC BACK OF CURB (EXISTING)
- EC EDGE OF CONCRETE (EXISTING)
- G GRADE (EXISTING)
- FL FLOW LINE
- TG TOP OF GRATE



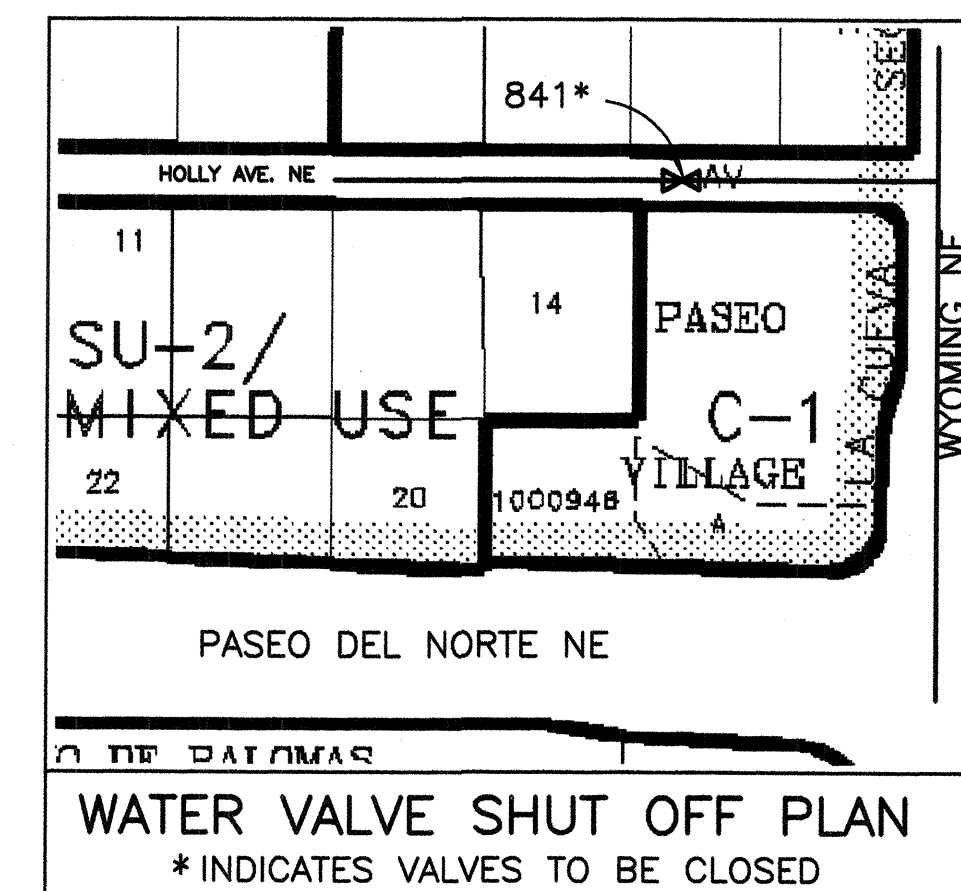
REVISIONS	
1	14/2010 EPC Conditions of Approval
2	
3	
4	

DRAWN BY	LEK
REVIEWED BY	MJW
DATE	February 17, 2010
PROJECT NO.	09-0055
DRAWING NAME	

CONCEPTUAL GRADING and DRAINAGE PLAN



RESTRAINED JOINT LENGTHS			
FITTING TYPE	PIPE SIZE	RESTRAINED LENGTH-BRANCH	RESTRAINED LENGTH-RUN
90° ELL	8"	16 FEET	16 FEET
8"x8" TEE BRANCH	8"	2 FEET	8 FEET
8"x6" TEE BRANCH	8"	2 FEET	8 FEET
END CAP	8"	49 FEET	



WATERLINE CONSTRUCTION NOTES

- 1 WATERLINE SHALL BE PVC C-900 DR-18 PIPE.
- 2 WATERLINE SHALL HAVE A MINIMUM COVER OF 4'-0" (FINISHED GRADE TO TOP OF PIPE).
- 3 ELECTRONIC MARKER SPHERES (EMS) SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD SPECIFICATION.
- 4 IN ACCORDANCE WITH SECTION 801 OF THE "STANDARD SPECIFICATIONS", METALIZED DETECTABLE WARNING TAPE SHALL BE INSTALLED 18" ABOVE ALL PVC PIPE INSTALLED ON THIS PROJECT.
- 5 VALVE STEM EXTENSIONS SHALL BE PROVIDED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
- 6 MECHANICAL JOINT FITTINGS SHALL BE PROVIDED WITH RESTRAINED JOINTS AT LENGTHS AS DESCRIBED ON THIS SHEET
- 7 TRENCHING FOR PIPE SHALL BE IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD DRAWING 2315. SEE SHEET 9
- 8 NOTIFY ALBUQUERQUE/BERNALILLO COUNTY WATER UTILITY AUTHORITY (857-8200) SEVEN (7) WORKING DAYS ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN.
- 9 ONLY ABC WATER UTILITY AUTHORITY PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
- 10 ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER SEAL		REVISIONS		REMARKS	
DATE	BY	DATE	BY	DATE	BY	DATE	BY	DATE	BY	DATE	BY
10/26/11	CHAGS/AN	5278.235									

Walla Structural Engineering
Civil Engineering
6100 Indian School Road NE, Suite 210
Albuquerque, New Mexico 87110
881-3008 • Facsimile 884-5390

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

7441 and 7501 PASEO DEL NORTE
ALBUQUERQUE, NEW MEXICO 87113

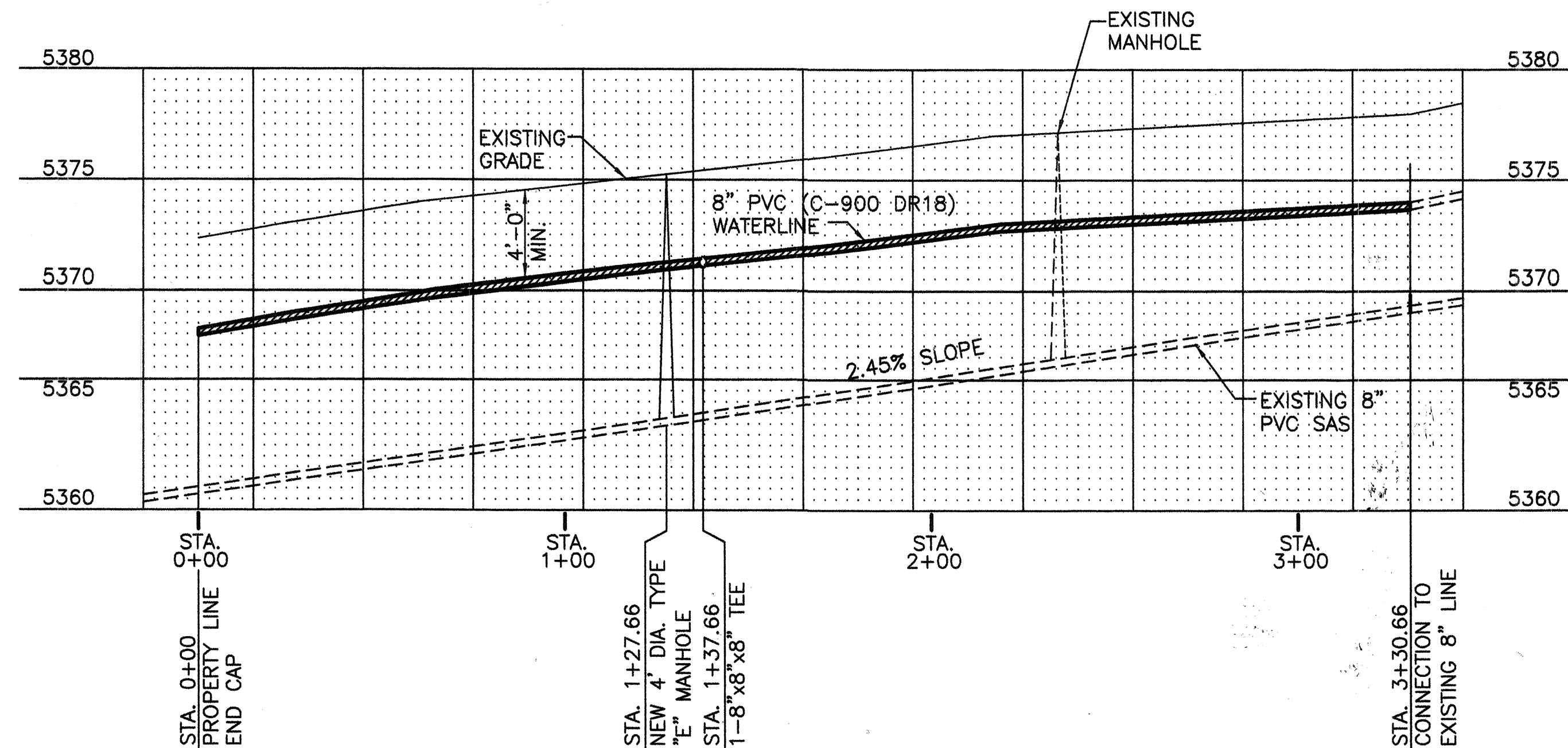
MASTER UTILITY PLAN

Design Review Committee
APPROVED
DEC 08 2010
DESIGN REVIEW COMMITTEE

City Engineer Approval
APPROVED
MAR 15 2011
CITY ENGINEER

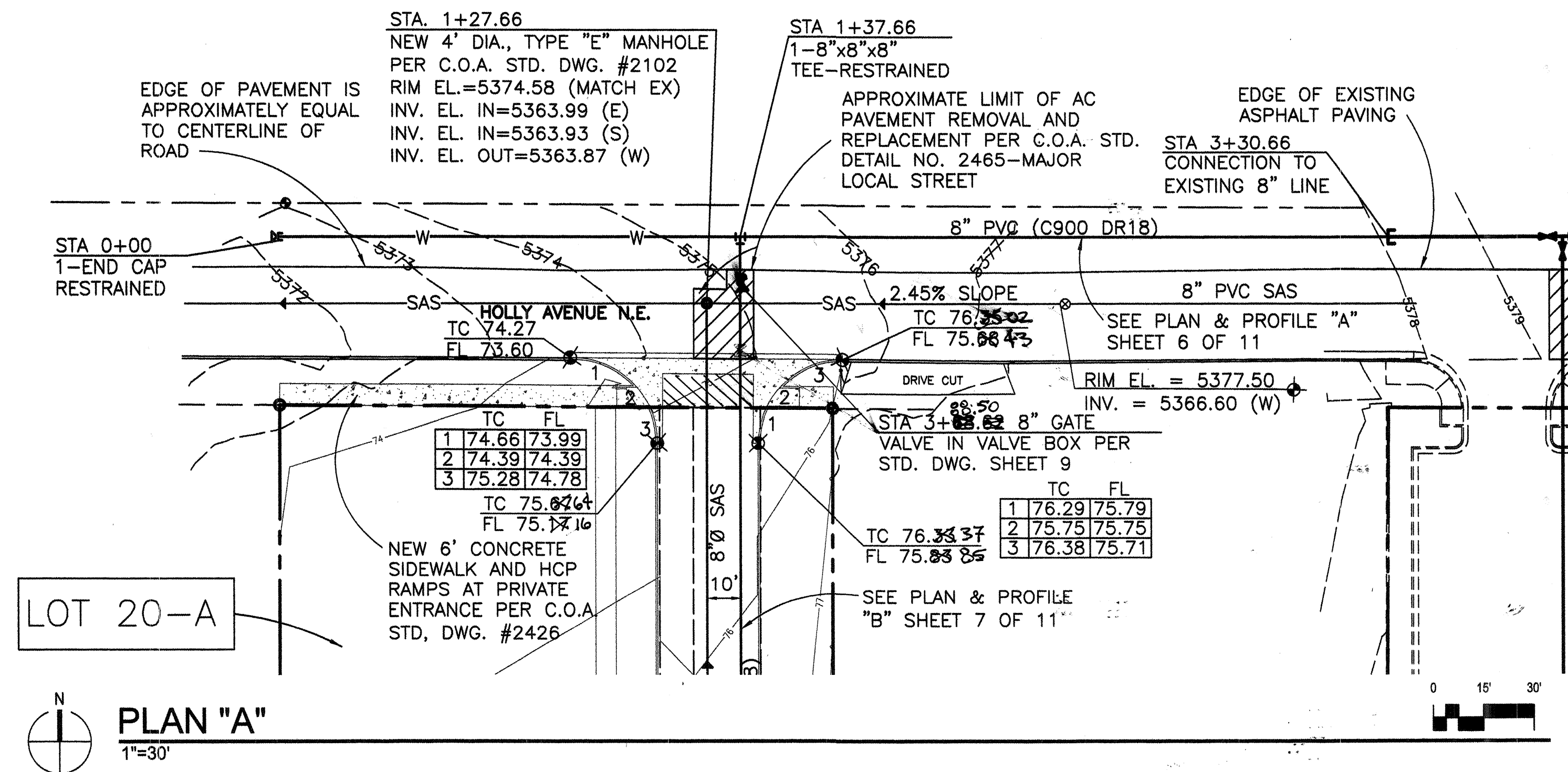
Last Design Update
Mo./Day/Yr.
05/03/10

City Project No. **664483** Zone Map No. **C-19** Sheet **5 OF 11**



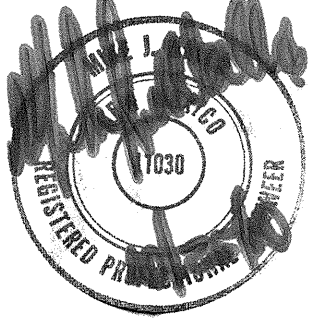
PROFILE "A"

1"=30' HORIZONTAL
1"=5' VERTICAL



PLAN "A"

1"=30'

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER SEAL		REVISIONS		REMARKS	
CONTRACTOR	TLC	ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION	No. 5278.235	DATE	BY						
INSPECTOR	CHAKESAN	No. "HEAVEN UNDERGROUND", HAVING AN ELEVATION OF	5278.235								
DATE	05/03/10										
ACCEPTANCE BY	M. W. W. W.										
VERIFICATION BY	CHAKESAN										
DATE	05/03/10										
DRAWINGS	M. W. W. W.										
DATE	05/03/10										
RECORD BY											
NO.											

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

7441 and 7501 PASEO DEL NORTE
ALBUQUERQUE, NEW MEXICO 87113
PLAN AND PROFILE "A"

Design Review Committee
APPROVED
MAR 16 2011
DESIGN REVIEW COMMITTEE

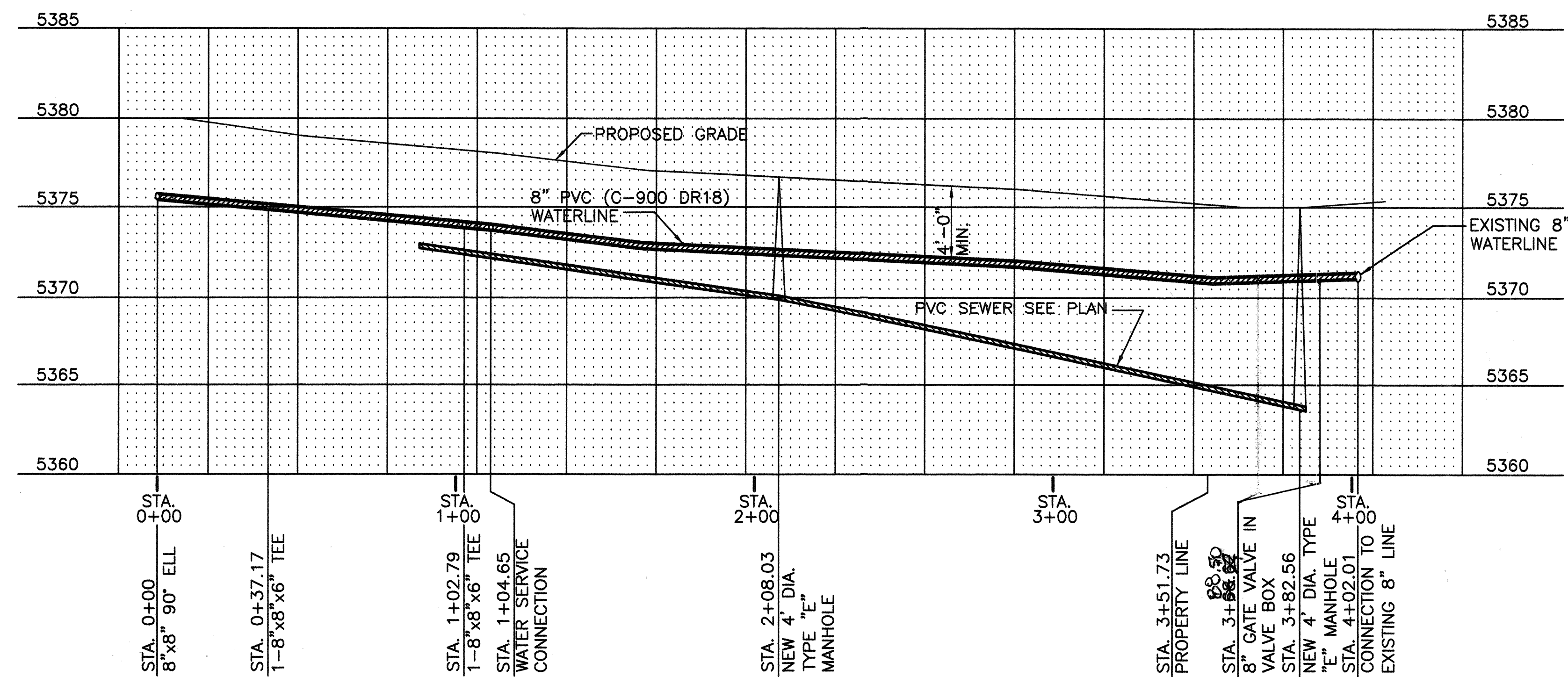
City Engineer Approval
APPROVED
MAR 16 2011
CITY ENGINEER

Mo./Day/Yr.	Mo./Day/Yr.
05/03/10	

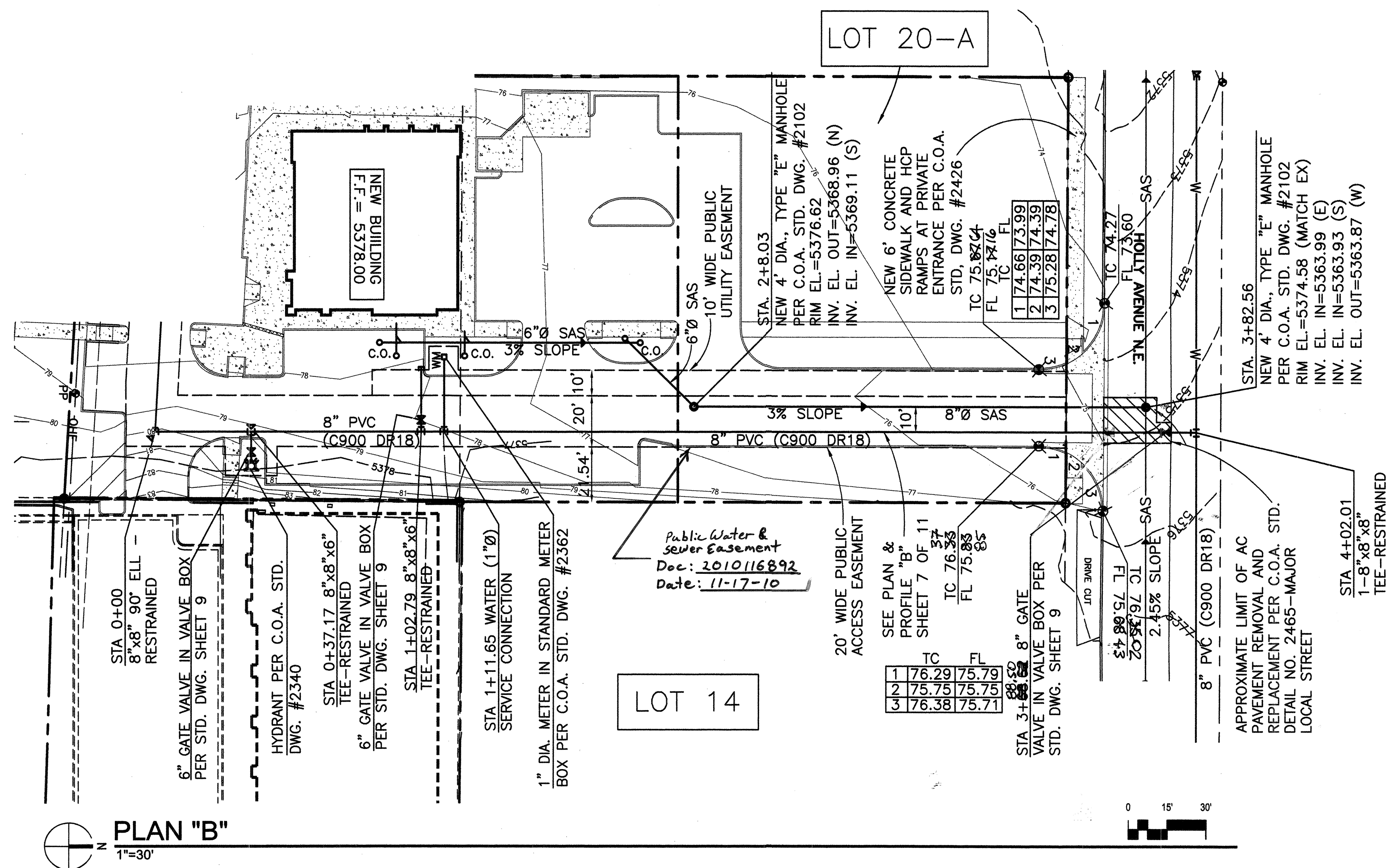
City Project No. 664483

Zone Map No. C-19

Sheet 6 OF 11



PROFILE "B"
1"=30' HORIZONTAL
1"=5' VERTICAL



PLAN "B"
1"=30'

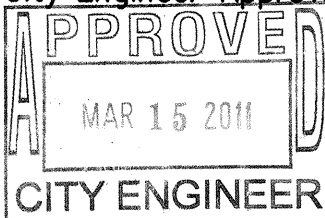
RECORD DRAWINGS

 Walla ENGINEERING LTD 6100 Indian School Road NE • Suite 210 Albuquerque, New Mexico 87110 861-3008 • Facsimile 884-5390							
				NO. DATE		DESIGNED BY	
						DRAWN BY	

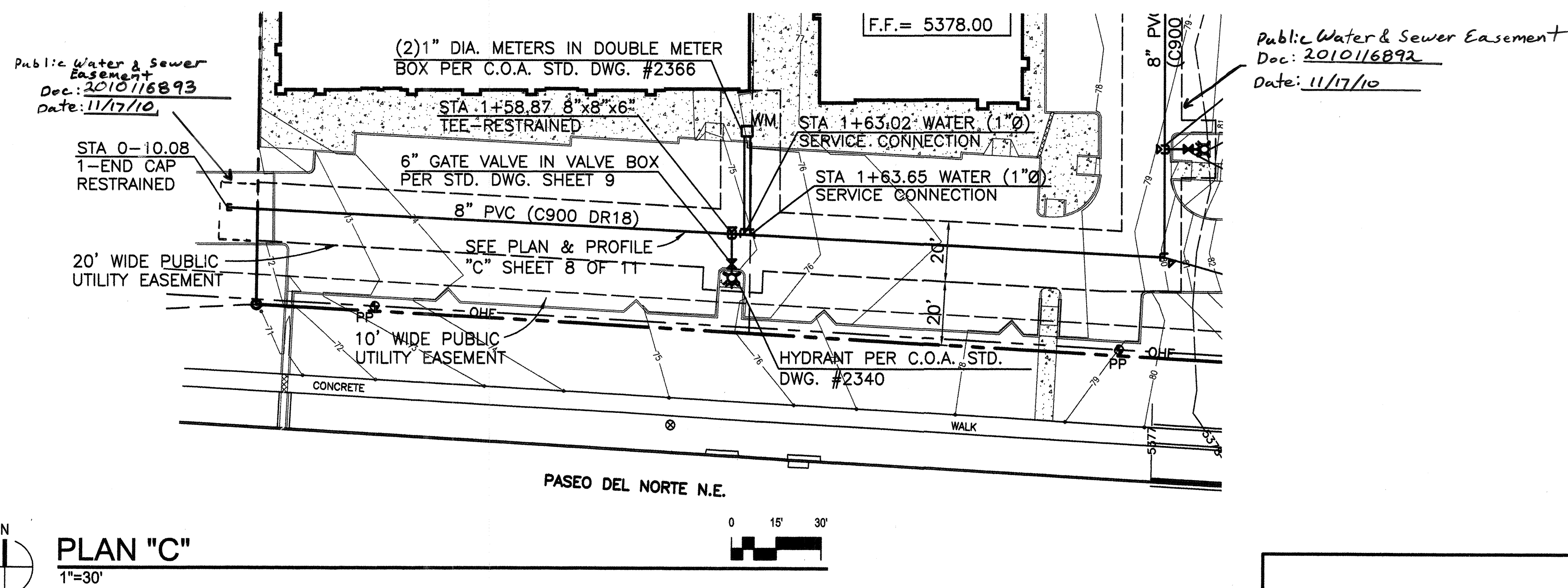


CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

7441 and 7501 PASEO DEL NORTE
 ALBUQUERQUE, NEW MEXICO 87113
PLAN AND PROFILE "B"

Design Review Committee 	City Engineer Approval 	Update Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
			05/03/10	

City Project No.	Zone Map No.	Sheet
664483	C-19	7 OF 11



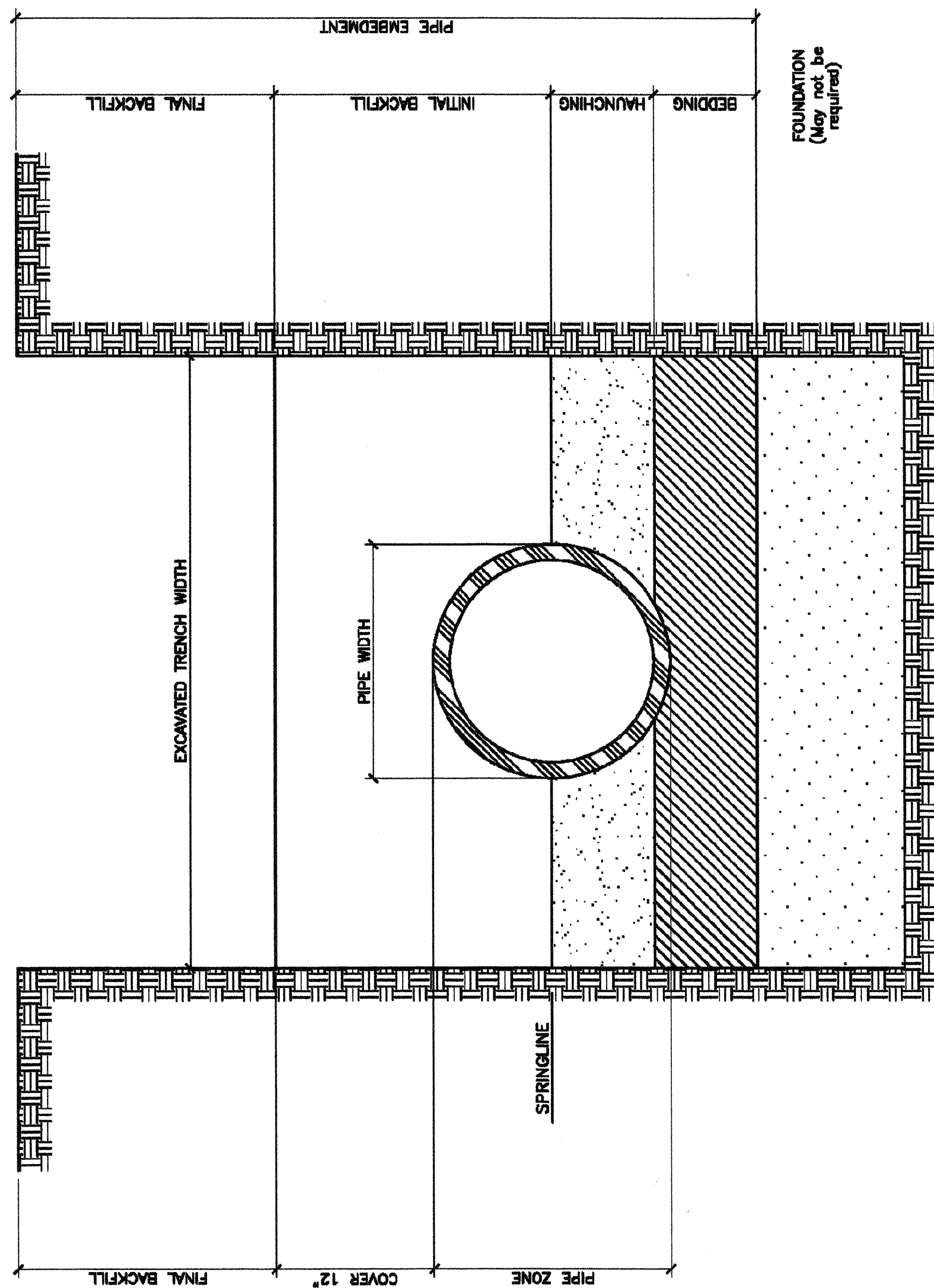
	Walla ENGINEERING LTD	Structural Engineering Civil Engineering				
	6100 Indian School Road NE • Suite 210 Albuquerque • New Mexico 87110 881-3008 • Facsimile 884-5390		NO. DATE			
	CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP					
	7441 and 7501 PASEO DEL NORTE ALBUQUERQUE, NEW MEXICO 87113 PLAN AND PROFILE "C"					

Design Review Committee APPROVE DEC 08 2010 DESIGN REVIEW COMMITTEE	City Engineer Approval APPROVE MAR 15 2011 CITY ENGINEER	Last Design Update	Mo./Day/Yr. 05/03/10	Mo./Day/Yr.

City Project No. 664483	Zone Map No. C-19	Sheet 8 OF 11
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GENERAL NOTES:

- MECHANICAL TAMPERS SHALL NOT BE USED IN THE INITIAL BACKFILL REGION FOR FLEXIBLE PIPE. WHEN FLEXIBLE PIPE IS USED, CONTRACTOR SHALL PRIOR TO THE START OF CONSTRUCTION, PROVIDE INITIAL BACKFILL REGION TO THE CITY FOR APPROVAL.
- MINIMUM CLASS "C" BEDDING WILL BE USED.
- COMPACT BEDDING, HAUNCH AND BACKFILL MATERIAL TO 95% OF MAXIMUM DENSITY.

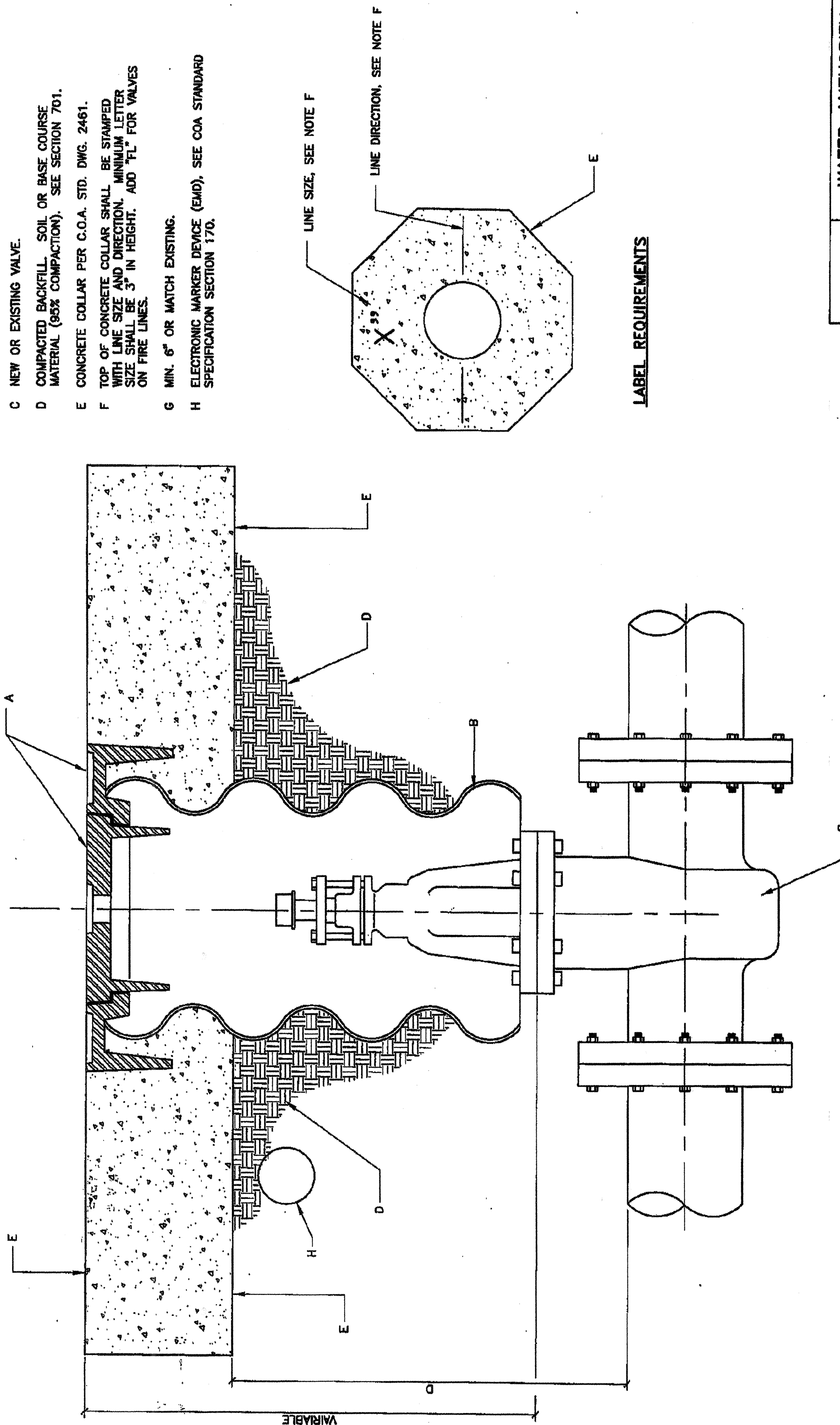


TRENCH CROSS-SECTION
SHOWING TERMINOLOGY

REVISIONS	CITY OF ALBUQUERQUE
	WATER
	PIPE TRENCH
	TERMINOLOGY
	DWG. 2315
	JANUARY 2003

GENERAL NOTES:

- VALVE BOX RING AND COVER PER C.O.A. STD. DWG. 2328.
- 12" DIAMETER CORRUGATED METAL PIPE (CMP), TAR COATED.
- NEW OR EXISTING VALVE.
- COMPACTED BACKFILL, SOIL OR BASE COURSE MATERIAL (95% COMPACTION), SEE SECTION 701.
- CONCRETE COLLAR PER C.O.A. STD. DWG. 2461.
- TOP OF CONCRETE COLLAR SHALL BE STAMPED WITH LINE SIZE AND DIRECTION. MINIMUM LETTER SIZE SHALL BE 3" IN HEIGHT. ADD "FL" FOR VALVES ON FIRE LINES.
- MIN. 6" OR MATCH EXISTING.
- ELECTRONIC MARKER DEVICE (EMD), SEE COA STANDARD SPECIFICATION SECTION 170.



WATER AUTHORITY

REVISIONS	WATER AUTHORITY
	WATER
	VALVE BOX
	DWG. 2326
	JANUARY 2010

Walla
ENGINEERING LTD
6100 Indian School Road NE, Suite 210
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Structural Engineering
Civil Engineering

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
7441 and 7501 PASEO DEL NORTE
ALBUQUERQUE, NEW MEXICO 87113
DETAILS

Design Review Committee
APPROVED
DEC 08 2010
DESIGN REVIEW COMMITTEE

City Engineer Approval
APPROVED
MAR 15 2011
CITY ENGINEER

Last Design Update
Mo./Day/Yr.
05/03/10

Mo./Day/Yr.
Mo./Day/Yr.
Mo./Day/Yr.

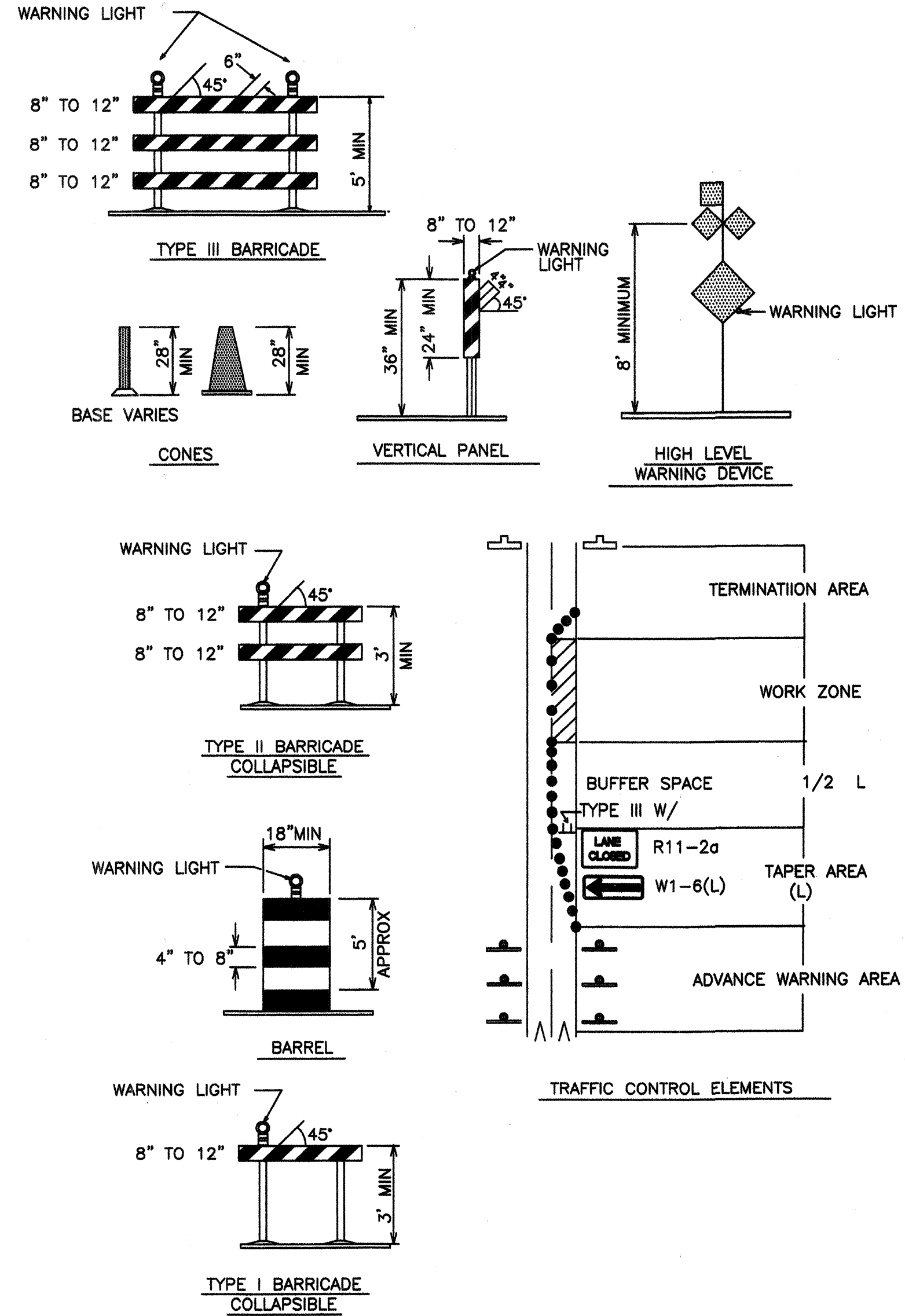
City Project No. 664483 Zone Map No. C-19 Sheet 9 OF 11

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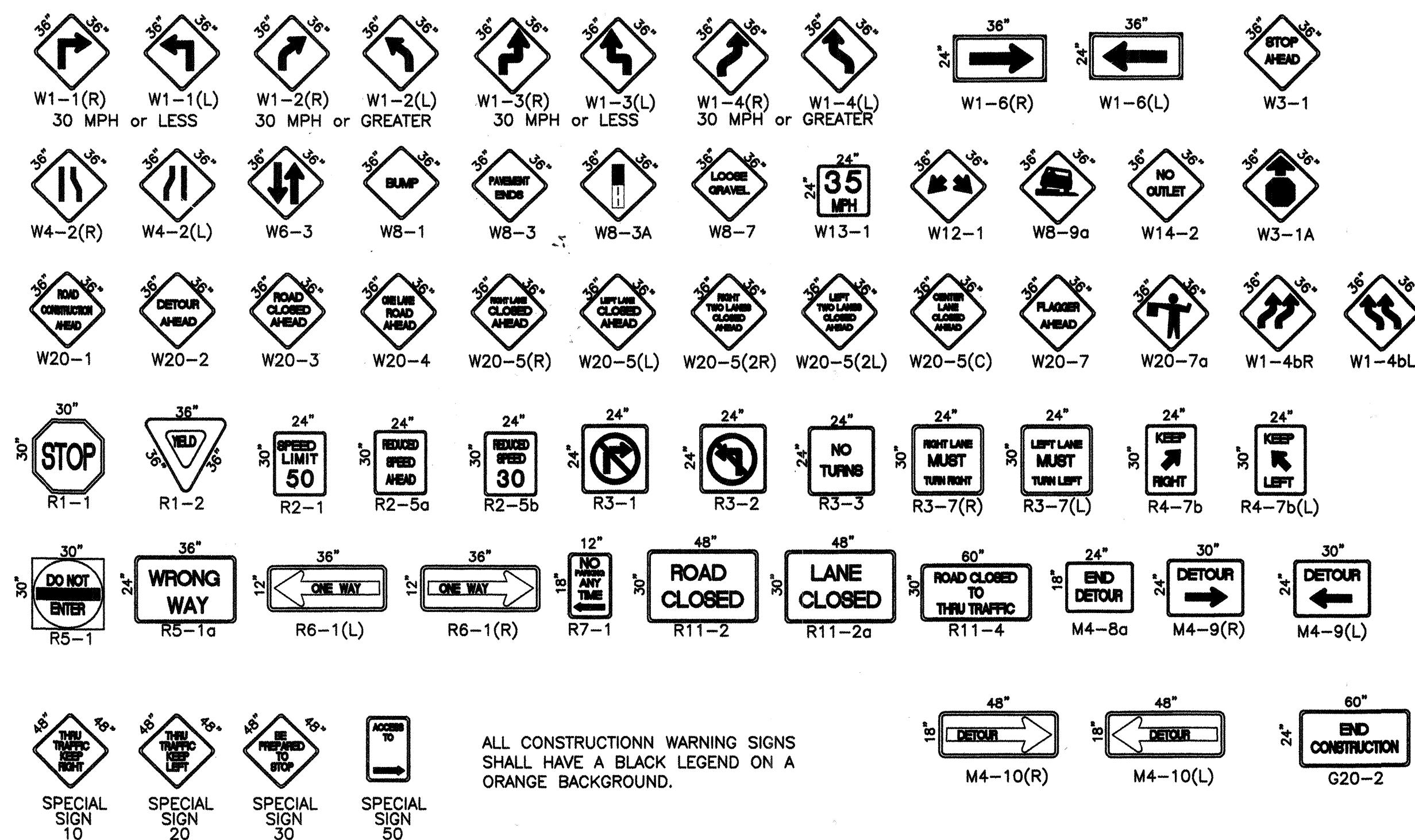
CONSTRUCTION TRAFFIC CONTROL GENERAL NOTES

1. CONTRACTOR MUST OBTAIN FROM CONSTRUCTION COORDINATION AN EXCAVATION/BARRICADE PERMIT BEFORE ENGAGING IN ANY CONSTRUCTION, MAINTENANCE OR REPAIR WORK IN ANY OF THE CITY OF ALBUQUERQUE'S RIGHTS-OF-WAY. EMERGENCY WORK THAT WOULD PRESERVE LIFE OR PROPERTY IS EXCLUDED WITH THE UNDERSTANDING, THAT A PERMIT SHALL BE OBTAINED WITHIN 24 TO 48 HOURS.
2. CONTRACTOR SHALL AT THE TIME OF PERMIT REQUEST, SUBMIT FOR APPROVAL BY CONSTRUCTION COORDINATION, A TRAFFIC CONTROL PLAN DETAILING ALL EXISTING TOPOGRAPHY SUCH AS LANE WIDTHS, DRIVEWAYS, AND BUSINESS/RESIDENTIAL ACCESSES. THE TRAFFIC CONTROL PLAN SHALL INCLUDE ALL PHASES OF WORK AND SCHEDULES INVOLVED IN THE CONSTRUCTION PROJECT. ANY SEPARATE PHASES OF A CONSTRUCTION PROJECT SHALL BE GIVEN AN INDIVIDUAL PERMIT EACH. BLANKET PERMITS WILL NOT BE ISSUED.
3. THESE TYPICAL TRAFFIC CONTROL PLANS DO NOT REFLECT THE EXISTING TOPOGRAPHY SUCH AS DRIVEWAYS, LANE WIDTHS, AND BUSINESS/RESIDENTIAL ACCESSES. EVERY LOCATION THAT REQUIRES CONSTRUCTION TRAFFIC CONTROL SHALL HAVE A DETAILED TRAFFIC CONTROL PLAN SHOWING ALL EXISTING TOPOGRAPHY.
4. CONSTRUCTION SHALL NOT BEGIN UNLESS A TRAFFIC CONTROL PLAN HAS BEEN APPROVED AND VERIFIED BY CONSTRUCTION COORDINATION.
5. CONSTRUCTION COORDINATION SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY TRAFFIC CONTROL CHANGES NEEDED BY CONTRACTOR, THAT WERE NOT PREVIOUSLY APPROVED. THESE TRAFFIC CONTROL CHANGES SHALL BE REQUESTED IN WRITING ACCOMPANIED WITH A TRAFFIC CONTROL PLAN REFLECTING SUCH CHANGES.
6. ALL CONSTRUCTION TRAFFIC CONTROL DEVICES SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL, SERVICE AND MAINTAIN ALL TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL DEVICES SHALL NOT BE REMOVED OR ALTERED IN ANY WAY WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION, PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.
7. THE CONSTRUCTION TRAFFIC CONTROL INITIAL SET-UP SHALL BE BY AN AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA) CERTIFIED WORKSITE TRAFFIC SUPERVISOR. THE MAINTENANCE AND SERVICING SHALL ALSO BE DONE BY AN ATSSA CERTIFIED WORKSITE TRAFFIC SUPERVISOR OR EQUIVALENT.
8. CONTRACTOR IS RESPONSIBLE TO MAINTAIN AND SERVICE ALL TRAFFIC CONTROL DEVICES 24 HOURS A DAY, 7 DAYS A WEEK THROUGHOUT LENGTH OF PROJECT. CONTRACTOR IS RESPONSIBLE THAT ALL TRAFFIC CONTROL DEVICES COMPLY WITH THE MUTCD, LATEST EDITION.
9. ALL ADVANCE WARNING SIGNS SHALL BE DOUBLE INDICATED WHENEVER THERE ARE MULTI-LANE TRAFFIC IN ANY ONE GIVEN DIRECTION AND THERE IS SUFFICIENT MEDIAN SPACE.
10. ALL BARRICADES IN ALL TAPERS AND TANGENTS SHALL BE PLACED APART, A DISTANCE MEASURED IN FEET, EQUAL TO THAT OF THE POSTED SPEED LIMIT. NO EXCEPTIONS UNLESS APPROVED BY CONSTRUCTION COORDINATION PER MUTCD SECTION 6A-4.
11. ALL WORK IN ARTERIAL ROADWAYS SHALL BE ON A CONTINUOUS 24 HOUR PER DAY BASIS UNTIL COMPLETED.
12. CONTRACTOR IS RESPONSIBLE TO PROVIDE CONSTRUCTION COORDINATION, A WEEKLY LOG OF DAILY INSPECTIONS OF BARRICADE AND MAINTENANCE SCHEDULES ON PROJECTS THAT ARE OVER ONE WEEK DURATION.
13. EQUIPMENT OR MATERIALS SHALL NOT BE STORED WITHIN 15 FEET OF A TRAVELED TRAFFIC LANE DURING NON-WORKING HOURS WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION.
14. CONTRACTOR SHALL PROVIDE AND MAINTAIN A SAFE AND ADEQUATE MEANS OF CHANNELIZING PEDESTRIAN TRAFFIC AROUND AND THROUGH THE CONSTRUCTION AREA.
15. CONTRACTOR IS RESPONSIBLE FOR OBLITERATION OF ANY CONFLICTING STRIPING AND RESPONSIBLE FOR ALL TEMPORARY STRIPING.
16. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES, BUSINESSES AND/OR RESIDENTS AT ALL TIMES.
17. CONTRACTOR SHALL PROVIDE ACCESS SIGNS FOR BUSINESSES LOCATED WITHIN THE CONSTRUCTION AREA UNDER THE SUPERVISION OF CONSTRUCTION COORDINATION. EACH ACCESS SIGN SHALL HAVE 5 INCH, WHITE OPAQUE LETTERING ON BLUE REFLECTORIZED BACKGROUND. ACCESS SIGNS SHALL BE CONSIDERED INCIDENTAL TO THE BID AND NOT PART OF THE CONTRACT UNLESS OTHERWISE STATED. NO MORE THAN 3 BUSINESSES SHALL BE LISTED ON A ACCESS SIGN. SHOPPING CENTERS AND MALLS SHALL BE LISTED AS SUCH.
18. ALL ADVANCE WARNING SIGNS SHALL MEET THE MINIMUM REFLECTIVE INTENSITY REQUIREMENTS SET FORTH BY THE CITY OF ALBUQUERQUE. CONSTRUCTION COORDINATION SHALL DETERMINE ALL REQUIREMENTS AND APPROVE OR DISAPPROVE ANY ADVANCE WARNING SIGN PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.
19. 48 HOURS PRIOR TO OCCUPYING OR CLOSING OF A RIGHT-OF-WAY, CONTRACTOR SHALL NOTIFY: POLICE, FIRE DEPARTMENT, SCHOOLS, HOSPITALS, TRANSIT AUTHORITY, BUSINESSES AND/OR RESIDENTS THAT WILL BE AFFECTED BY THE CONSTRUCTION.
20. ANY FIELD ADJUSTMENTS SHALL BE APPROVED BY CONSTRUCTION COORDINATION.

21. EXCAVATIONS SHALL BE PLATED, TEMPORARILY PATCHED OR RESURFACED PRIOR TO OPENING OF TRAFFIC. A MINIMUM OF 11 FEET SHALL BE PROVIDED FOR TRAFFIC IN ANY GIVEN DIRECTION. CONTRACTOR IS RESPONSIBLE FOR ANY WORK INVOLVED IN SATISFYING THESE REQUIREMENTS.
22. CONTRACTOR SHALL AT ALL TIMES COMPLY WITH THE FOLLOWING:
 1. STANDARDS AND REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 2. THE CITY OF ALBUQUERQUE TRAFFIC CODE, LATEST EDITION.
 3. SECTION 19 OF THE CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTION, AS WELL AS OTHER SECTIONS.
23. FAILURE TO COMPLY WITH ANY OF THE ABOVE MENTIONED, WILL BE ADEQUATE CAUSE TO CEASE ALL WORK ON ANY CONSTRUCTION PROJECT. WORK WILL NOT RESUME UNTIL ALL REQUIREMENTS ARE ADDRESSED AND APPROVED BY CONSTRUCTION COORDINATION.
24. ALL TRAFFIC CONTROL DEVICES SHALL BE KEPT IN NEW--CLEAN CONDITION, WASHING OF EQUIPMENT IS INCIDENTAL TO IT'S PLACEMENT AND MAINTENANCE.
25. TRAFFIC CONTROL STANDARDS APPLY ONLY WHERE THE CONSTRUCTION TRAFFIC CONTROL PLANS ARE NOT SPECIFIC.
26. ADVANCE WARNING SIGNS SHALL BE 36"x36" MIN. WITH SUPER ENGINEERING GRADE SHEETING OR BETTER. MOUNTING HEIGHT AT TOP OF SIGN SHALL BE THE SAME AS FOR A 48" SIGN AS INDICATED IN THE M.U.T.C.D.
27. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORKSITE. ALL GRAFFITI SHALL BE PROMPTLY REMOVED FROM ALL EQUIPMENT, BOTH PERMANENT AND TEMPORARY.



SIGN FACE DETAILS



ALL CONSTRUCTION WARNING SIGNS SHALL HAVE A BLACK LEGEND ON A ORANGE BACKGROUND.

LEGEND

- | | |
|---|--|
|  | WORK AREA |
| • | BARRICADE – TYPE I, TYPE II, OR BARREL |
| ⊥ | BARRICADE – TYPE III |
| × | VERTICAL PANEL |
| D | WARNING SIGN |
| D | DISTANCE BETWEEN SIGNS – A DISTANCE MEASURED IN FEET EQUAL TO A VALUE OF TEN TIMES THE SPEED LIMIT OF THE STREET |
|  | FLAGMAN POSITION |
| S | SPACING BETWEEN BARRICADES – A DISTANCE MEASURED IN FEET |
|  | EQUAL TO THE STREET LIMIT OF THE STREET |
| L | TAPER LENGTH – SEE CHART BELOW |

THE TANGENT LENGTH IS EQUAL TO THE TAPER LENGTH FOR A GIVEN STREET.

TAPER REQUIREMENT

SPEED LIMIT (MPH)	TAPER LENGTH(L) (FEET)			MINIMUM NUMBER OF DEVICES FOR TAPER	MAXIMUM DEVICE SPACING IN FEET	
	10' LANE	11' LANE	12' LANE		ALONG TAPER	AFTER TAPER
20	70	75	80	5	20	20
25	105	115	125	6	25	25
30	150	165	180	7	30	30
35	205	225	245	8	35	35
40	270	295	320	9	40	40
45	450	495	540	13	45	45
50	500	550	600	13	50	50
55	550	605	660	13	55	55

RECOMMENDED SIGN SPACING(D) FOR
ADVANCE WARNING SIGN SERIES

SPEED MILES PER HOUR	MINIMUM BETWEEN SIGNS	DISTANCE IN FEET FROM LAST SIGN TO TAPER
0-20	10 X SPEED LIMIT	10 X SPEED LIMIT
25-30	10 X SPEED LIMIT	10 X SPEED LIMIT
30-35	10 X SPEED LIMIT	10 X SPEED LIMIT
40-45	10 X SPEED LIMIT	10 X SPEED LIMIT
50-60	10 X SPEED LIMIT	10 X SPEED LIMIT

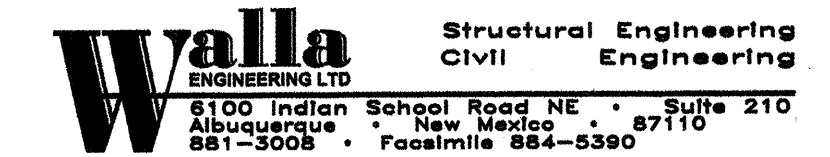
TAPER CRITERIA

TYPE OF TAPER	TAPER LENGTH
UPSTREAM TAPER:	
MERGING TAPER	L MINIMUM
SHIFTING TAPER	1/2 L MINIMUM
SHOULDER TAPER	1/2 L MINIMUM
TWO-WAY TRAFFIC TAPER	100 FEET MAXIMUM
DOWNSTREAM TAPERS	100 FEET PER LANE

TAPER LENGTH COMPUTATION

<u>SPEED LIMIT</u>	
40 MPH OR LESS	$L = \frac{WS^2}{60}$
40 MPH OR GREATER	$L = W \times S$

L = TAPER LENGTH
W = WIDTH OF OFFSET IN FEET
S = POSTED SPEED OR OFF-PEAK
85-PERCENTILE SPEED IN MPH



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

7441 and 7501 PASEO DEL NORTE
ALBUQUERQUE, NEW MEXICO 87113
TRAFFIC CONTROL DETAILS

Design Review Committee	City Engineer Approval
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COA STD DWG

City Project No.

Zone Map No.
C-19

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FOR INFORMATION ONLY