

PUBLIC UTILITY IMPROVEMENT PLANS
FOR

**BRYN MAWR NE
IMPROVEMENTS
ALBUQUERQUE, NM**

APRIL 2018

PREPARED FOR
TIROL HOUSING
4700 SW MACADAM AVE, STE 200
PORTLAND, OR 97239

PREPARED BY
SCOTT M MCGEE
9700 TANOAN DRIVE NE
ALBUQUERQUE, NM 87111

INDEX TO DRAWINGS

SHEET NO.

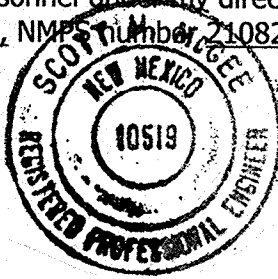
TITLE

- | | |
|---|--------------------------------------|
| 1 | COVER SHEET |
| 2 | PLAT |
| 3 | GRADING & DRAINAGE PLAN |
| 4 | EROSION & SEDIMENT CONTROL PLAN |
| 5 | BRYN MAWR PLAN & PROFILE AND SECTION |

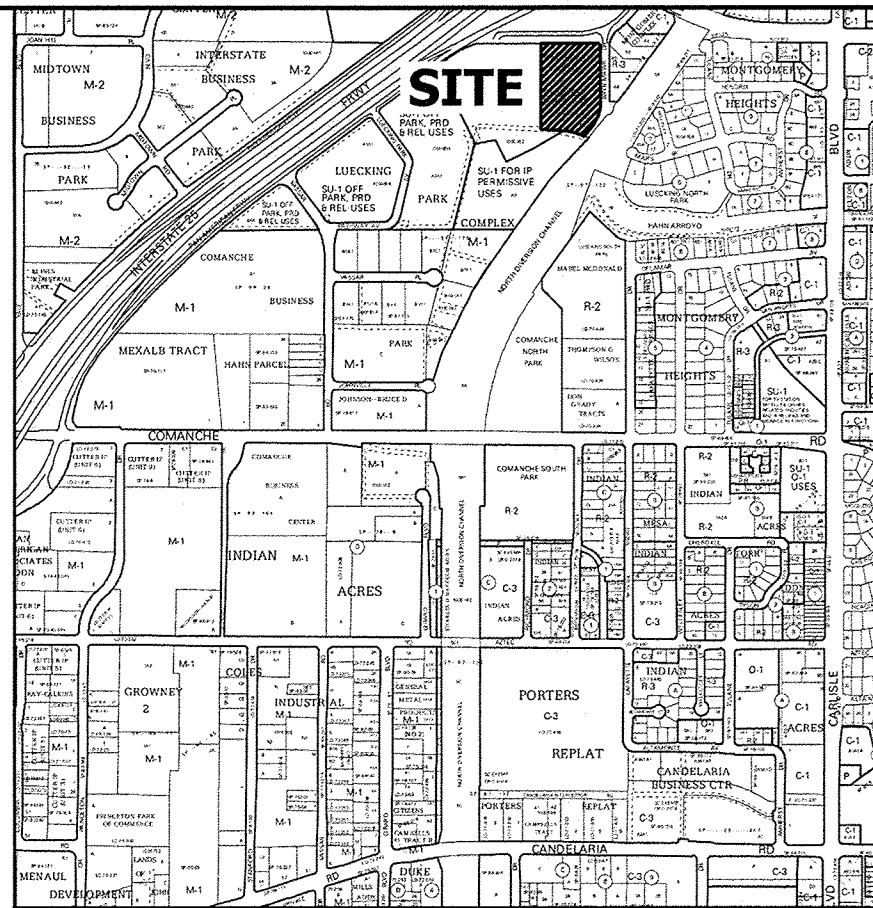
CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON RECORD DRAWINGS

I, Scott M McGee of the firm of SCOTT M MCGEE PE, LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City of Albuquerque and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by David P Acosta / CSTI, NMES 21082.

Scott M McGee 10/10/18



APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTIONS
CITY CONSTRUCTION ENGINEER
DATE: 11/27/18



VICINITY MAP G-16

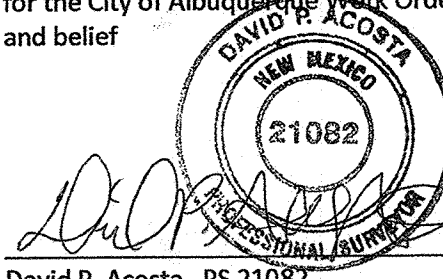
GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION THROUGH UPDATE #9 AND WILL BE REFERRED TO HEREIN AS "STANDARD SPECIFICATIONS".
- ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY MUST BE DONE FROM APPROVED WORK ORDER DOCUMENTS FROM THE CITY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- CONTRACTOR AGREES THAT HE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650 SUBPART P.
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY OR ABCWUA EASEMENTS.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. ONLY THE CITY SURVEYOR SHALL REPLACE SURVEY MONUMENTS. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO STANDARD SPECIFICATIONS SECTION 4.4.
- SEVEN (7) WORKING DAYS PRIOR TO STARTING CONSTRUCTION, CONTRACTOR SHALL SUBMIT TO DMD CONSTRUCTION COORDINATION DIVISION (CCD) A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE DMD CCD. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF STANDARD SPECIFICATIONS. PERMIT REQUESTS MAY BE DENIED OR DELAYED DUE TO CONFLICTS WITH OTHER PROJECTS IN THE AREA.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
- AT HIS OWN EXPENSE, CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING CURB & GUTTER, PAVEMENT, SIDEWALKS, ACCESSIBLE RAMPS, STRIPING, AND SIGNAGE, DURING CONSTRUCTION APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE, PER STANDARD SPECIFICATIONS.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ALL GRAFFITI FROM EQUIPMENT, EITHER PERMANENT OR TEMPORARY.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL CONSTRUCTION SIGNING UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE.
- WATER & SEWER
- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- THE CONTRACTOR SHALL COORDINATE WITH THE ABCWUA SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT AFFECTS PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF WELL COLLECTORS, TRANSMISSION LINES, OR FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/WATER_SHUT_OFF_AND_TURN_ON_PROCEEDURES.ASPX](http://abcwua.org/water_shut_off_and_turn_on_procedures.aspx).
- PROPOSED WATERLINE MATERIALS SHALL BE PVC PIPE MEETING AWWA C-900: DR18 REQUIREMENTS (6" - 12"), DUCTILE IRON PIPE MEETING AWWA C-150 REQUIREMENTS (6" - 64"), SEWER MATERIALS SHALL BE PVC SDR 35.
- ALL FITTINGS ON WATERLINE SHALL HAVE RESTRAINED JOINTS AS NOTED ON THE PLANS.
- INSTALL TRACER WIRE ON ALL PUBLIC WATER LINE AND SANITARY SEWER LINE.
- ALL BACKFILL FOR TRENCHES WITHIN CITY R/W SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY PER STANDARD DRAWING NO. 2465.
- ELECTRONIC MARKER SPHERES (EMS) WILL BE PLACED PER SECTION 170 OF THE CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #9.
- OTHER COMMON NOTES
- RCP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATION. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF PIPE. RCP JOINTS SHALL NOT BE GROUTED UNLESS DIRECTED BY THE ENGINEER AFTER CITY APPROVAL.
- CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL DETERMINE IN ADVANCE OF HIS CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF CONTRACTOR.
- PNM WILL PROVIDE AT NO COST TO THE CITY OR THE CONTRACTOR THE REQUIRED PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES AND/OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- EXISTING UTILITY LINE LOCATION ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.
- THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ALL EXISTING UTILITIES.
- CONTRACTOR SHALL SUPPORT ALL EXISTING, UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND/OR SEWER LINE COSTS.
- CONTRACTOR IS TO SUPPORT AND MAINTAIN THE INTEGRITY OF ALL UNDERGROUND TELEPHONE, ELECTRIC CABLES AND CABLE TV UTILITIES AT NO ADDITIONAL COST TO THE OWNER. CABLE IS TO BE SUPPORTED EVERY 15 (MAXIMUM) FEET. CONTRACTOR SHALL COORDINATE WITH AND MAKE NECESSARY PAYMENT (IF ANY) TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES OR SUPPORT OF CABLES BY THE UTILITY OWNER.
- CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC R/W OR PRIVATE ROADWAY EASEMENTS SO THAT EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
- REMOVALS SHALL BE DISPOSED OF OFF-SITE LEGALLY BY THE CONTRACTOR.
- CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIAL IN AN ENVIRONMENTALLY ACCEPTABLE MANNER AT A LOCATION ACCEPTABLE TO THE PROJECT MANAGER. THERE WILL BE NO DIRECT COMPENSATION FOR THIS WORK.
- CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC AND PEDESTRIAN PATHS INCLUDING ADA PATHWAYS.
- WORK AFFECTING ARTERIAL ROADWAYS MAY REQUIRE 24-HOUR CONSTRUCTION.
- ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR.
- WHEN ABUTTING EXISTING PAVEMENT TO NEW, SAWCUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE FIELD ENGINEER. REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED.
- REMOVAL OF EXISTING CURB AND GUTTER OR SIDEWALK SHALL BE TO THE NEAREST JOINT.
- CURB & GUTTER, SIDEWALKS, AND DRIVE PADS SHALL MATCH ELEVATIONS OF ABUTTING EXISTING AREAS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE PROJECT ENGINEER.
- THE SUBGRADE PREP SHALL EXTEND ONE FOOT BEYOND THE FREE EDGE OF NEW CURB & GUTTER AND SIDEWALK.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN PUBLIC R/W.
- CONTRACTOR SHALL TEST SUBGRADE R-VALUE PRIOR TO CONSTRUCTION. IF R-VALUE < 50, REMOVE 2 FEET OF SUBGRADE MATERIAL AND IMPORT MATERIAL WITH R-VALUE > 50 OR CONTACT THE ENGINEER IMMEDIATELY SO PAVEMENT SECTION CAN BE MODIFIED.

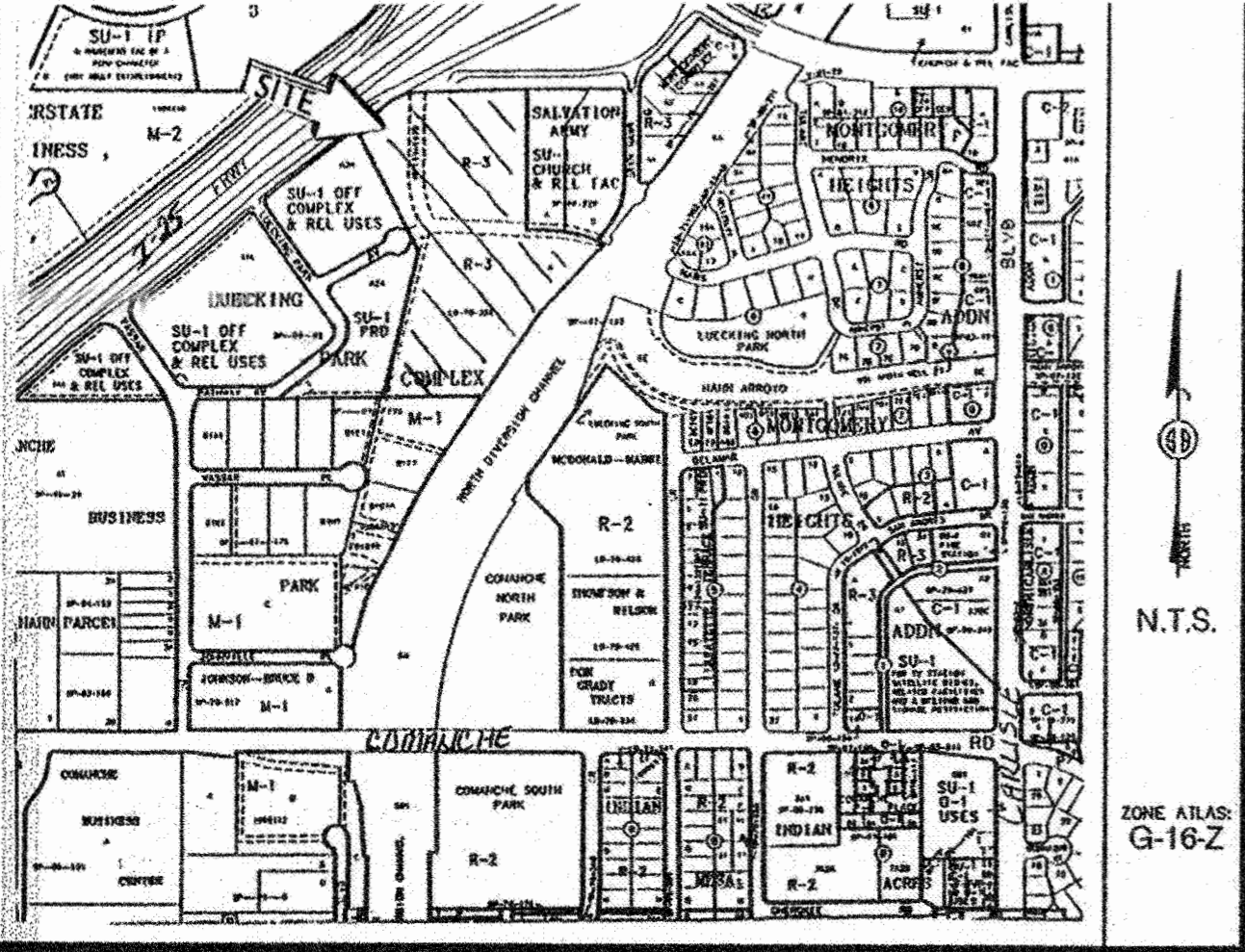
RECORD DRAWING

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEER'S STAMP & SIGNATURE		APPROVALS		ENGINEER		DATE	
		TRANSPORTATION				5/9/18	
		WATER/WASTEWATER				5/9/18	
		HYDROLOGY				5/9/18	
		AMAFCA				5/9/18	
		CONSTR. MNGMT.				5/9/18	
CITY PROJECT NO.				DATE			
672763				6/7/18			
SHEET				OF			
1				5			

I, David P. Acosta, a New Mexico Professional Surveyor No. 21082 do hereby certify that this As-Built was prepared in accordance with contract construction documents and specifications from an actual field survey performed on October 3, 2018 and meets the minimum requirements of As-Builts prepared for the City of Albuquerque. Order #672763 and is true and accurate to the best of my knowledge and belief



10-10-18
Date



Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 83, AND ARE BASED ON CONTROL MONUMENTS NMHC/ACS M-6 AND NMHC 1-25-20, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESES () ARE PER THE PLAT OF TRACTS A & B OF LUECKING PARK COMPLEX, FILED IN BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 08, 1970 IN VOLUME C7, FOLIO 176.
6. GROSS AREA: 15.5079 ACRES
7. NUMBER OF EXISTING TRACTS: 1
8. NUMBER OF TRACTS CREATED: 2
9. THE 40' PRIVATE ACCESS EASEMENT IS FOR THE BENEFIT AND USE BY AND FOR THE OWNERS/USERS OF TRACTS A-1 AND A-2 AND IS TO BE MAINTAINED BY SAID OWNERS/USERS.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

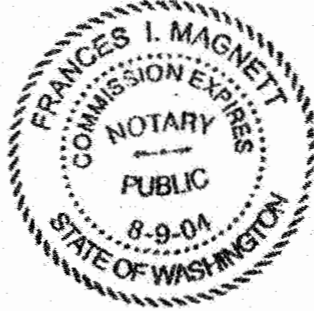
1. THE PUBLIC SERVICE COMPANY OF NEW MEXICO ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 2. THE PUBLIC SERVICE COMPANY OF NEW MEXICO GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
 3. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
- INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRIC SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO, WITHIN, OR NEAR EASEMENTS SHOWN ON THIS PLAT.

LEGAL DESCRIPTION
Tract lettered A of LUECKING PARK COMPLEX, an addition to the City of Albuquerque, New Mexico as the same is shown and designated on said plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on December 8, 1970 in Map Book C7, folio 176.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND DO HEREBY REPRESENT THAT THE UNDERSIGNED INDIVIDUALS ARE AUTHORIZED TO SO ACT.

OWNER(S) SIGNATURE: Timothy B. White DATE: 9-11-03
OWNER(S) PRINT NAME: Timothy B. White
ADDRESS: 117 W. 1st Street, Mount Vernon WA 98273 TRACT:
ACKNOWLEDGMENT
STATE OF NEW MEXICO
COUNTY OF BERNALILLO
BY: Timothy B. White
MY COMMISSION EXPIRES: 8-9-04
NOTARY PUBLIC: Frances J. Magott



PNM ELECTRIC AND GAS SERVICES EASEMENT RELEASE APPROVAL

PNM Electric and Gas Services does hereby release, waive, quitclaim and discharge its right, title and interest in the easements (granted by prior plat, replat or document) shown to be vacated on this plat.

PNM ELECTRIC AND GAS SERVICES

By: Sean J. Hunt DATE: 11-06-03

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 10/11/03 day of NOVEMBER, 2003.

Sarah Amato
Notary Public

My commission expires: 10/01/05

UTILITY APPROVALS:

Dan R. Muller DATE: 11-10-03
QWEST

Rita Eickes DATE: 11-17-03
COMCAST CABLE

PLAT OF
TRACTS A-1 & A-2
LUECKING PARK COMPLEX
SITUATE WITHIN SECTION 3,
T. 10 N., R. 3 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2003
SHEET 1 OF 2

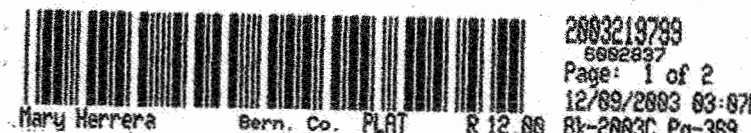
DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO DIVIDE ONE (1) EXISTING TRACTS INTO TWO (2) NEW TRACTS OF LAND, AND TO PROVIDE ACCESS TO SAID TRACTS, AND TO VACATE EASEMENTS.

APPLICATION NO. & PROJECT NO.: 1000162 / 03DAB-01636

CITY APPROVALS:
CITY SURVEYOR: [Signature] DATE: 9-18-03

REAL PROPERTY DIVISION DATE: 11-18-03
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE: 6/8/03
UTILITY DEVELOPMENT DATE: 10/8/03
PARKS & RECREATION DEPARTMENT DATE: 10-15-03
CITY ENGINEER DATE: 10/8/03
CITY ENGINEER DATE: 11/18/03
DRB CHAIRPERSON, PLANNING DEPARTMENT



SURVEYOR'S CERTIFICATION

I, Gary E. Gritsko, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Gary E. Gritsko DATE: Sept 16, 2003
Gary E. Gritsko
New Mexico Professional Surveyor, 8868



SURVEYS SOUTHWEST LTD.

333 LOMAS BLVD., N.E.
ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 998-0303
FAX: (505) 998-0306

T10N R3E SEC. 3

PLAT OF
TRACTS A-1 & A-2
LUECKING PARK COMPLEX
SITUATE WITHIN SECTION 3,
T. 10 N., R. 3 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER 2003
SHEET 2 OF 2

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	518.15'	148.07'	18.28 20"	S 78°29'38" E	148.45'
	(518.15')	(148.07')		(S 78°36'10" E)	(148.45')
	523.00'	190.78'	20°54'00"	N 64°00'32" E	189.72'
C2	(523.00')	(190.78')		(N 63°54" E)	(189.72')
C3	518.15'	40.21'	04°26'47"	S 84°30'54" E	40.20'
C4	518.15'	108.76'	12°01'33"	S 76°16'15" E	108.56'
C5	523.00'	29.25'	03°12'15"	S 72°51'25" W	29.24'
C6	523.00'	161.53'	17°41'45"	N 62°24'25" E	160.88'
C7	626.14'	198.63'	18°11'40"	S 09°20'50" E	198.00'

LINE TABLE

LINE	DIRECTION	DISTANCE
L1	S 86°39'08" E	107.18'
	(S 86°50'20" E)	(107.18')
L2	S 70°19'28" E	58.05'
	(S 70°22'00" E)	(58.89')
L3	DELETED	
L4	S 38°46'50" W	31.72'
	(S 38°36'50" W)	(31.72')
L5	N 70°12'20" W	5.00'
	(N 70°22'00" W)	(5.00')
L6	N 53°33'32" E	110.08'
	(N 53°27'00" E)	(110.13')
L7	N 38°19'52" E	31.64'
L8	S 18°26'40" E	19.18'

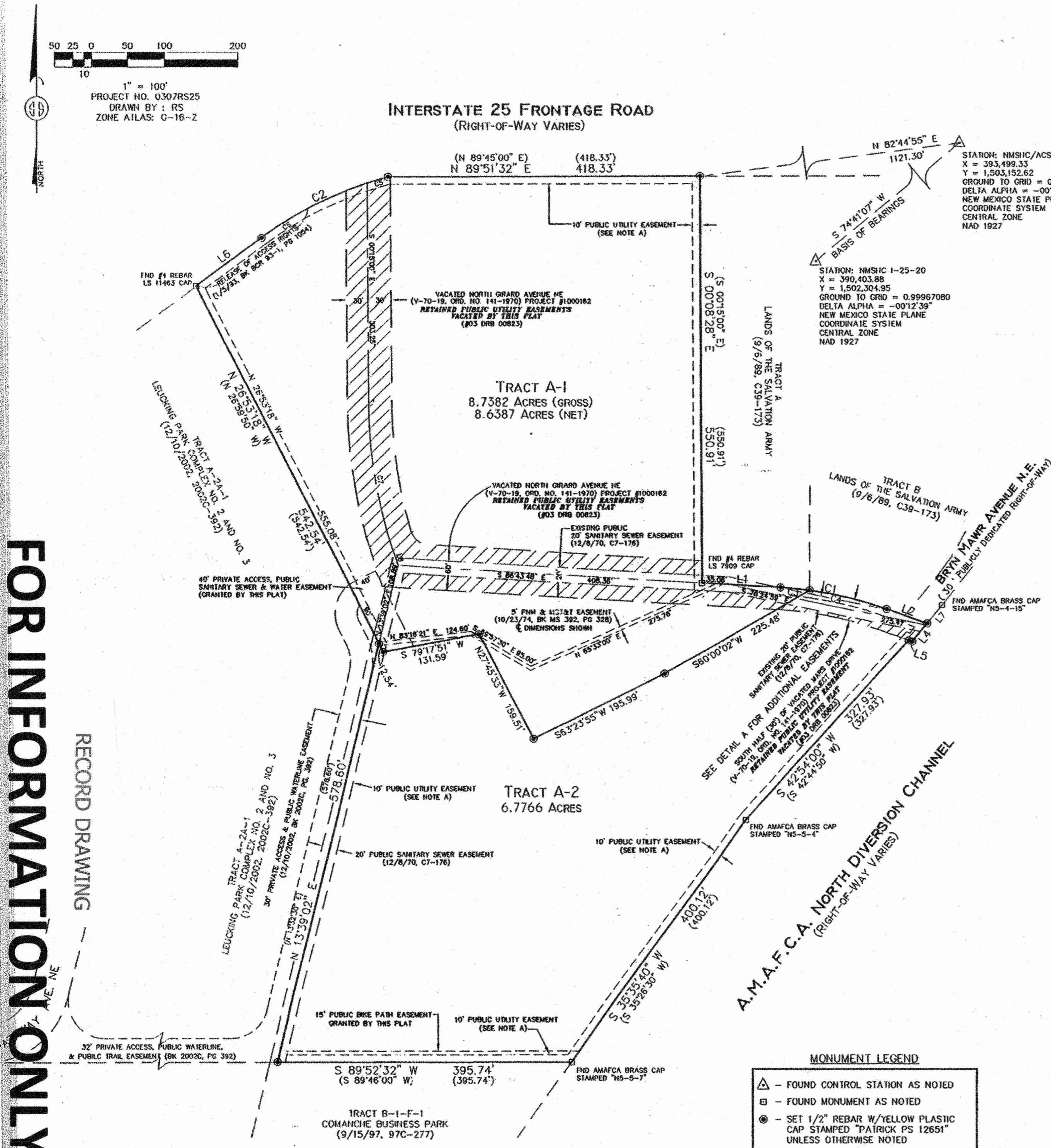
EASEMENT NOTES:
A. 10' PUBLIC UTILITY EASEMENT ALONG ALL SIDES OF ORIGINAL TRACT A. FIVE FEET (5') OF SAID EASEMENT WAS GRANTED BY DOCUMENT RECORDED ON MARCH 15, 1974 IN BOOK MS 568, PAGE 398; AND FIVE FEET (5') GRANTED BY THIS PLAT.



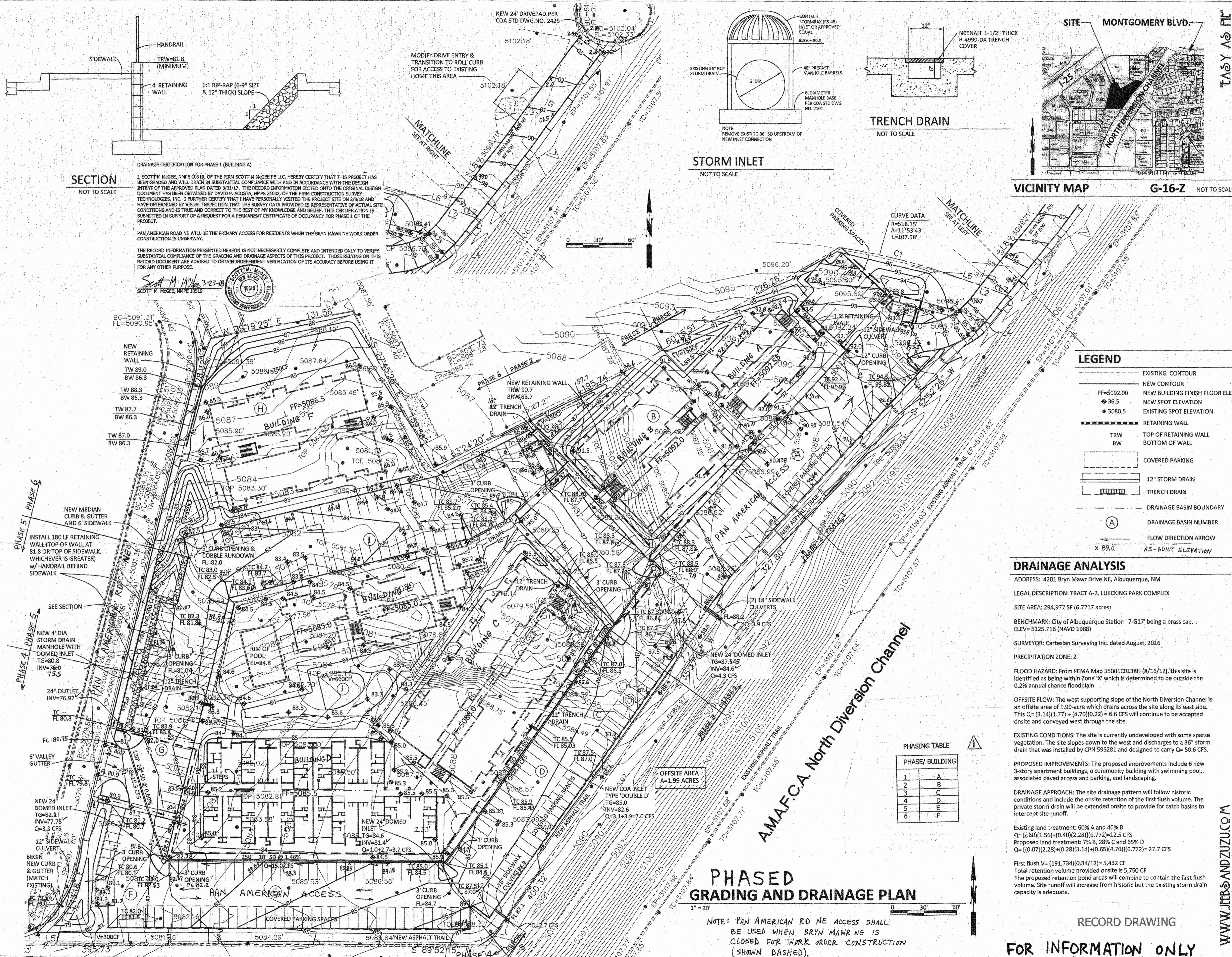
SURVEYS SOUTHWEST LTD.

333 LOMAS BLVD., N.E.
ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 998-0303
FAX: (505) 998-0306

T10N R3E SEC. 3



FOR INFORMATION ONLY



SECTION
NOT TO SCALE

STORM INLET
NOT TO SCALE

TRENCH DRAIN
NOT TO SCALE

VICINITY MAP

G-16-Z NOT TO SCALE

LEGEND

- EXISTING CONTOUR
- NEW CONTOUR
- FF=5092.00
- NEW BUILDING FINISH FLOOR ELEV
- NEW SPOT ELEVATION
- EXISTING SPOT ELEVATION
- RETAINING WALL
- TRW
- BW
- TOP OF RETAINING WALL
- BOTTOM OF WALL
- COVERED PARKING
- 12" STORM DRAIN
- TRENCH DRAIN
- DRAINAGE BASIN BOUNDARY
- DRAINAGE BASIN NUMBER
- FLOW DIRECTION ARROW
- AS-BUILT ELEVATION

DRAINAGE ANALYSIS

ADDRESS: 4201 Bryn Mawr Drive NE, Albuquerque, NM
LEGAL DESCRIPTION: TRACT A-2, LUECKING PARK COMPLEX
SITE AREA: 294,977 SF (6.7717 acres)
BENCHMARK: City of Albuquerque Station '7-G17' being a brass cap.
ELEV= 5125.716 (NAVD 1988)
SURVEYOR: Cartesian Surveying Inc. dated August, 2016
PRECIPITATION ZONE: 2
FLOOD HAZARD: From FEMA Map 35001C0138H (8/16/12), this site is identified as being within Zone 'X' which is determined to be outside the 0.2% annual chance floodplain.

OFFSITE FLOW: The west supporting slope of the North Diversion Channel is an offsite area of 1.99-acre which drains across the site along its east side. This $Q = (3.14)(1.77) + (4.70)(0.22) = 6.6$ CFS will continue to be accepted onsite and conveyed west through the site.

EXISTING CONDITIONS: The site is currently undeveloped with some sparse vegetation. The site slopes down to the west and discharges to a 36" storm drain that was installed by CPN 595281 and designed to carry $Q = 50.6$ CFS.

PROPOSED IMPROVEMENTS: The proposed improvements include 6 new 3-story apartment buildings, a community building with swimming pool, associated paved access and parking, and landscaping.

DRAINAGE APPROACH: The site drainage pattern will follow historic conditions and include the onsite retention of the first flush volume. The private storm drain will be extended onsite to provide for catch basins to intercept site runoff.

Existing land treatment: 60% A and 40% B
 $Q = [(1.60)(1.56) + (0.40)(2.28)](6.772) = 12.5$ CFS
Proposed land treatment: 7% B, 28% C and 65% D
 $Q = [(0.07)(2.28) + (0.28)(3.14) + (0.65)(4.70)](6.772) = 27.7$ CFS

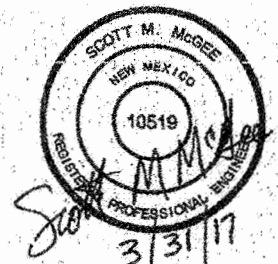
First flush $V = (191,734)(0.34/12) = 5,432$ CF
Total retention volume provided onsite is 5,750 CF
The proposed retention pond areas will combine to contain the first flush volume. Site runoff will increase from historic but the existing storm drain capacity is adequate.

PHASED
GRADING AND DRAINAGE PLAN

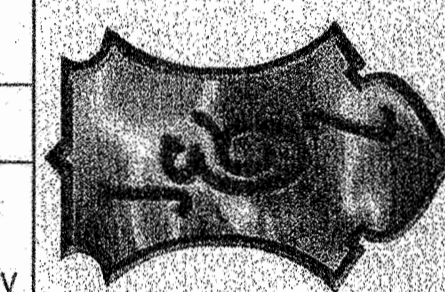
NOTE: PAN AMERICAN RD NE ACCESS SHALL BE USED WHEN BRYN MAWR NE IS CLOSED FOR WORK ORDER CONSTRUCTION (SHOWN DASHED).

RECORD DRAWING

FOR INFORMATION ONLY



JEBBS & ZUZU, LLC
ARCHITECTS & CONTRACTORS
MAKING HOUSE CALLS



job no: 16-022
drawn: CB
checked: SMM
date: March 31, 2017

Revisions:
1, PHASING ADDED 1-30-18

ARROYO VISTA APARTMENTS

4201 BRYN MAWR DR. NE
ALBUQUERQUE NM, 87107

3 C-101
3 of 5

EROSION AND SEDIMENT CONTROL PLAN

TOTAL SITE ACRES 6.8 ACRES

TOTAL DISTURBED AREA 6.8 ACRES

REFER TO ESC 101 FOR EROSION AND SEDIMENT CONTROL PLAN, ZONE ATLAS LOCATOR. REFER TO SITE SWPPP FOR ADDITIONAL COMPLIANCE REQUIREMENTS. REFER TO THE ESC BMP DETAILS FOR INSTALLATION, INSPECTION AND MAINTENANCE REQUIREMENTS.

RECEIVING BODY - RIO GRANDE
(NM-2105.50) LOCATED ~ 6.2
MILES TO THE NORTH

SWPPP LEGEND

- PERMITTED / DISTURBED AREA
- PERIMETER BMP (WIND / SILT FENCE)
- INLET PROTECTION
- CWA (TBD)
- VTC
- SANITARY TOILETS (TBD)
- CONSTRUCTION TRAILER (TBD)
- DUMPSTER (TBD)
- SEDIMENT TRAPS- (MONITOR FOR MAINTENANCE)
- FLOW DIRECTION

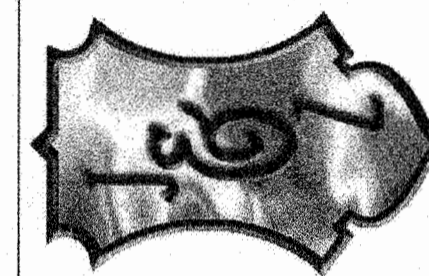
SITE MONTGOMERY BLVD.

VICINITY MAP

G-16-Z NOT TO SCALE



JEEBS & ZUZU, LLC
ARCHITECTS & CONTRACTORS
MAKING HOUSE CALLS



job no: 16-022

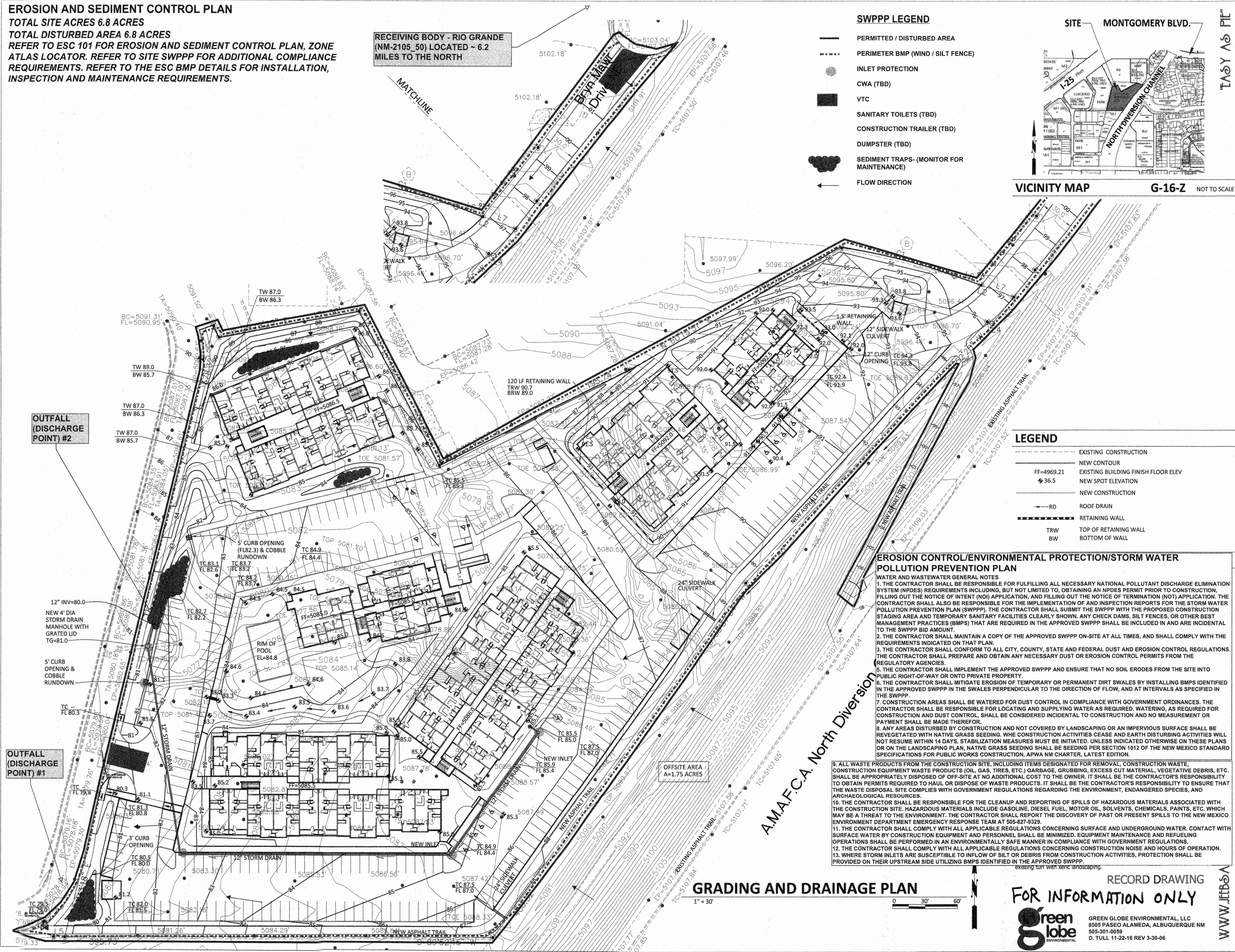
drawn: BL

checked: SMM

date: Oct. 27, 2016

ARROYO VISTA APARTMENTS
EROSION AND SEDIMENT
CONTROL PLAN
4201 BRYN MAWR DR. NE
ALBUQUERQUE NM, 87107

ESC 101
4 of 3



EROSION CONTROL/ENVIRONMENTAL PROTECTION/STORM WATER POLLUTION PREVENTION PLAN

WATER AND WASTEWATER GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULFILLING ALL NECESSARY NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, OBTAINING AN NPDES PERMIT PRIOR TO CONSTRUCTION, FILLING OUT THE NOTICE OF INTENT (NOI) APPLICATION AND FILLING OUT THE NOTICE OF TERMINATION (NOT) APPLICATION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE IMPLEMENTATION OF AND INSPECTION REPORTS FOR THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL SUBMIT THE SWPPP WITH THE PROPOSED CONSTRUCTION STAGING AREA AND TEMPORARY SANITARY FACILITIES CLEARLY SHOWN. ANY CHECK DAMS, SILT FENCES, OR OTHER BEST MANAGEMENT PRACTICES (BMPs) THAT ARE REQUIRED IN THE APPROVED SWPPP SHALL BE INCLUDED IN AND ARE INCIDENTAL TO THE SWPPP BID AMOUNT.
2. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE APPROVED SWPPP ON-SITE AT ALL TIMES, AND SHALL COMPLY WITH THE REQUIREMENTS INDICATED ON THAT PLAN.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM THE REGULATORY AGENCIES.
4. THE CONTRACTOR SHALL IMPLEMENT THE APPROVED SWPPP AND ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
5. THE CONTRACTOR SHALL MITIGATE EROSION OF TEMPORARY OR PERMANENT DIRT SWALES BY INSTALLING BMPs IDENTIFIED IN THE APPROVED SWPPP IN THE SWALES PERPENDICULAR TO THE DIRECTION OF FLOW, AND AT INTERVALS AS SPECIFIED IN THE SWPPP.
6. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED. WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE THEREFOR.
7. ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR AN IMPERVIOUS SURFACE SHALL BE REVEGETATED WITH NATIVE GRASS SEEDING. WHEN CONSTRUCTION ACTIVITIES CEASE AND EARTH DISTURBING ACTIVITIES WILL NOT RESUME WITHIN 14 DAYS, STABILIZATION MEASURES MUST BE INITIATED. UNLESS INDICATED OTHERWISE ON THESE PLANS ON THE LANDSCAPING PLAN, NATIVE GRASS SEEDING SHALL BE SEEDING PER SECTION 1012 OF THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, APWA NM CHARTER, LATEST EDITION.
8. ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNATED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.) GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC. SHALL BE APPROPRIATELY DISPOSED OF OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS REQUIRED TO HAUL OR DISPOSE OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES, AND ARCHAEOLOGICAL RESOURCES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINTS, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE TEAM AT 505-827-9329.
10. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.
11. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.
12. WHERE STORM INLETS ARE SUSCEPTIBLE TO INFLOW OF SILT OR DEBRIS FROM CONSTRUCTION ACTIVITIES, PROTECTION SHALL BE PROVIDED ON THEIR UPSTREAM SIDE UTILIZING BMPs IDENTIFIED IN THE APPROVED SWPPP.

GRADING AND DRAINAGE PLAN

1" = 30'

0 30' 60'

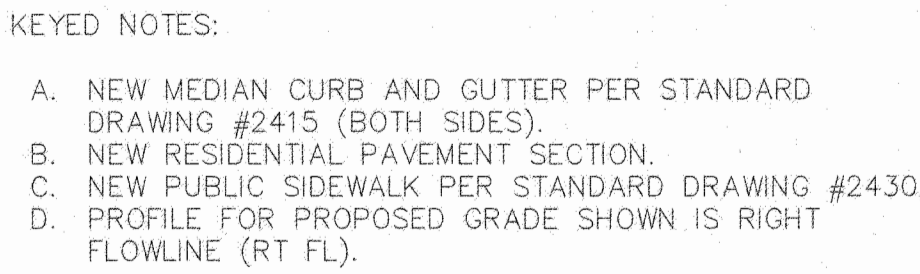
RECORD DRAWING

FOR INFORMATION ONLY



GREEN GLOBE ENVIRONMENTAL, LLC
8505 PASEO ALAMEDA, ALBUQUERQUE NM
505-301-0059
D. TULL 11-22-16 REV 3-30-06

WWW.JEEBSA



CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP					
TITLE: BRYN MAWR NE IMPROVEMENTS					
ALBUQUERQUE, NEW MEXICO					
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	NO. / DAY / YR.	NO. / DAY / YR.	
CITY PROJECT NO.	627263	ZONE MAP NO.	G-16	SHEET:	5 OF 5

NO.	DATE	REVISIONS/REMARKS	BY		<p>SURVEY INFORMATION</p> <p>BENCH MARK</p> <p>BM "7-G17" BEING A BRASS CAP</p> <p>ELEV. = 55125.716 (NAVD 1988)</p> <p>FIELD NOTES</p> <p>BY</p> <p>CARTESIAN SURVEYING, INC.</p> <p>JULY 2016</p>	<p>AS BUILT INFORMATION</p> <p>CONTRACTOR PAVILION <i>06/27/2018</i></p> <p>WORK STAKED BY CST I <i>06/15/18</i></p> <p>INSPECTOR'S APPROVAL SM <i>07/20/18</i></p> <p>FIELD VERIFICATION BY SM <i>07/20/18</i></p> <p>DRAWING CORRECTED BY SM <i>07/20/18</i></p> <p>MICRO-FILM INFORMATION</p> <p>RECORDED BY</p> <p>DATE:</p> <p>NO.</p>
DESIGNED BY:	SM	DATE:	03/19/2018			
DRAWN BY:	ES	DATE:	03/19/2018			
CHECKED BY:	SM	DATE:	03/19/2018			
DATE:						