

SCANNED BY
PLANNING

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26-10701-109-09

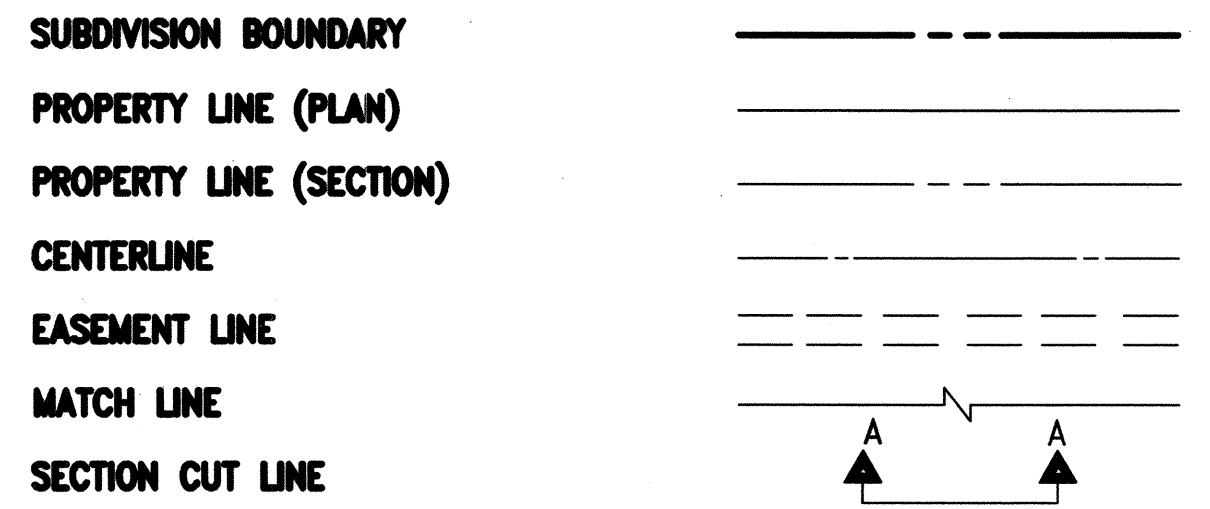
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LEGEND

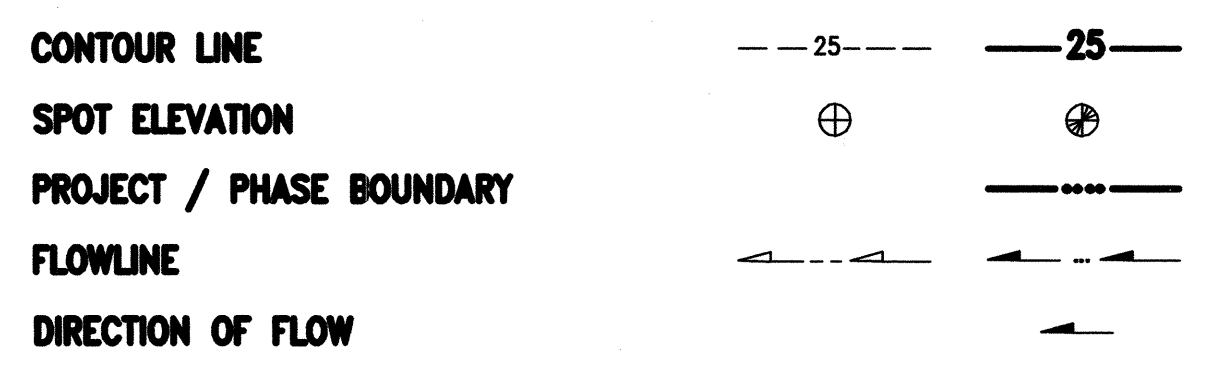
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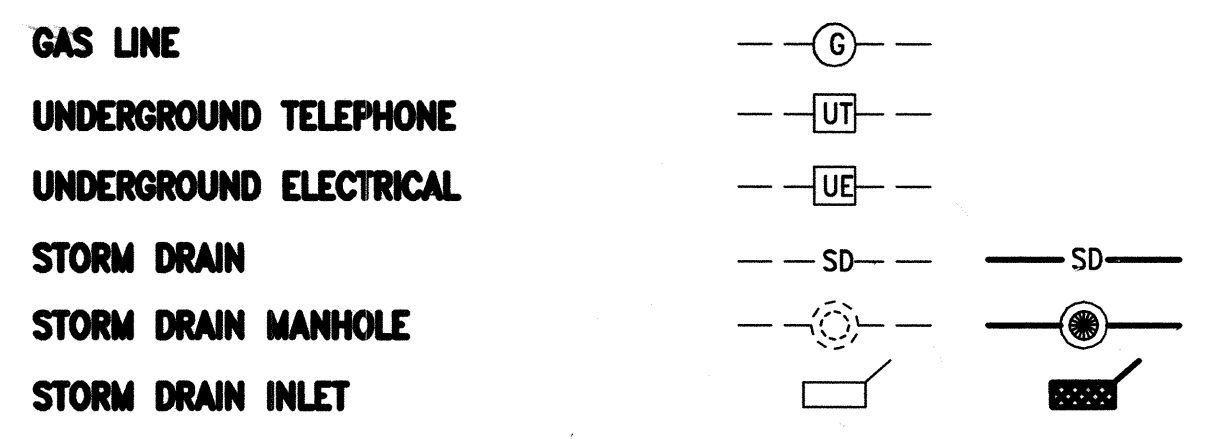
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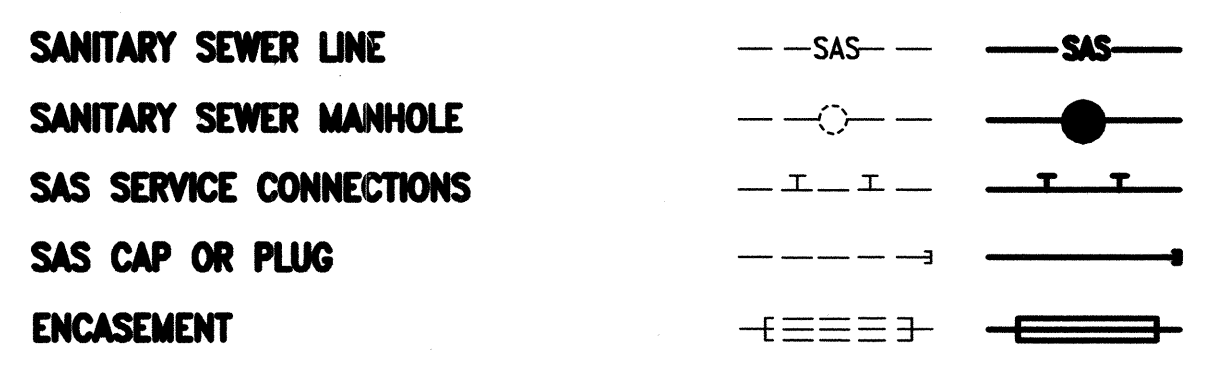
EARTHWORK



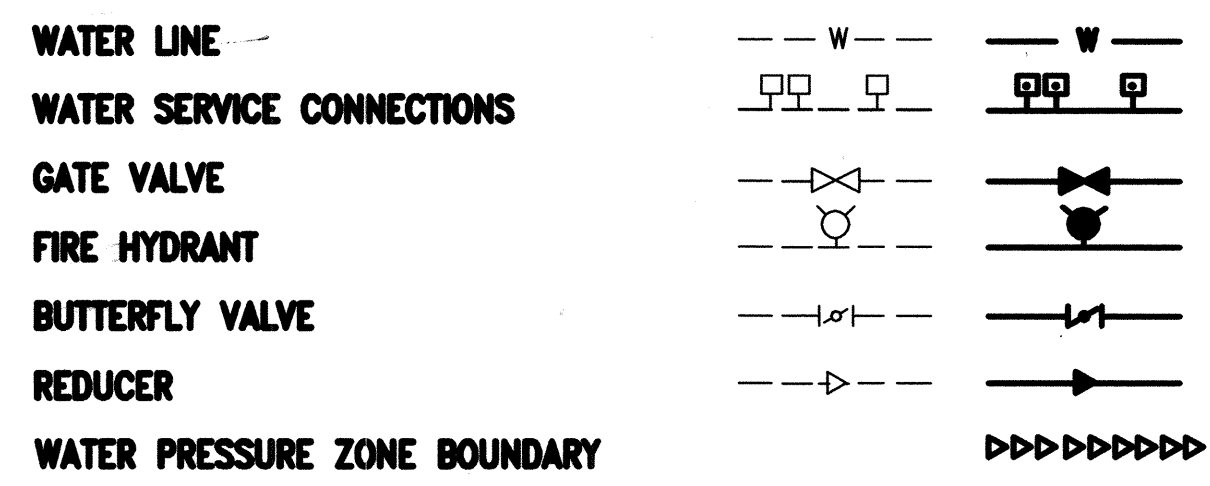
MISCELLANEOUS UTILITIES



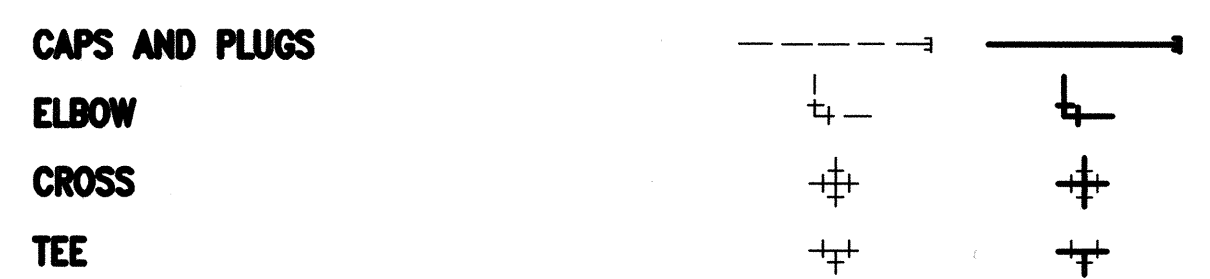
SANITARY SEWER



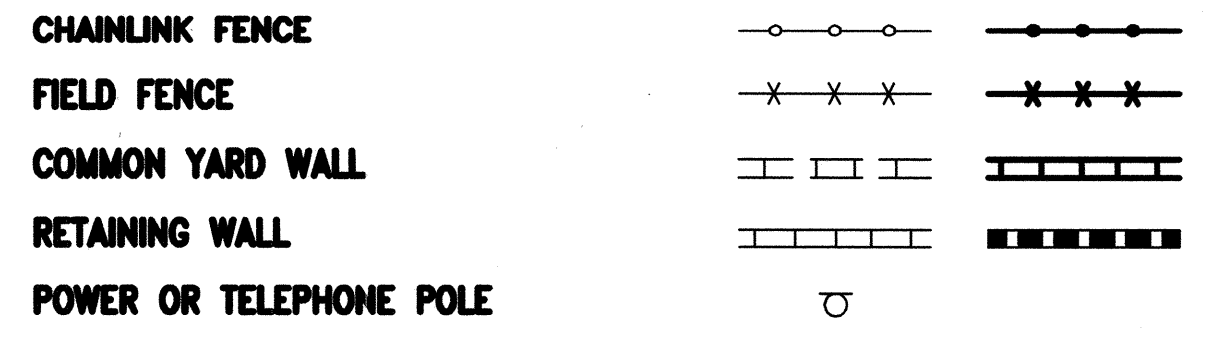
WATER



WATER FITTINGS



MISCELLANEOUS



CONSTRUCTION PLANS for UNIVERSITY OF NEW MEXICO LANDS WEST - PHASE 2 IMPROVEMENTS ALBUQUERQUE, NEW MEXICO NOVEMBER, 2007

1
RECORD DRAWING

INDEX OF DRAWINGS

SHEET	DESCRIPTION
1	COVER SHEET, VICINITY MAP, GENERAL NOTES, LEGEND AND INDEX OF DRAWINGS
2	SUBDIVISION PLAT
3	SUBDIVISION PLAT
4	SUBDIVISION PLAT
5	SITE PLAN
6	CAMINO DE SALUD PLAN AND PROFILE - STA 40+62.30 TO STA 44+60
7	CAMINO DE SALUD PLAN AND PROFILE - STA 44+60 TO STA 48+40.63
8	SECTIONS AND DETAILS, WATER VALVE SHUTOFF PLAN

CERTIFICATE OF SUBSTANTIAL COMPLIANCE

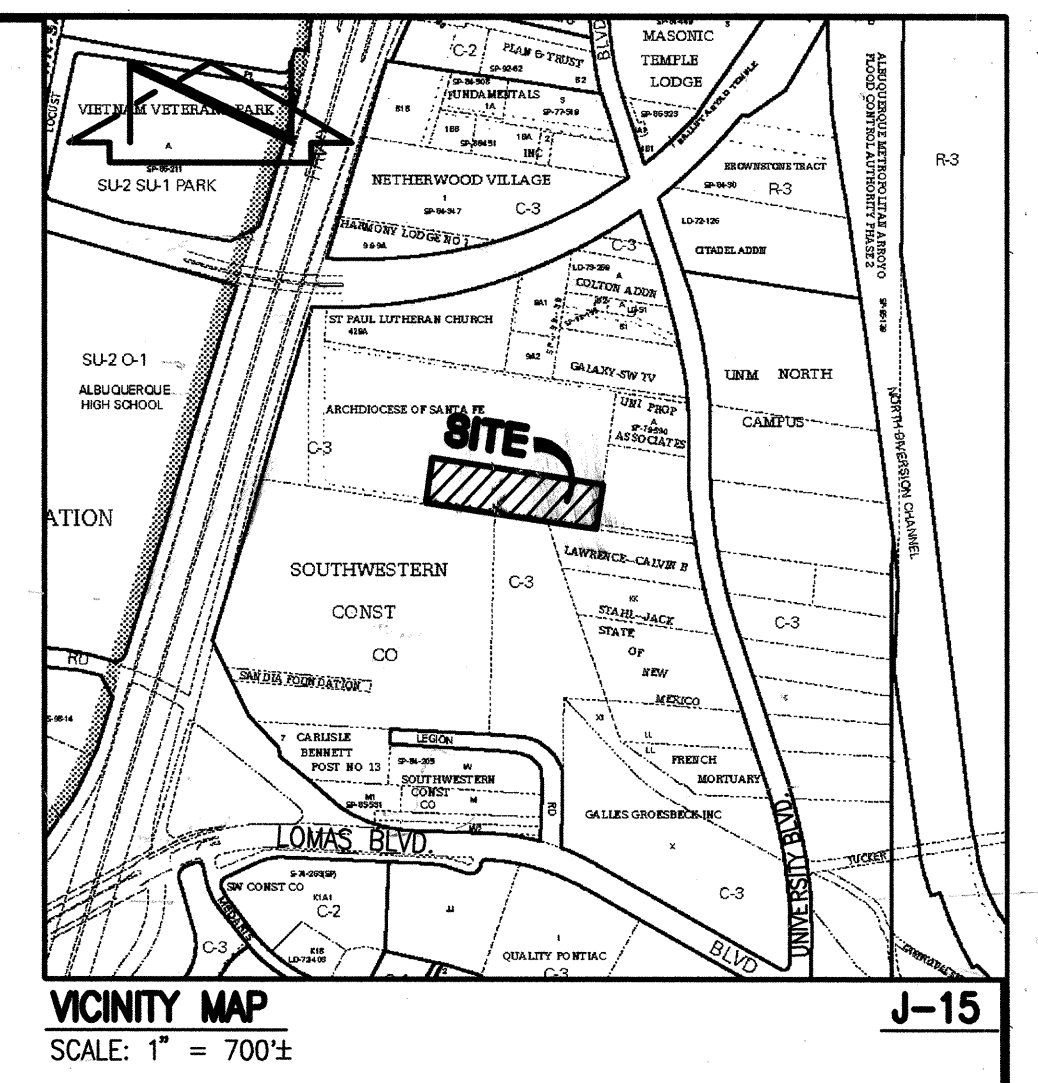
I, J. GRAEME MEANS, NMPE 13676, OF THE FIRM HIGH MESA CONSULTING GROUP, HEREBY CERTIFY THAT THE INFRASTRUCTURE CONSTRUCTED AS PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR PERSONNEL UNDER MY DIRECT SUPERVISION AND, TO THE BEST OF MY KNOWLEDGE AND BELIEF, HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THE ORIGINAL DESIGN INTENT OF THE CITY ENGINEER APPROVED PLANS. THE RECORD SURVEY INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT WAS OBTAINED UNDER THE DIRECT SUPERVISION OF CHARLES G. CALA, NMPS 11184, ALSO OF HIGH MESA CONSULTING GROUP. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE NUMEROUS TIMES DURING AND AFTER CONSTRUCTION AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED APPEARS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THESE RECORD DRAWINGS ARE NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE DESIGN INTENT OF THE PROJECT. THOSE RELYING ON THIS DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR ACCEPTANCE OF THE PROJECT BY THE CITY ENGINEER.

J. Graeme Means 7/15/08
J. GRAEME MEANS, NMPE 13676 DATE



APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY ENGINEER
Anthony Lopez
DATE: 11/04/08

DRB PROJECT #1004913



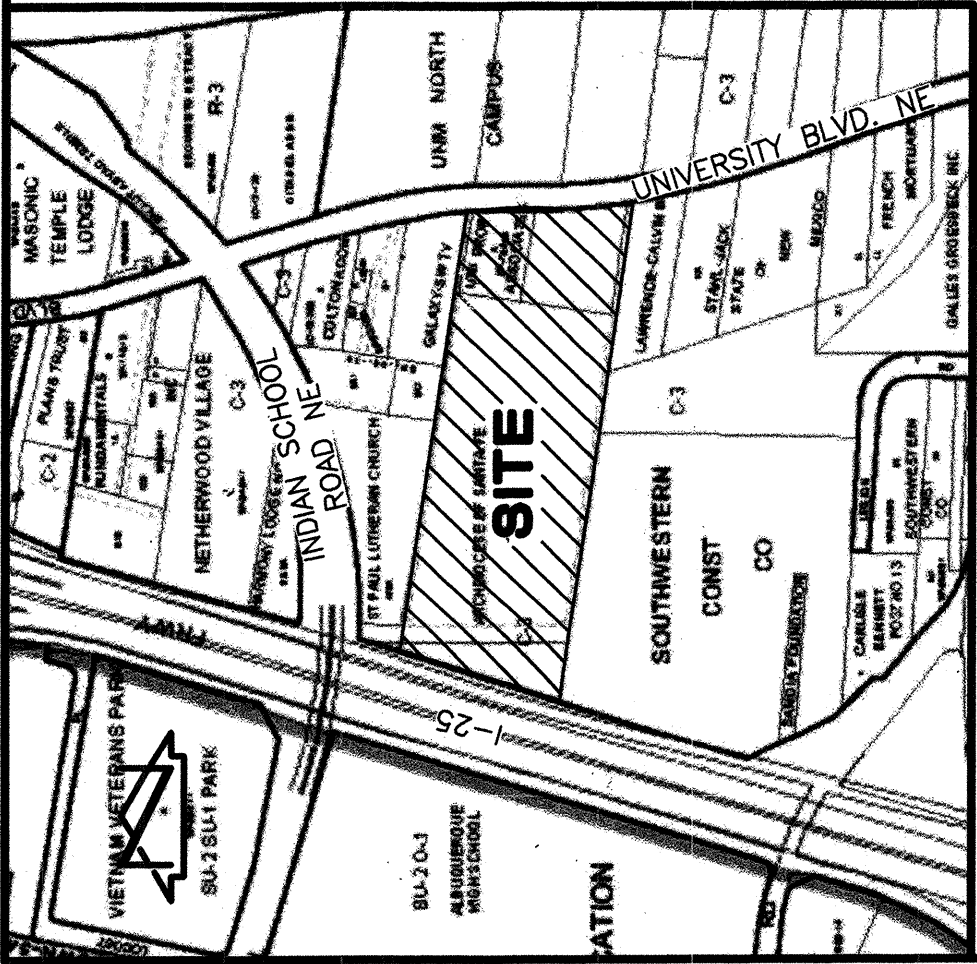
GENERAL NOTES:

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS-PUBLIC WORKS CONSTRUCTION-1986 - UPDATE NO. 7, INCLUDING AMENDMENT #1.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTRACT NEW MEXICO ONLY - CALL SYSTEM, 280-1990, (ALBUQUERQUE AREA) 1-800-321-ALERT (2537) (STATEWIDE) FOR LOCATION OF EXISTING UTILITIES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH.
- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- TACK COAT REQUIREMENTS SHALL BE DETERMINED DURING CONSTRUCTION BY THE ENGINEER.
- SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- IF CURB IS DEEPENED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND CUTTER.
- ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- CONTRACTOR SHALL COORDINATE WITH THE ABCWUA FOR THE EXECUTION OF THE VALVE SHUT OFF PLAN, NOT LESS THAN SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT THE EXISTING PUBLIC WATER UTILITIES. ONLY ABCWUA PERSONNEL SHALL OPERATE EXISTING VALVES. REFER TO SECTION 18 OF THE SPECIFICATIONS. THE ABCWUA PHONE NUMBER IS 857-8200.
- CONTRACTOR SHALL NOTIFY THE CITY SURVEYOR NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE SPECIFICATIONS.
- FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION CO-ORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION CO-ORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (824-3400) PRIOR TO OCCUPYING AN INTERSECTION. CONTRACTOR MUST REFER TO SECTION 19 OF THE STANDARD SPECIFICATION FOR TRAFFIC CONTROL.
- PRIVATE STREETS REQUIRE STREET NAME SIGNS, STOP SIGNS, AND ANY NECESSARY STRIPING (DEVELOPER'S RESPONSIBILITY).
- PERMANENT PAVEMENT STRIPING WILL BE PLACED BY THE CONTRACTOR. THE ROAD SHALL NOT BE OPENED TO THE TRAFFIC UNTIL IT IS STRIPED. ALL STRIPING, PAVEMENT MARKINGS INCLUDING CROSSWALKS, ARROWS AND LINE MARKINGS ARE TO BE CONSTRUCTED OF HOT PLASTIC OR COLD PLASTIC IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- CAUTION: THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926, SUBPART P-EXCAVATIONS.
- ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
- CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL PROJECT HAS BEEN ACCEPTED BY THE CITY.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- WHEN APPLICABLE, CONTRACTOR SHALL SECURE, ON BEHALF OF THE OWNER AND OPERATORS, "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.

2007.170.4

REV.	SHEETS	CITY ENGINEER	DATE	USER	DEPARTMENT	DATE	USER	DEPARTMENT	DATE
1	8		05/08						
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER		DATE		*****	
		DRC Chairman		<i>Anthony Lopez</i>		2-4-08		APPROVED FOR CONSTRUCTION	
		Transportation		<i>Anthony Lopez</i>		12/10/07			
		Water/Wastewater		<i>William G. Hefner</i>		11-20-07			
		Hydrology		<i>Bradley J. Brown</i>		11/20/07			
		C.I.P.							
		Const. Mngmt.							
		Const. Coord.							
City Project No.				670184				SHEET 1 OF 8	

SP #2007030121

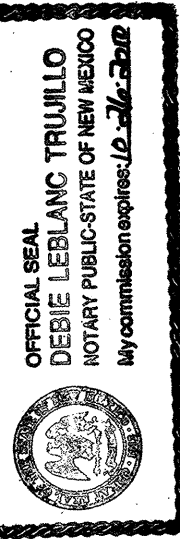


VICINITY MAP
SCALE: 1" = 750'

DEDICATION AND FREE CONSENT

The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owner and does hereby grant the easements as shown, including the rights of ingress and egress and the right to trim interfering trees.

Kim D. Murphy Feb. 26, 2007
Kim D. Murphy, Director of Real Estate,
University of New Mexico



ACKNOWLEDGEMENT
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

This instrument was acknowledged before me on this 26th day of February, 2007, by Kim D. Murphy, Director of Real Estate, University of New Mexico.
Debbie Leblanc Trullio
Notary Public

TRACTS A, B, C, D AND E,
U.N.M. LANDS WEST
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007

PLAT OF

DESCRIPTION

A certain tract of land located within the Corporate Limits of the City of Albuquerque, Bernalillo County, New Mexico, consisting of the following described unplattd tracts of land situated within the Town of Albuquerque, Grant Projected Section 16, Township 10 North, Range 3 East, N.M.P.M., comprising an unplatted tract of land, known as Parcel B, described by Warranty Deed filed in the Office of the County Clerk of Bernalillo County, New Mexico on August 24, 1995, Book 95-20, Pages 384-398, Doc. # 95085286 excepting therefrom that portion described by Quitclaim Deed filed in the Office of the County Clerk of Bernalillo County, New Mexico on August 20, 2000, Book 95-20, Pages 200070491, known as Parcel 6-1, together with Parcel A, UNI Prop Associates, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on October 22, 1979, Book C15, Page 149, and being further described by Warranty Deed filed in the Office of the County Clerk of Bernalillo County, New Mexico on August 24, 1995, Book 95-20, Pages 384-398, Doc. # 95085286; together with two unplatted tracts of land, known as Parcel C, described by Warranty Deed filed in the Office of the County Clerk of Bernalillo County, New Mexico on April 23, 1992, Book 92-9, Pages 6361-6364, Doc. # 9237860, and being further described by Quitclaim Deed filed in the Office of the County Clerk of Bernalillo County, New Mexico on August 24, 1995, Book 95-20, Pages 3978-3980, Doc. # 95085284, and being more particularly described as follows:

Beginning at the northwest corner of the parcel herein described, being the point of intersection of said unplatted Parcel B, described by Warranty Deed filed August 24, 1995, north property line, with the east right-of-way line of Interstate Highway 25, whence the A.C.S. Control Station "9-J15" bears S 18°10'14" E a distance of 1979.45 feet; thence S 81°13'08" E a distance of 1478.48 feet to the northeast corner of the parcel herein described, being the northeast property corner of said unplatted Parcel B, shown as Parcel 6-1, together with Parcel A, UNI Prop Associates, also being a point on the west right-of-way line of University Boulevard NE; thence along an arc of a curve to the right with Delta = 01°37'13", R = 1872.02 feet and L = 52.94 feet, (Chord Bearing = S 02°35'57" E, Chord Length = 52.94 feet) along said west right-of-way line to a point on the east property line of said Parcel A, UNI Prop Associates; thence S 02°17'55" E a distance of 303.01 feet along said west right-of-way line to a point on the east property line of said an arc of a curve to the left with Delta = 06°14'22", R = 1949.86 feet and L = 212.34 feet, (Chord Bearing = S 05°31'31" E, Chord Length = 212.24 feet) along said west right-of-way line to the southeast corner of the parcel herein described, being the southeast property corner of said unplatted Parcel B, also being the northeast property corner of an unplatted parcel known as Lands of Calvin B. Lawrence, described by Special Warranty Deed filed in the Office of the County Clerk of Bernalillo County, New Mexico on November 04, 1998, Book 98-18, Pages 252-257, Doc. # 1998142061; thence N 81°13'10" W a distance of 1084.69 feet to the southwest corner of the parcel herein described, being the point of intersection of said unplatted Parcel B, described by Warranty Deed filed August 24, 1995, south property line with the east right-of-way line of Interstate Highway 25; thence S 81°13'08" E a distance of 1478.48 feet to the northeast corner of Lands of Southwestern Construction Company; thence N 16°53'44" E a distance of 560.64 feet along said east right-of-way line to the point of beginning and containing 20,057.0 acres more or less.

THIS IS TO CERTIFY THAT THESE ARE CURRENT AND
PAID ON UPON 02/26/2007 \$250.00
PROPERTY OF THE UNIVERSITY OF NEW MEXICO
BERNALILLO COUNTY TREASURERS OFFICE
[Signature] 6-19-07

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify: that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the Minimum Standards for Surveying in New Mexico, and that it is correct to the best of my knowledge and belief.

Charles G. Cala, Jr.
Charles G. Cala, Jr., NMP#S 11184
Date 02-09-2007



JEFF MORTENSEN & ASSOCIATES, INC.
6000-B MIDWAY PARK BLVD. NE.
ALBUQUERQUE, NEW MEXICO 87109
PHONE: (505) 345-4250
FAX: (505) 345-4250
JOB #2005.170.7 FINAL

SP #2007030121

TRACTS A, B, C, D AND E, U.N.M. LANDS WEST
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007

PLAT OF

Notes:
1. A boundary survey was performed in January and February, 2003, updated in July, 2005 and verified in January, 2007. Property corners were found or set as indicated.

- All distances are ground distances.
- Site located within projected Section 16, Township 10 North, Range 3 East, N.M.P.M. (Town of Albuquerque Grant).
- Bearings shown hereon are New Mexico State Plane Grid Bearings, Central Zone. These bearings are positioned from A.C.S. Control Station "9-J15".
- Record bearings and distances are shown in parenthesis.
- Private street mileage created by this plat = 0.26 miles (full-width).
- Upon completion of the construction of the streets, City of Albuquerque approved centerline monuments shall be placed at all intersections or as otherwise indicated in lieu of subdivision block corner monumentation. Location of said monuments are designated with a * or symbol.
- The purpose of this plat is to:
 - Eliminate the interior property and deed lines to create 5 (five) tracts from Parcel A, UNI Prop Associates, Parcels 1 & 2, Unplatted Lands of U.N.M. and Parcel B, Unplatted Lands of U.N.M.
 - Vacate the P.N.M. and M.S.T.&T. Company easements granted by the following documents: Book Misc. 69, Page 137 and Book Misc. 69, Page 845, records of Bernalillo County, New Mexico (060RB-00750).
 - Grant the necessary private utility, private access, private drainage, private vehicular access, City of Albuquerque public water line, City of Albuquerque public storm drainage, City of Albuquerque public water meter, City of Albuquerque public sanitary sewer, and PNM Gas Services (only) easements as shown.
- The following documents and instruments were used for the performance and preparation of this survey:
 - Plat of UNI Prop Associates, filed 10-22-1979, Book C15, Page 149, Records of Bernalillo County, New Mexico.
 - Plat for assessment purposes of Lands of Southwestern Construction Company, filed 01-06-1967, Book C6, Page 149, Records of Bernalillo County, New Mexico.
 - Plat for assessment purposes of Lands of Southwestern Construction Company, filed 02-28-1971, Book C7, Page 209, Records of Bernalillo County, New Mexico.
 - Plat of Lands of Southwestern Construction Company, filed 05-18-1984, Book C24, Page 10, Records of Bernalillo County, New Mexico.
 - Plat of Lands of Springer Transfer Company, filed 02-05-1999, Book 99C, Page 25, Records of Bernalillo County, New Mexico.
 - New Mexico State Highway and Transportation Department Right of Way Map, dated 05-21-2002.
 - Certificate of Survey of Tracts X & X-1 together with a portion of Tract Z, Southwestern Construction Company prepared by Albuquerque Surveying Company, Inc. dated 12-11-1990.
 - ALTA/AC.S.M. Land Title Survey of Parcel IV & V, Tract KK and a portion of Tract Z, Southwestern Construction Company prepared by Southwest Survey Company, Inc. dated 10-22-1998.
 - ALTA/AC.S.M. Land Title Survey of Parcels 1 and 2 prepared by Greiner Engineering Sciences, Inc. dated 02-24-1992.
 - ALTA/AC.S.M. Land Title Survey of Parcels A and B prepared by Albuquerque Surveying Company, Inc. dated 07-27-1993.
 - Boundary Survey of Parcels A and B and Parcel A, UNI Prop Associates prepared by this firm dated 01-31-2001.
 - Warranty Deed filed 08-24-1995, Book 95-20, Pages 3984-3986, Doc. #95085286, Records of Bernalillo County, New Mexico (Parcel B).
 - Warranty Deed filed 08-24-1995, Book 95-20, Pages 3981-3983, Doc. #95085285, Records of Bernalillo County, New Mexico (Parcel A).

RECORD DRAWING

COUNTY CLERK FILING DATA

Deed 2007089423
Book 99C, Page 25
Filed 02/09/2007 10:48 AM
Bernalillo County

LINE	DIRECTION	DISTANCE	EASEMENT
E1	N 39°00'12" W	25.05'	13
E2	N 81°13'08" W	163.36'	13
E3	N 16°53'44" E	560.64'	13
E4	S 81°13'08" W	1750.00'	14
E5	N 81°20'27" W	12.50'	14
E6	N 81°20'27" W	12.50'	14
E7	N 81°20'27" W	12.50'	14
E8	N 81°20'27" W	12.50'	14
E9	N 81°20'27" W	12.50'	14
E10	N 81°20'27" W	12.50'	14
E11	N 81°20'27" W	12.50'	14
E12	N 81°20'27" W	12.50'	14
E13	N 81°20'27" W	12.50'	14
E14	N 81°20'27" W	12.50'	14
E15	N 81°20'27" W	12.50'	14
E16	N 81°20'27" W	12.50'	14
E17	N 81°20'27" W	12.50'	14
E18	N 81°20'27" W	12.50'	14
E19	N 81°20'27" W	12.50'	14
E20	N 81°20'27" W	12.50'	14
E21	N 81°20'27" W	12.50'	14
E22	N 81°20'27" W	12.50'	14
E23	N 81°20'27" W	12.50'	14
E24	N 81°20'27" W	12.50'	14
E25	N 81°20'27" W	12.50'	14
E26	N 81°20'27" W	12.50'	14
E27	N 81°20'27" W	12.50'	14
E28	N 81°20'27" W	12.50'	14
E29	N 81°20'27" W	12.50'	14
E30	N 81°20'27" W	12.50'	14
E31	N 81°20'27" W	12.50'	14
E32	N 81°20'27" W	12.50'	14
E33	N 81°20'27" W	12.50'	14
E34	N 81°20'27" W	12.50'	14
E35	N 81°20'27" W	12.50'	14
E36	N 81°20'27" W	12.50'	14
E37	N 81°20'27" W	12.50'	14
E38	N 81°20'27" W	12.50'	14

EASEMENT TABLES

LINE	DIRECTION	DISTANCE	EASEMENT
E1	N 39°00'12" W	25.05'	6
E2	N 81°13'08" W	163.36'	6
E3	N 16°53'44" E	560.64'	6
E4	S 81°13'08" W	1750.00'	6
E5	N 81°20'27" W	12.50'	6
E6	N 81°20'27" W	12.50'	6
E7	N 81°20'27" W	12.50'	6
E8	N 81°20'27" W	12.50'	6
E9	N 81°20'27" W	12.50'	6
E10	N 81°20'27" W	12.50'	6
E11	N 81°20'27" W	12.50'	6
E12	N 81°20'27" W	12.50'	6
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E14	N 81°20'27" W	12.50'	6
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E16	N 81°20'27" W	12.50'	6
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E18	N 81°20'27" W	12.50'	6
E19	N 81°20'27" W	12.50'	6
E20	N 81°20'27" W	12.50'	6
E21	N 81°20'27" W	12.50'	6
E22	N 81°20'27" W	12.50'	6
E23	N 81°20'27" W	12.50'	6
E24	N 81°20'27" W	12.50'	6
E25	N 81°20'27" W	12.50'	6
E26	N 81°20'27" W	12.50'	6
E27	N 81°20'27" W	12.50'	6
E28	N 81°20'27" W	12.50'	6
E29	N 81°20'27" W	12.50'	6
E30	N 81°20'27" W	12.50'	6
E31	N 81°20'27" W	12.50'	6
E32	N 81°20'27" W	12.50'	6
E33	N 81°20'27" W	12.50'	6
E34	N 81°20'27" W	12.50'	6
E35	N 81°20'27" W	12.50'	6
E36	N 81°20'27" W	12.50'	6
E37	N 81°20'27" W	12.50'	6
E38	N 81°20'27" W	12.50'	6

BOUNDARY TABLES

LINE	DIRECTION	DISTANCE
L1	S 73°06'16" E	51.77'
L2	N 25°30'11" E	25.48'
L3	N 14°18'50" E	28.99'
CL1	N 81°13'10" W	886.06'

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	1872.02'	52.94'	S 02°35'57" E	52.94'	01°37'13"
C2	1949.86'	212.34'	S 05°31'31" E	212.24'	06°14'22"
C3	360.00'	175.73'	N 52°15'06" W	174.17'	26°29'47"
CLC1	300.33'	118.90'	S 87°33'10" W	118.12'	22°40'58"



JEFF MORTENSEN & ASSOCIATES, INC.
6000-B MIDWAY PARK BLVD. NE.
ALBUQUERQUE, NEW MEXICO 87109
PHONE: (505) 345-4250
FAX: (505) 345-4250
JOB #2005.170.7 FINAL

TRACTS A, B, C, D AND E, U.N.M. LANDS WEST

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007

PLAT OF

COUNTY CLERK FILING DATA

Doc# 2007089423
FILED 02/19/2007 10:48 AM
COUNTY CLERK'S OFFICE
ALBUQUERQUE, NEW MEXICO

KEYED NOTES

VACATED EASEMENTS

- ① 5' PNM AND MST&T COMPANY EASEMENT GRANTED BY DOCUMENT FILED 05-26-1967, BOOK MSC. 69, PAGE 137; VACATED BY 06DRB-00730 (DRB #1004913)
- ② 5' PNM AND MST&T COMPANY EASEMENT GRANTED BY DOCUMENT FILED 06-05-1967, BOOK MSC. 69, PAGE 845; VACATED BY 06DRB-00730 (DRB #1004913)

EXISTING EASEMENTS

- ③ 5' MST&T COMPANY R.O.W. EASEMENT GRANTED BY DOCUMENT FILED 03-16-1971, BOOK MSC. 208, PAGES 73-74, DOC. #16473
- ④ 5' PNM EASEMENT GRANTED BY DOCUMENT FILED 02-12-1960, BOOK D527, PAGE 23
- ⑤ 7' MST&T COMPANY R.O.W. EASEMENT GRANTED BY DOCUMENT FILED 03-16-1971, BOOK MSC. 208, PAGE 75
- ⑥ PUBLIC WATERLINE EASEMENT GRANTED BY DOCUMENT FILED 09-11-2002, BOOK A41, PAGE 4648, DOC. #2002114976
- ⑦ PUBLIC ROADWAY EASEMENT GRANTED BY DOCUMENT FILED 09-11-2002, BOOK A41, PAGE 4648, DOC. #2002114976
- ⑧ PUBLIC WATERLINE EASEMENT GRANTED BY DOCUMENT FILED 12-21-2004, BOOK A88, PAGE 7410, DOC. #200417899

EXISTING EASEMENTS - OFFSITE

- ⑨ APPROXIMATE LOCATION OF 6'x49' SIDEWALK ACCESS EASEMENT GRANTED BY DOCUMENT FILED 05-20-1998, BOOK 9810, PAGE 560, DOC. #1998062148; DIVENWAY IS CURRENTLY CLOSED
- ⑩ 25' CITY OF ALBUQUERQUE ROAD EASEMENT AS DEPICTED ON PLAT D3-180, ALSO DESCRIBED BY AMENDMENT TO LEASE EXECUTED ON 04-30-1971
- ⑪ APPROXIMATE LOCATION OF 10' PNM EASEMENT GRANTED BY DOCUMENT FILED 09-26-1958, BOOK D444, PAGE 132
- ⑫ NMSHDT EASEMENT GRANTED BY DOCUMENT FILED 08-25-2002, BOOK A37, PAGE 9956, DOC. #2002080182

MONUMENTS

- ⑬ FOUND REBAR W/ALUMINUM CAP STAMPED "NMSHDT", TAGGED W/WASHER STAMPED "NMP5 11184"
- ⑭ FOUND REBAR W/ALUMINUM CAP STAMPED "NMSHDT", 0.1' SOUTH OF PROPERTY LINE
- ⑮ FOUND #5 REBAR, BENT, 0.7' SOUTH OF PROPERTY LINE
- ⑯ FOUND CHISELED "+" IN CONCRETE SIDEWALK
- ⑰ FOUND MAG NAIL W/WASHER STAMPED "NMP5 11184" IN ASPHALT
- ⑱ FOUND REBAR W/CAP STAMPED "10464", TAGGED W/WASHER STAMPED "NMP5 11184"
- ⑲ FOUND REBAR W/ALUMINUM CAP STAMPED "NMLS 6261", TAGGED W/WASHER STAMPED "NMP5 11184"
- ⑳ SET #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"

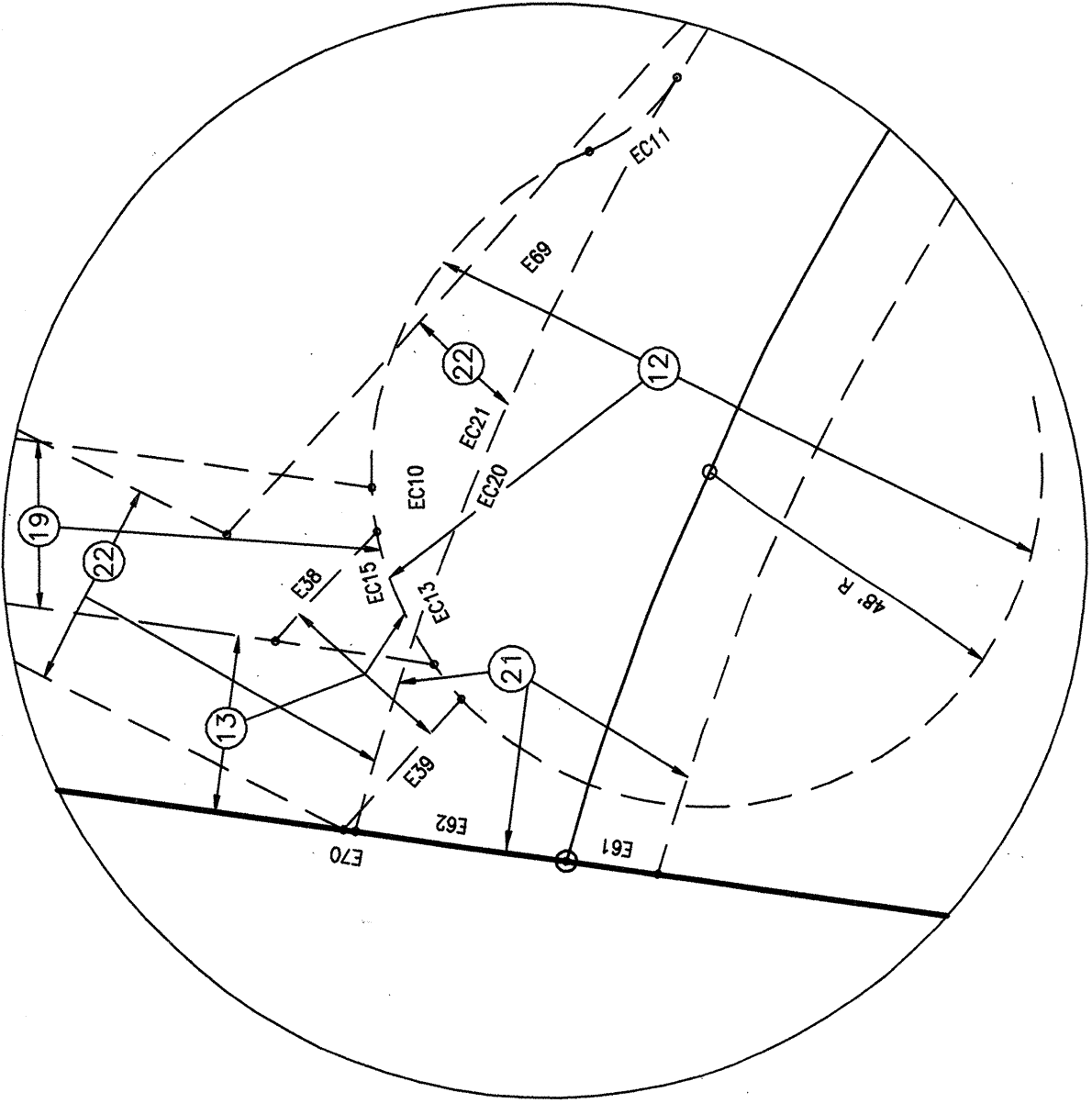
NEW EASEMENTS

- ⑳ PRIVATE ACCESS EASEMENT GRANTED BY THIS PLAT TO SERVE TRACTS A, B, C, D AND E, U.N.M. LANDS WEST, AND THE UNIVERSITY OF NEW MEXICO AND SANDIA FOUNDATION. ALSO MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE UNDERLYING PROPERTY OWNER. CITY OF ALBUQUERQUE PUBLIC STORM DRAINAGE EASEMENT GRANTED BY THIS PLAT.
- ㉑ CITY OF ALBUQUERQUE PUBLIC STORM DRAINAGE EASEMENT GRANTED BY THIS PLAT
- ㉒ CITY OF ALBUQUERQUE PUBLIC WATER METER EASEMENT GRANTED BY THIS PLAT
- ㉓ 10' PNM GAS SERVICES EASEMENT, ONLY, GRANTED BY THIS PLAT TO SERVE TRACTS B, C AND D, U.N.M. LANDS WEST
- ㉔ NON-SPECIFIC PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT TO SERVE TRACT D. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS OF TRACT C.
- ㉕ NON-SPECIFIC PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT TO SERVE TRACTS C AND D. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS OF TRACT B.
- ㉖ NON-SPECIFIC PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT TO SERVE TRACTS B, C AND D. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS OF TRACT E.
- ㉗ PRIVATE VEHICULAR ACCESS EASEMENT GRANTED BY THIS PLAT TO SERVE TRACT E.
- ㉘ 12' PRIVATE UTILITY EASEMENT GRANTED BY THIS PLAT TO SERVE THE UNIVERSITY OF NEW MEXICO. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE UNIVERSITY OF NEW MEXICO.
- ㉙ CITY OF ALBUQUERQUE PUBLIC WATERLINE AND CITY OF ALBUQUERQUE PUBLIC SANITARY SEWER EASEMENT GRANTED BY THIS PLAT
- ㉚ CITY OF ALBUQUERQUE PUBLIC SANITARY SEWER EASEMENT GRANTED BY THIS PLAT
- ㉛ CITY OF ALBUQUERQUE PUBLIC WATERLINE EASEMENT GRANTED BY THIS PLAT
- ㉜ 5' QWEST TELECOMMUNICATIONS EASEMENT GRANTED BY THIS PLAT

NEW EASEMENTS - OFFSITE

- ㉝ PRIVATE ACCESS EASEMENT TO BE GRANTED BY SEPARATE EASEMENT DOCUMENT TO SERVE TRACTS A, B, C, D AND E. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE UNDERLYING PROPERTY OWNER. CITY OF ALBUQUERQUE PUBLIC STORM DRAINAGE, CITY OF ALBUQUERQUE PUBLIC SANITARY SEWER AND CITY OF ALBUQUERQUE PUBLIC WATERLINE EASEMENT TO BE GRANTED BY SEPARATE DOCUMENT.
- ㉞ CITY OF ALBUQUERQUE PUBLIC SANITARY SEWER EASEMENT TO BE GRANTED BY SEPARATE DOCUMENT.

EASEMENT DETAIL

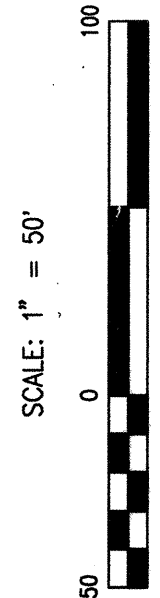
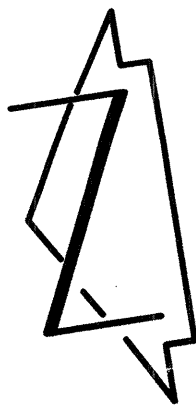


JEFF MERTENSEN & ASSOCIATES, INC.
10000 UNIVERSITY PARK DRIVE, SUITE 100
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS SURVEYORS (G005) 345-4250
JOB #2005.170.7 FINAL

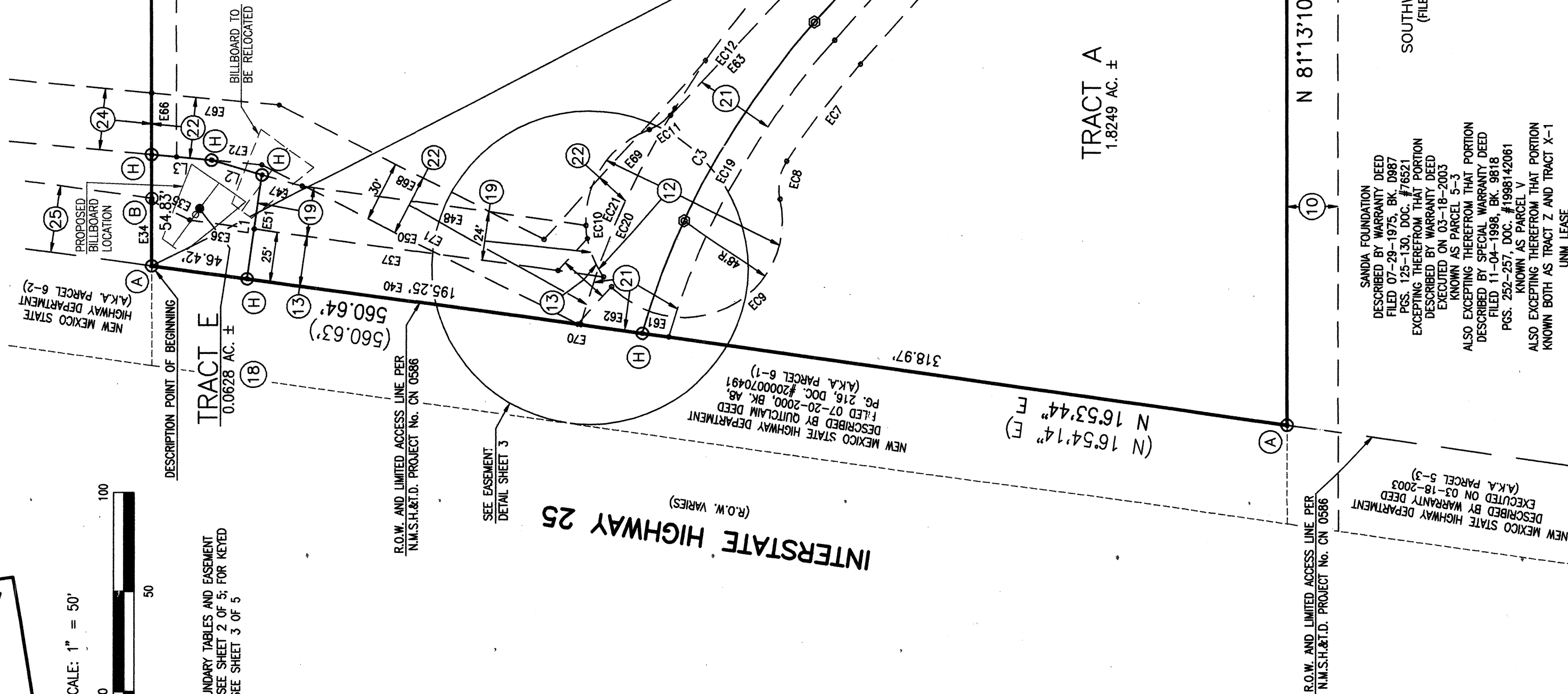
SHEET 3 OF 5

SP #2007030121

TRACTS A, B, C, D AND E, U.N.M. LANDS WEST
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007



NOTE: FOR BOUNDARY TABLES AND EASEMENT TABLES SEE SHEET 2 OF 5; FOR KEYED NOTES SEE SHEET 3 OF 5



UNPLATTED
TR. 429 A, ST. PAUL'S CHURCH
DESCRIBED BY DEED
FILED 02-10-1975
BOOK 100, PAGE 1018
UPC#1015026283210118

Doc# 2007089423

FILED 02/19/2007 10:48 AM
COUNTY CLERK'S OFFICE
ALBUQUERQUE, NEW MEXICO

COUNTY CLERK FILING DATA

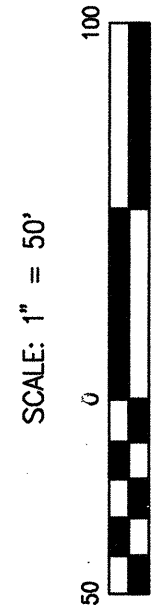
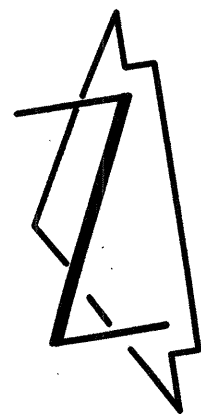
RECORD DRAWING



JEFF MERTENSEN & ASSOCIATES, INC.
10000 UNIVERSITY PARK DRIVE, SUITE 100
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS SURVEYORS (G005) 345-4250
JOB #2005.170.7 FINAL

SHEET 4 OF 5

SP #2007030121



NOTE: FOR BOUNDARY TABLES AND EXEMPT TABLES SEE SHEET 4 OF 5. NOTES SEE SHEET 3 OF 5.

MATCH LINE - FOR CONTINUATION SEE SHEET 4

RECORD DRAWING

CPN 670184
SHEET 4 OF 8

TRACTS A, B, C, D AND E, U.N.M. LANDS WEST
PLAT OF
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007

Doc# 2007089423
FILED 02-05-1999, BK. 96C-29
UNPLATTED LANDS OF U.N.M.
COUNTY CLERK FILING DATA

TRACT 9-A-2, LANDS OF
SPRINGER TRANSFER COMPANY
(FILED 02-05-1999, 96C-29)

UNPLATTED LANDS
OF GALAXY - SW TV
UPC#1015063573491010

FORMER PARCEL B
UNPLATTED LANDS OF U.N.M.
DESCRIBED BY WARRANTY DEED
FILED 04-23-1992, BK. 97-9
PSS. 3884-3986, DOC. #95065286
EXCEPTING THEREFROM THAT PORTION
OF PARCEL B, BEING 20.00 AC. AND
FILED 07-20-2000, BK. 98,
PG. 216, DOC. #2000070491

TRACT D
9.9988 AC. ±

FORMER PARCEL A
UNI PROP ASSOCIATES
(FILED 10-22-1979, C15-146)
DESCRIBED BY WARRANTY DEED
FILED 08-24-1995, BK. 95-20,
PSS. 3981-3983, DOC. #95065295

FORMER LANDS OF U.N.M.
"PARCEL 1"
DESCRIBED BY WARRANTY DEED
FILED 04-23-1992, BK. 97-9
PSS. 3881-3884, DOC. #9237860
AND DESCRIBED BY OUTCAMEL DEED
FILED 08-24-1995, BK. 95-20,
PSS. 3978-3980, DOC. #95065284

FORMER LANDS OF U.N.M.
"PARCEL 2"
DESCRIBED BY WARRANTY DEED
FILED 04-23-1992, BK. 97-9
PSS. 3881-3884, DOC. #9237860
AND DESCRIBED BY OUTCAMEL DEED
FILED 08-24-1995, BK. 95-20,
PSS. 3978-3980, DOC. #95065284

CENTRAL PORTION OF
TRACT Z, LANDS OF
SOUTHWESTERN CONSTRUCTION COMPANY
(FILED 04-26-1971, ASSESSMENT PLAT C7-209)
UNPLATTED LANDS OF U.N.M.
DESCRIBED BY SPECIAL WARRANTY DEED
FILED 07-19-1998, BK. 0338A,
PSS. 3881-3884, DOC. #95065286
(A.K.A. LANDS OF CALVIN E. LUNDEN)
UPC#101506362270102

UNPLATTED LANDS OF U.N.M.
DESCRIBED BY SPECIAL WARRANTY DEED
FILED 07-19-1998, BK. 0338A,
PSS. 3881-3884, DOC. #95065286
(A.K.A. LANDS OF CALVIN E. LUNDEN)
UPC#101506362270102

594.05'
(594.29')

N 81°13'44" W
(N 81°23' W)

CPN 670184

SHEET 4 OF 8



JEFF MORTENSEN & ASSOCIATES, INC.
ENGINEERS & SURVEYORS
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS & SURVEYORS (505) 345-4250
JOB #2005.170.7 FINAL2

LEGEND

OH(1) OVERHEAD LINES (NO. OF LINES)
 EXISTING PAVEMENT/CURB
 EXISTING FIRE HYDRANT
 PROPOSED FIRE HYDRANT
 PROPOSED STORM DRAIN MANHOLE
 EXISTING STORM DRAIN MANHOLE
 PROPOSED SANITARY SEWER MANHOLE
 EXISTING SANITARY SEWER MANHOLE
 EXISTING GATE VALVE
 PROPOSED GATE VALVE

NOTE:
 THIS IS NOT A BOUNDARY SURVEY; APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON A BOUNDARY, LEASE, UTILITY AND TOPOGRAPHIC SURVEY OF LANDS WEST PREPARED BY HIGH MESA CONSULTING GROUP, (FORMERLY JEFF MORTENSEN & ASSOCIATES, INC.) NMPS 11184, DATED JUNE 26, 2003 (UNRECORDED) AND A PRELIMINARY PLAT OF U.N.M. LANDS WEST CERTIFIED JANUARY 18, 2007 (UNRECORDED). THE TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON THE "PARTIAL TOPOGRAPHIC SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, (FORMERLY JEFF MORTENSEN & ASSOCIATES, INC.), NMPS NO. 11184, DATED JANUARY 2007.

KEYED NOTES

EXISTING EASEMENTS

- ③ 5' MST&T COMPANY R.O.W. EASEMENT GRANTED BY DOCUMENT FILED 03-16-1971, BOOK MSC. 208, PAGES 73-74, DOC. #16473
- ④ 5' PNM EASEMENT GRANTED BY DOCUMENT FILED 02-12-1960, BOOK 0527, PAGE 23
- ⑤ 7' MST&T COMPANY R.O.W. EASEMENT GRANTED BY DOCUMENT FILED 03-16-1971, BOOK MSC. 208, PAGE 75
- ⑥ PUBLIC WATERLINE EASEMENT GRANTED BY DOCUMENT FILED 09-11-2002, BOOK A41, PAGE 4648, DOC. #2002114576
- ⑦ PUBLIC ROADWAY EASEMENT GRANTED BY DOCUMENT FILED 09-11-2002, BOOK A41, PAGE 4648, DOC. #2002114576
- ⑧ PUBLIC WATERLINE EASEMENT GRANTED BY DOCUMENT FILED 12-21-2004, BOOK A88, PAGE 7410, DOC. #2004177899

EXISTING EASEMENTS - OFFSITE

- ⑨ APPROXIMATE LOCATION OF 8'x49' SIDEWALK ACCESS EASEMENT GRANTED BY DOCUMENT FILED 05-20-1998, BOOK 9810, PAGE 560, DOC. #1998062148; DRIVEWAY IS CURRENTLY CLOSED
- ⑩ 25' CITY OF ALBUQUERQUE ROAD EASEMENT AS DEPICTED ON PLAT 03-180, ALSO DESCRIBED BY AMENDMENT TO LEASE EXECUTED ON 04-30-1971
- ⑪ APPROXIMATE LOCATION OF 10' PNM EASEMENT GRANTED BY DOCUMENT FILED 09-26-1958, BOOK D444, PAGE 132
- ⑫ NMST&T EASEMENT GRANTED BY DOCUMENT FILED 08-25-2002, BOOK A37, PAGE 9956, DOC. #2002080182

NEW EASEMENTS

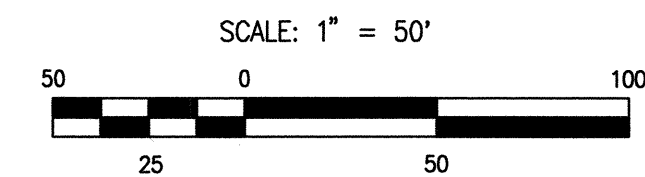
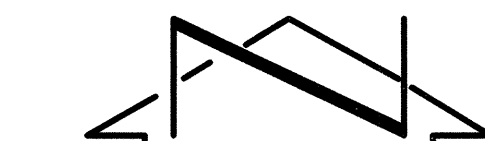
- ⑬ PRIVATE ACCESS EASEMENT GRANTED BY THIS PLAT TO SERVE TRACTS A, B, C, D AND E, U.N.M. LANDS WEST, AND THE UNIVERSITY OF NEW MEXICO AND SANDIA FOUNDATION. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE UNDERLYING PROPERTY OWNER. ALSO CITY OF ALBUQUERQUE PUBLIC STORM DRAINAGE EASEMENT GRANTED BY PLAT 2007C-166
- ⑭ CITY OF ALBUQUERQUE PUBLIC STORM DRAINAGE EASEMENT GRANTED BY PLAT 2007C-166
- ⑮ CITY OF ALBUQUERQUE PUBLIC WATER METER EASEMENT GRANTED BY PLAT 2007C-166
- ⑯ 10' PNM GAS SERVICES EASEMENT, ONLY, GRANTED BY PLAT 2007C-166 TO SERVE TRACTS B, C AND D, U.N.M. LANDS WEST
- ⑰ NON-SPECIFIC PRIVATE DRAINAGE EASEMENT GRANTED BY PLAT 2007C-166 TO SERVE TRACT D. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS OF TRACT C.
- ⑱ NON-SPECIFIC PRIVATE DRAINAGE EASEMENT GRANTED BY PLAT 2007C-166 TO SERVE TRACTS C AND D. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS OF TRACT B.
- ⑲ NON-SPECIFIC PRIVATE DRAINAGE EASEMENT GRANTED BY PLAT 2007C-166 TO SERVE TRACTS B, C AND D. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS OF TRACT E.
- ⑳ PRIVATE VEHICULAR ACCESS EASEMENT GRANTED BY PLAT 2007C-166 TO SERVE TRACT E. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT B.
- ㉑ PRIVATE UTILITY EASEMENT GRANTED BY PLAT 2007C-166 TO SERVE THE UNIVERSITY OF NEW MEXICO. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE UNIVERSITY OF NEW MEXICO.
- ㉒ CITY OF ALBUQUERQUE PUBLIC WATERLINE AND CITY OF ALBUQUERQUE PUBLIC SANITARY SEWER EASEMENT GRANTED BY PLAT 2007C-166
- ㉓ CITY OF ALBUQUERQUE PUBLIC SANITARY SEWER EASEMENT GRANTED BY PLAT 2007C-166
- ㉔ CITY OF ALBUQUERQUE PUBLIC WATERLINE EASEMENT GRANTED BY PLAT 2007C-166
- ㉕ 5' QWEST TELECOMMUNICATIONS EASEMENT GRANTED BY PLAT 2007C-166

NEW EASEMENTS - OFFSITE

- ㉖ PRIVATE ACCESS EASEMENT TO BE GRANTED BY SEPARATE EASEMENT DOCUMENT TO SERVE TRACTS A, B, C, D AND E. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE UNDERLYING PROPERTY OWNER. CITY OF ALBUQUERQUE PUBLIC STORM DRAINAGE, CITY OF ALBUQUERQUE PUBLIC SANITARY SEWER AND CITY OF ALBUQUERQUE PUBLIC WATERLINE EASEMENT TO BE GRANTED BY SEPARATE DOCUMENT.
- ㉗ CITY OF ALBUQUERQUE PUBLIC SANITARY SEWER EASEMENT TO BE GRANTED BY SEPARATE DOCUMENT.

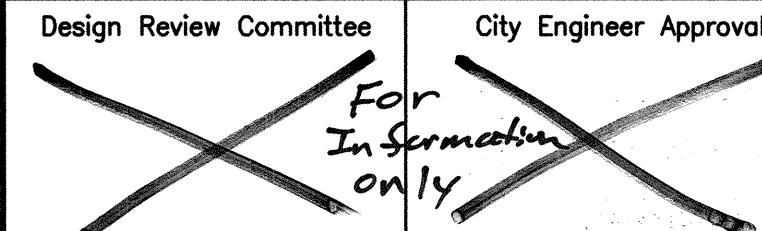
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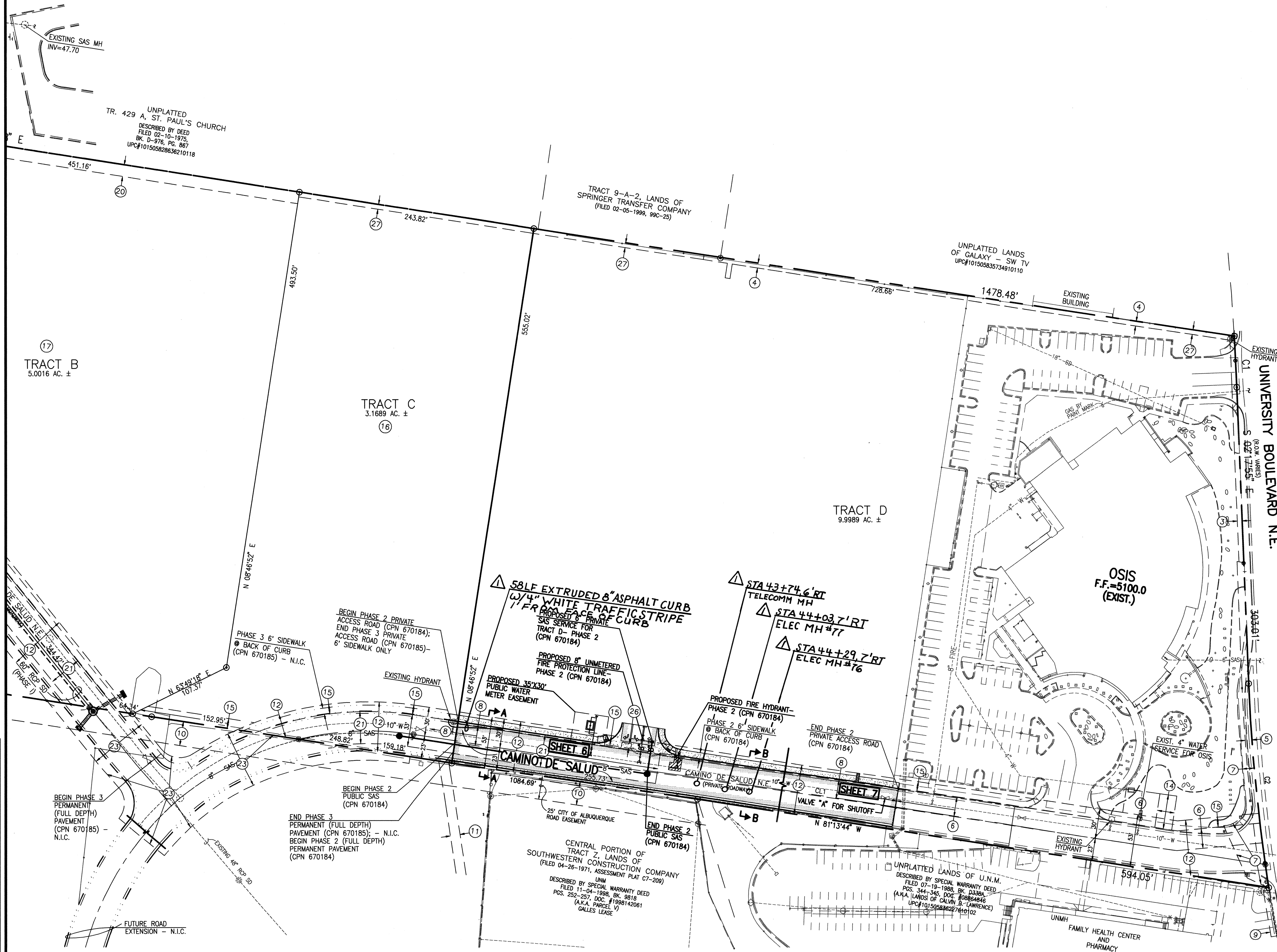
**RECORD DRAWING
FOR CERTIFICATION,
SEE SHEET 1**



HIGH MESA Consulting Group
 FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109
 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacorp.com
 2007.170.4

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

TITLE: SITE PLAN UNIVERSITY OF NEW MEXICO LANDS WEST - PHASE 2 IMPROVEMENTS	
Design Review Committee	City Engineer Approval
 For Information only	
City Project No.	Zone Map No.
670184	J-15
Sheet	Of
5	8



TRACT D



NOTE:
EXISTING WATER LINE AND
BASE LIFT OF PAVEMENT WAS
CONSTRUCTED BY CPN 670182

PAVING LEGEND

- | | |
|---|--|
|  | LIMITS OF NEW ASPHALT PAVEMENT |
|  | NEW CONCRETE |
|  | PAVEMENT REMOVAL & REPLACEMENT |
|  | NEW TEMP PAVEMENT PER COA STD DWG 2465 |

SCALE:
HORIZONTAL: 1" = 20'
VERTICAL: 1" = 5'



**PROPOSED TOP
OF CURB
ELEVATIONS**

ELEVATIONS ARE IN NGVD 1929

WATER LINE CONSTRUCTION NOTES:

1. ALL STATIONING IS BASED ON STREET CENTERLINE UNLESS INDICATED OTHERWISE.
2. FOR ALL LINES 12" AND SMALLER, WATER MAIN SHALL BE PVC C-900 PIPE OR AS APPROVED BY ABCWA. DUCTILE IRON IS AN ACCEPTABLE ALTERNATE FOR LINED PVC.
3. FOR ALL LINES 14" AND LARGER, WATER MAIN SHALL BE DUCTILE IRON OR PVC C-905 OR AS APPROVED BY ABCWA. CONCRETE CYLINDER IS AN ACCEPTABLE PIPE MATERIAL IN PLACE OF DUCTILE IRON.
4. WATER LINE SHALL HAVE A MINIMUM COVER OF 3'-0" (FINISHED GRADE TO TOP OF PIPE) FOR ALL LINES 12" OR SMALLER; 4'-0" MINIMUM COVER FOR LINES 14" OR LARGER. EXTRA DEPTH TRENCHING, IF REQUIRED, SHALL BE CONSIDERED IN ADDITION TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
5. ELECTRONIC MARKER DISCS (EMD) SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD SPECIFICATION, SECTION 170.1. IN ADDITION, WARNING TAPE WITH 6" OF THE STANDARD SPECIFICATIONS', METALLIZED DETECTABLE WARNING TAPE, SHALL BE INSTALLED 18" ABOVE ALL PVC PIPE INSTALLED ON THIS PROJECT.
6. FOR STEEL AND FIRE HYDRANT EXTENSIONS SHALL BE PROVIDED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS. THE COST OF EACH EXTENSION SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION THEREFORE NO SEPARATE PAYMENT WILL BE MADE.
7. JOINT RESTRANT SHALL BE CONSIDERED INCIDENTAL TO WATER LINE CONSTRUCTION THEREFORE NO SEPARATE PAYMENT WILL BE MADE.
8. JOINT RESTRANT SHALL BE PROVIDED ON ALL JOINTS OF FIRE HYDRANT LESS FROM TEE TO FIRE HYDRANT INCLUDING THE TEE AND FIRE HYDRANT.
9. FOR THE PURPOSES OF THIS SPECIFICATION, ALL RESTRAINED JOINTS AND JOINT RESTRANT SHALL BE MECHANICALLY RESTRAINED. JOINT RESTRAINT LENGTHS SPECIFIED HEREIN ARE THE LENGTHS TO BE RESTRAINED EACH SIDE OF THE FITTING.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND BACKFILL AND INSTALL. THE CONTRACTOR SHALL BE RESPONSIBLE TO INTERFERE WITH OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND REPLACING, IF DAMAGED, ALL OTHER UTILITIES ENCOUNTERED DURING THE CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
12. WHERE WATER AND SANITARY SEWER LINES CROSS, THE SANITARY SEWER LINE SHALL BE INSTALLED UNDER THE WATER PIPE BETWEEN MANHOLES IF 18 INCHES OF VERTICAL SEPARATION DOES NOT EXIST.
13. FOR FIRE HYDRANT LINES, THE LINEQUALLY WRAPPED IN BLACK PLASTIC UNTIL SUCH TIME AS THE NEW WATER LINE IS PUT INTO SERVICE BY ABCWA PERSONNEL.

SANITARY SEWER CONSTRUCTION NOTES:

1. ALL STATIONING IS BASED ON STATION CENTERLINE UNLESS INDICATED OTHERWISE.
2. ALL SEWER PIPE SHALL BE PVC (SDR-35).
3. SLOPES SHOWN ON THE PROFILES ARE BASED ON TRUE DISTANCES.
4. SEWER SERVICE LATERALS AND MAINS SHALL BE PROVIDED WITH ELECTRONIC MARKER DISCS (EMD) AS PER CITY OF ALBUQUERQUE SPECIFICATIONS DRAWING 2129.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATION, SECTION 17.0.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND BACKFILL AND INSTALL PIPE TO NOT EXCEED RIGHT-OF-WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES. THIS SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOT EXCEED. NO SEPARATE PAYMENT WILL BE MADE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND REPLACING, IF DAMAGED, ALL OTHER UTILITIES INTERFERED DURING THE CONSTRUCTION OF THE PROJECT. NO SEPARATE PAYMENT TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
8. ALL WATER AND SANITARY SEWER LINES CROSS, THE SANITARY SEWER LINE SHALL BE INSTALLED AS PRESSURE PIPE BETWEEN MANHOLES IF 18 INCHES OF VERTICAL SEPARATION DOES NOT EXIST.
9. ALL SANITARY SEWER MANHOLES SHALL BE 4' DIAMETER TYPE "C".

CURVE DATA					
CURVE	RADIUS	ARC	DELTA	CHORD	CH BEARING
(A)	25.00'	39.27'	90°00'00"	35.36'	N53°46'50"E
(B)	25.00'	39.27'	90°00'00"	35.36'	S36°13'10"E
CLC1	300.33'	118.90'	22°40'58"	118.12'	S87°33'10"W

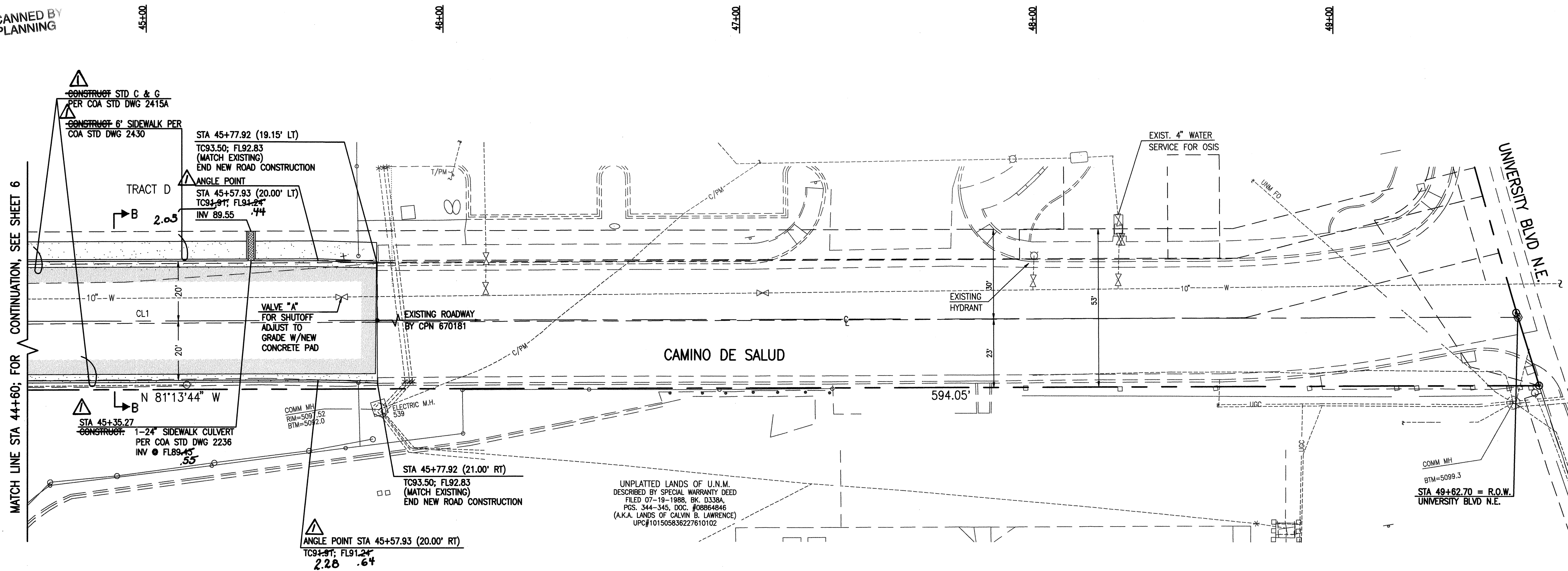
HIGH MESA Consulting Group
FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com
2007 170 4

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

**TITLE: CAMINO DE SALUD IMPROVEMENTS PLAN AND PROFILE STA 40+82.30 TO STA 44+80
UNIVERSITY OF NEW MEXICO
LANDS WEST - PHASE 2 IMPROVEMENTS**

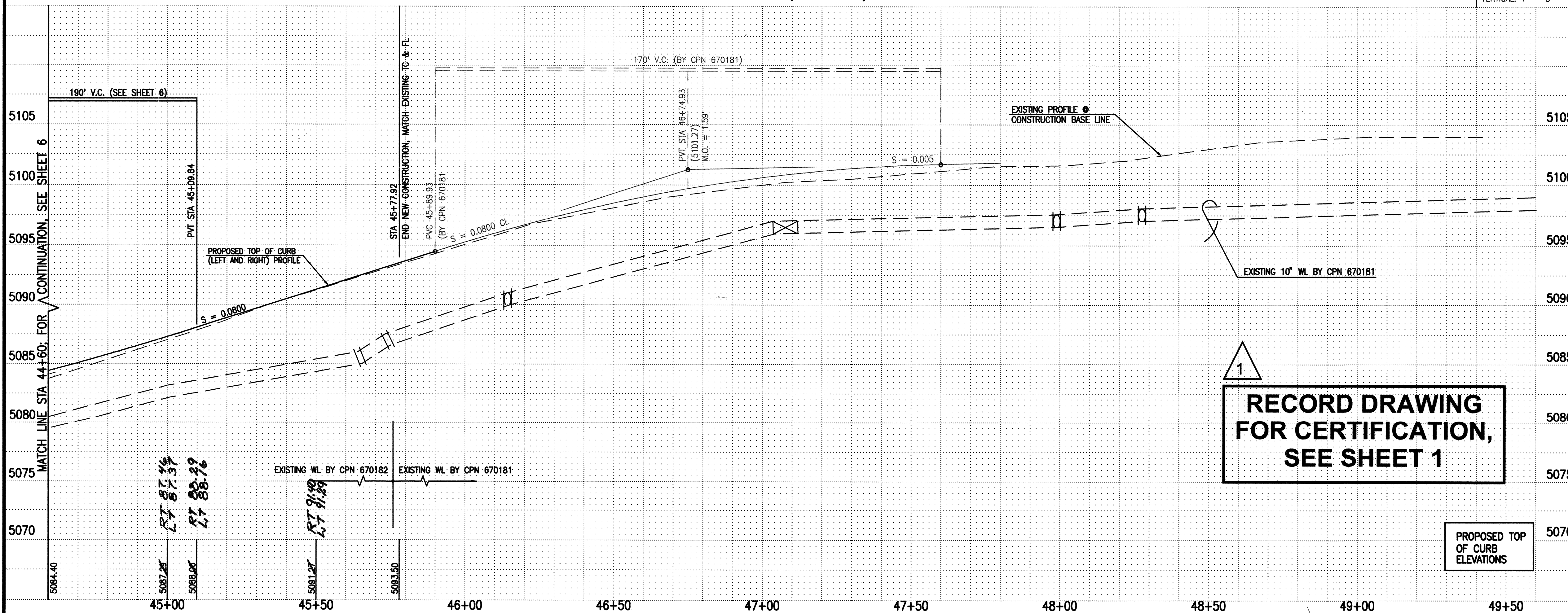
Mo./Day/Yr.	Mo./Day/Yr.

Sheet 6 Of 8



CAMINO DE SALUD (PRIVATE)

SCALE:
HORIZONTAL: 1" = 20'
VERTICAL: 1" = 5'



**RECORD DRAWING
FOR CERTIFICATION,
SEE SHEET 1**

PROPOSED TOP
OF CURB
ELEVATIONS

ELEVATIONS ARE IN NGVD 1929

- STREET PAVING IMPROVEMENTS:
- ALL SLOPES AS SHOWN ON PROFILES ARE BASED ON STREET CENTERLINE STATIONING EXCEPT CUL-DE-SACS AND EYEBROWS WHERE STATIONING IS ALONG FACE-OF-CURB.
 - WHERE REMOVAL OF EXISTING CURB AND GUTTER, SIDEWALK OR PAVEMENT IS REQUIRED, THE CONTRACTOR SHALL SAWCUT AND/OR REMOVE TO THE NEAREST JOINT. CURB AND GUTTER SHOWN AS EXISTING AND NOT TO BE REMOVED UNDER THIS CONTRACT WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR PER C.O.A. STD. DWGS 2415A AND 2430, RESPECTIVELY, AT THE CONTRACTOR'S EXPENSE.
 - ALL DIMENSIONS OF CURB AND CURB RETURNS ARE SHOWN TO FACE-OF-CURB.
 - SIDEWALKS SHOWN HEREON AS "DEFERRED" SHALL BE CONSTRUCTED UNDER SEPARATE PERMIT.
 - ALL WHEELCHAIR WORK MUST BE CONSTRUCTED UNDER THIS WORK ORDER. DETECTABLE WARNING SURFACES (TRUNCATED DORIES) MUST BE DESIGNED PER ADA GUIDELINES. SUBMIT SURFACE SPECIFICATIONS TO THE CITY ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION. ALL CURB AND GUTTER SHOWN HEREON SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD DRAWING 2415A UNLESS OTHERWISE NOTED.
 - UPON COMPLETION OF CONSTRUCTION, THE CITY OF ALBUQUERQUE WILL PROVIDE AND INSTALL ALL STREET SIGNS.
 - STRIPING BY CONTRACTOR WILL BE REQUIRED PRIOR TO FINAL ACCEPTANCE.

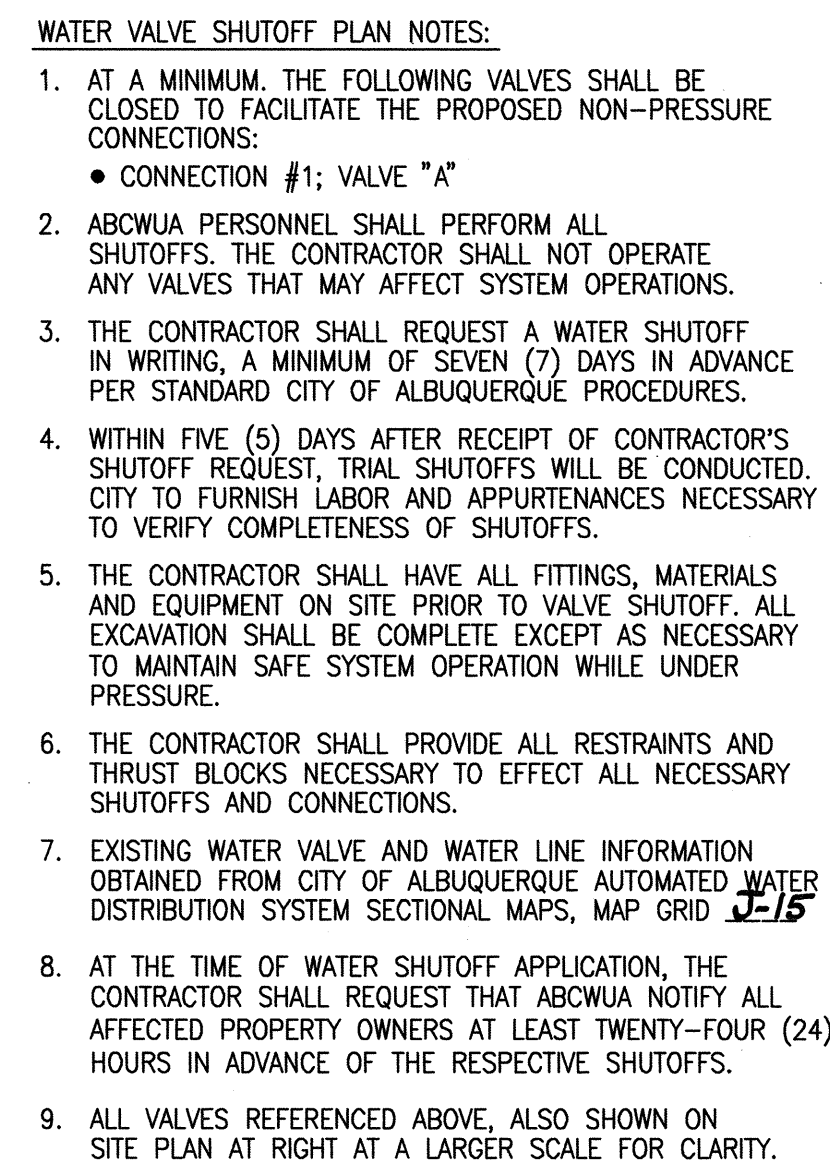
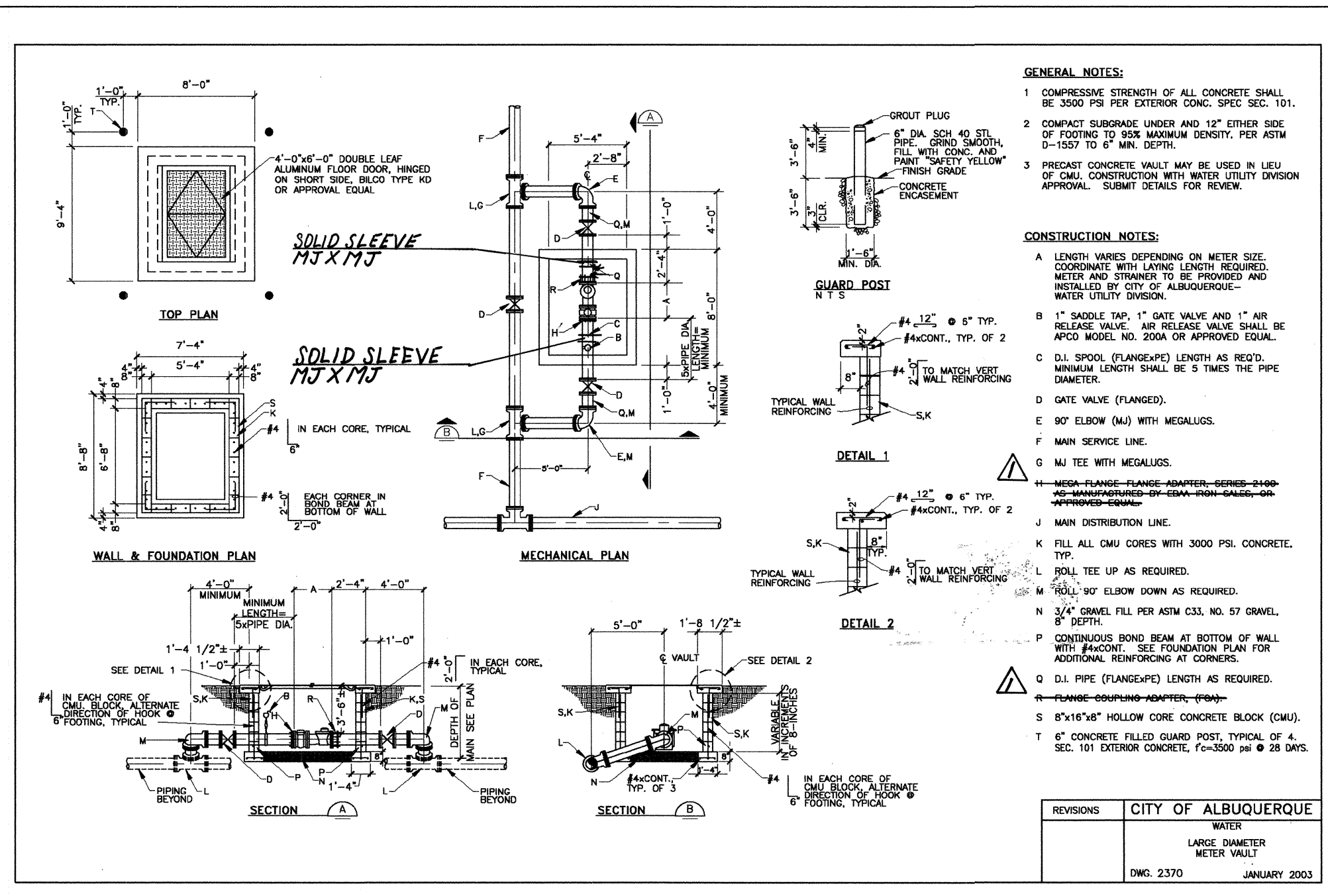
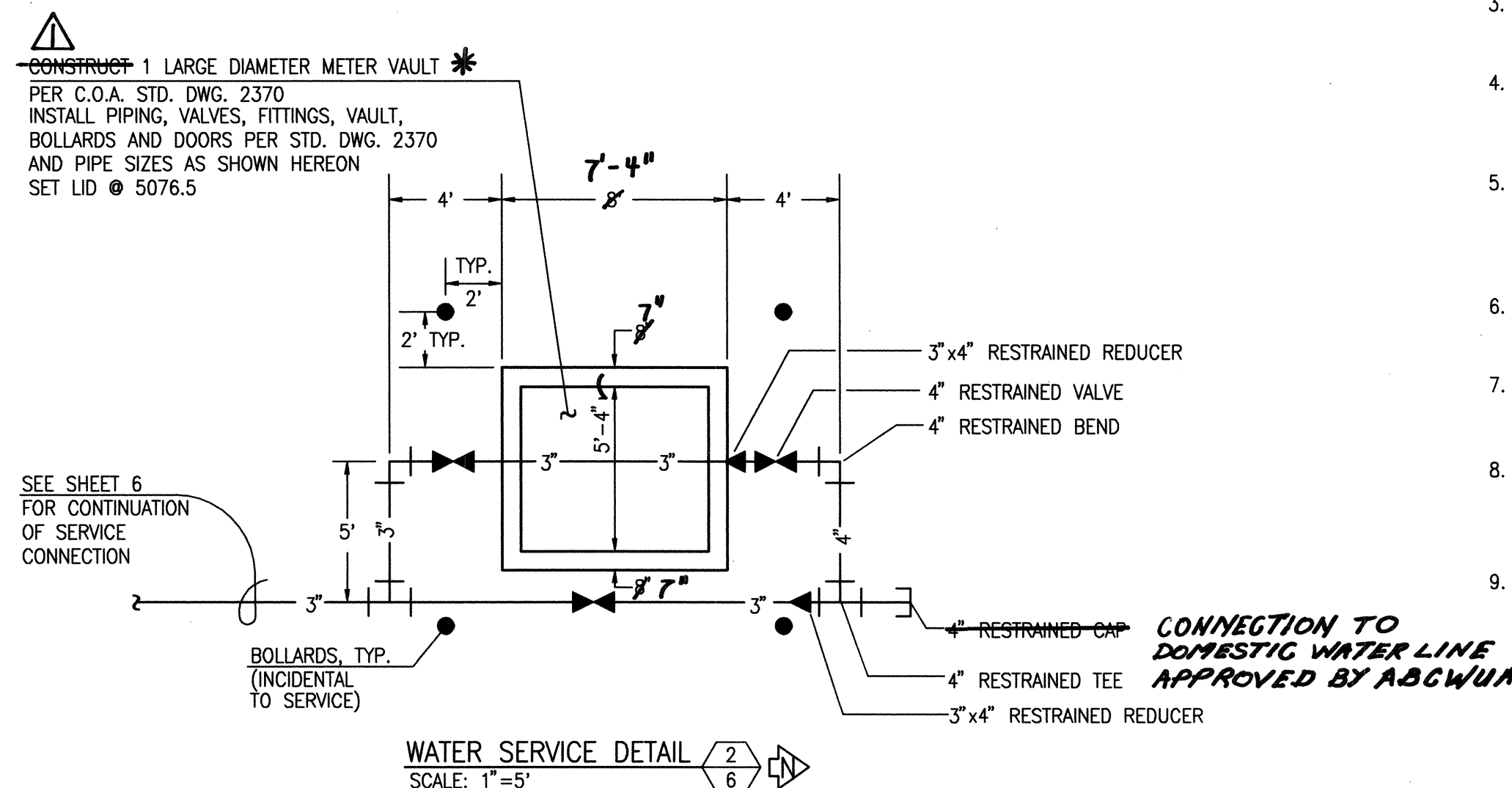
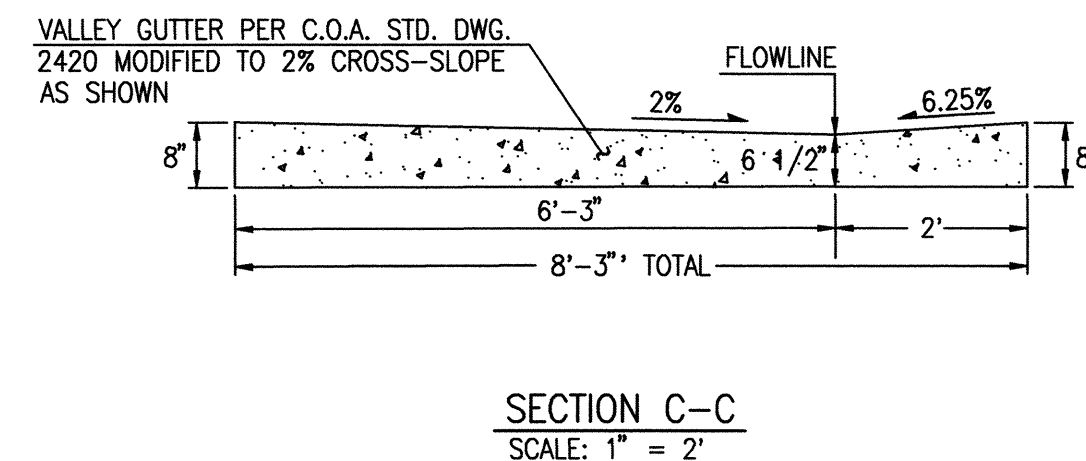
SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	DATE	BY	DATE	CONTRACTOR	DATE
2008.171.2	02/02/07	H.M.C.G. (FORMERLY J.M.A.)	02/02/07	RMCI	02/02/07
				STAMPED BY	DATE
				INSPECTOR'S	DATE
				FIELD VERIFICATION BY	DATE
				CORRECTED BY	DATE
				MICRO-FILM INFORMATION	DATE
				RECORDED BY	DATE
				NO.	

ENGINEER'S SEAL		REVISIONS	
		NO.	DATE
		DATE	DATE

DESIGNED BY	G.M.	DATE	08-07
DRAWN BY	RRM/JLP	DATE	08-07
CHECKED BY	G.M.	DATE	11-07

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE
APPROVED FEB 08 2008 DESIGN REVIEW COMMITTEE	APPROVED MAR 06 2008 CITY ENGINEER	

CITY PROJECT NO.	670184	ZONE MAP NO.	J-15	SHEET	7	OF	8
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**RECORD DRAWING
FOR CERTIFICATION,
SEE SHEET 1**

HIGH MESA Consulting Group
FORMERLY JEFF MORTESEN AND ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com
2007 170 4

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP													
TITLE: SECTIONS AND DETAILS, WATER VALVE SHUTOFF PLAN UNIVERSITY OF NEW MEXICO LANDS WEST – PHASE 2 IMPROVEMENTS													
Design Review Committee 	City Engineer Approval 	Lost Design Update	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; padding: 2px;"> Mr./Ms./Mr./Mrs. </td> <td style="width: 50%; padding: 2px;"> Mr./Ms./Mr./Mrs. </td> </tr> <tr><td style="height: 20px;"></td><td></td></tr> <tr><td style="height: 20px;"></td><td></td></tr> <tr><td style="height: 20px;"></td><td></td></tr> <tr><td style="height: 20px;"></td><td></td></tr> </table>	Mr./Ms./Mr./Mrs.	Mr./Ms./Mr./Mrs.								
Mr./Ms./Mr./Mrs.	Mr./Ms./Mr./Mrs.												
City Project No. 670184	Zone Map No. J-15	Sheet 8	Of 8										

ENGINEER'S SEAL						SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
						NO.		DATE BY 02/02/07 HULCO (FORMERLY JULIA)		CONTRACTOR <i>HMC</i>	
										RECORDED BY <i>HMC</i>	
						2006-171.2		TOP OF THE EAST END OF A CONCRETE RETAINING WALL 0.30 MILE NORTH OF LOMAS BLVD. N.E., 0.30 MILE SOUTH OF INDIAN SCHOOL RD., AT THE NORTH PROPERTY LINE OF ADDRESS 1131 UNIVERSITY BLVD.,		WORKED BY <i>HMS</i>	
										DRAWINGS CHECKED BY <i>HMC</i>	
										DATE <i>09/8</i>	
										DATE <i>09/8</i>	
										DATE <i>09/8</i>	
										DATE <i>09/8</i>	
										MICRO-FILM INFORMATION	
										RECORDED BY <i>HMC</i>	
										DATE	
										DATE	

J. GARCINE MEANS
No. 13676
State of Mexico
Expired 11/29/2007

DESIGN		REVISIONS		REMARKS		BY	
Designed By		G.M.	Date	08-07			
Drawn By		RRW/JLP	Date	08-07			
Checked By		G.M.	Date	11-07			

Sheet **5**
Of **8**
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