

# OLD TOWN PLAZA RENOVATION (PHASE I) Albuquerque, New Mexico

Located between North and South Plaza Streets N.W.  
and between Romero and San Felipe Streets N.W.

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CITY PROJECT NUMBER: 675802

A/E PROJECT NUMBER: 6210.01

OWNER: CITY OF ALBUQUERQUE  
PARKS and RECREATION DEPARTMENT  
Albuquerque, New Mexico

MAYOR: MARTIN CHAVEZ

PARKS and RECREATION  
DEPARTMENT

Phone	Fax
764-3000	764-3019
768-5300	768-5305

Architect: Lee Gamelsky Architects P.C. 842-8865 842-1693

Landscape Architect: Consensus Planning 764-9801 842-5495

Electrical Engineer: TELCON Engineering 292-3202 292-3904

## SYMBOLS KEY

- 3  
A-6  
WALL SECTION DETAIL OR ELEVATION #  
SHEET ON WHICH DRAWING IS LOCATED
- ① KEYED NOTE ON RIGHT HAND SIDE OF SHEET
- 1  
A-2  
DETAIL #  
SHEET ON WHICH DETAIL IS LOCATED

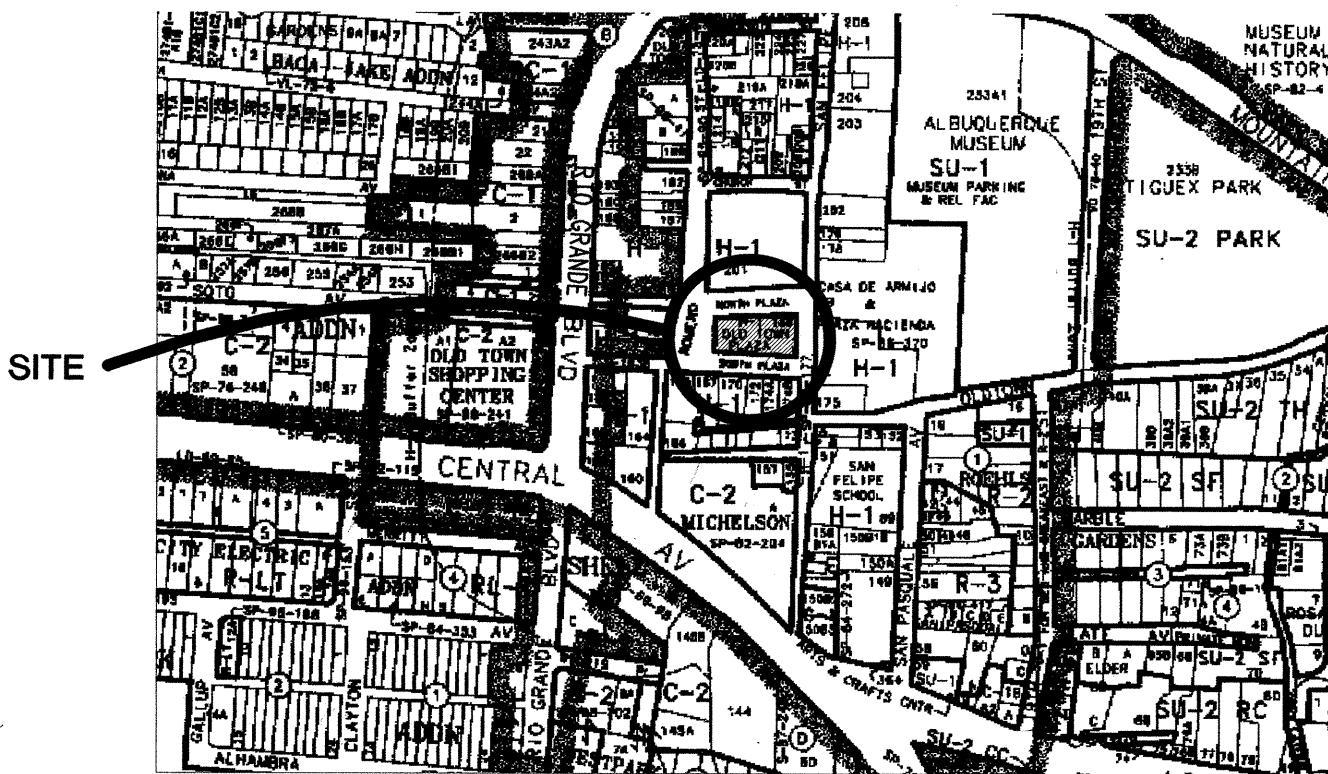
## Project Description:

RENOVATION OF EXISTING PARK. WORK TO INCLUDE: REMOVAL AND REINSTALLATION OF EXISTING BRICK PAVERS IN SOME AREAS, REPLACEMENT OF SOME BRICK PAVERS, REMOVAL AND REPLACEMENT OF SOME PORTIONS OF THE CONCRETE SLAB BELOW THE BRICK PAVERS; RENOVATE THE EXISTING GAZEBO, REMOVE THE EXISTING WOOD DECKING AND INSTALL NEW TONGUE AND GROOVE WOOD DECKING, REROOF THE GAZEBO, PRIME AND PAINT AND SEAL THE GAZEBO STRUCTURE, NEW MASONRY INFILL AT THE BASE OF THE GAZEBO; INSTALL A NEW BIKE RACK; INSTALL NEW LIGHT BOLLARDS; INSTALL NEW RAISED STEEL PLANTERS WITH SURFACE MOUNTED ELECTRICAL RECEPTACLES; RENOVATE AND UPDATE THE ELECTRICAL POWER DISTRIBUTION TO THE PLAZA AND (3) SHOPS SOUTH OF THE PLAZA; REPLACE THE IRRIGATION SYSTEM.

ADDRESS: OLD TOWN PLAZA, ALBUQUERQUE, NEW MEXICO  
ZONE ATLAS #: J-13-Z

## General Notes:

- A. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS TO FULLY FAMILIARIZE THEMSELVES WITH THE EXISTING JOB CONDITIONS AND REQUIREMENTS PRIOR TO ORDERING AND FABRICATING MATERIALS AND PRIOR TO COMMENCING WORK.
- B. ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS (SUCH AS, BUT NOT LIMITED TO: UNIFORM BUILDING CODE, NEW MEXICO BUILDING CODE, NEC, UNIFORM PLUMBING CODE, NATIONAL LIFE AND SAFETY CODE & ADA).
- C. BY THE ACT OF SUBMITTING A BID FOR THE PROPOSED CONTRACT, THE BIDDER WARRANTS THAT:
1. THE BIDDER AND ALL SUBCONTRACTORS THAT HE/SHE INTENDS TO USE HAVE CAREFULLY AND THOROUGHLY REVIEWED THE DRAWINGS, SPECIFICATIONS AND OTHER CONSTRUCTION DOCUMENTS AND HAVE FOUND THEM COMPLETE AND FREE FROM AMBIGUITIES AND SUFFICIENT FOR THE PURPOSE INTENDED.
  2. THE BIDDER HAS CAREFULLY EXAMINED THE PROJECT SITE AND AREA OF WORK AND THAT FROM HIS OWN INVESTIGATIONS HE HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK AND THE CHARACTER, QUALITY, QUANTITIES OF MATERIALS AND DIFFICULTIES TO BE ENCOUNTERED, THE KIND AND EXTENT OF EQUIPMENT AND OTHER FACILITIES NEEDED FOR THE PERFORMANCE OF THE WORK, THE GENERAL AND LOCAL CONDITIONS AND OTHER ITEMS WHICH MAY, IN ANY WAY, AFFECT THE WORK OR ITS PERFORMANCE.
- D. THE ELECTRICAL CONTRACTOR AND THE IRRIGATION CONTRACTOR WILL NEED TO COORDINATE WHEN TRENCHING IN THE PARK. INSTALL IRRIGATION LINES AND ELECTRICAL CONDUIT IN THE SAME TRENCH WHEN POSSIBLE. INSTALL PER ALL APPLICABLE CODES. REFER TO LANDSCAPING GENERAL NOTES ON SHEET L-1.0 PRIOR TO AND DURING ANY TRENCHING (ELECTRICAL AND IRRIGATION).
- E. HAND TRENCH AROUND ALL TREE ROOTS.
- F. SEE ATTACHED ELECTRICAL SPECIFICATIONS.
- G. SEE LETTER FROM CITY OF ALBUQUERQUE, PARKS AND RECREATION DEPARTMENT, PLEAS GLENN TO RICHARD BENISON (DATE: NOVEMBER 8, 2001) REGARDING FUTURE PHASES (II)/ADA ACCESS TO THE GAZEBO.



VICINITY MAP  
ZONE ATLAS NO. J-13-Z

## NOTICE TO CONTRACTORS

1. City of Albuquerque specifications for Public Works Construction, 1986 Edition as amended through update 6, will be referred to herein as the "Standard Specifications".
2. Two (2) working days prior to any excavation, contractor must contact New Mexico One Call System, 260-1990 and determine location of existing utilities.
3. Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer or surveyor so that the conflict can be resolved with a minimum amount of delay.
4. All existing signs, markers, delineators, etc., within the construction limits shall be removed, stored and reset by the contractor.
5. The contractor shall notify the Engineer not less than seven (7) days prior to starting work in order that the Engineer may take necessary measures to insure the preservation of survey monuments. Contractor shall not disturb permanent survey monuments without the consent of the Engineer and shall notify the Engineer and bear the expense of replacing any that may be disturbed without permission. Replacement shall be done only by the City Surveyor. When a change is made in the finished elevations of the pavement of any roadway in which a permanent survey monument is located, contractor shall, at his own expense, adjust the monument cover to the new grade unless otherwise specified. Refer to section 4.4 of the General Conditions of the Standard Specifications.
6. Five (5) working days prior to beginning construction the Contractor shall submit to the Construction Coordination Division a detailed construction schedule. Two (2) working days prior to construction the Contractor shall obtain a barricading permit from the Construction Coordination Division. Contractor shall notify the Barcode Engineer (768-2551) prior to occupying an intersection.
7. All Street striping altered or destroyed shall be replaced with plastic reflectorized pavement markings by Contractor to location and as existing or shown in this plan set.

## THE FOLLOWING ALSO APPLY WHEN CHECKED

- ☐ All utilities and utility service lines shall be installed prior to paving.
- ☐ Backfill compaction shall be according to specified street use.
- ☐ Tack coat requirements shall be determined by the city engineer.
- ☐ Sidewalks and wheelchair ramps within the curb returns shall be constructed wherever a new curb return is constructed.
- ☐ If curb is depressed for a drivepad or ramp, it shall be constructed prior to acceptance of the curb and gutter.
- ☐ All storm drainage facilities shall be completed prior to final acceptance.

GENERAL NOTE: INCORPORATE THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS INTO THESE CONTRACT DOCUMENTS: THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986 EDITION. GENERAL CONDITIONS AND TECHNICAL SPECIFICATIONS ARE INCORPORATED AND/OR SUPPLEMENTED BY THE SPECIAL PROVISIONS AND/ OR THE SUPPLEMENTAL TECHNICAL SPECIFICATIONS.

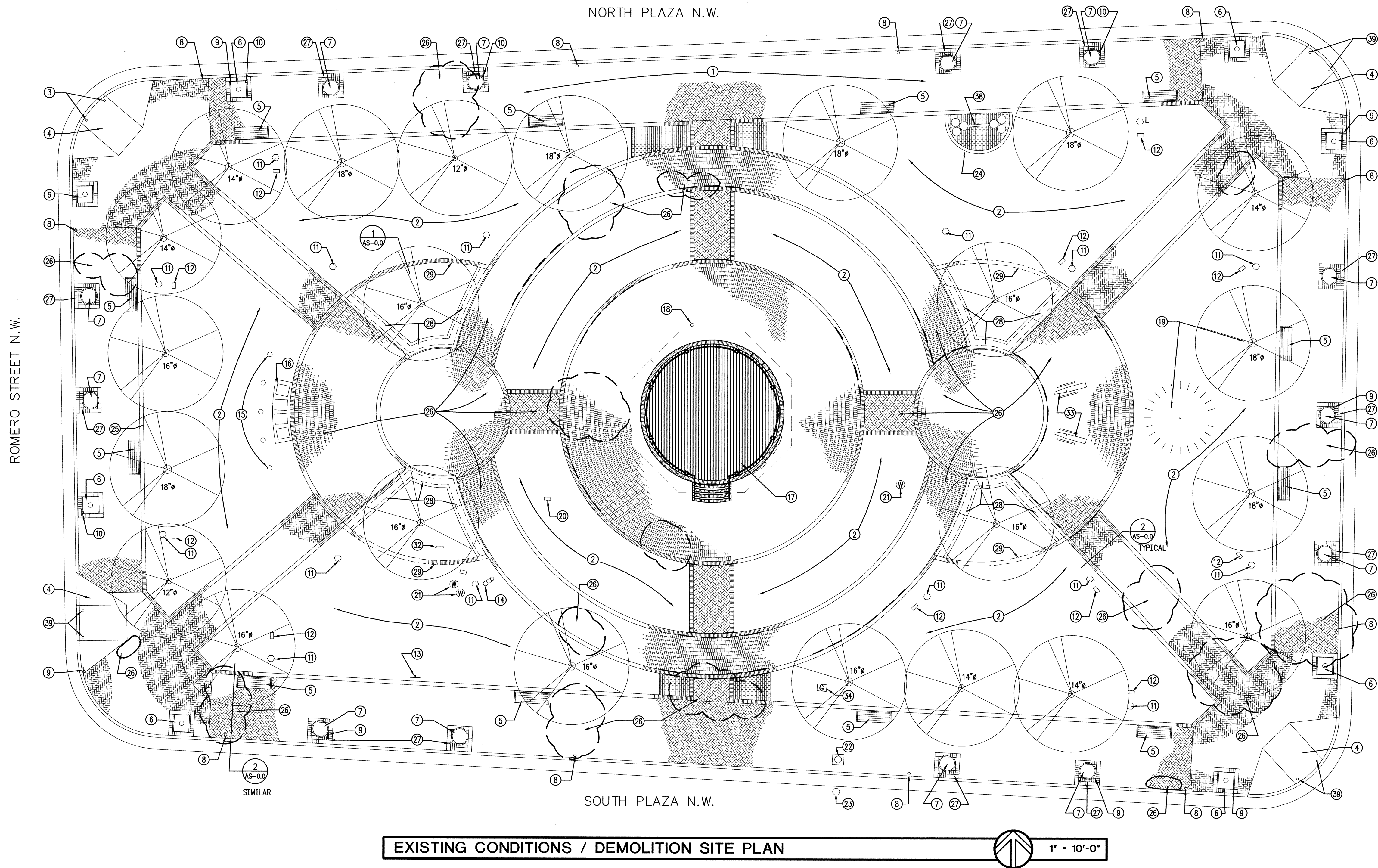
02 NOVEMBER 2001

LEE GAMESKY ARCHITECTS P.C.

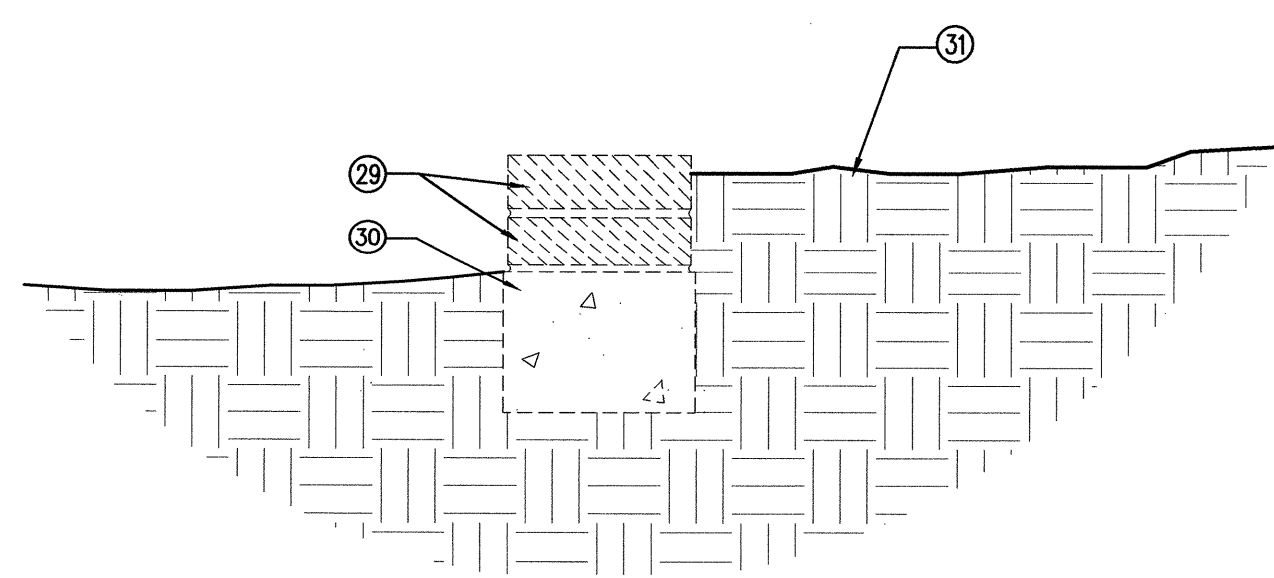
2412 MILES ROAD SE  
ALBUQUERQUE, NM 87106  
505.842.8865 FAX 505.842.1693  
lga@swcp.com

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ARCHITECTS STAMP & SIGNATURE		APPROVALS		ENGINEER		DATE	
		DRC Chairman		12-13-01		APPROVED FOR CONSTRUCTION	
		Transportation		12/10/01		George A. Gue 12/6/01	
		Water/Wastewater		12/7/01		City Architect	
		Hydrology		12/10/01		Date	
		C.I.P.		12-5-01		City Engineer	
Constr. Mngt.		12-5-01		Date 12-13-01		SHEET	
City Project No.		675802		COVER		1 12	





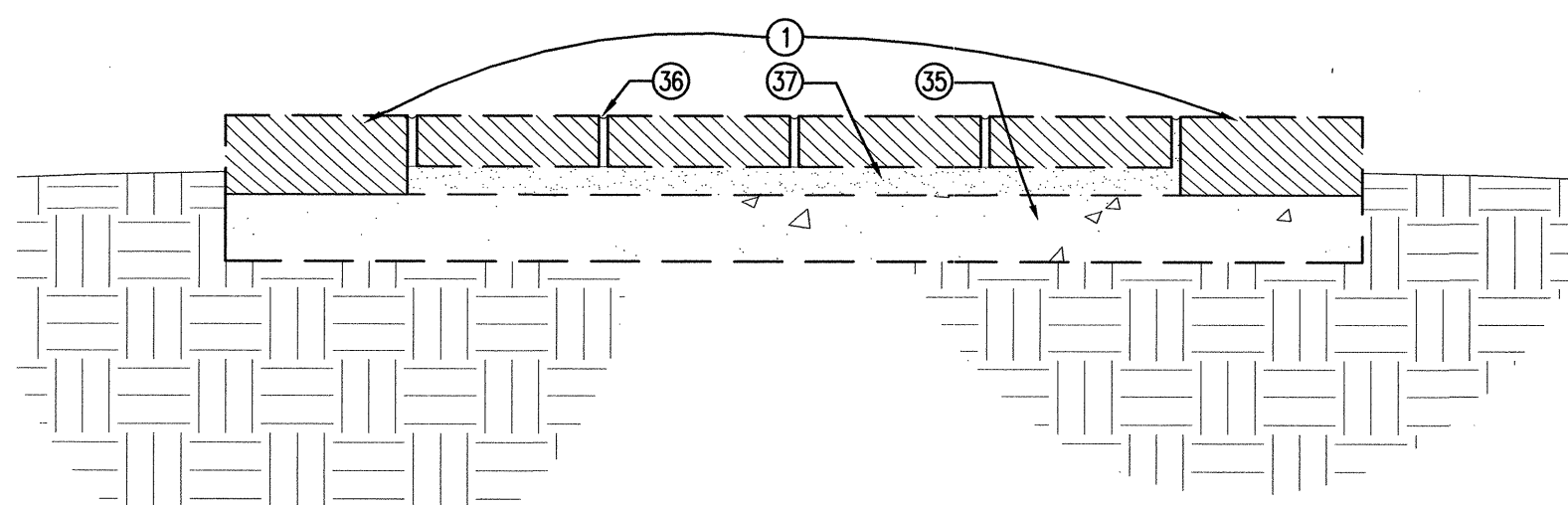
EXISTING CONDITIONS / DEMOLITION SITE PLAN



DETAIL: EXISTING CONDITIONS/DEMOLITION AT PLANTER

1

3" = 1'-0"



TYPICAL PAVER REMOVAL

2

3" = 1'-0"

## General Notes

- AREAS OF BRICK PAVERS INDICATED TO BE REPAIRED ARE NOT NECESSARILY ALL INCLUSIVE. CONTRACTOR WILL REMOVE AND REPLACE PAVERS THAT ARE MISSING, DAMAGED AND/OR NOT FLUSH WITH ADJACENT PAVERS.

## Keyed Notes

- EXISTING BRICK PAVERS. REMOVE/REPLACE AS INDICATED.
- EXISTING LANDSCAPING TO REMAIN. PATCH ALL SOO REMOVED/DAMAGED BY WORK IN THIS PROJECT.
- EXISTING BOLLARDS TO BE RELOCATED. SEE SITE PLAN.
- EXISTING CONCRETE CURB RAMP TO REMAIN.
- EXISTING STEEL FRAME BENCH SET IN CONCRETE FOOTINGS TO REMAIN.
- EXISTING TRASH RECEPTACLE TO REMAIN.
- EXISTING CYLINDRICAL PLANTER. REMOVE AND REPLACE PLANTER AND IRRIGATION LINE. SEE LANDSCAPING AND SITE DETAILS.
- EXISTING ABANDONED CONCRETE FILLED ELECTRICAL RECEPTACLE TO REMAIN. CUT AND REMOVE IF NECESSARY FOR BRICK PAVER REPAIR.
- STEEL SIGN POST TO REMAIN.
- 4x4 WOOD SIGN POST TO REMAIN.
- EXISTING POLE MOUNTED LIGHT FIXTURE TO REMAIN.
- EXISTING ELECTRICAL J-BOX TO REMAIN.
- SIGN MOUNTED ON 4" DIA. STEEL POST TO REMAIN.
- EXISTING DRINKING FOUNTAIN TO REMAIN.
- EXISTING FLAG POLES TO REMAIN. TYPICAL OF (5).
- EXISTING PLAQUES ON BRICK BASE TO REMAIN.
- EXISTING GAZEBO - SEE SHEETS A-1.0 AND A-2.0 FOR RELATED WORK.
- EXISTING CAPPED WATER LINE TO REMAIN.
- EXISTING TREES TO REMAIN. TYPICAL.
- EXISTING IRRIGATION VALVE BOX. SEE LANDSCAPING.
- EXISTING WATER VALVE BOX TO REMAIN. SEE LANDSCAPING.
- EXISTING WATER METER TO REMAIN.
- EXISTING WATER MAIN SHUT-OFF TO REMAIN.
- EXISTING CONCRETE CURB TO REMAIN.
- REMOVE EXISTING WOOD SIGN.
- REMOVE EXISTING BRICK PAVERS IN THIS AREA. REMOVE DAMAGED/AMPLIFIED CONCRETE SLAB BELOW BRICK PAVERS. CONTACT C.O.A. FORESTER AT 857.8650 BEFORE REMOVING ANY TREE ROOTS. CLEAN MORTAR AND DEBRIS FROM BRICK PAVERS AND REUSE.
- REPAIR/REPLACE DAMAGED OR MISSING BRICK PAVERS.
- EXISTING CONCRETE BENCH TO REMAIN.
- REMOVE EXISTING ROWLOCK BRICKS. (2) COURSES.
- REMOVE EXISTING CONCRETE FOOTING.
- EXISTING SOIL. SLOPE TO NEW EDGING.
- EXISTING EXPOSED PIPE. SEE LANDSCAPING.
- EXISTING CANNON. MOVE AS NECESSARY FOR BRICK PAVER REPAIR AND REINSTALL TO EXISTING LOCATION.
- EXISTING GAS METER. COORDINATE WITH PNW AND REMOVE/ABANDON.
- 3" CONCRETE SLAB. REMOVE/REPLACE AS NECESSARY FOR SMOOTH SURFACE FOR BRICK PAVERS.
- EXISTING GROUTED JOINTS. CLEAN JOINTS, REMOVE LOOSE GROUT AND DEBRIS.
- EXISTING 1-3/4" SAND MORTAR BED. ADD/REDISTRIBUTE EXISTING SAND TO FORM SMOOTH 1-3/4" THICK BED FOR BRICK PAVERS.
- EXISTING SIGN TO REMAIN.
- EXISTING BOLLARDS TO BE REMOVED.

AS BUILT INFORMATION		BENCH MARK		SURVEY INFORMATION		FIELD NOTES		REVISIONS/REMARKS		BY		DESIGNED BY: LG		DRAWN BY: MBG		CHECKED BY: LG	
CONTRACTOR	DATE:	WORK STAKED BY	DATE:	INSPECTOR'S APPROVAL	DATE:	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE

LEE GAMESKY ARCHITECTS P.C.

2412 MILES ROAD SE  
ALBUQUERQUE, NM 87106  
505.842.8865 FAX 842.1693  
lga@ewcp.com

FILE  
OTP.dwg

CITY OF ALBUQUERQUE  
PARKS AND GENERAL SERVICES  
DESIGN & DEVELOPMENT DIVISION

TITLE: **OLD TOWN PLAZA**  
**Existing Conditions / Demolition**  
**Site Plan & Details**

City Project No.  
**675802**

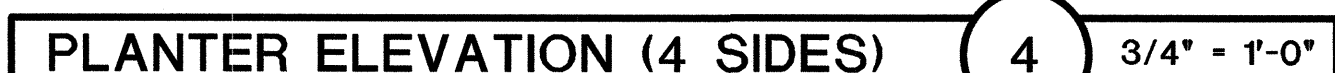
Zone Map No.  
**J-13-Z**

Sheet  
AS-0.0 **2** of **12**









1. BRICK PAVERS. REINSTALL EXISTING/REPLACE DAMAGED PAVERS WITH NEW PAVERS TO MATCH EXISTING.
2. GROUT JOINTS, TYPICAL.
3. 1-3/4" THICK SAND MORTAR BED.
4. NEW 3" THICK CONCRETE SLAB. 3,500 PSI MIN.
5. EXISTING GRADE.
6. NEW BRICK PAVERS. MATCH EXISTING.
7. EXISTING/REPAIRED BRICK PAVERS.
8. NOT USED.
9. NOT USED.
10. 2"x2" TUBE STEEL, TOP AND BOTTOM. PRIME AND PAINT.
11. 4"Ø STEEL PIPE SUPPORT POST, PRIME AND PAINTED BLACK. MATCH STYLE OF NEW LIGHT BOLLARDS. (STERNBERG "PARKSIDE"). PROVIDE SHOP DRAWINGS FOR BIKE RACK.
12. 1"x1" BAR STOCK STEEL WELDED TO 2" x 2" TUBE STEEL. PRIME AND PAINT.
13. PROVIDE 16" x 24" DEEP CONCRETE FOOTING. EMBED 1/4" STEEL POST WITH 1" LONG STUDS INTO FOOTING, WELD SUPPORT POST BASES TO EMBEDDED STEEL PLATE.
14. 3,500 PSI CONCRETE FOOTING.
15. 3/8" STEEL PLATE (4 SIDES)
16. 3/8" x 3/8" STEEL BAR STOCK WELDED TO 3/8" STEEL PLATE.
17. SURFACE MOUNTED ELECTRICAL RECEPTACLE - 120V & 220V. SEE ELECTRICAL.
18. BETWEEN WATERPROOFING OVER STEEL PLATE, ALL SIDES ON INSIDE OF PLANTER.
19. PLANTER.
20. CONCRETE SUPPORT BLOCK (4"x4"x8" LONG MIN. OVER COMPACTED GRADE).

NO. DATE REVISIONS/REMARKS BY		SURVEY INFORMATION FIELD NOTES		BENCH MARK		AS BUILT INFORMATION	
		NO. BY DATE				CONTRACTOR DATE:	
						WORK STAKED BY DATE:	
						INSPECTOR'S APPROVAL DATE:	
						FIELD VERIFICATION BY DATE:	
						DRAWING CORRECTED BY DATE:	
						MICRO-FILM INFORMATION	
						RECORDED BY DATE:	
						NO.	

DESIGNED BY: LG	DATE: 11/02/01
DRAWN BY: TB	DATE: 11/02/01
CHECKED BY: LG	DATE: 11/02/01

NO. / DAY / YR.  
 11/02/01

NO. / DAY / YR.  
 11/02/01

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 AS-2.0

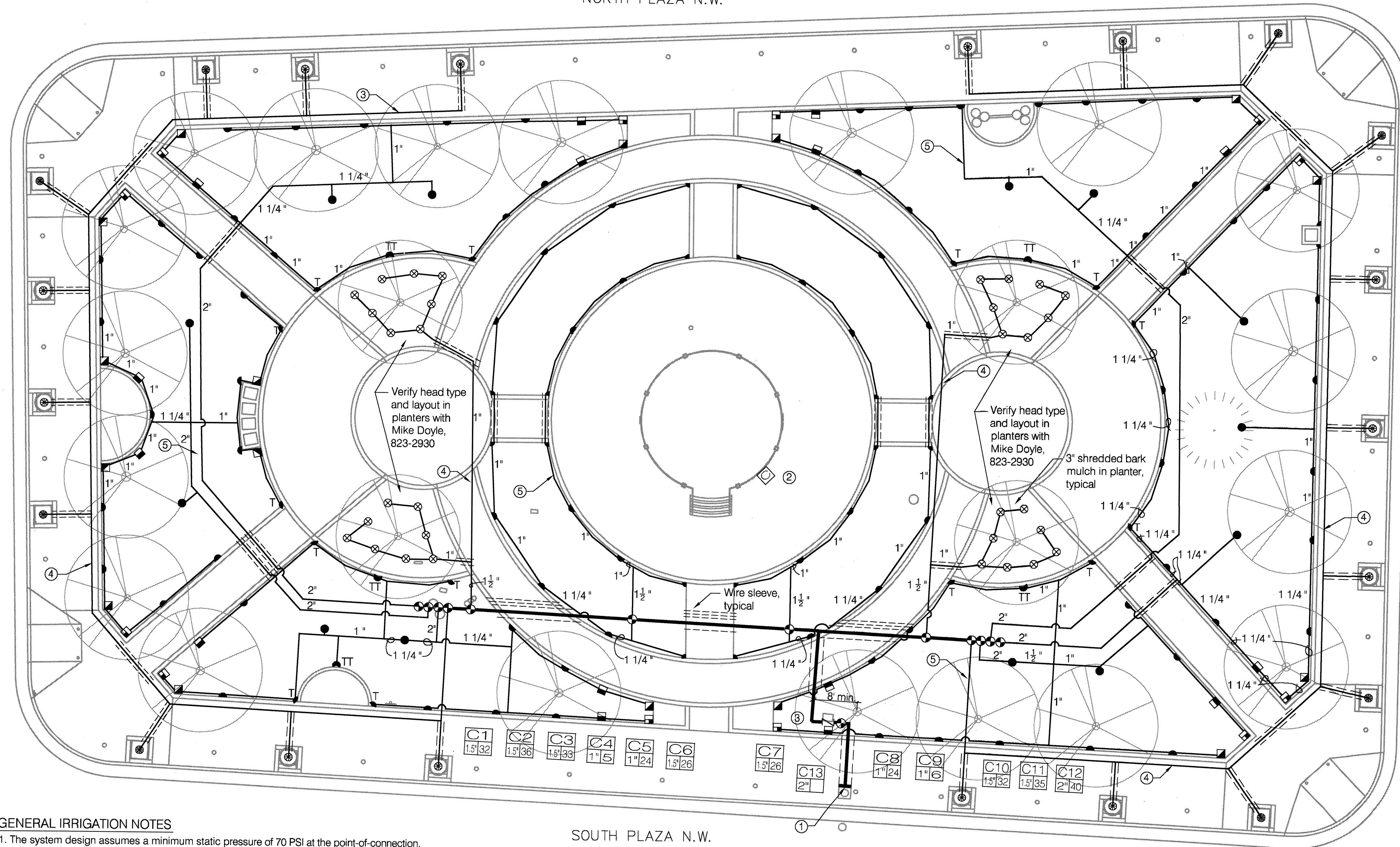
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Of  
 12



ROMERO STREET N.W.

SAN FELIPE STREET N.W.



1. The system design assumes a minimum static pressure of 70 PSI at the point-of-connection. The irrigation contractor shall verify pressure and flow on site prior to construction.
2. The irrigation contractor shall become thoroughly familiar with the specifications for this and related work prior to construction.
3. The irrigation contractor shall determine the exact location of underground utilities and electrical wiring prior to construction and shall coordinate trenching with electrical contractor.
4. The irrigation contractor shall not install the sprinkler system when it is obvious in the field that obstructions or grade differences exist that might not have been considered in the engineering, or if the discrepancies in construction details, legend, notes, or specifications are discovered. All such obstructions or discrepancies shall be brought to the attention of the Owner's Representative.
5. The drawings are diagrammatic. In some cases, irrigation components may be shown outside of planting areas for clarity. The irrigation contractor shall avoid any conflicts between the irrigation system, planting materials, and above ground utilities. Irrigation pipe and wiring shall be installed in landscaped areas whenever possible.
6. All irrigation components shall be installed in accordance with section 1001-Landscape Irrigation System, and referenced details contained within the City of Albuquerque standard specifications manual, latest edition.
7. Scorpio unit to operate as a remote unit to an Irrinet remote-ready controller located at the southeast corner of Rio Grande and Mountain near the sculpture, with proper frequency installed by a certified Motorola service facility. Coordinate with Jim Dunn at Park Management at 857-8650.
8. Existing irrigation system to be abandoned. Contractor shall remove heads and salvage to City. Cap off existing risers at 12" below grade. Salvage valves, controller and other equipment to the City.
9. Existing trees shall be protected from damage during installation of irrigation system. Reroute irrigation lines as needed to avoid damage to root systems.

- ① Irrigation point-of-connection. Remove existing 1" meter and replace with 1 1/2" meter. Upsize mainline to 2 1/2" immediately past meter.
- ② Controller location - see Irrigation Legend. Enclosure to be recessed into block with door set flush with face of block. Coordinate in field with Owner's Representative.
- ③ Backflow Preventer/Master Valve - see Irrigation Legend. Final location shall be coordinated in the field with the Owner's Representative.
- ④ Install lateral in turf area. See General Irrigation Note #5 above.
- ⑤ Remove and dispose of all grass in existing turf areas. Install sod per COA specifications. Sod shall be approved mix of Falcon tall Fescue and Bluegrass. Contact Jeff Hart, Park Management Division Urban Forester, at 857-8656 for plant inspections.

**1° = 10'-0"**

SYMBOL	DESCRIPTION
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 Backflow Assembly: Febco 765, 1 1/2" Bronze Pressure Vacuum Breaker  
w/ Master Valve (COA Detail 2702)

———— Mainline: Schedule 40 Bell End PVC, 28" Depth, 2 1/2" unless otherwise noted

———— Lateral Pipe: Schedule 40 PVC, 18" Depth, 3/4" unless otherwise noted

Automatic Valve Assembly: Rain Bird PEB-PRS-D Series, Size as indicated on plans (COA Detail 2703)

Pop-Up Sprinkler Assembly: Rain Bird 1800, 8 Series (COA Detail 2709)


	8H, 8' radius, .52 GPM @ 30 PSI, 1.83"/hr. precip. rate
	8T, 8' radius, .35 GPM @ 30 PSI, 1.83"/hr. precip. rate
	8Q, 8' radius, .26 GPM @ 30 PSI, 1.83"/hr precip. rate

Pop-Up Sprinkler Assembly: Rain Bird 1800, 15 Series (COA Detail 2709)

15F,	15" radius, 3.70 GPM @ 30 PSI, 1.83"/hr. precip. rate
15TT,	15" radius, 2.48 GPM @ 30 PSI, 1.83"/hr. precip. rate
15H,	15" radius, 1.85 GPM @ 30 PSI, 1.83"/hr. precip. rate
15T,	15" radius, 1.23 GPM @ 30 PSI, 1.83"/hr. precip. rate
15,	15" radius, .92 GPM @ 30 PSI, 1.83"/hr. precip. rate

⊗ Bubbler Assembly: Rain bird 1400 Series (COA Detail 2711-A)  
1402, full circle, trickle pattern, .50 GPM @ 30 PSI

⊗ Bubbler Assembly: Rain bird 1800 Series (COA Detail 2711-A) MPR  
Stream Bubbler, 5F-B nozzle, 5' radius, 1.5 GPM @ 30 PSI

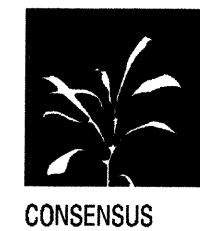
 Controller: Motorola Scorpio Basic V2 - IS-S2A-00-00, w/ expansion for 16 station, in the enclosure, w/Dome Antenna mounted on top of enclosure, and synthesized radio

Indicates Controller and Station Number

1"30 — Indicates Lateral Discharge in GPM

— Indicates Remote Control Valve Size in Inches

AS BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY	DATE:
MICRO-FILM INFORMATION	
RECORDED BY	DATE:
NO.	

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**PLANNING**

**CONSENSUS PLANNING, INC.**  
Planning / Landscape Architecture  
924 Park Avenue SW  
Albuquerque, NM 87102  
(505) 764-9801 Fax 842-5495  
e-mail: [cp@consensusplanning.com](mailto:cp@consensusplanning.com)

LEE GAMELSKY ARCHITECT P.C.

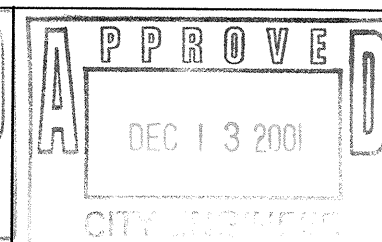
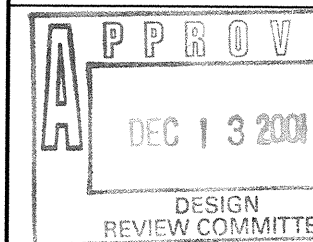
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lga@swcp.com

FILE  
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CITY OF ALBUQUERQUE  
PARKS AND GENERAL SERVICES  
DESIGN & DEVELOPMENT DIVISION

TITLE: **OLD TOWN PLAZA**

## IRRIGATION PLAN, SCHEDULES, AND NOTES



City Project No.

Zone Map No.

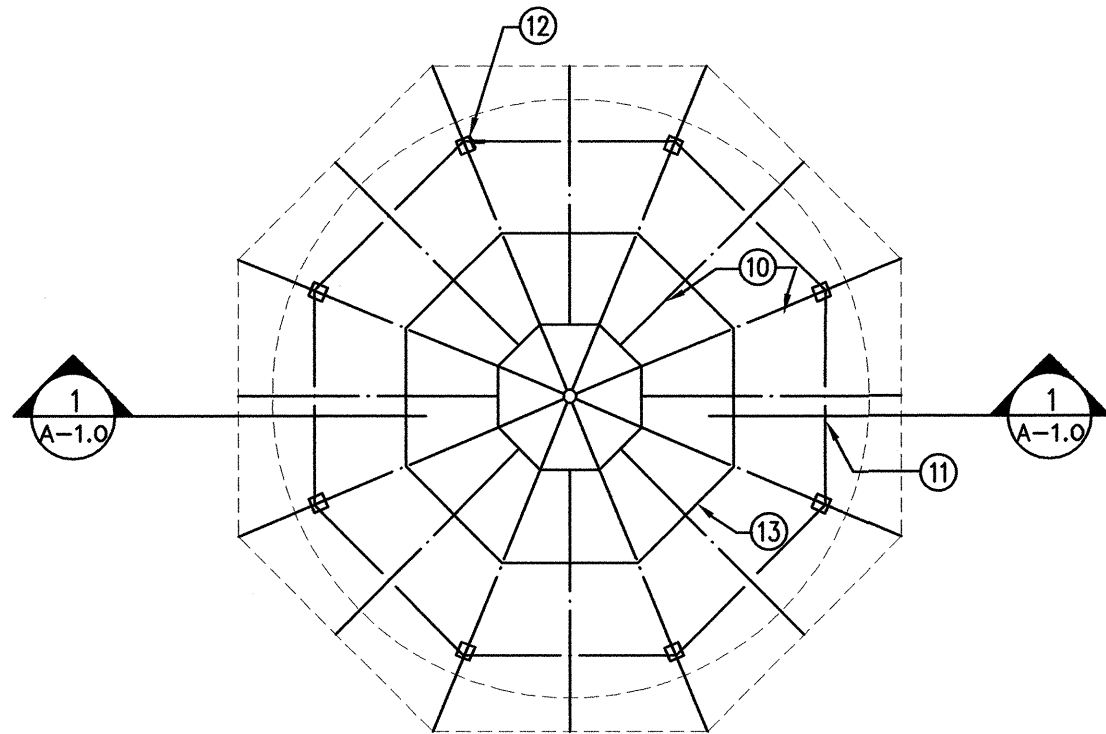
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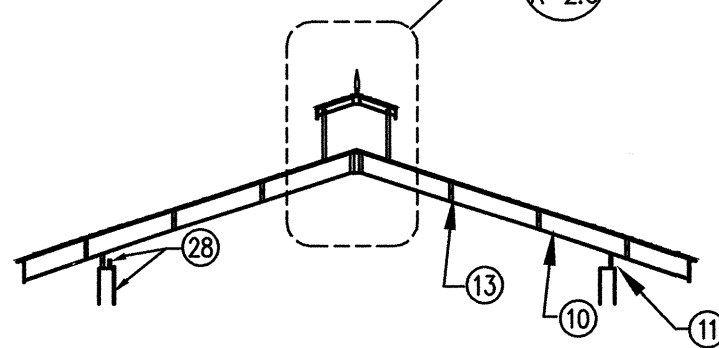


Keyed Notes Continued

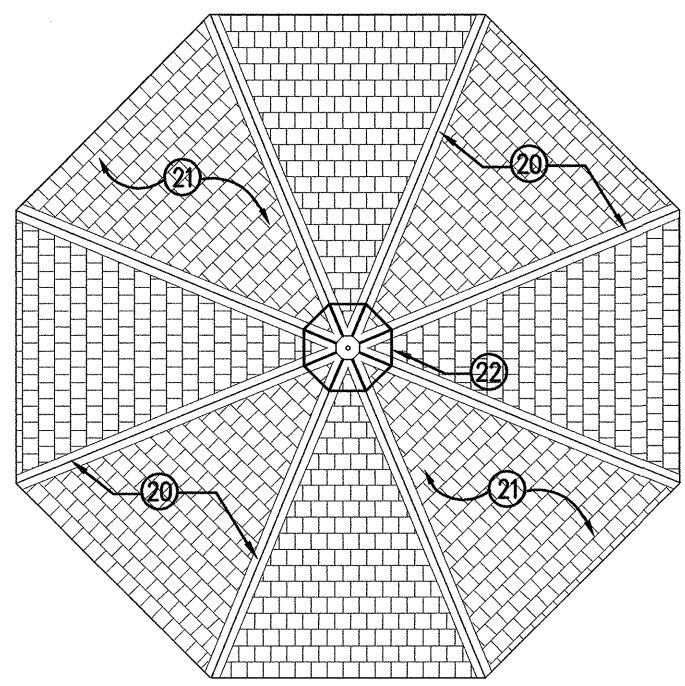
28. IRRIGATION SYSTEM/CONTROLLER ANTENNA. EXTEND WIRE DOWN TO CONTROLLER BELOW. CONCEAL/CAP WIRE W/ 1/2"x1/2" MOULDING ON COLUMN. PRIME & PAINT.
29. NEW STUCCO SYSTEM.
30. EXISTING BRICK PAVEMENT.
31. EXISTING 8" MASONRY.
32. EXISTING STEEL RAILING. REMOVE AND REINSTALL AT HIGHER ELEVATION (TOP OF RAIL @ 42" ABOVE NEW DECK). REPLACE VERTICAL CENTER SUPPORT BAR WITH LONGER BAR TO ACCOMMODATE NEW HEIGHT. MATCH EXISTING. TYPICAL-ALL AROUND GAZEBO.
33. NEW ENLARGED VAULT ACCESS DOOR. SEE DETAIL.
34. INSTALL NEW ELECTRICAL CABINETS IN MASONRY WALL, RECESSED IN WALL. ANCHOR TO MASONRY. PROVIDE REMOTE LIGHTING CONTROL PANEL CABINET OVER CABINET CONTAINING ELECTRICAL RECEPTACLES. SEE ELECTRICAL.
35. NEW 8" CMU WALL. GROUT SOLID.
36. EXISTING LADDER TO BE REINSTALLED. WELD ONTO NEW DOOR FRAME.
37. EXISTING DRAIN TO REMAIN.
38. REMOVE EXISTING METER ENCLOSURE. SEE ELECTRICAL.



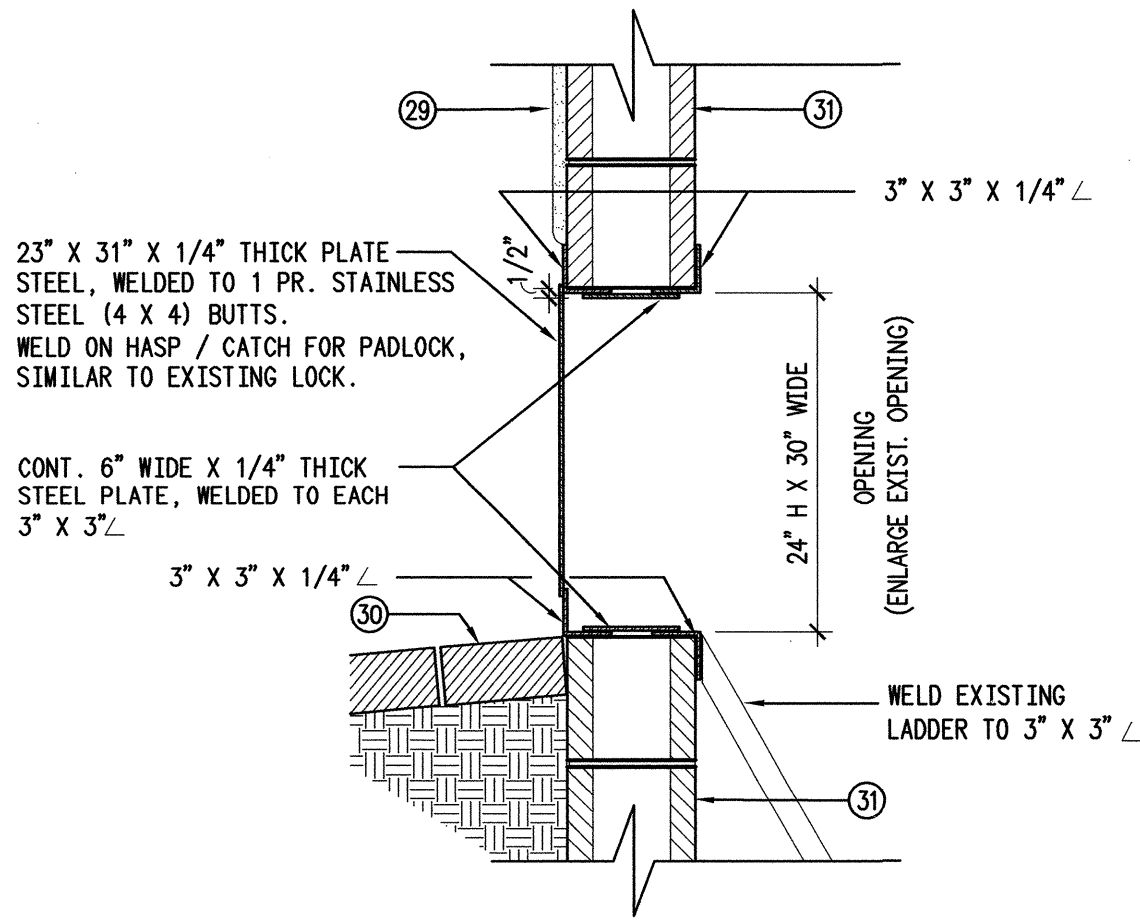
EXISTING CONDITIONS ROOF FRAMING PLAN



SECTION 1



ROOF PLAN



NOTE: PRIME AND PAINT ALL STEEL EXCEPT FOR STAINLESS STEEL.

ACCESS DOOR

General Notes

- A. PROVIDE NEW RED SHINGLE ROOF SYSTEM, NUMBER 2, RED LABEL, CLASS C OVER NO. 30 FELT OVER EXISTING DECK. SHINGLES MUST BE DOUBLED AT ALL EAVES. BUTTS OF FIRST COURSE SHOULD PROJECT 1-1/2" BEYOND FASCIA. SPACING BETWEEN ADJACENT SHINGLES (JOINTS) SHOULD BE A MINIMUM OF 1/4" AND A MAXIMUM OF 3/8". JOINTS IN ANY ONE COURSE SHOULD BE SEPARATED NOT LESS THAN 1-1/2" FROM JOINTS IN ADJACENT COURSES; AND IN ANY THREE COURSES, NO TWO JOINTS SHOULD BE IN DIRECT ALIGNMENT. FLAT GRAIN SHINGLES WIDER THAN 8" SHOULD BE SPLIT IN TWO BEFORE NAILING. KNOTS AND SIMILAR DEFECTS SHOULD BE TREATED AS THE EDGE OF THE SHINGLE AND THE JOINT IN THE COURSE ABOVE PLACED 1-1/2" FROM THE EDGE OF THE DEFECT.
- B. NAILS SHALL BE DRIVEN FLUSH BUT NOT SO THAT THE NAIL HEAD CRUSHES THE WOOD. THEY SHALL BE PLACED APPROXIMATELY 3/4" TO 1" FROM THE SIDE EDGES OF THE SHINGLES AND 1-1/2" TO 2" ABOVE THE BUTT LINE OF THE FOLLOWING COURSE. IF STAPLES ARE USED IN LIEU OF NAILS, STAPLES SHOULD BE ALUMINUM OR STAINLESS STEEL (TYPE 304 OR 316) 16 GAUGE. TWO STAPLES SHOULD BE DRIVEN PER SHINGLE WITH THE STAPLE CROWNS (7/16" MIN.) HORIZONTAL TO THE SHINGLE BUTT AND DRIVEN IN THE SAME LOCATION AS NAILS RELATIVE TO THE SIDES AND OVERLAPPING BUTT LINE. STAPLES SHOULD BE LONG ENOUGH TO PENETRATE THE SHEATHING AT LEAST 1/2" AND DRIVEN FLUSH WITH THE SURFACE OF THE SHINGLE. NAILS/STAPLES MUST NOT PENETRATE THE BOTTOM SIDE OF THE DECKING.
- C. CONTRACTOR SHALL APPLY A 36" WIDE STRIP OF NO. 30 ROOFING FELT AT THE EAVE LINE.
- D. ALL HIPS/RIDGES SHALL BE OF ALTERNATE OVERLAP TYPE APPLIED AT THE SAME EXPOSURE AS FIELD OF ROOF (4") AND NAILS LONG ENOUGH TO PENETRATE INTO SHEATHING 3/4". CUT OFF ENDS OF FASTENERS THAT PENETRATE THRU TO UNDERSIDE OF DECK.
- E. REMOVE EXISTING SURFACE MOUNTING SPEAKERS IN THE GAZEBO AND SALVAGE TO OWNER. SEE ELECTRICAL.
- F. PRIME AND PAINT ALL EXPOSED WOODWORK, TYPICAL.
- G. RESTUCCO OVER EXISTING STUCCO AT BASE OF GAZEBO.
- H. AT OPENINGS CREATED BY REMOVAL OF ELECTRICAL EQUIPMENT IN THE GAZEBO WALL: INFILL W/ 8" CMU, GROUT SOLID, REINFORCE W/ #4 REBAR & LADDER TYPE HORIZ. REINFORCING. FLUSH OUT W/ EXISTING CMU. INSTALL 3 COATS 7/8" THICK STUCCO SYSTEM OVER CMU. FLUSH OUT WITH NEW STUCCO.
- I. PRIME AND PAINT ALL EXPOSED FERROUS METAL.

Keyed Notes

1. REMOVE AND REPLACE EXISTING DAMAGED/ BROKEN BRICK. MATCH EXISTING BRICK. (LOCATIONS SHOWN ARE APPROXIMATE- FIELD VERIFY).
2. REMOVE EXISTING 2X6 TONGUE AND GROOVE DECKING.
3. EXISTING 1X4 NAILERS EMBEDDED IN CONCRETE SLAB. REMOVE AND REPLACE DAMAGED/ ROTTED 1X4's.
4. EXISTING CONCRETE SLAB TO REMAIN. AFTER REMOVAL OF EXISTING WOOD DECKING, INSTALL 'ICE AND WATER' SHIELD WATER PROOFING MEMBRANE OVER DECK. CLEAN DECK THOROUGHLY PRIOR TO INSTALLING MEMBRANE. INSTALL PER MANUFACTURER'S REQUIREMENTS.
5. REMOVE EXISTING ELECTRIC PANELS. SEE ELECTRICAL.
6. EXISTING CRAWL SPACE VENT TO REMAIN. PRIME AND PAINT.
7. EXISTING STEEL RAILING/HANDRAIL. REMOVE AS NECESSARY FOR DECK/BRICK REPLACEMENT.
8. EXISTING PLAQUE WELDED TO STEEL RAILING, TO REMAIN.
9. REMOVE EXISTING 3/4" QUARTER ROUND BASE SHOE, TYPICAL AT (8) COLUMNS.
10. EXISTING 2X10 RAFTERS TO REMAIN, TYPICAL. PRIME AND PAINT.
11. EXISTING 2X8 SPANDREL BEAM TO REMAIN, TYPICAL. PRIME AND PAINT.
12. INSTALL NEW DECORATIVE WOOD BRACE TO MATCH EXISTING. PRIME AND PAINT TO MATCH EXISTING.
13. EXISTING 2X10 BLOCKING TO REMAIN. PRIME AND PAINT.
14. REMOVE EXISTING TRAP DOOR.
15. REMOVE EXISTING RECESSED PANEL BOX AND IRRIGATION CONTROLLER.
16. INSTALL NEW 2X6 W/4000 TONGUE AND GROOVE DECKING. SEAL ALL SURFACES (INCLUDING CUT EDGES DURING INSTALLATION) WITH (1) COAT SIKKENS 'CETOL SRD', OR EQUAL, PRIOR TO INSTALLATION. ATTACH TO EXISTING 1X4 NAILERS WITH STAINLESS STEEL NAILS (CONCEALED NAILING). AFTER INSTALLATION, LIGHTLY SAND DECK AND ADD SECOND COAT OF SIKKENS 'CETOL SRD', OR EQUAL.
17. (2) PART POLYURETHANE CAULKING AT EDGE OF DECKING AND BRICK, TYPICAL ALL AROUND.
18. FILL-IN TRAP DOOR OPENING. PROVIDE AND INSTALL NEW STEEL ANGLE LEDGERS, STEEL DECK, CONCRETE AND 1X4 NAILERS AT EXISTING TRAP DOOR OPENING. SEE DETAIL 6/A-2.0.
19. REMOVE EXISTING ELECTRICAL TRANSFORMER. SEE ELECTRICAL.
20. NEW RED CEDAR SHINGLE HIP. ALTERNATE OVERLAP. SEE DETAILS ON SHEET A-2.0.
21. PROVIDE AND INSTALL NEW RED CEDAR SHINGLE ROOF, NUMBER 2 RED LABEL, CLASS 'C', 18" LONG, 4" EXPOSURE. INSTALL OVER NO. 30 FELT SEAL WITH SIKKENS 'CETOL SRD', OR EQUAL AT ALL SURFACES PRIOR TO INSTALLATION. NAIL WITH 3d BOX STAINLESS STEEL, OR HOT DIPPED ZINC COATED, OR ALUMINUM NAILS. SEE DETAILS ON SHEET A-2.0.
22. CUPOLA. SEE DETAIL 4/A-2.0.
23. EXISTING ACCESS PANEL DOOR AND FRAME TO ELECTRICAL ROOM TO BE REMOVED. A NEW LARGER ACCESS PANEL WILL BE INSTALLED - SEE DETAIL.
24. EXISTING COLUMN TO REMAIN. SEAL ALL AROUND COLUMN AT DECK AND PRIME AND PAINT, TYPICAL. INSTALL NEW 3/4" QUARTER ROUND BASE SHOE AFTER DECK REPLACEMENT. PRIME AND PAINT TO MATCH EXISTING.
25. NEW IRRIGATION CONTROLLER/CABINET. RECESSED IN MASONRY WALL. ANCHOR TO MASONRY. FIELD VERIFY WIDTH OF CABINET.
26. AT REMOVED ELECTRICAL PANELS: FLUSH OUT EXISTING OPENINGS WITH 8" C.W.U. TO MATCH EXISTING. STUCCO EXTERIOR OF C.W.U. WITH (3) COAT STUCCO SYSTEM, FLUSH WITH EXISTING STUCCO.
27. RECESSED ELECTRICAL METER BASE WITH MAIN DISCONNECT CABINET. SEE ELECTRICAL.

LEE GAMELSKY ARCHITECTS P.C.

2412 MILES ROAD SE  
ALBUQUERQUE, NM 87106  
505.842.8865 FAX 842.1693  
lga@swcp.com

FILE  
OTP.dwg

CITY OF ALBUQUERQUE  
PARKS AND GENERAL SERVICES  
DESIGN & DEVELOPMENT DIVISION

TITLE: OLD TOWN PLAZA  
Gazebo Plans / Section at Roof

Design Review Committee  
APPROVE  
DEC 13 2001  
DESIGN REVIEW COMMITTEE

City Engineer Approval  
DEC 13 2001  
CITY ENGINEER

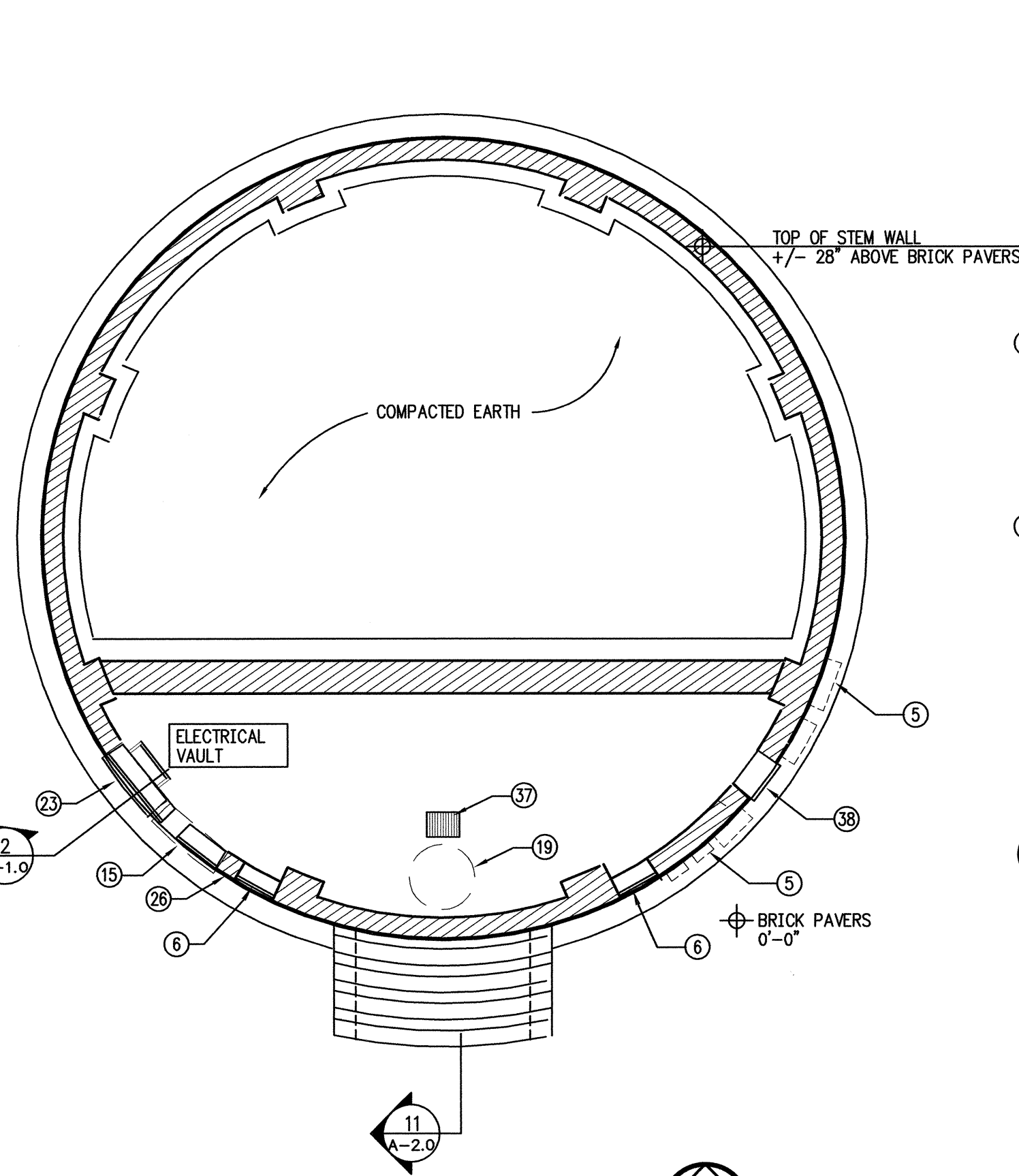
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11/02/01  
NO./DAY/YR.

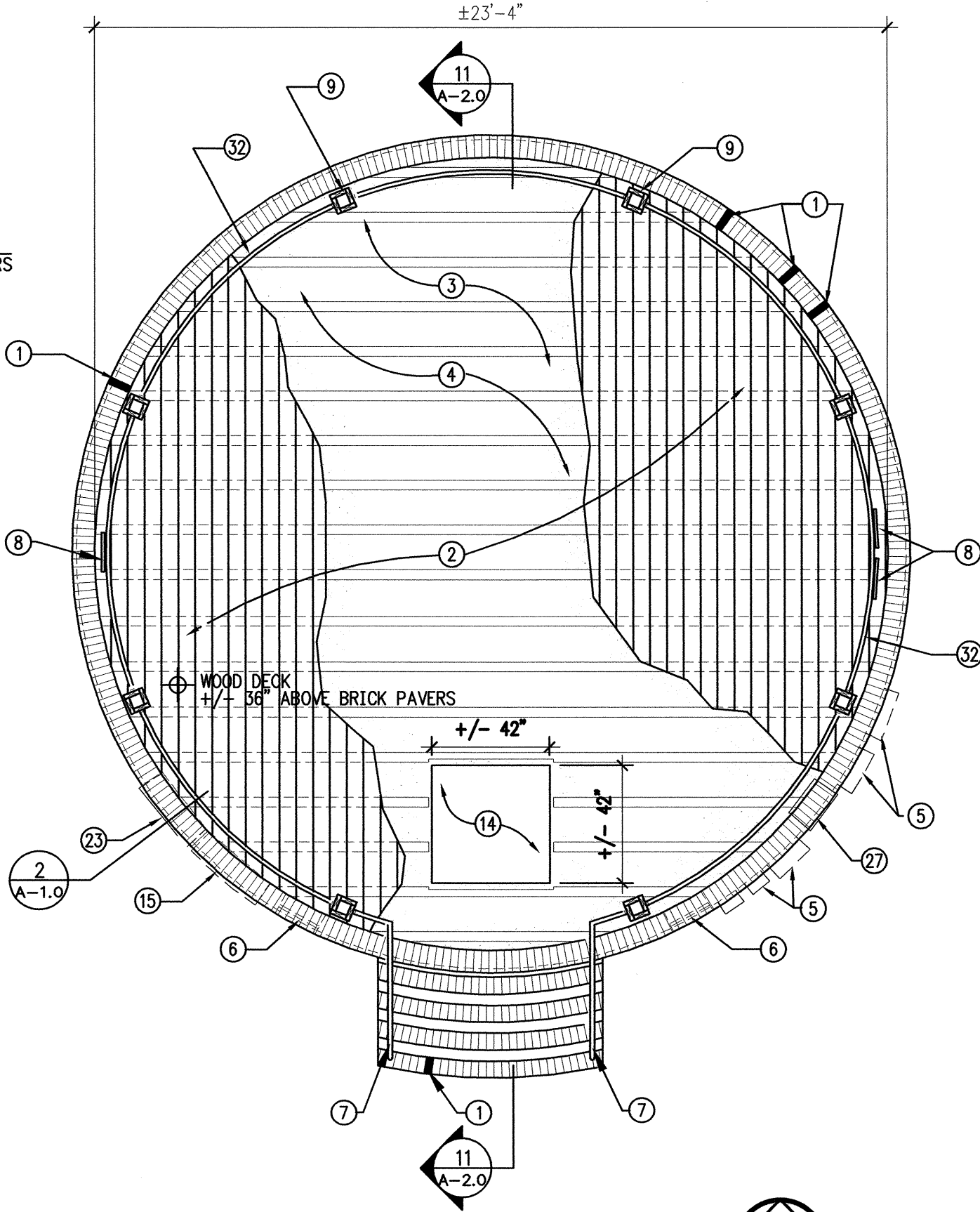
City Project No.  
675802

Zone Map No.  
J-13-Z

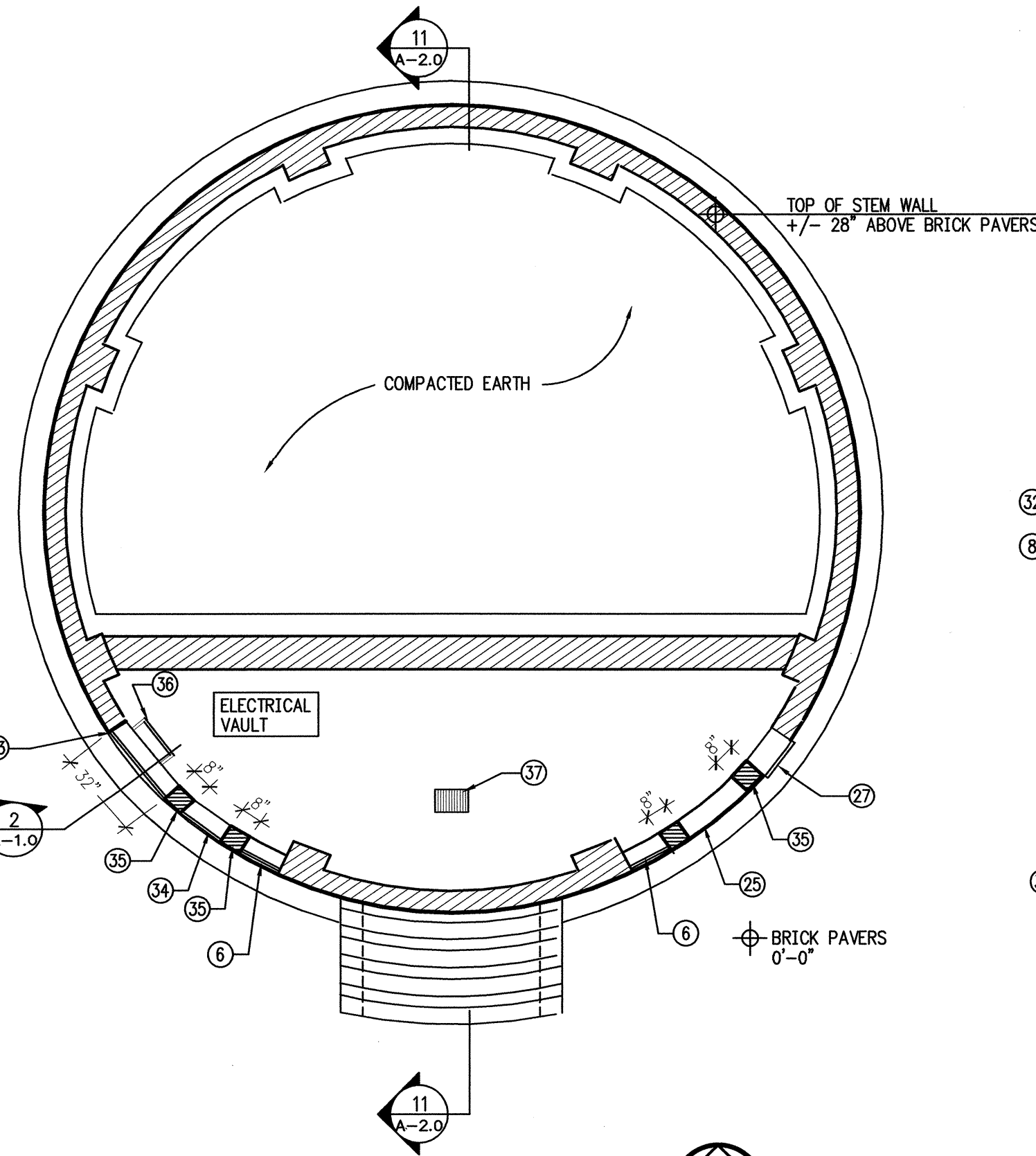
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A-1.0 6 of 12



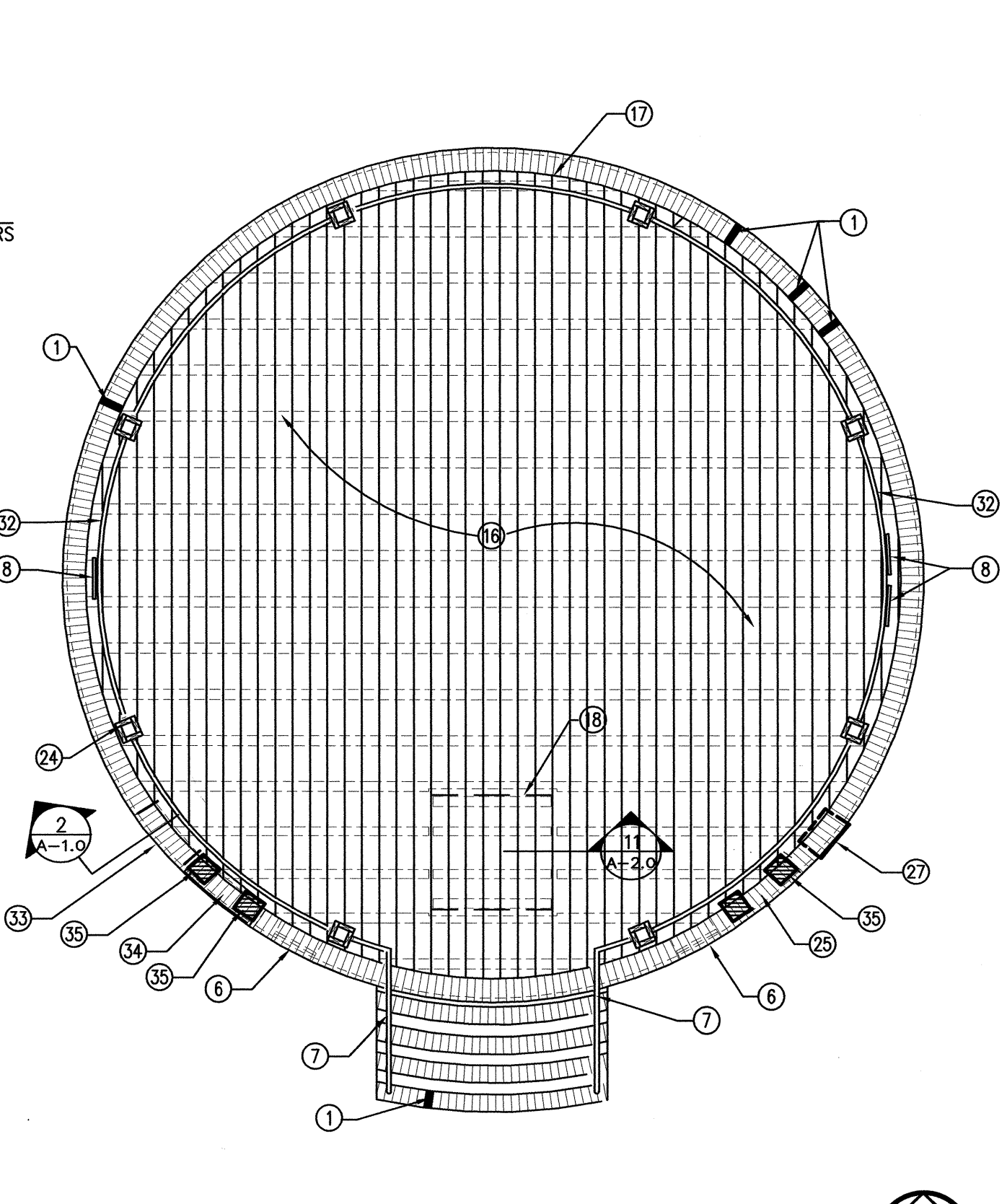
EXIST. CONDITIONS FOUNDATION PLAN



EXIST. CONDITIONS FLOOR PLAN



NEW FOUNDATION PLAN



FLOOR PLAN



ROOF DETAIL 1  $\frac{3}{4}" = 1'-0"$

CUPOLA DETAIL 4 3/4" = 1'

EXISTING CONDITIONS/DEMOLITION

DETAIL @ COLUMN BASE 8 1 1/2" = 1'-0"

AT NEW ROOFING

**RIDGE/ HIP DETAIL** **2** 3/4" - 1'-0"

AT NEW ROOFING

**EAVE DETAIL** **5**  $3/4" = 1'-0"$

NEW DETAIL @ COLUMN BASE 9 11

AT NEW ROOFING

CUPOLA DETAIL 3 1 1/2" = 1'-0"

DETAIL @ TRAP DOOR 6 1 1/2" = 1'-0"

DEMOLITION SOUTH ELEVATION 7 1/4" = 1'-0"

**SOUTH ELEVATION** **10** 1/4" = 1'-0"

1'-0" SECTION / EXISTING CONDITIONS/ NEW WORK 11 1/2" = 1'-0"

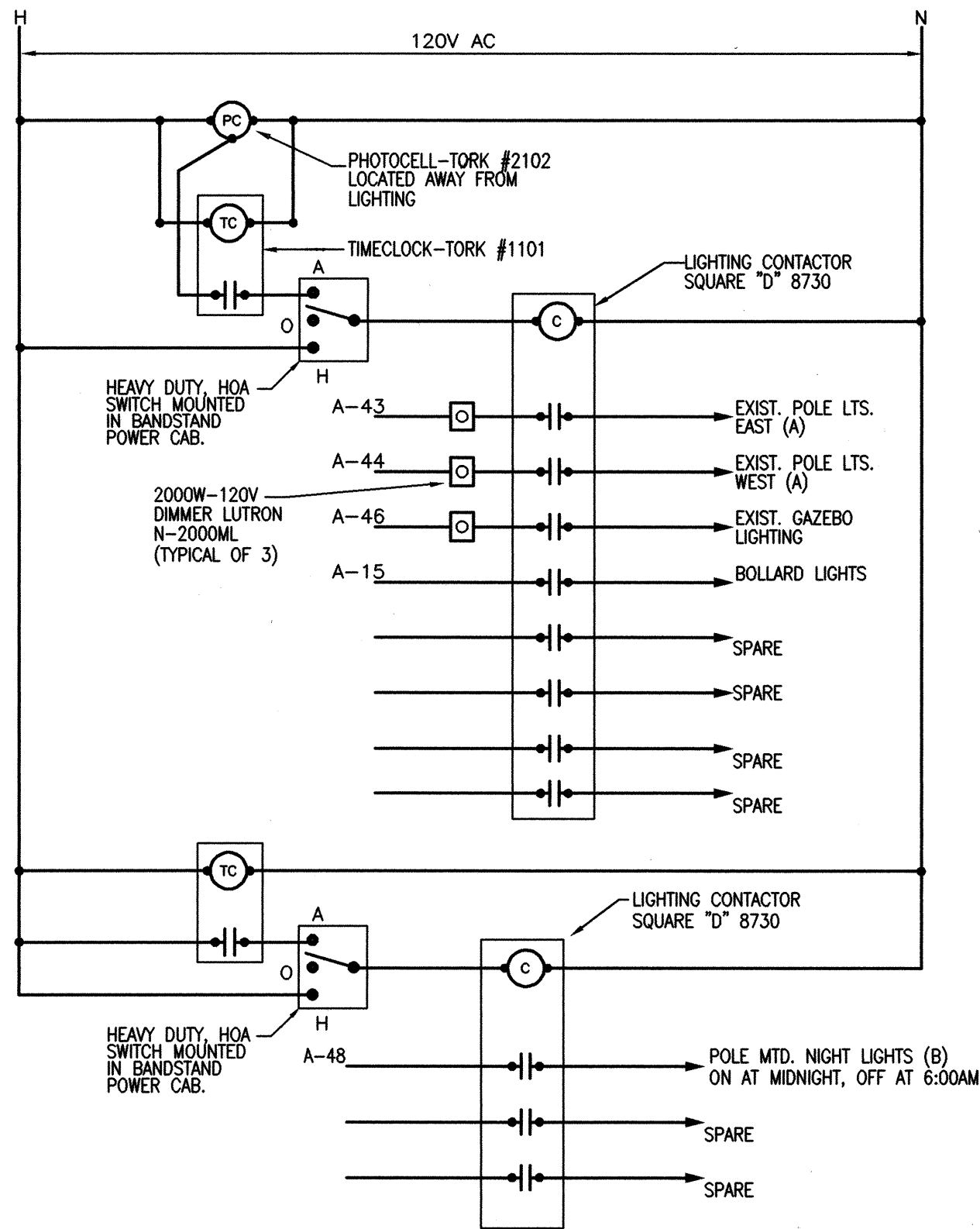
## Keyed Notes

1. REMOVE EXISTING WOOD SHINGLES AND BUILDING PAPER TO DECKING.
2. EXISTING 2X6 DECKING TO REMAIN. PRIME AND PAINT EXPOSED FACE.
3. EXISTING FACIA AND MOULDING TO REMAIN. PRIME AND PAINT.
4. EXISTING 2X8 SPANDREL BEAM TO REMAIN. PRIME AND PAINT.
5. EXISTING 2X10 RAFTER TO REMAIN. PRIME AND PAINT.
6. EXISTING LIGHT FIXTURE TO REMAIN.
7. EXISTING BRICK. REPLACE BROKEN BRICKS AS CALLED OUT ON SHEET A-1.0.
8. EXISTING COLUMN TO REMAIN. PRIME AND PAINT.
9. REMOVE EXISTING QUARTER ROUND SHOE.
10. REMOVE EXISTING WOOD DECKING.
11. EXISTING STEEL RAILING, REMOVE AS NECESSARY FOR DECK REPLACEMENT.
12. INSTALL:
  1. REMOVE EXISTING ELECTRICAL PANELS. SEE ELECTRICAL.
  2. EXISTING CRANSPAPE VENT TO REMAIN. PRIME AND PAINT.
  3. EXISTING 1X4 NAILER EMBEDDED IN CONCRETE DECK, REMOVE AND REPLACE DAMAGED/ ROTTED 1X4's, TYPICAL.
  4. EXISTING CONCRETE SLAB TO REMAIN. AFTER REMOVAL OF EXISTING WOOD DECKING, CLEAN EXISTING CONCRETE SLAB, AND INSTALL WATERPROOFING MEMBRANE.
  5. EXISTING C.M.U. STEMMALL TO REMAIN.
  6. EXISTING FACIA TO REMAIN. PRIME AND PAINT.
  7. 2X4 RAFTER TO REMAIN.
  8. OCTAGON BLOCK TO REMAIN. PRIME AND PAINT.
  9. REMOVE WASTIC SEALANT.
  10. DOWEL TO REMAIN.
  11. EXISTING PEAK DOWEL TO REMAIN. PRIME AND PAINT.
  12. PROVIDE AND INSTALL #30 FELT OVER EXISTING DECKING.
  13. INSTALL NEW STUCCO FINISH COAT OVER EXISTING STUCCO AND C.M.U. WALL. CLEAN EXISTING STUCCO. PATCH ALL CRACKS WITH EL REY "INSUL-BOND" OR INSUL-BOND SANDED", OR EQUAL. IF CRACKING IS SEVERE, INSTALL EL REY "KRAK-MASTER" MESH, OR EQUAL, EMBEDDED IN PATCHED AREAS. PATCH AREAS FOR A MINIMUM OF 48-HOURS AND ALLOW TO DRY PRIOR TO THE APPLICATION OF THE FINISH COAT.
  14. FINISH STUCCO TO BE EL REY "PERMA-FLEX 400" CONDITIONER AND "PERMA-FLEX ELASTOMERIC FINISH", OR EQUAL.
25. NEW CEDAR SHINGLE RIDGE/ HIP, ALTERNATE OVERLAP.
26. PROVIDE AND INSTALL NEW CEDAR SHINGLE, NUMBER 2 RED LABEL, CLASS "C", 18" LONG, 4" EXPOSURE. SEAL WITH SIKKENS "CETOL SR CLEAR SEAL", OR EQUAL AT ALL SURFACES PRIOR TO INSTALLATION. NAIL WITH 3d box STAINLESS STEEL, HOT DIPPED ZINC COATED OR ALUMINUM NAILS.
27. PROVIDE AND INSTALL AN ADDITIONAL 36" STRIP OF #30 FELT STARTING AT EAVE.
28. DOUBLE STARTER COURSE OF WOOD SHINGLES.
29. SEAL ALL AROUND COLUMN, TYPICAL. PROVIDE AND INSTALL NEW 3/4" QUARTER ROUND SHOE. PRIME AND PAINT TO MATCH EXISTING.
30. PROVIDE AND INSTALL NEW 6"x4"x1/4" STEEL ANGLE LEDGER AT ALL SIDES, TYPICAL. ANCHOR TO EXISTING CONCRETE SLAB WITH 1/2" DIA. 6" LONG EXPANSION ANCHORS (4 EACH SIDE).
31. PROVIDE AND INSTALL NEW 2X6 1" STEEL DECKING.
32. PROVIDE AND INSTALL NEW 3000 PSI AIR ENTRAINED CONCRETE SLAB AT TRAP DOOR OPENING. APPLY SEALANT OVER NEW CONCRETE AFTER PROPER CURING. REFER TO MANUFACTURER'S RECOMMENDATIONS.
33. PROVIDE AND INSTALL NEW TREATED 1X4 NAILERS EMBEDDED INTO WET CONCRETE AND FLUSH WITH EXISTING NAILERS.
34. SEAL AROUND DOWELS, TYPICAL.
35. PROVIDE AND INSTALL NEW 2X6 MAHOGANY TONGUE AND GROOVE DECKING.
36. EXISTING VAULT ACCESS PANEL TO BE REMOVED AND REPLACED WITH A LARGER SIZE ACCESS PANEL. EXISTING STEEL LADDER TO REMAIN INSIDE. SEE DETAIL.
37. REMOVE EXISTING RECESSED PANEL BOX AND IRRIGATION CONTROLLER.
38. EXISTING WATER ENCLOSURE. TO BE REMOVED, SEE ELECTRICAL.
39. PROVIDE AND INSTALL ADDITIONAL #30 FELT AT RIDGE. LAP 18" EACH SIDE.
40. INSTALL NEW EQUIPMENT IN EXISTING VAULT. SEE ELECTRICAL AND LANDSCAPE PLANS.
41. EXISTING TRAP DOOR OPENING TO BE FILLED IN, SEE DETAIL 6/A-2.0.
42. EXISTING FLOOR DRAIN REMAIN.
43. IRRIGATION SYSTEM ANTENNA.
44. JOE AND WATER SHIELD WATER PROOFING MEMBRANE.
45. NEW ACCESS DOOR. SEE DETAIL.
46. NEW ELECTRICAL CABINETS RECESSED IN MASONRY WALL. REMOTE LIGHTING CONTROL PANEL CABINET AND ELECTRICAL RECEPTACLE CABINET.
47. IRRIGATION CONTROLLER CABINET, RECESSED IN WALL.
48. NEW RECESSED ELECTRICAL METER CABINET.
49. RAISE UP EXISTING RAILING, 42" ABOVE NEW DECK. REPLACE CENTER VERTICAL SUPPORT POST, WELDED. MATCH EXISTING METAL AND FINISH.
50. PHOTO CELL. MOUNT UNDER CUPOLA. RUN WIRING CONCEALED BEHIND WOOD TRIM. PRIME AND PAINT TRIM.
51. NEW HORIZONTAL RAILS AND VERTICAL SIDE RAILS AND CENTER RAIL EXTENSIONS, MATCH EXISTING METAL, RAILING MATERIAL, AND FINISH. CENTER (3 EQUAL SPACES) BETWEEN TOP OF DECK AND BOTTOM OF EXISTING RAILING.

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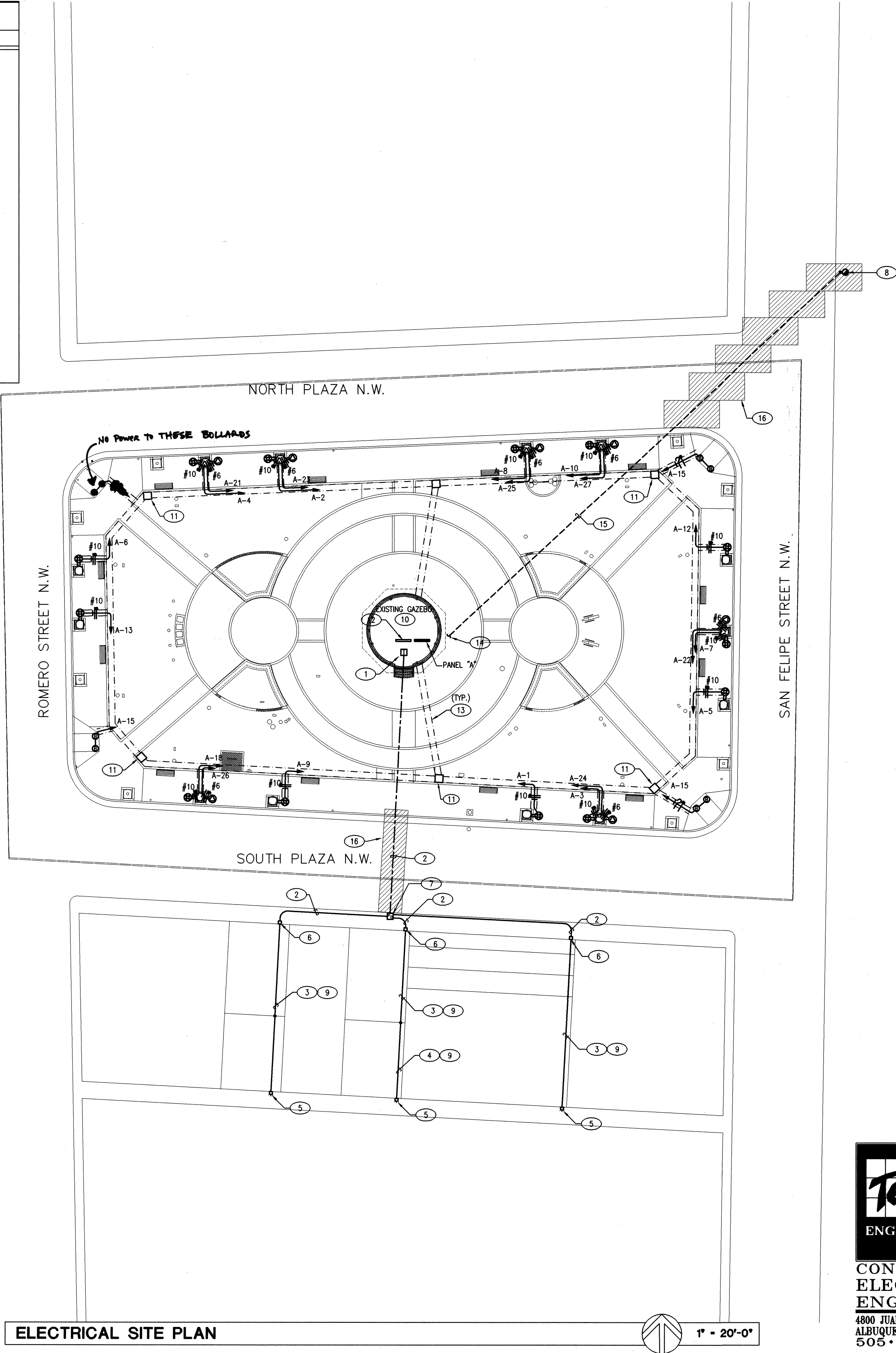


SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	JUNCTION BOX WITH CONNECTION TO EQUIPMENT.
	TRANSFORMER. SEE PLANS AND RISER DIAGRAM.
	DISCONNECT SWITCH. SIZE AND POLES FOR LOAD CONNECTED. NEMA 3R
	ELECTRIC PANEL. SEE PANEL SCHEDULE FOR CHARACTERISTICS.
	BRANCH CIRCUIT IN WALLS OR CEILING WITH CONDUCTORS INDICATED.
	BRANCH CIRCUIT IN WALLS OR UNDER FLOOR, CONDUCTORS INDICATED.
	BRANCH CIRCUIT NUMBERS INDICATED. IE: NEUTRAL, HOT(PHASE), SWITCH LEG/TRAVLER, GROUND RESPECTIVELY.
	HOME RUN TO PANEL, WITH BRANCH CIRCUIT NUMBERS INDICATED.
	BOLLARD LIGHTING FIXTURE. SEE FIXTURE SCHEDULE.
	DUPLEX RECEPTACLE.
	50A-240V RECEPTACLE MOUNTED ON PLANTER. SEE DETAIL.
	FOURPLEX GFI RECEPTACLE MOUNTED ON PLANTER. SEE DETAIL.
	PORCELAIN LAMP SOCKET WITH 150W INC. LAMP.



**EXTERIOR LIGHTING CONTROL DIAGRAM**

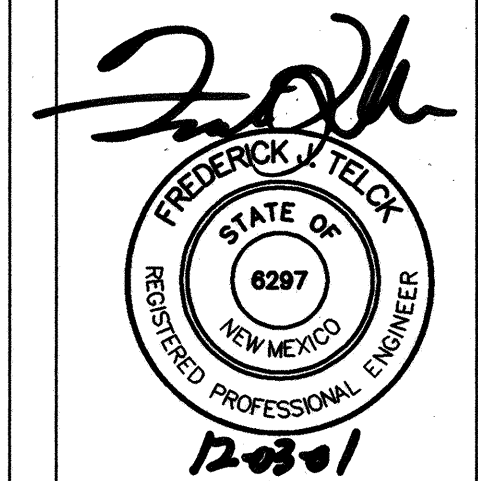
NOTE: ALL EQUIPMENT SHOWN ON THIS DIAGRAM, EXCEPT THE PHOTOCELLS AND HOA SWITCHES, SHALL BE MOUNTED IN A 24"x24"x8" NEMA 1 ENCLOSURE WITH A HINGED AND LOCKABLE COVER.



# Keyed Notes

- REMOVE EXISTING TRANSFORMER. TURN OVER TO PNM.
- REMOVE EXISTING SERVICE CONDUCTORS.
- RUN NEW SERVICE CONDUIT AND WIRE ON EXISTING ROOF. MAINTAIN INTEGRITY OF ROOF. FIELD VERIFY LENGTH OF RUN PRIOR TO BID.
- RUN CONDUIT ON PARAPET OF HIGH ROOF. DO NOT DISTURB EXISTING ROOF.
- TERMINATE SERVICE CONDUCTORS ABOVE ALLEY AS DIRECTED BY PNM.
- EXISTING SERVICE ENTRANCES. DISCONNECT EXISTING SERVICE CONDUCTORS AND INSTALL NEW SERVICE CONDUCTORS/CONDUITS OVER ROOF FROM ALLEY. COORDINATE WORK SO THAT PREMISES ARE NEVER WITHOUT POWER FOR MORE THAN 8 HOURS. PAINT CONDUITS AS DIRECTED BY ARCHITECT.
- EXISTING SPLICE BOX IN SIDEWALK. REMOVE ALL CONDUCTORS.
- TERMINATE ON POLE AS DIRECTED BY PNM.
- COORDINATE EXACT ROUTING OF CONDUIT WITH ARCHITECT, ENGINEER, AND OWNER PRIOR TO INSTALLING CONDUITS. (NO EXCEPTION).
- REMOVE ALL EXISTING SPEAKERS FROM GAZEBO.
- PULL BOX. SEE DETAIL SHEET E-3.0.
- LIGHTING CONTROL CABINET. SEE DETAIL THIS SHEET.
- DASHED-DOT LINES SHOW WHERE UNDERGROUND ELECTRICAL CONDUITS ARE TO BE INSTALLED. RESTORE ALL SURFACES: BRICK, LAWN, PLANTING, CONCRETE.
- SEE ELECTRICAL ROOM PLAN FOR CONTINUATION.
- INSTALL 3-500KCMIL THWN CU CONDUCTORS FROM POLE TO PANEL "A".
- DIAGONAL HATCHED AREAS INDICATE LIMITS OF WORK AREAS. SAW CUTS IN THE STREET ARE TO BE PERPENDICULAR AND PARALLEL TO FLOW OF TRAFFIC (NOT DIAGONAL). SEE C.O.A. STANDARDS: PAVEMENT-C.O.A. STANDARD 2465 SIDEWALK-C.O.A. STANDARD 2430 CURB AND GUTTER-C.O.A. STANDARD 2415

NO. DATE		REVISIONS/REMARKS	BY	SURVEY INFORMATION		BENCH MARK		AS BUILT INFORMATION	
				FIELD NOTES				CONTRACTOR	
				BY				DATE:	
				NO.				WORK STAKED BY:	
								INSPECTOR'S APPROVAL	
								DATE:	
								FIELD VERIFICATION BY:	
								DATE:	
								DRAWING CORRECTED BY:	
								DATE:	
								MICRO-FILM INFORMATION	
								RECORDED BY:	
								DATE:	
								NO.	



LEE GAMELSKY ARCHITECT P.C.

2412 MILES ROAD SE  
ALBUQUERQUE, NM 87106  
505.842.8865 FAX 842.1693  
lga@ewcp.com



**CONSULTING ELECTRICAL ENGINEERS**

4800 JUAN TABO NE, STE. A  
ALBUQUERQUE, NM 87111  
505-292-3202

CITY OF ALBUQUERQUE  
PARKS AND GENERAL SERVICES  
DESIGN & DEVELOPMENT DIVISION

TITLE: **OLD TOWN PLAZA**  
**Electrical Site Plan**

Design Review Committee  
APPROVED  
DEC 13 2001

City Engineer Approval  
APPROVED  
DEC 13 2001  
CITY ENGINEER

MO. DAY/YR.  
11/2/01

City Project No.  
**675802**

Zone Map No.  
**J-13-Z**

Sheet  
E-1.0 **8** Of **12**

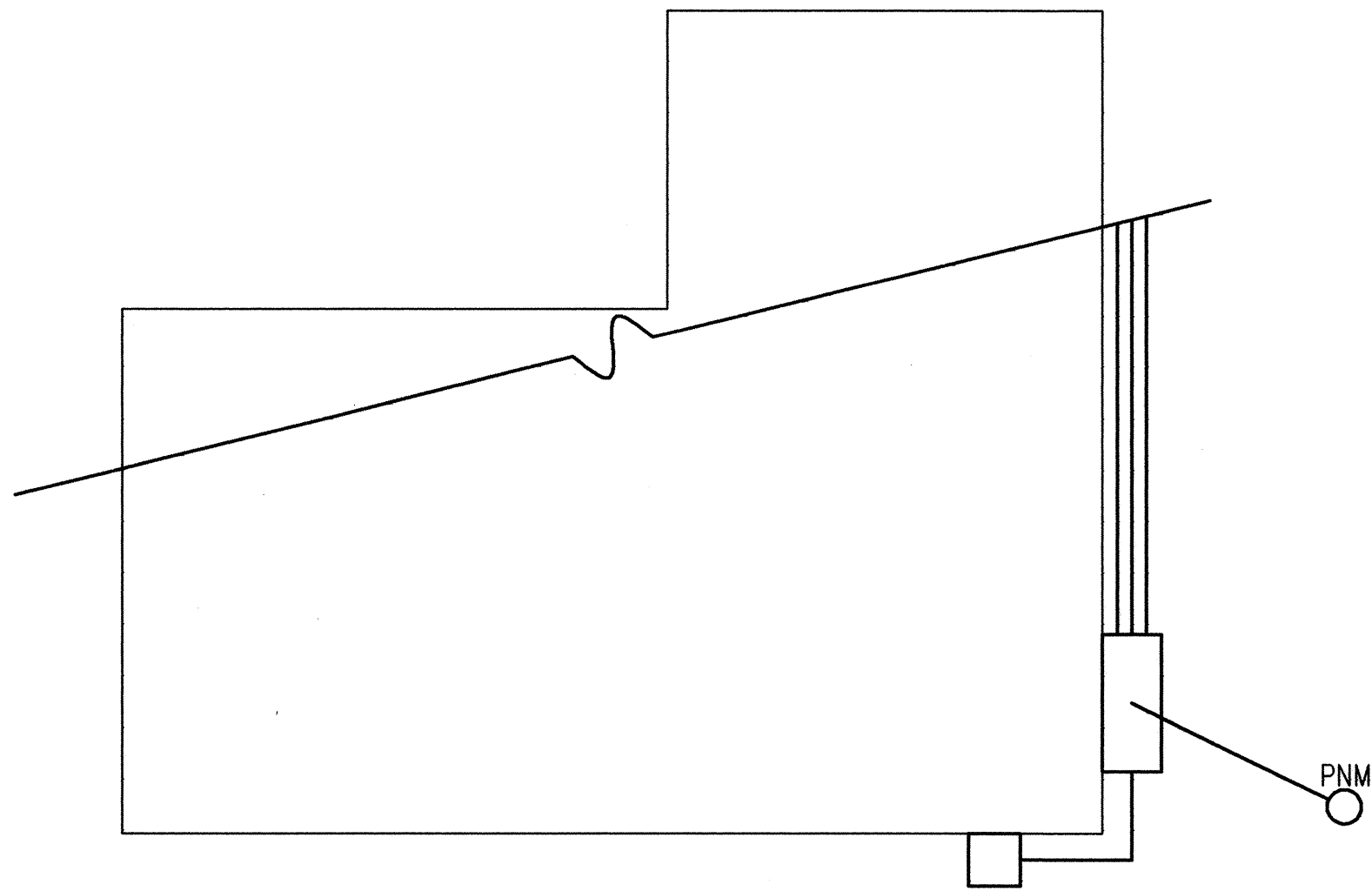






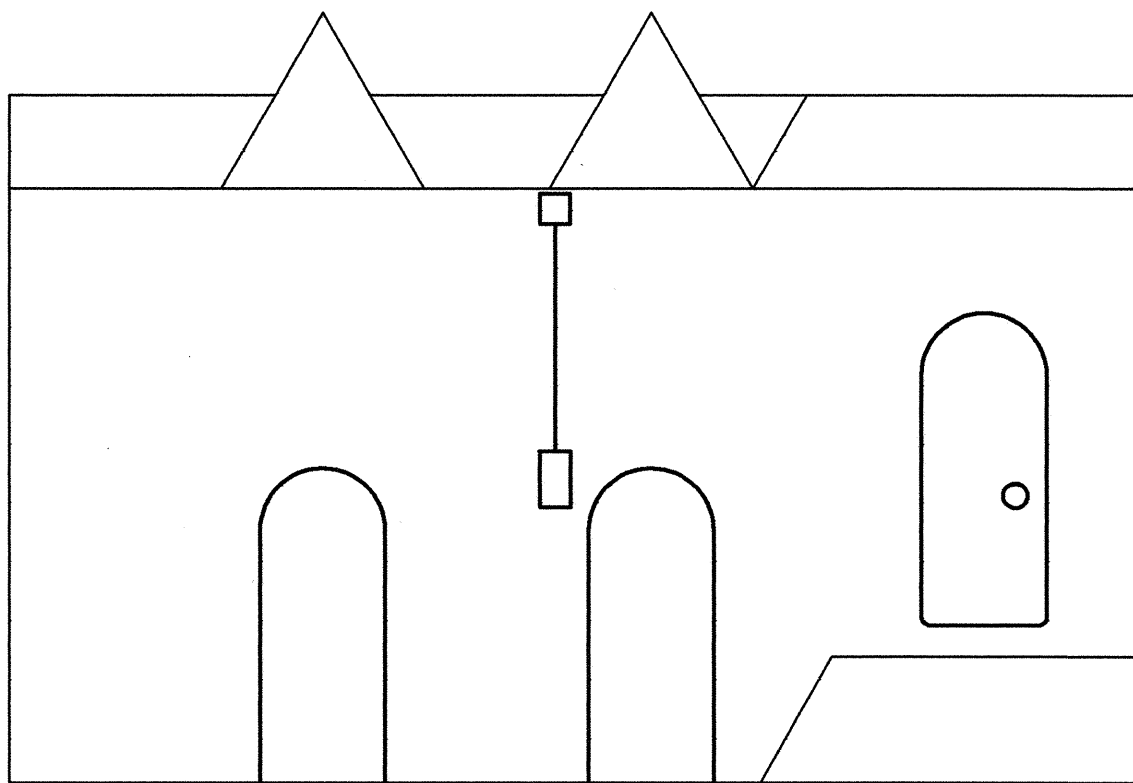
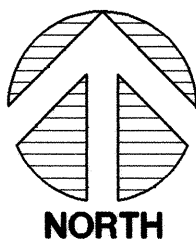






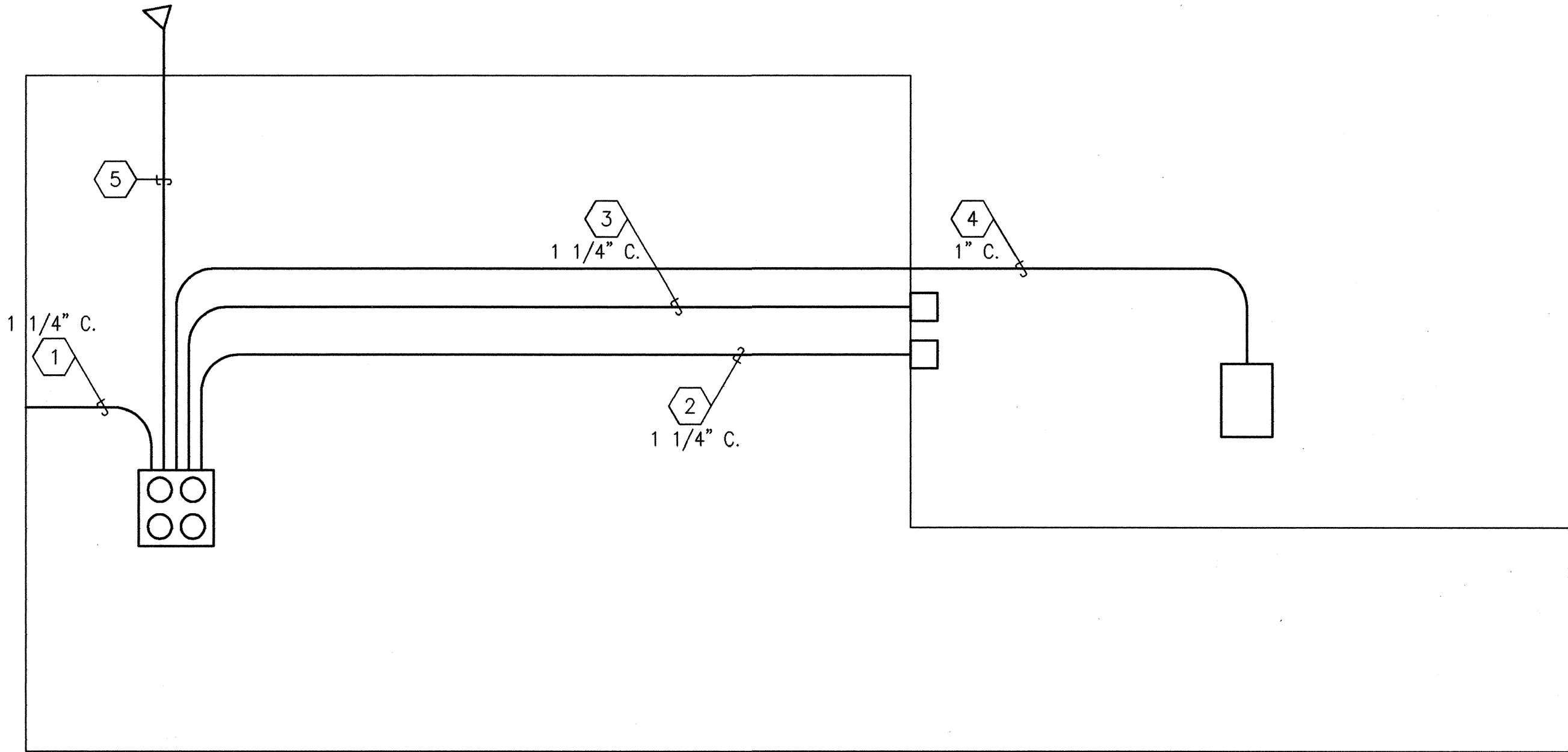
PARTIAL PLAN- 2020 S. PLAZA NW

NOT TO SCALE



NORTH ELEVATION- 2020 S. PLAZA NW

NOT TO SCALE



EAST ELEVATION- 2020 S. PLAZA NW

NOT TO SCALE

### Keyed Notes

2020 SOUTH PLAZA NW

- 1-1/4" EMT TO BACK OF BUILDING-NO GROUND-NO BUSHINGS-100 AMP PANEL REFEED AS NEEDED.
- 1-1/4" EMT TO FRONT OF BUILDING TO EXISTING LB-PANEL AND J BOX IS BURIED IN WALL-NO GROUND-NO BUSHINGS-100 AMP PANEL-REFEED AS NEEDED.
- 1-1/4" EMT TO FRONT OF BUILDING TO LB-NO GROUND-NO GROUND BAR-NO BUSHINGS-100 AMP PANEL-REFEED AS NEEDED.
- 1" EMT TO RELOCATED PANEL THAT WAS ON FRONT OF BUILDING-MOVE TO ROOF-REFEED A/C UNITS-MAY NEED TO REFEED 1/2" CONDUITS RUSTED AWAY UNDER ROOF. 60 AMP-REFEED AS NEEDED.
- NEW SERVICE RISER. 4" C. W/ 3-500kcmil.

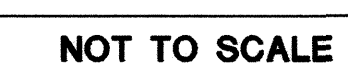
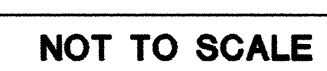
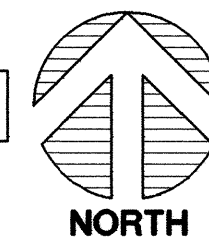


LEE GAMELSKY ARCHITECT P.C.		CITY OF ALBUQUERQUE PARKS AND GENERAL SERVICES DESIGN & DEVELOPMENT DIVISION	
2412 MILES ROAD SE ALBUQUERQUE, NM 87106 505.842.8865 FAX 842.1893 lga@ewcp.com		<b>TITLE: OLD TOWN PLAZA REMODEL SERVICE REVISION 2020 S. PLAZA NW</b>	
Design Review Committee	City Engineer Approval	City Project No. <b>675802</b> Zone Map No. <b>J-13-Z</b> Sheet <b>E-4.1</b> Of <b>12</b>	
Last Design Update		MO./DAY/YR.    MO./DAY/YR.	
DESIGNED BY: <b>JC</b> DATE: <b>2/20/02</b> DRAWN BY: <b>BF</b> DATE: <b>2/20/02</b> CHECKED BY: <b>FT</b> DATE: <b>2/20/02</b>			



SURVEY INFORMATION		BENCH MARK	AS BUILT INFORMATION	
FIELD NOTES			CONTRACTOR	DATE
NO.	BY	DATE	WORK STAGED BY	DATE
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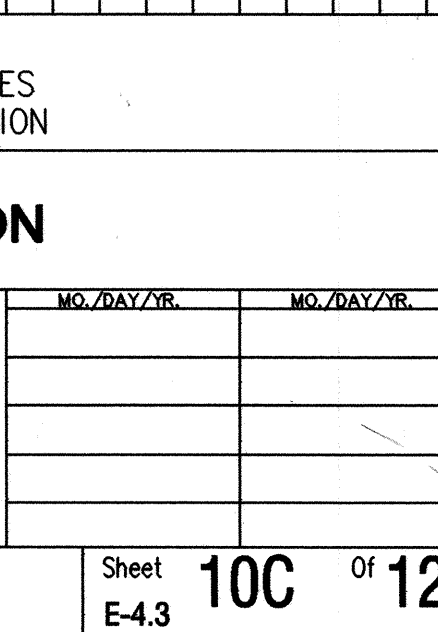
**Telcon**  
ENGINEERING  
INC.  
CONSULTING  
ELECTRICAL  
ENGINEERS  
4800 JUAN TABO NE, STE. A  
ALBUQUERQUE, NM 87111  
505 • 292 • 3202

LEE GAMELSKY ARCHITECT P.C.		REVISED							DESIGNED BY: JC
2412 MILES ROAD SE ALBUQUERQUE, NM 87106 505.842.8865 FAX 842.1693 lga@ewcp.com		NO. DATE							DRAWN BY: BF
									CHECKED BY:
CITY OF ALBUQUERQUE PARKS AND GENERAL SERVICES DESIGN & DEVELOPMENT DIVISION									
TITLE: OLD TOWN PLAZA REMODEL <b>SERVICE REVISION</b> <b>2012 S. PLAZA NM</b>									
Design Review Committee		City Engineer Approval		Last Design Update	MO./DAY/YR.		MO./DAY/YR.		
City Project No. <b>675802</b>		Zone Map No. <b>J-13-Z</b>		Sheet <b>E-4.2</b>		<b>10B</b>		Of <b>12</b>	





1. 3/4" CONDUIT TO FEED 50 AMP PANEL TIE TO EXISTING J BOX--NO GROUND BAR--NO GROUND--NO GROUND BUSHINGS--REFEED AS NEEDED.
2. 3/4" CONDUIT TO FEED 50 AMP PANEL TIE TO EXISTING J BOXES--NO GROUND--NO GROUND BAR--NO GROUND BUSHING--REFEED AS NEEDED.
3. 3/4" CONDUIT TO FEED 50 AMP CORNER STORE--NO GROUND BAR--NO GROUND--ONLY 3 CIRCUIT MANY ARE DOUBLED UP NEED TO INSTALL LARGER PANEL--REFEED AS NEEDED.
4. 3/4" CONDUIT TO FEED 50 AMP JEWELRY STORE--PANEL IS TRIPLE LUGGED--NO NEUTRAL--NO GROUND--NO GROUND BUSS NEED TO CHANGE OUT PANEL--REFEED AS NEEDED.
5. 2" CONDUIT TO FEED 200 AMP PANEL--PANEL IS IN TOO BAD OF SHAPE--NEED TO CHANGE OUT WITH NEW PANEL--NO GROUND--NO GROUND BUSHING--NO GROUND BAR--INSTALL CONDUIT TO FRONT OF BUILDING--ADD J BOX--REFEED AS NEEDED.
6. 1" CONDUIT TO FEED 50 AMP PANEL MOUNTED ON ROOF--TIE TO EXISTING J BOX--NO GROUND--NO GROUND BAR--NO GROUND BUSHING--REFEED AS NEEDED.
7. 1" CONDUIT TO FEED THE APARTMENT UPSTAIRS--50 AMP SERVICE--NO GROUND--REFEED AS NEEDED.
8. NEW SERVICE RISER. PARALEL 3" C. W/ 3-250kcmil IN EACH.



2412 MILES ROAD SE  
ALBUQUERQUE, NM 87106  
505.842.8865 FAX 842.1693  
lga@swcp.com

CITY OF ALBUQUERQUE  
PARKS AND GENERAL SERVICES  
DESIGN & DEVELOPMENT DIVISION

TITLE: **OLD TOWN PLAZA REMODEL**  
**SERVICE REVISION**  
**2004 S. PLAZA NM**

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.
City Project No. <b>675802</b>	Zone Map No. <b>J-13-Z</b>	Sheet <b>E-4.3</b>	Of <b>10C</b>	<b>12</b>





CONSTRUCTION TRAFFIC CONTROL GENERAL NOTES

1. CONTRACTOR MUST OBTAIN FROM CONSTRUCTION COORDINATION AN EXCAVATION/BARRICADING PERMIT BEFORE ENGAGING IN ANY CONSTRUCTION, MAINTENANCE OR REPAIR WORK IN ANY OF THE CITY OF ALBUQUERQUE'S RIGHTS-OF-WAY. EMERGENCY WORK THAT WOULD PRESERVE LIFE OR PROPERTY IS EXCLUDED WITH THE UNDERSTANDING, THAT A PERMIT SHALL BE OBTAINED WITHIN 24 TO 48 HOURS.

2. CONTRACTOR SHALL AT THE TIME OF PERMIT REQUEST, SUBMIT FOR APPROVAL BY CONSTRUCTION COORDINATION, A TRAFFIC CONTROL PLAN DETAILING ALL EXISTING TOPOGRAPHY SUCH AS LANE WIDTHS, DRIVEWAYS, AND BUSINESS/RESIDENTIAL ACCESSES. THE TRAFFIC CONTROL PLAN SHALL INCLUDE ALL PHASES OF WORK AND SCHEDULES INVOLVED IN THE CONSTRUCTION PROJECT. ANY SEPERATE PHASES OF A CONSTRUCTION PROJECT SHALL BE GIVEN AN INDIVIDUAL PERMIT EACH. BLANKET PERMITS WILL NOT BE ISSUED.

3. THESE TYPICAL TRAFFIC CONTROL PLANS DO NOT REFLECT THE EXISTING TOPOGRAPHY SUCH AS DRIVEWAYS, LANE WIDTHS, AND BUSINESS/RESIDENTIAL ACCESSES. EVERY LOCATION THAT REQUIRES CONSTRUCTION TRAFFIC CONTROL SHALL HAVE A DETAILED TRAFFIC CONTROL PLAN SHOWING ALL EXISTING TOPOGRAPHY.

4. CONSTRUCTION SHALL NOT BEGIN UNLESS A TRAFFIC CONTROL PLAN HAS BEEN APPROVED AND VERIFIED BY CONSTRUCTION COORDINATION.

5. CONSTRUCTION COORDINATION SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY TRAFFIC CONTROL CHANGES NEEDED BY CONTRACTOR, THAT WERE NOT PREVIOUSLY APPROVED. THESE TRAFFIC CONTROL CHANGES SHALL BE REQUESTED IN WRITING ACCOMPANIED WITH A TRAFFIC CONTROL PLAN REFLECTING SUCH CHANGES.

6. ALL CONSTRUCTION TRAFFIC CONTROL DEVICES SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL, SERVICE AND MAINTAIN ALL TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL DEVICES SHALL NOT BE REMOVED OR ALTERED IN ANY WAY WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION, PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.

7. THE CONSTRUCTION TRAFFIC CONTROL INITIAL SET-UP SHALL BE BY AN AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA) CERTIFIED WORKSITE TRAFFIC SUPERVISOR. THE MAINTENANCE AND SERVICING SHALL ALSO BE DONE BY AN ATSSA CERTIFIED WORKSITE TRAFFIC SUPERVISOR OR EQUIVALENT.

8. CONTRACTOR IS RESPONSIBLE TO MAINTAIN AND SERVICE ALL TRAFFIC CONTROL DEVICES 24 HOURS A DAY, 7 DAYS A WEEK THROUGHOUT LENGTH OF PROJECT. CONTRACTOR IS RESPONSIBLE THAT ALL TRAFFIC CONTROL DEVICES COMPLY WITH THE MUTCD, LATEST EDITION.

9. ALL ADVANCE WARNING SIGNS SHALL BE DOUBLE INDICATED WHENEVER THERE ARE MULTI-LANE TRAFFIC IN ANY ONE GIVEN DIRECTION AND THERE IS SUFFICIENT MEDIAN SPACE.

10. ALL BARRICADES IN ALL TAPERS AND TANGENTS SHALL BE PLACED APART, A DISTANCE MEASURED IN FEET, EQUAL TO THAT OF THE POSTED SPEED LIMIT. NO EXCEPTIONS UNLESS APPROVED BY CONSTRUCTION COORDINATION PER MUTCD SECTION 6A-4.

11. ALL WORK IN ARTERIAL ROADWAYS SHALL BE ON A CONTINUOUS 24 HOUR PER DAY BASIS UNTIL COMPLETED.

12. CONTRACTOR IS RESPONSIBLE TO PROVIDE CONSTRUCTION COORDINATION, A WEEKLY LOG OF DAILY INSPECTIONS OF BARRICADE AND MAINTENANCE SCHEDULES ON PROJECTS THAT ARE OVER ONE WEEK DURATION.

13. EQUIPMENT OR MATERIALS SHALL NOT BE STORED WITHIN 15 FEET OF A TRAVELED TRAFFIC LANE DURING NON-WORKING HOURS WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION.

14. CONTRACTOR SHALL PROVIDE AND MAINTAIN A SAFE AND ADEQUATE MEANS OF CHANNELIZING PEDESTRIAN TRAFFIC AROUND AND THROUGH THE CONSTRUCTION AREA.

15. CONTRACTOR IS RESPONSIBLE FOR OBLITERATION OF ANY CONFLICTING STRIPING AND RESPONSIBLE FOR ALL TEMPORARY STRIPING.

16. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES, BUSINESSES AND/OR RESIDENTS AT ALL TIMES.

17. CONTRACTOR SHALL PROVIDE ACCESS SIGNS FOR BUSINESSES LOCATED WITHIN THE CONSTRUCTION AREA UNDER THE SUPERVISION OF CONSTRUCTION COORDINATION. EACH ACCESS SIGN SHALL HAVE 5 INCH, WHITE OPAQUE LETTERING ON BLUE REFLECTORIZED BACKGROUND. ACCESS SIGNS SHALL BE CONSIDERED INCIDENTAL TO THE BID AND NOT PART OF THE CONTRACT UNLESS OTHERWISE STATED. NO MORE THAN 3 BUSINESSES SHALL BE LISTED ON A ACCESS SIGN. SHOPPING CENTERS AND MALLS SHALL BE LISTED AS SUCH.

18. ALL ADVANCE WARNING SIGNS SHALL MEET THE MINIMUM REFLECTIVE INTENSITY REQUIREMENTS SET FORTH BY THE CITY OF ALBUQUERQUE. CONSTRUCTION COORDINATION SHALL DETERMINE ALL REQUIREMENTS AND APPROVE OR DISAPPROVE ANY ADVANCE WARNING SIGN PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.

19. 48 HOURS PRIOR TO OCCUPYING OR CLOSING OF A RIGHT-OF-WAY, CONTRACTOR SHALL NOTIFY: POLICE, FIRE DEPARTMENT, SCHOOLS, HOSPITALS, TRANSIT AUTHORITY, BUSINESSES AND/OR RESIDENTS THAT WILL BE AFFECTED BY THE CONSTRUCTION.

20. ANY FIELD ADJUSTMENTS SHALL BE APPROVED BY CONSTRUCTION COORDINATION.

21. EXCAVATIONS SHALL BE PLATED, TEMPORARILY PATCHED OR RESURFACED PRIOR TO OPENING OF TRAFFIC. A MINIMUM OF 11 FEET SHALL BE PROVIDED FOR TRAFFIC IN ANY GIVEN DIRECTION. CONTRACTOR IS RESPONSIBLE FOR ANY WORK INVOLVED IN SATISFYING THESE REQUIREMENTS.

22. CONTRACTOR SHALL AT ALL TIMES COMPLY WITH THE FOLLOWING:  
1. STANDARDS AND REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.  
2. THE CITY OF ALBUQUERQUE TRAFFIC CODE, LATEST EDITION.  
3. SECTION 19 OF THE CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTION, AS WELL AS OTHER SECTIONS.

23. FAILURE TO COMPLY WITH ANY OF THE ABOVE MENTIONED, WILL BE ADEQUATE CAUSE TO CEASE ALL WORK ON ANY CONSTRUCTION PROJECT. WORK WILL NOT RESUME UNTIL ALL REQUIREMENTS ARE ADDRESSED AND APPROVED BY CONSTRUCTION COORDINATION.

24. ALL TRAFFIC CONTROL DEVICES SHALL BE KEPT IN NEW-CLEAN CONDITION, WASHING OF EQUIPMENT IS INCIDENTAL TO IT'S PLACEMENT AND MAINTENANCE.

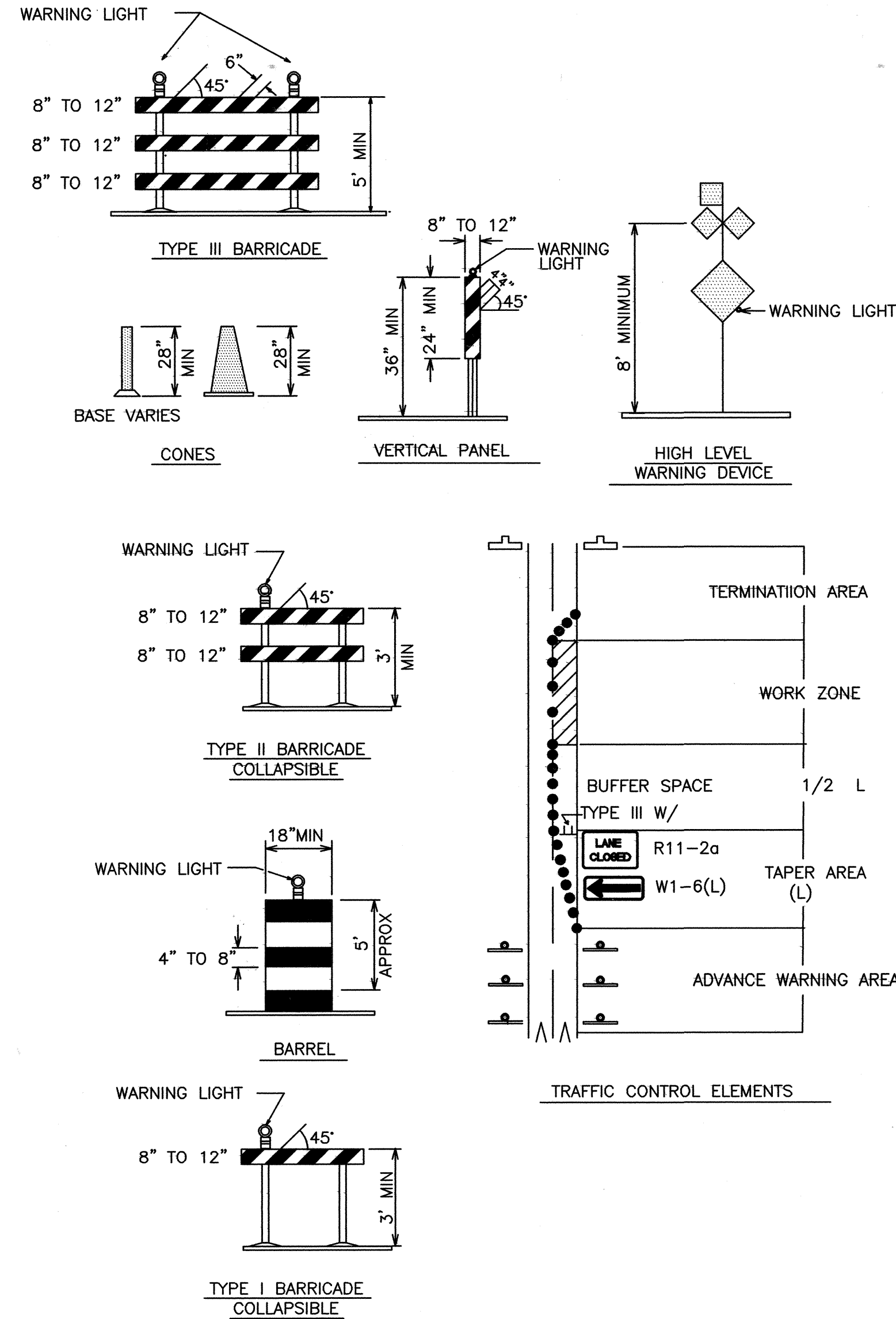
25. TRAFFIC CONTROL STANDARDS APPLY ONLY WHERE THE CONSTRUCTION TRAFFIC CONTROL PLANS ARE NOT SPECIFIC.

26. ADVANCE WARNING SIGNS SHALL BE 36"x36" MIN. WITH SUPER ENGINEERING GRADE SHEETING OR BETTER. MOUNTING HEIGHT AT TOP OF SIGN SHALL BE THE SAME AS FOR A 48" SIGN AS INDICATED IN THE M.U.T.C.D.

27. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORKSITE. ALL GRAFFITI SHALL BE PROMPTLY REMOVED FROM ALL EQUIPMENT, BOTH PERMANENT AND TEMPORARY.

SPECIAL PROJECT TRAFFIC CONTROL NOTES

A. WORK ON THIS PROJECT IS SUBJECT TO THE BALLOON FIESTA MORATORIUM AND THE HOLIDAY SEASON MORATORIUM. NO WORK WILL BE ALLOWED DURING THESE TIMES. THE DATES FOR THESE MORATORIUMS IS APPROVED BY THE CITY'S CHIEF EXECUTIVE OFFICER IN AUGUST OF EACH YEAR. NO WORK IS ALLOWED DURING THE FIESTAS DE ALBUQUERQUE AND THE SAN FELIPE FIESTAS AT OLD TOWN.



LEGEND

- WORK AREA
- BARRICADE - TYPE I, TYPE II, OR BARREL
- BARRICADE - TYPE III
- VERTICAL PANEL
- WARNING SIGN
- DISTANCE BETWEEN SIGNS - A DISTANCE MEASURED IN FEET EQUAL TO A VALUE OF TEN TIMES THE SPEED LIMIT OF THE STREET
- FLAGMAN POSITION
- SPACING BETWEEN BARRICADES - A DISTANCE MEASURED IN FEET EQUAL TO THE STREET LIMIT OF THE STREET
- TAPER LENGTH - SEE CHART BELOW

THE TANGENT LENGTH IS EQUAL TO THE TAPER LENGTH FOR A GIVEN STREET.

TAPER REQUIREMENT

SPEED LIMIT (MPH)	TAPER LENGTH(L) (FEET)			MINIMUM NUMBER OF DEVICES FOR TAPER	MAXIMUM DEVICE SPACING IN FEET	
	10' LANE	11' LANE	12' LANE		ALONG TAPER	AFTER TAPER
20	70	75	80	5	20	20
25	105	115	125	6	25	25
30	150	165	180	7	30	30
35	205	225	245	8	35	35
40	270	295	320	9	40	40
45	450	495	540	13	45	45
50	500	550	600	13	50	50
55	550	605	660	13	55	55

RECOMMENDED SIGN SPACING(D) FOR ADVANCE WARNING SIGN SERIES

SPEED LIMIT (MPH)	MINIMUM DISTANCE BETWEEN SIGNS	DISTANCE IN FEET FROM LAST SIGN TO TAPER
0-20	10 X SPEED LIMIT	10 X SPEED LIMIT
25-30	10 X SPEED LIMIT	10 X SPEED LIMIT
30-35	10 X SPEED LIMIT	10 X SPEED LIMIT
40-45	10 X SPEED LIMIT	10 X SPEED LIMIT
50-60	10 X SPEED LIMIT	10 X SPEED LIMIT

TAPER CRITERIA

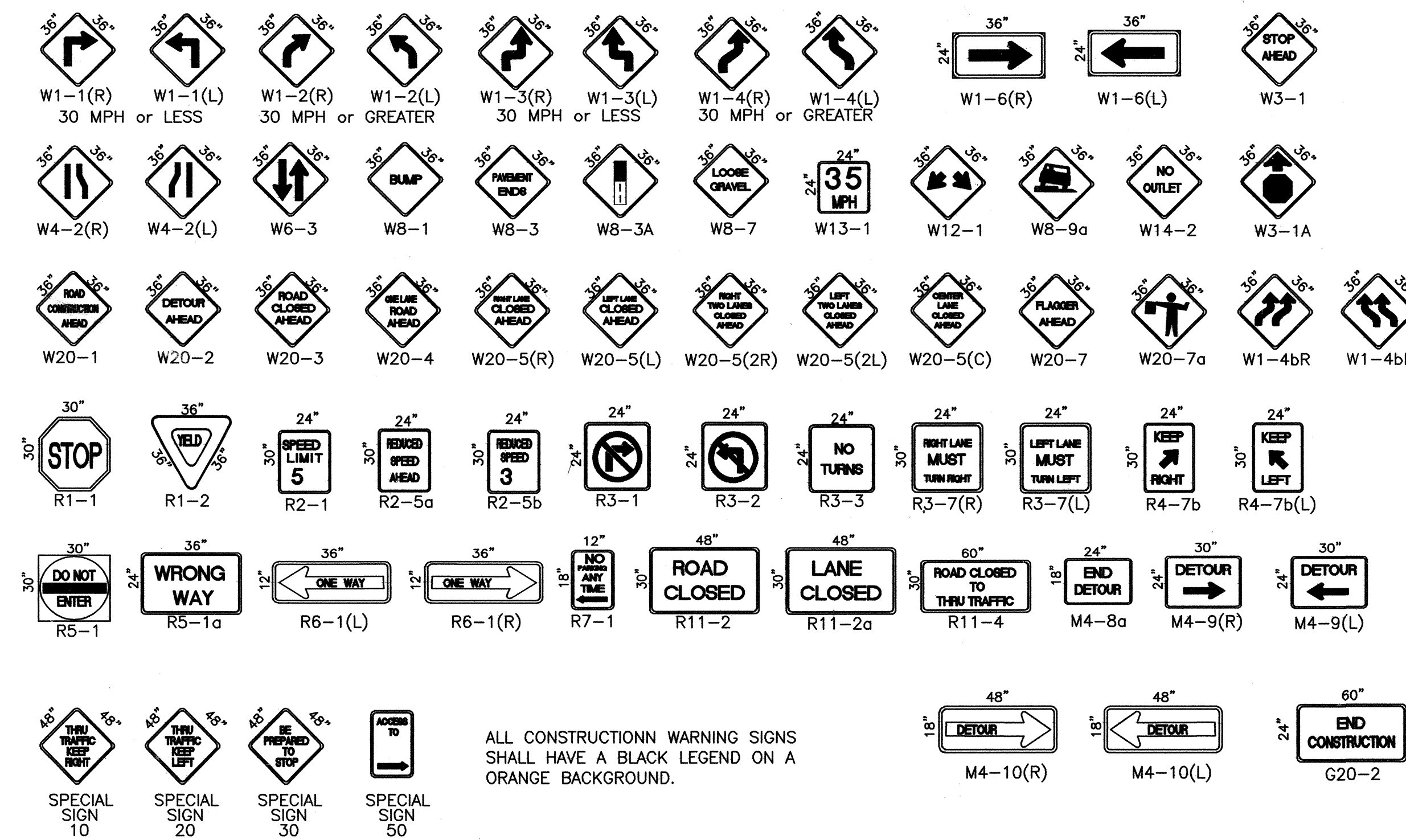
TYPE OF TAPER	TAPER LENGTH
UPSTREAM TAPER:	
MERGING TAPER	L MINIMUM
SHIFTING TAPER	1/2 L MINIMUM
SHOULDER TAPER	1/2 L MINIMUM
TWO-WAY TRAFFIC TAPER	100 FEET MAXIMUM
DOWNSTREAM TAPERS	100 FEET PER LANE

TAPER LENGTH COMPUTATION

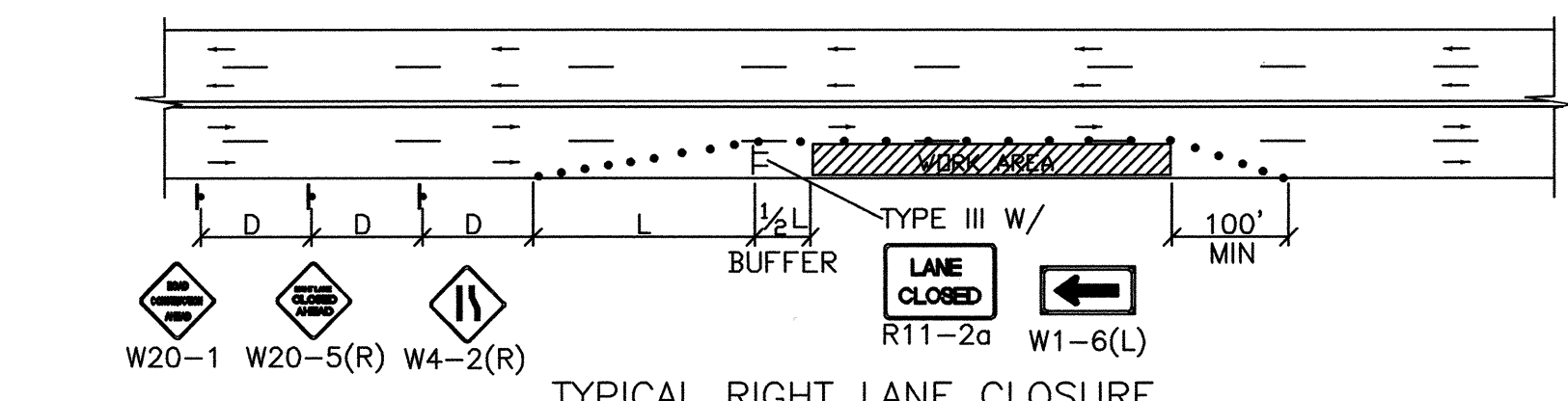
SPEED LIMIT	L = WS <sup>2</sup> / 60
40 MPH OR LESS	
40 MPH OR GREATER	L = W x S

L = TAPER LENGTH  
W = WIDTH OF OFFSET IN FEET  
S = POSTED SPEED OR OFF-PEAK 85-PERCENTILE SPEED IN MPH

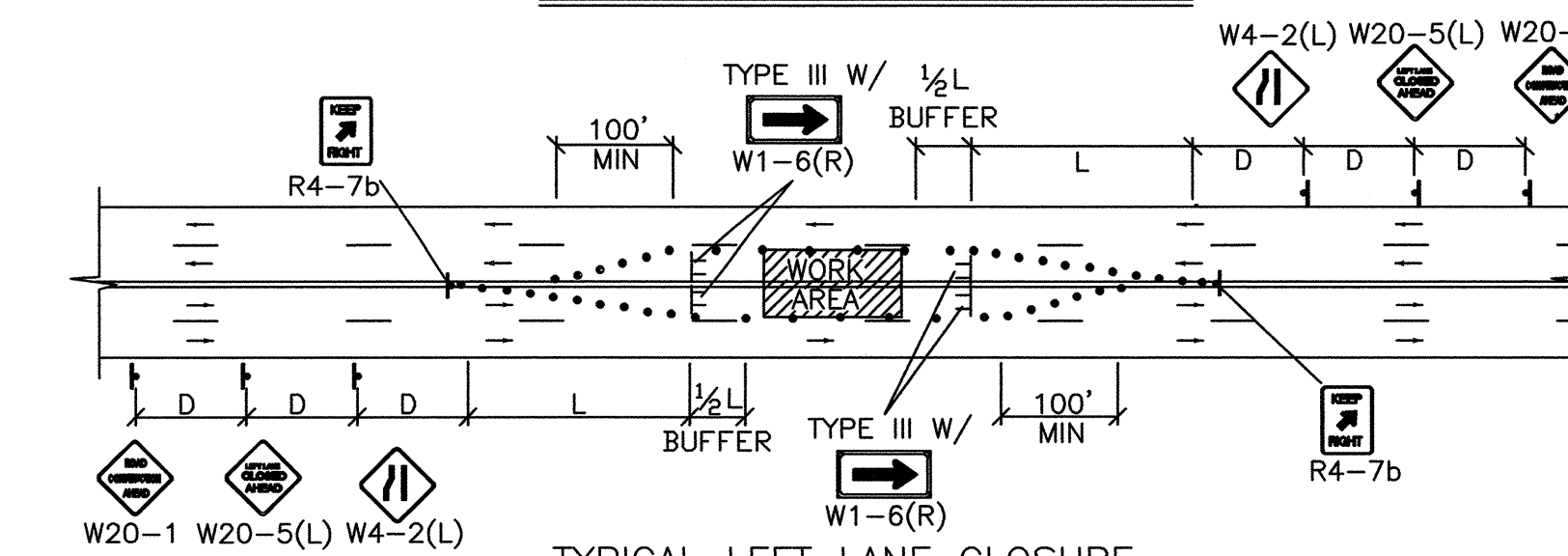
SIGN FACE DETAILS



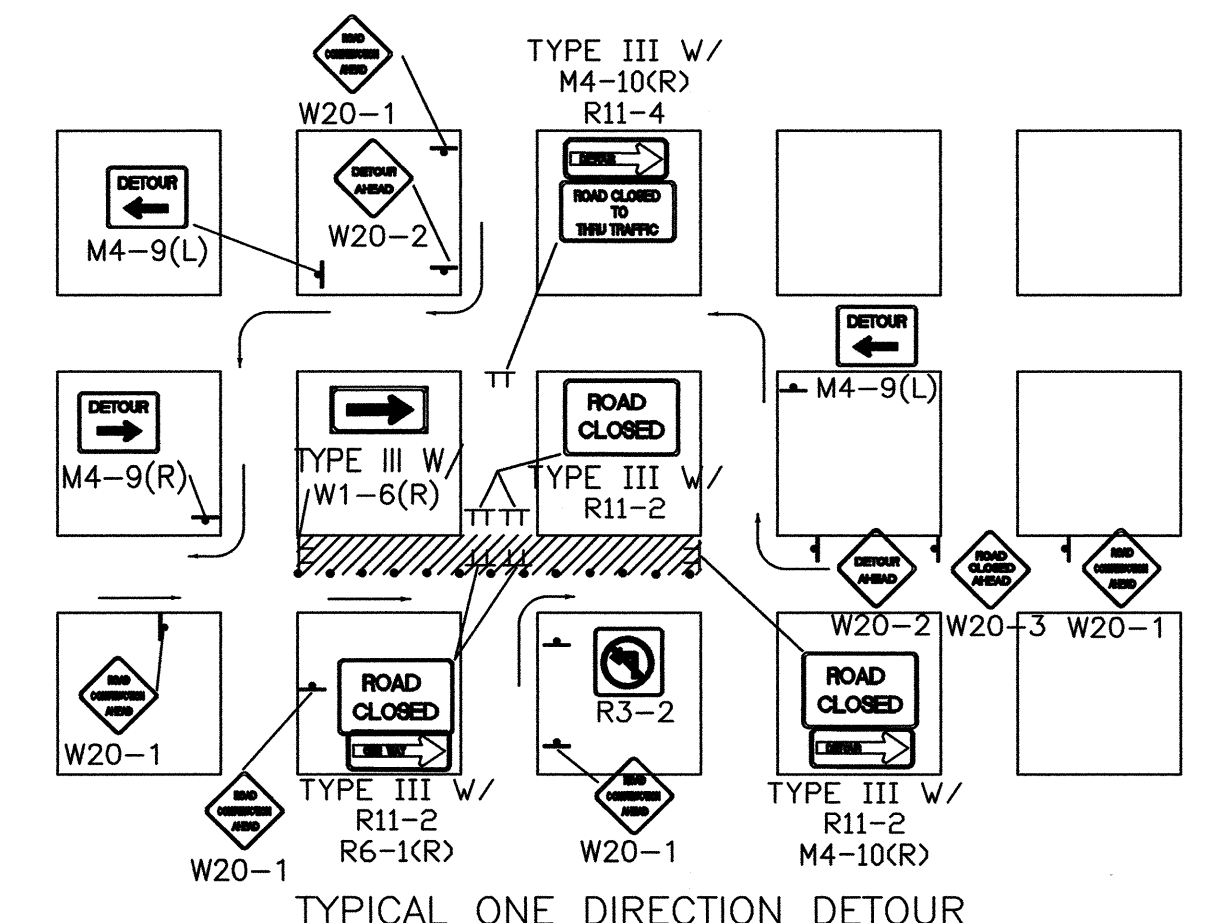




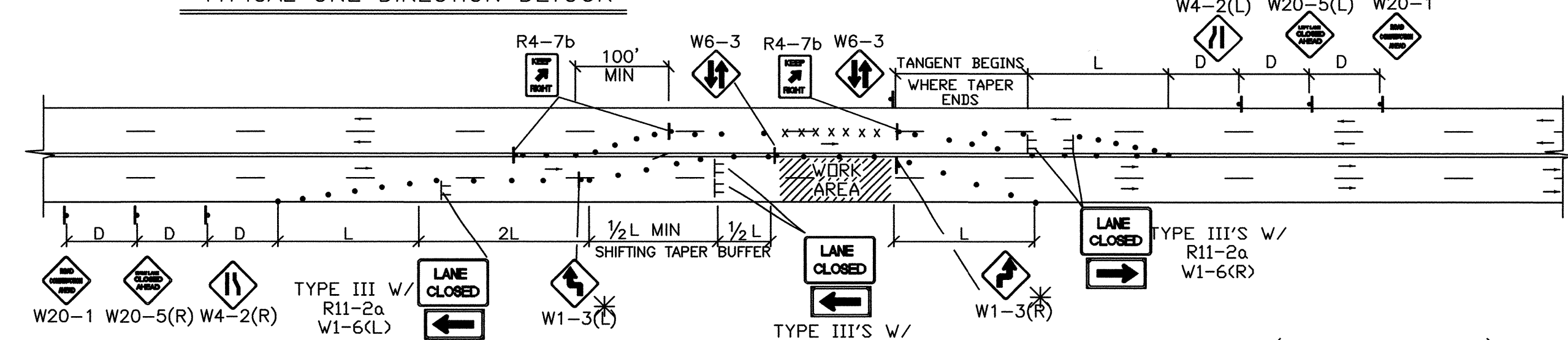
TYPICAL RIGHT LANE CLOSURE



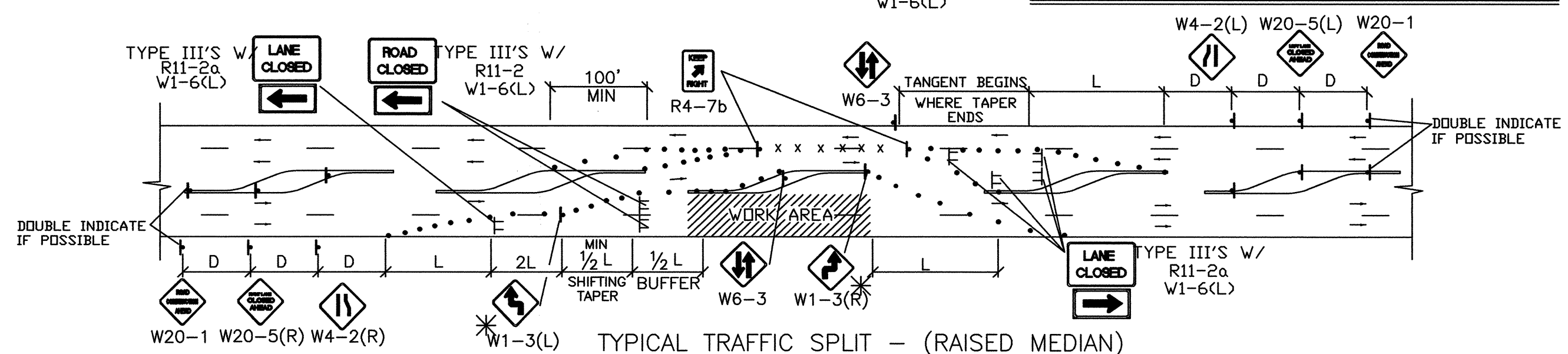
TYPICAL LEFT LANE CLOSURE



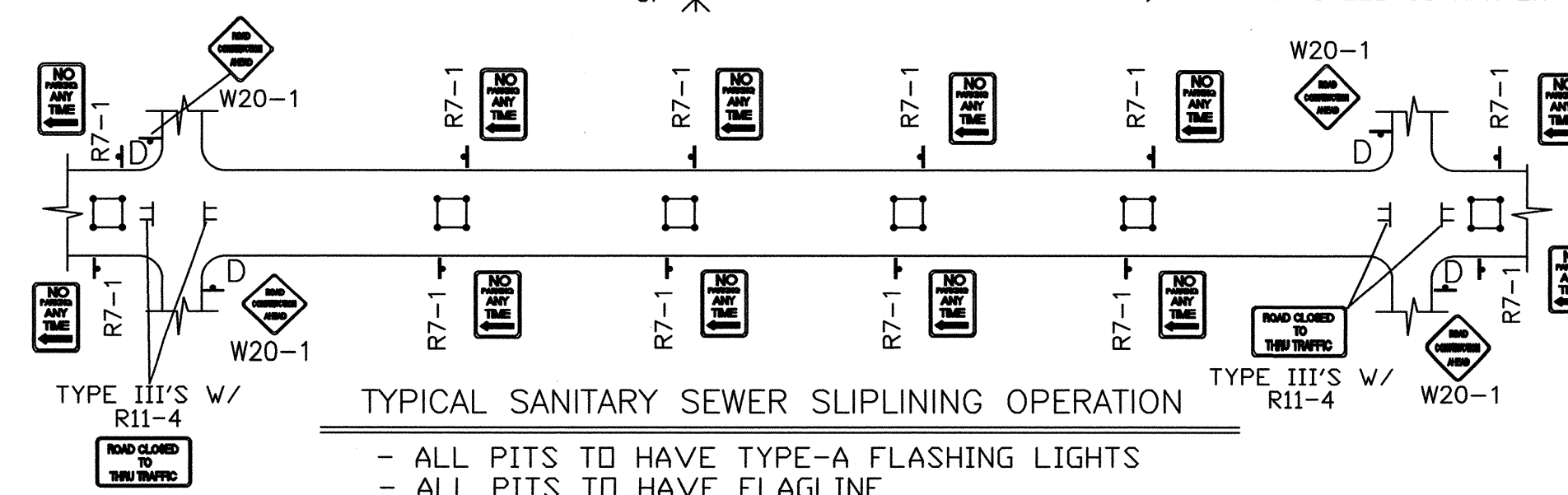
TYPICAL ONE DIRECTION DETOUR



TYPICAL TRAFFIC SPLIT - (PAINTED MEDIAN)



- TYPICAL TRAFFIC SPLIT - (RAISED MEDIAN)
- TRAFFIC SPLIT NOTES:
1. THE OFFSET DISTANCE MUST BE CALCULATED IN ALL SHIFTING TAPERS. THE OFFSET DISTANCES SHALL INCLUDE LANE WIDTHS PLUS MEDIAN WIDTHS.
  2. 1/2 L IS THE MINIMUM DISTANCE FOR SHIFTING TAPERS.
  3. REVERSE CURVES MAY BE IMPLEMENTED. ALL CURVE DATA SHALL BE CALCULATED.
  4. MEDIAN REMOVAL SHALL BE REQUIRED IF 1/2 L OR REVERSE CURVE IS NOT SUFFICIENT. MEDIAN REMOVAL SHALL TAKE PLACE BEFORE SPLITS.
  5. REDUCED SPEED MAY BE CONSIDERED.
  6. \* USE W1-3 FOR 30 MPH OR LESS, W1-4 FOR SPEED 35 MPH OR GREATER.



TYPICAL SANITARY SEWER SLIPLINING OPERATION

- ALL PITS TO HAVE TYPE-A FLASHING LIGHTS
- ALL PITS TO HAVE FLAGLINE

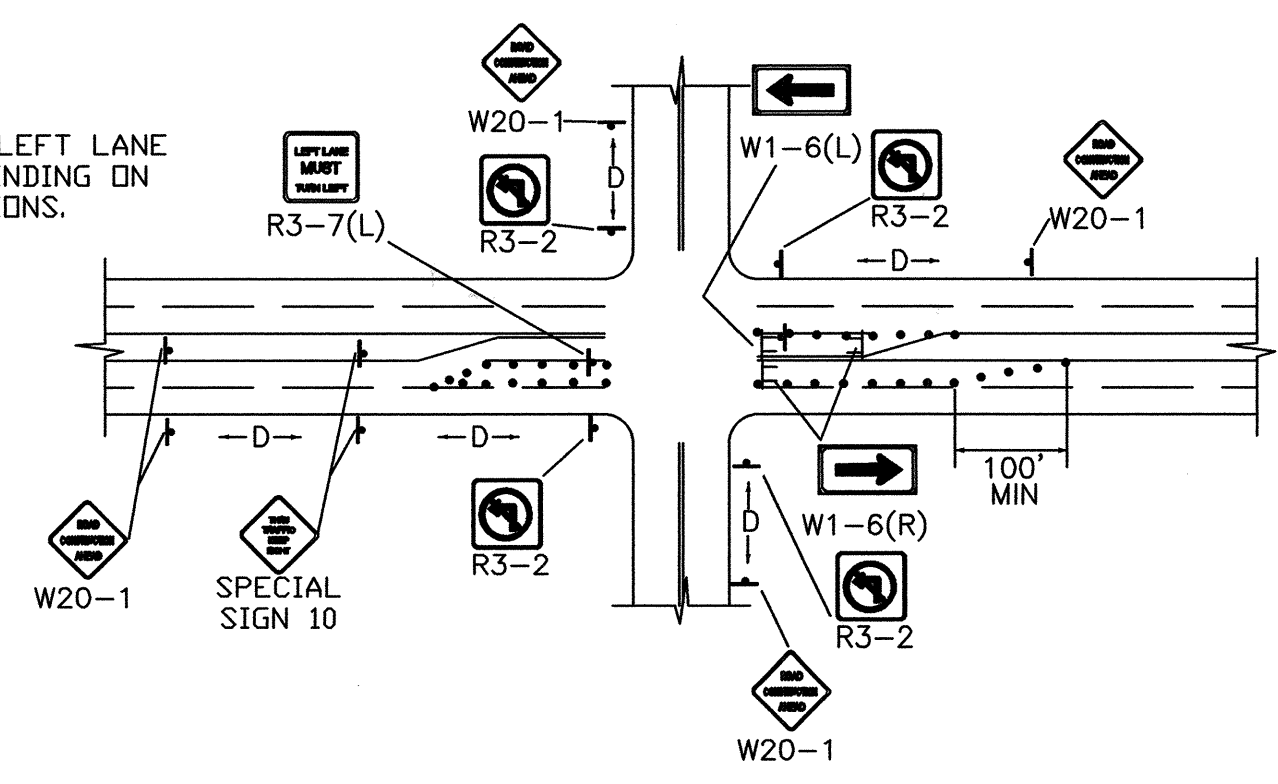
GENERAL NOTE:

ALL CONSTRUCTION WARNING SIGNS SHALL HAVE A BLACK LEGEND ON AN ORANGE BACKGROUND.

ALL ADVANCE WARNING SIGNS SHALL BE A MINIMUM OF 36" THIRTY SIX INCHES BY 36" THIRTY SIX INCHES IN SIZE AND SHALL HAVE ONE WARNING LIGHT.

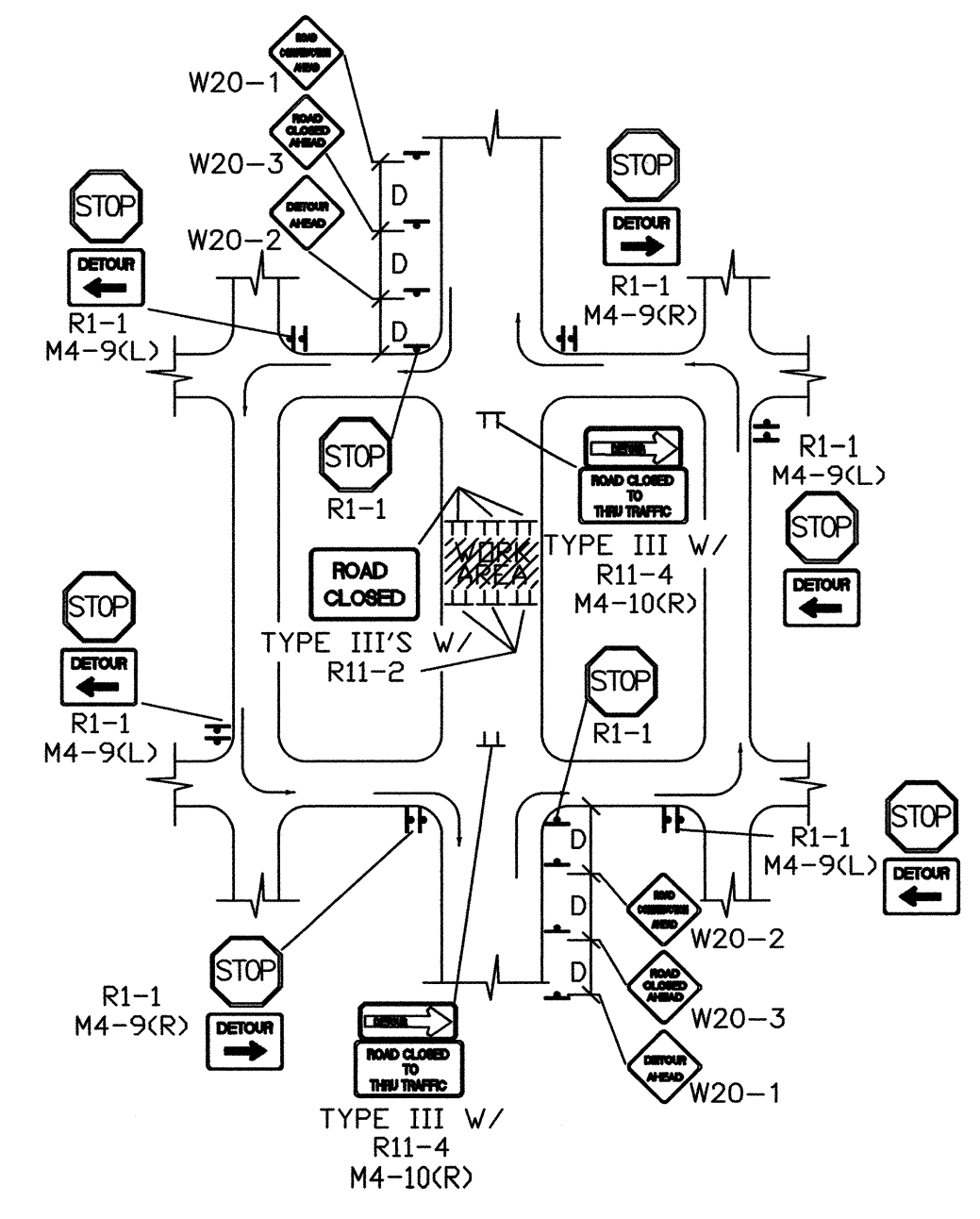
NOTE:

MAY REQUIRE LEFT LANE CLOSURE DEPENDING ON FIELD CONDITIONS.



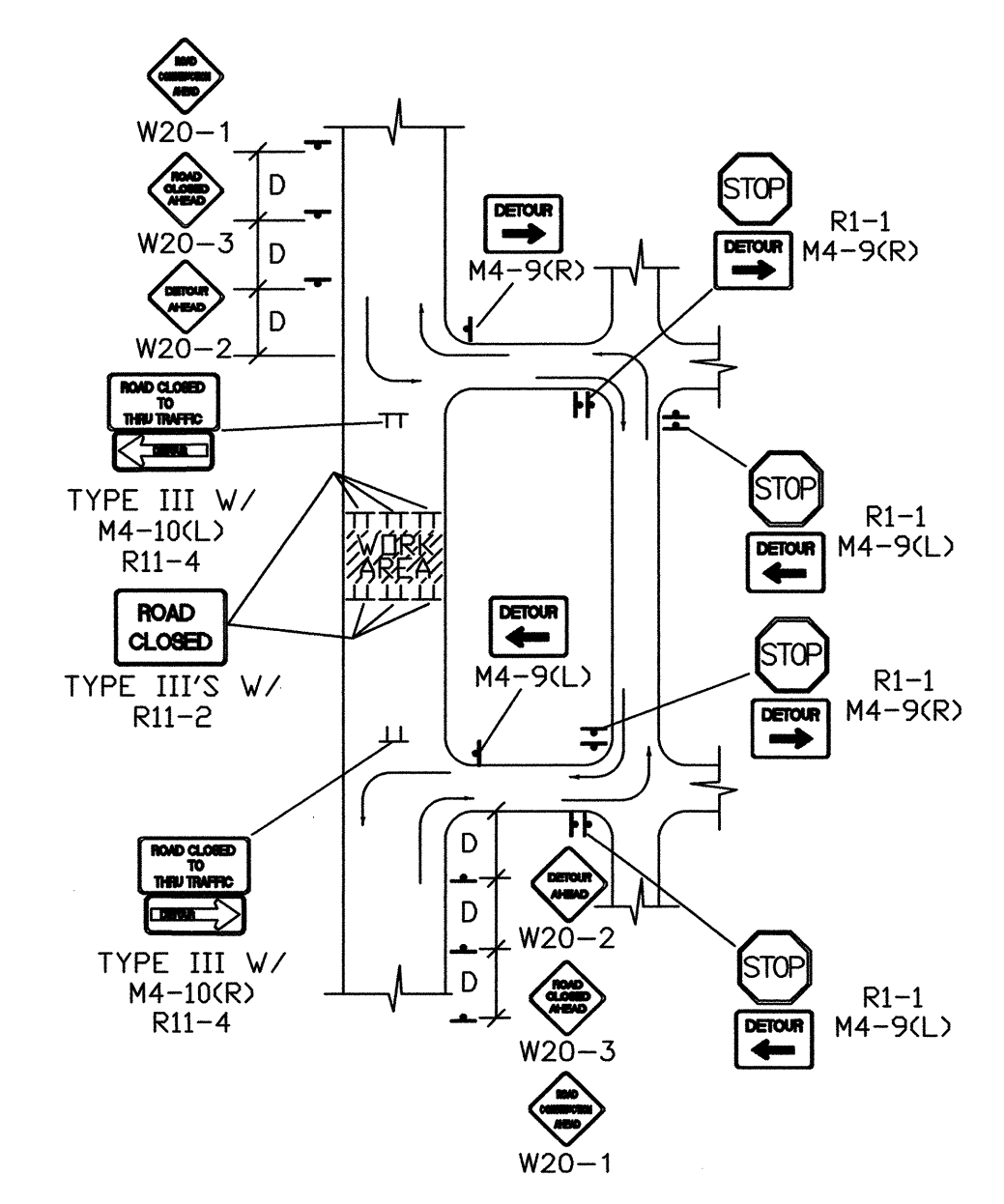
TYPICAL LANE CLOSURE AT INTERSECTION

NOTE: DEPENDING ON WORK ZONE LOCATION.



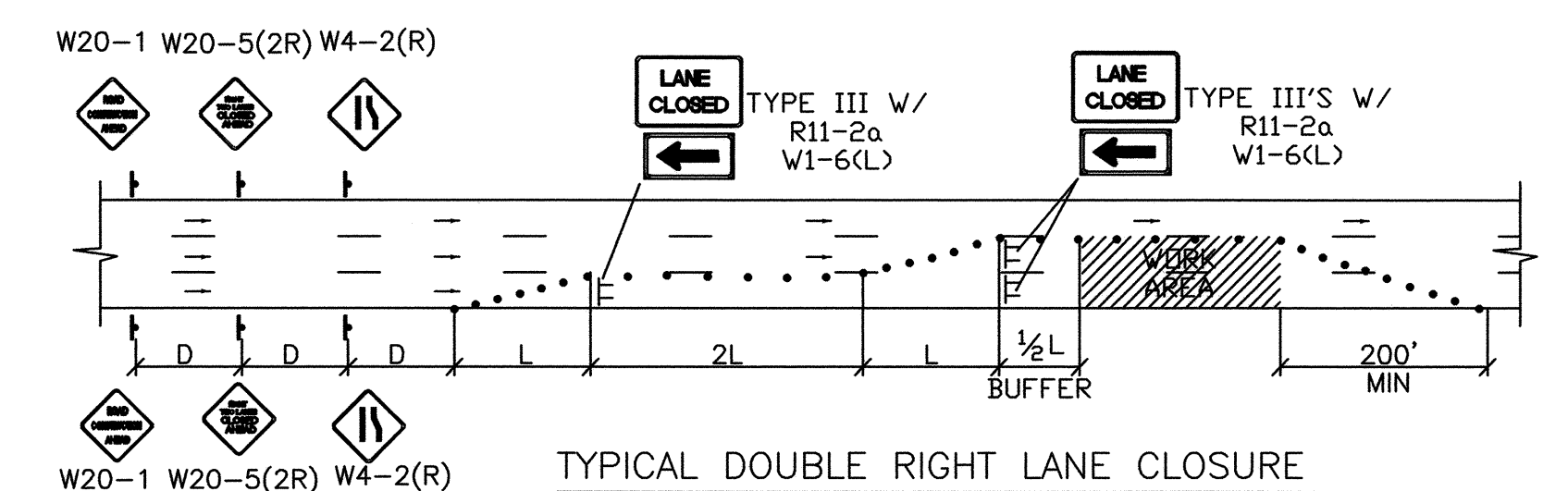
TYPICAL MID-BLOCK CLOSURE

NOTE: (R1-1) BASED ON FIELD CONDITIONS.

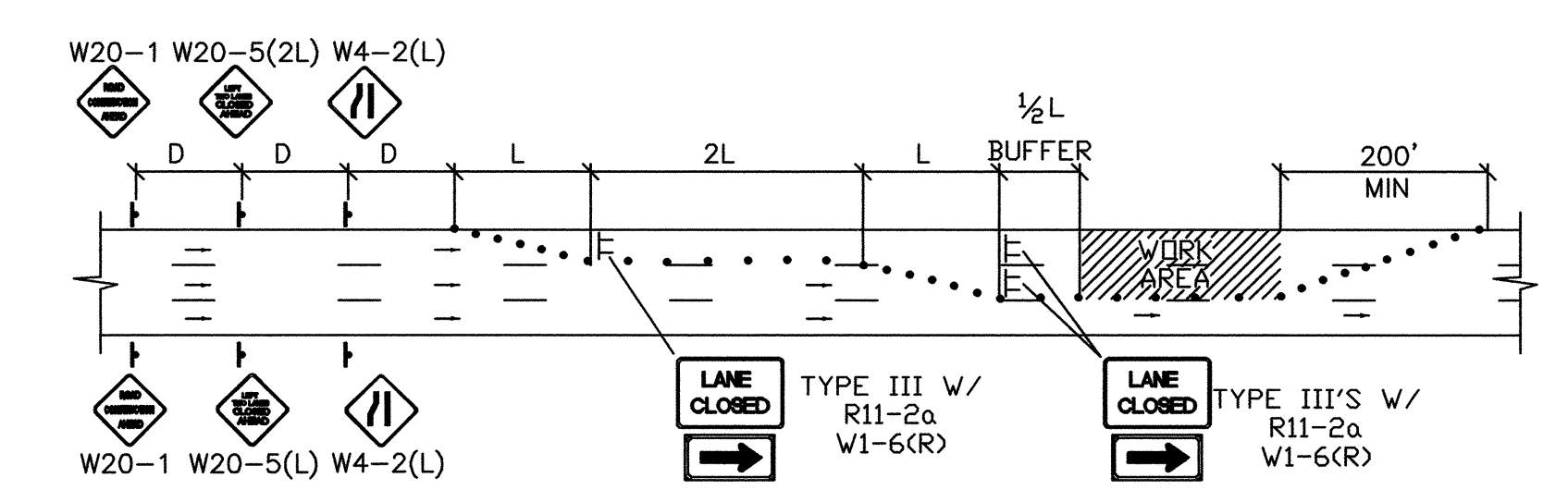


TYPICAL STREET CLOSURE

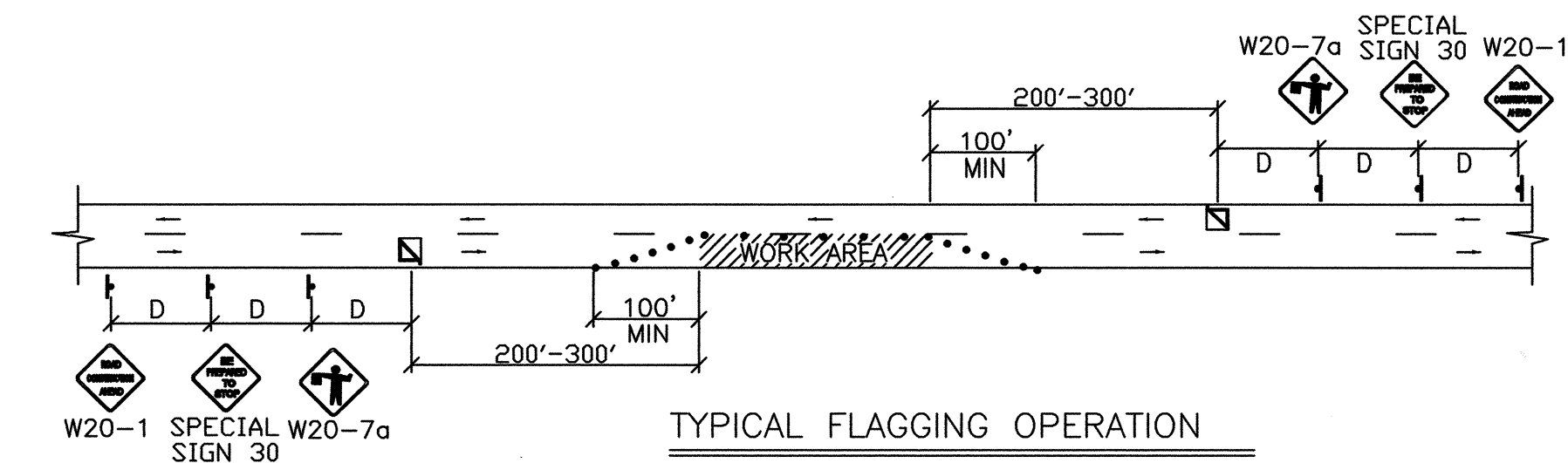
NOTE: (R1-1) BASED ON FIELD CONDITIONS.



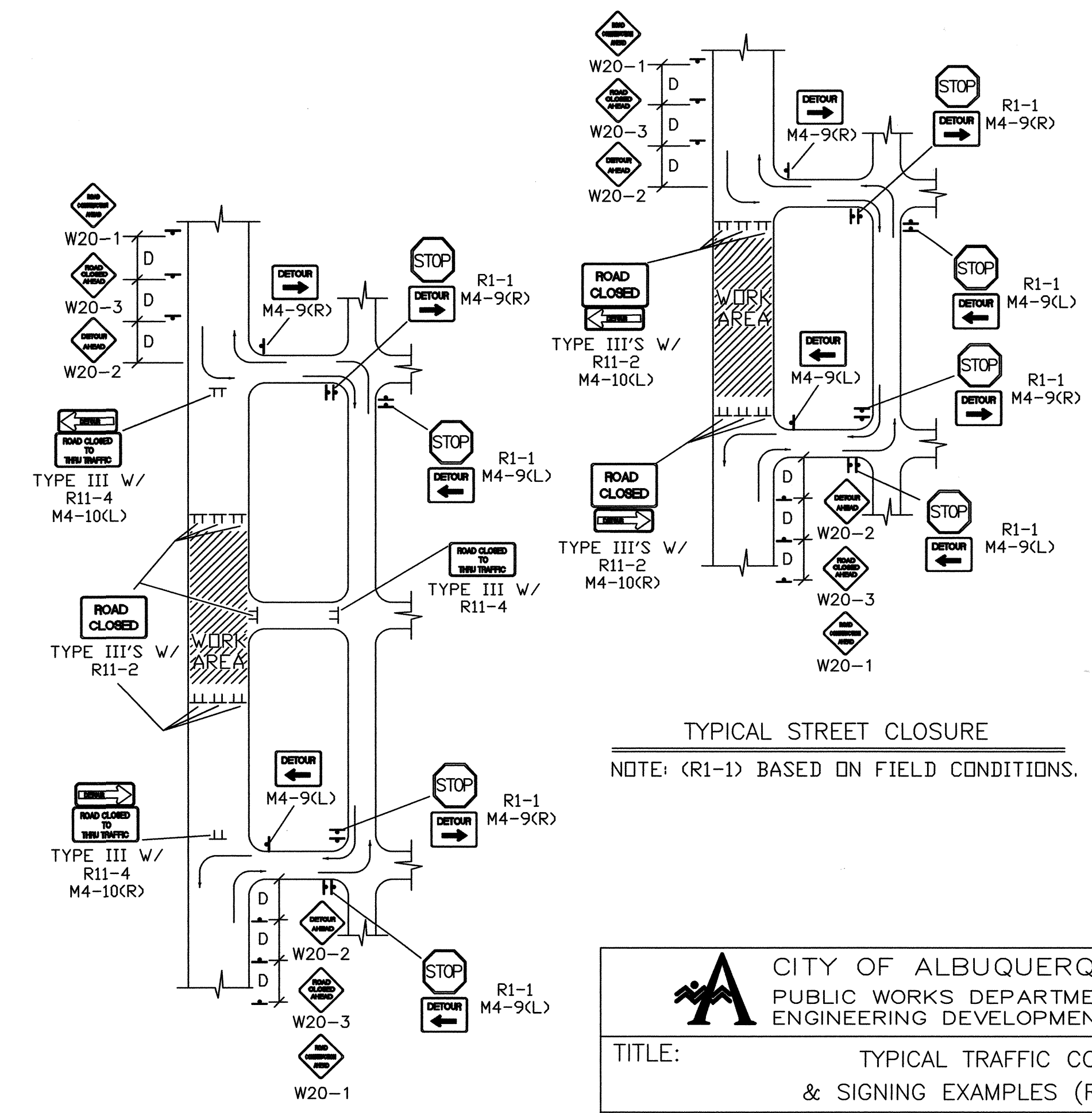
TYPICAL DOUBLE RIGHT LANE CLOSURE



TYPICAL DOUBLE LEFT LANE CLOSURE



TYPICAL FLAGGING OPERATION



TYPICAL STREET CLOSURE

NOTE: (R1-1) BASED ON FIELD CONDITIONS.

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
TITLE: TYPICAL TRAFFIC CONTROL & SIGNING EXAMPLES (REF MUTCD)	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
COA	STD
CITY PROJECT NO. 675802	ZONE MAP NO. J-13-Z
SHEET 12 OF 12	