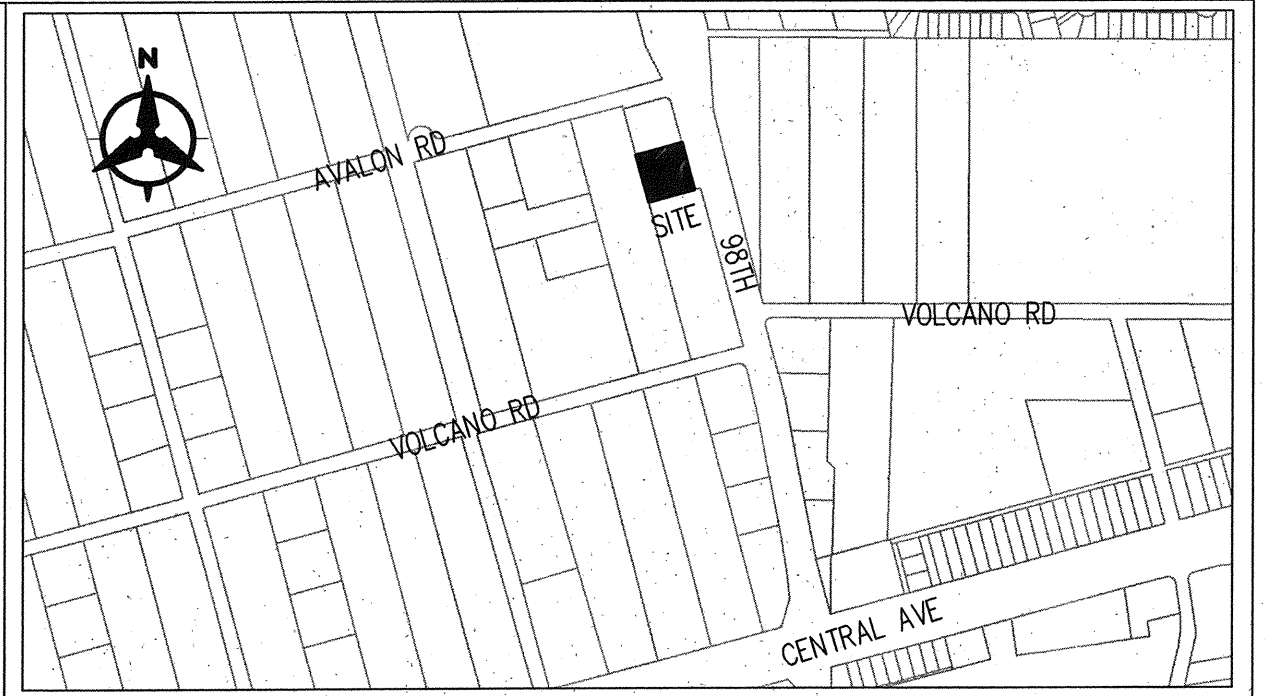


SCANNED BY
PLANNING



VICINITY MAP N.T.S.

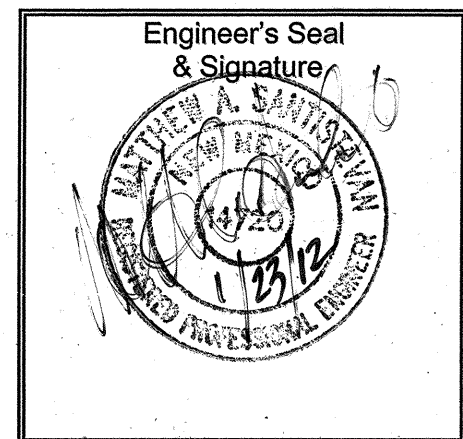
ZONE ATLAS K-9

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
4. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
5. ALL WORK EFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
6. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
7. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DESTROYED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
8. CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
9. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
10. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT:
[HTTP://ABQONWA.ORG/CONTENT/VIEW/463729/](http://abqonwa.org/content/view/full/463729/).

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

M. Matthew A. Santistevan of the firm of **Bohannon Huston, Inc.**, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as shown on these drawings (Jack in the Box at 98th and Avalon Offsite Public Infrastructure) has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by the contractor, Franklin's Earthmoving Inc. and their surveyor, Will W. Plotner, Jr., RPS # 14271.



NOTES

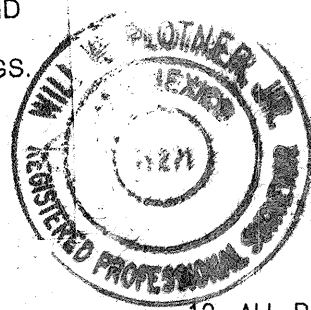
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
2. ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
3. ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
4. CONTRACTOR SHALL PROVIDE THE INSPECTORS, (ABCWA AND PRIVATE) WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
5. REMOVAL OF THE EXISTING CURB & GUTTER SHALL BE AS PER COA STD. DWG. 2415 (SAW CUT ONLY).
6. ELECTRONIC MARKER SPHERES (EMS) WILL BE PLACED ACCORDING TO SECTION 170 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #8.
7. ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.

CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
2. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR CONSTRUCTION OBSERVER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
4. DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE CONSTRUCTION OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
5. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.

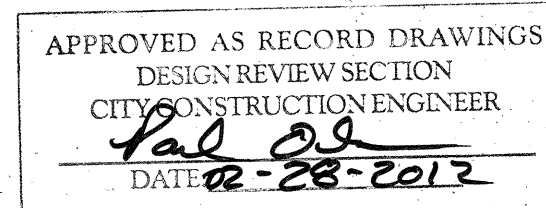
SURVEYOR'S CERTIFICATION


I, WILL PLOTNER JR., A DULY QUALIFIED, REGISTERED, PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE "AS-BUILT" INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM FIELD CONSTRUCTION AND "AS-BUILT" SURVEYS CONDUCTED BY ME OR UNDER MY SUPERVISION, AND THAT THE "AS-BUILT" INFORMATION SHOWN ON THESE DRAWINGS WAS ADDED BY ME OR UNDER MY SUPERVISION, AND THAT THIS "AS-BUILT" INFORMATION IS THE MOST CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I, WILL PLOTNER JR., AM NOT RESPONSIBLE FOR ANY OF THE DESIGN, CONCEPTS, CALCULATIONS, ENGINEERING, OR INTENT OF THE RECORD DRAWINGS.





WILL PLOTNER JR, NMPS 14271

6. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
7. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
8. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADING, SURFACE DISTURBANCE).
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE AT HIS EXPENSE ANY AND ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
10. ALL PERMANENT PAVEMENT MARKING AND TRAFFIC SIGNING SHALL BE FURNISHED *provided* BY THE CONTRACTOR PER PLAN.
11. THE CONTRACTOR SHALL FOLLOW THE COA STANDARD CONSTRUCTION, TRAFFIC CONTROL AND SIGNING PLAN PROVIDED IN THE COA STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF ALBUQUERQUE CONSTRUCTION COORDINATION DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY AS PER STANDARD SPECIFICATIONS.
14. ALL SAWCUT PAVEMENT SHALL HAVE A UNIFORM EDGE AND BE SPRAYED WITH TACK.
15. WHEN ABUTTING NEW CURB AND GUTTER TO EXISTING PAVEMENT, A 1' WIDE SECTION OF EXISTING PAVEMENT ADJACENT TO THE CURB AND GUTTER SHALL BE SAWCUT, REMOVED, AND REPLACED AS PER THE COA STANDARD SPECIFICATIONS.
16. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENTS, PAVEMENT MARKINGS, CURB & GUTTER, DRIVE PADS, WHEELCHAIR RAMPS, AND SIDEWALK DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE PER COA STANDARDS, AT HIS OWN EXPENSE.
17. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
18. IF A PAVEMENT DROP-OFF IS CREATED DURING CONSTRUCTION, THE CONTRACTOR SHALL INITIATE PROTECTIVE ACTION TO MAINTAIN A SMOOTH TRANSITION. THE WORK SHALL BE CONSIDERED INCIDENTAL TO THE COMPLETION OF THE PROJECT AND NO SEPARATE **PAYMENT** WILL BE MADE.

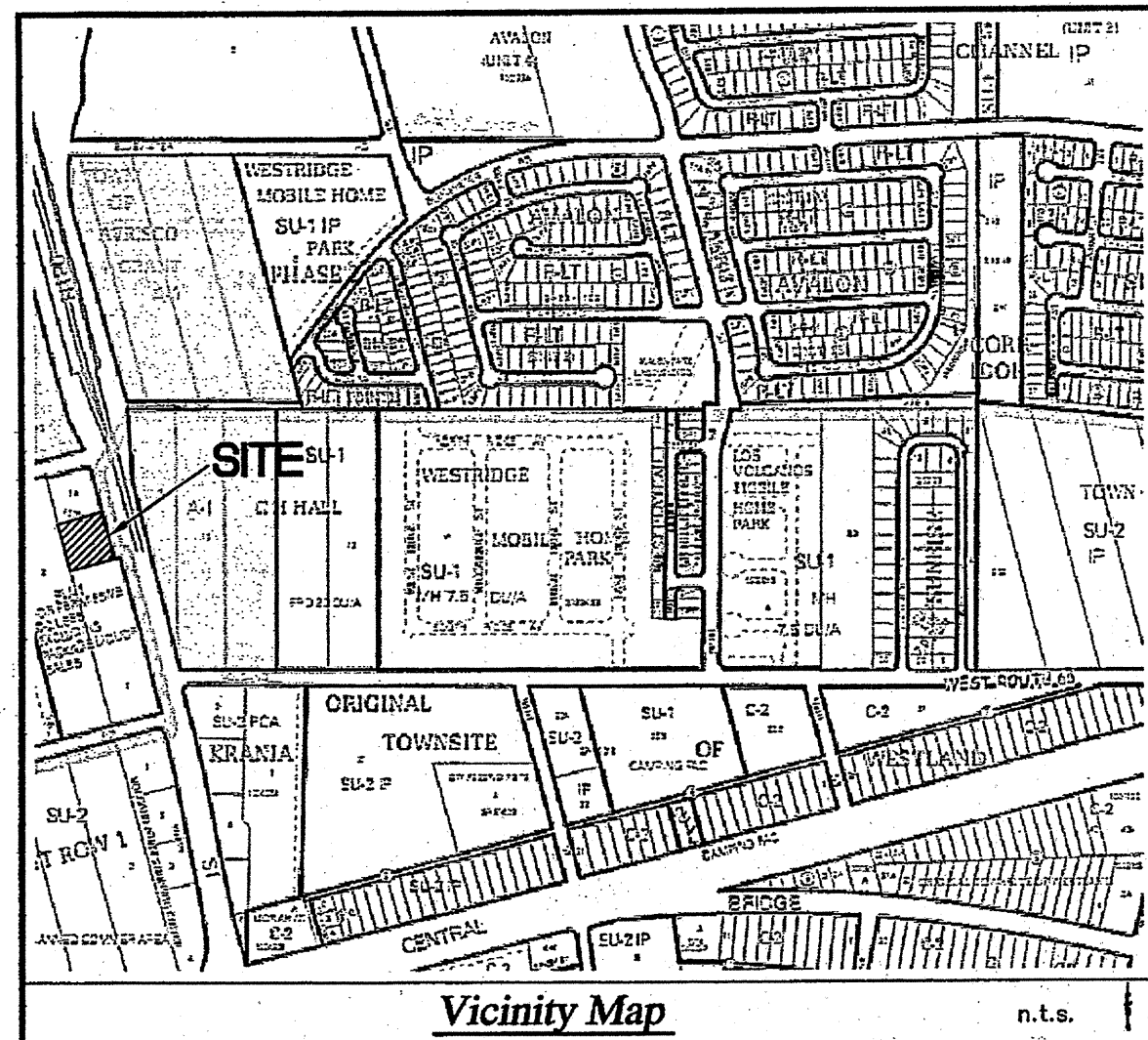


Bohannon  **Huston** INC.

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335

ENGINEERING  **SPATIAL DATA**  **ADVANCED TECHNOLOGIES**

[illegible]



Subdivision Data

GROSS ACREAGE. 0.8204 ACRES
ZONE ATLAS PAGE NO. K-09-Z
NUMBER OF EXISTING TRACTS. 1
NUMBER OF TRACTS CREATED. 2
MILES OF FULL WIDTH STREETS. 0.00
MILES OF HALF WIDTH STREETS. 0.00
RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE. 0 ACRES
DATE OF SURVEY. OCTOBER 2010

Free Consent & Dedication

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND HEREBY GRANT EASEMENTS AS SHOWN HEREON AND INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

UNITED VENTURES, L.L.C.

LAURA E. OLGUIN, MANAGER

Acknowledgment

STATE OF AZ

COUNTY OF Pima SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON May 6, 2011

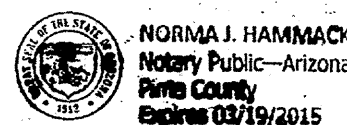
BY: LAURA E. OLGUIN, MANAGER, UNITED VENTURES, L.L.C.

Laura E. Olguin

3/19/2015

NOTARY PUBLIC

MY COMMISSION EXPIRES



Indexing Information

Projected Section 21, Township 10 North, Range 2 East,
N.M.P.M., TOWN OF ATRISCO GRANT
Subdivision: TOWN OF ATRISCO GRANT
Owner: UNITED VENTURES, LLC

Purpose of Plat

1. GRANT EASEMENTS AS SHOWN HEREON.
2. CREATE 2 NEW TRACTS.
3. VACATE EASEMENTS AS SHOWN HEREON.

Notes

1. FIELD SURVEY PERFORMED IN OCTOBER 2010 AND APRIL 2011.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES THE NEW MEXICO STATE PLANE COORDINATES (NAD 83-GRID).

Documents

1. BOUNDARY SURVEY MAP OF A NORTHERLY PORTION OF TRACT 2, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON OCTOBER 24, 1997, IN VOL. 975, FOLIO 165.
2. PLAT OF TRACT 1-A & 1-B, UNIT A, ROW 2, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 12, 2002, BOOK 2002C, PAGE 83.
3. PLAT OF RECORD FILED MARCH 12, 2002 IN BOOK 2002C, PAGE 83.
4. BOUNDARY SURVEY PLAT FOR TRACTS 1 AND 2, ROW 2, UNIT A FILED ON APRIL 16, 2008 IN BOOK 2008S, PAGE 46. (SOUTHERN ADJOINER)

Legal

TRACT 1-B OF THE PLAT ENTITLED "TRACTS 1-A & 1-B, UNIT A, ROW 2 TOWN OF ATRISCO GRANT SITUATE WITHIN PROJECTED SECTION 21, T. 10 N., R. 2 E., N.M.P.M. CITY OF ALBUQUERQUE, NEW MEXICO" AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THERE OF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 12, 2002 IN BOOK 2002C, PAGE 83.

Public Utility Easements:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

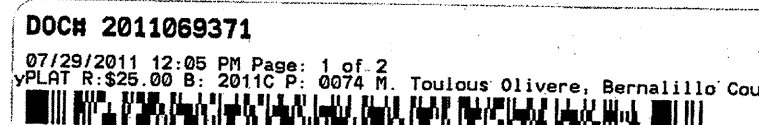
- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

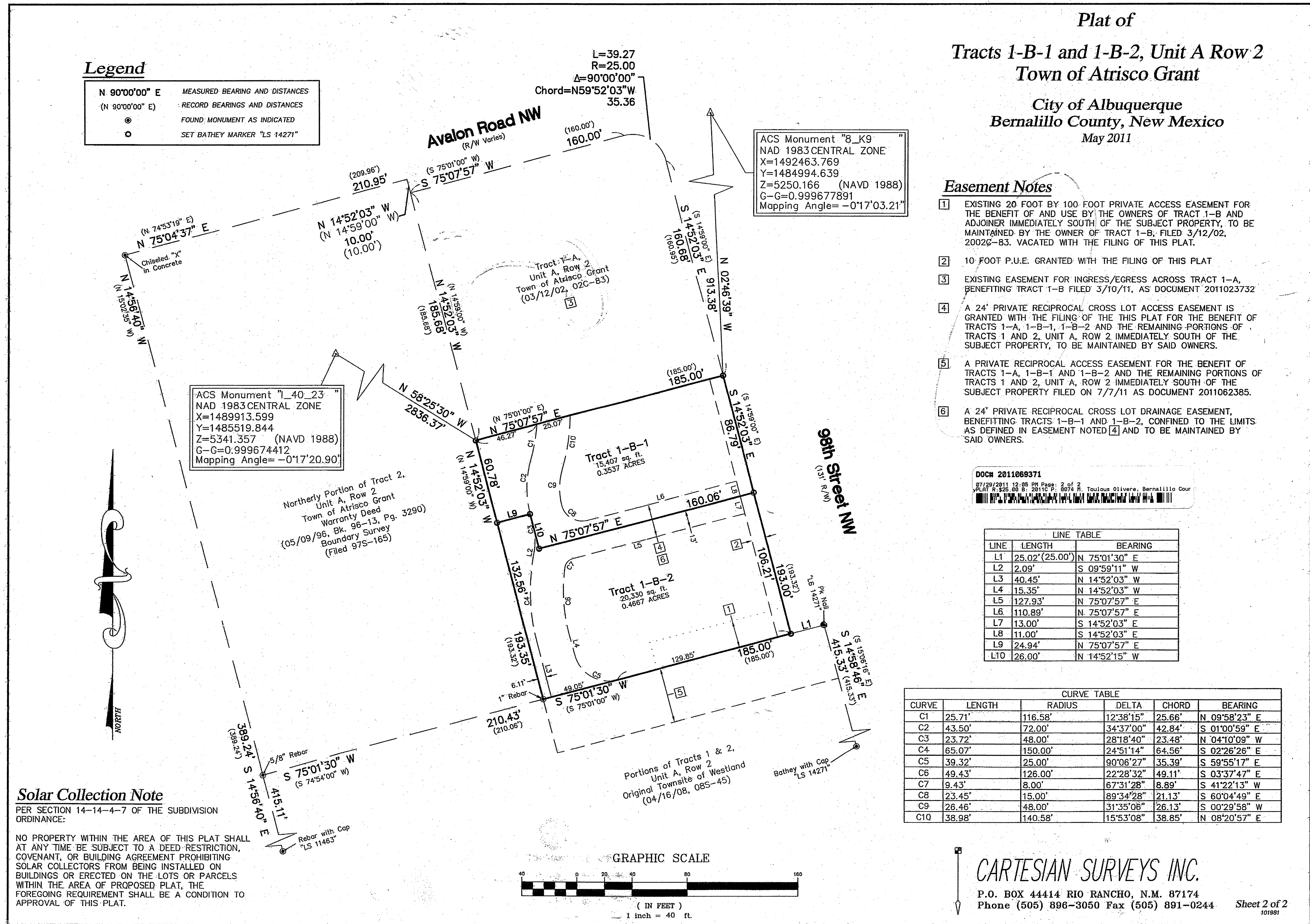
Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

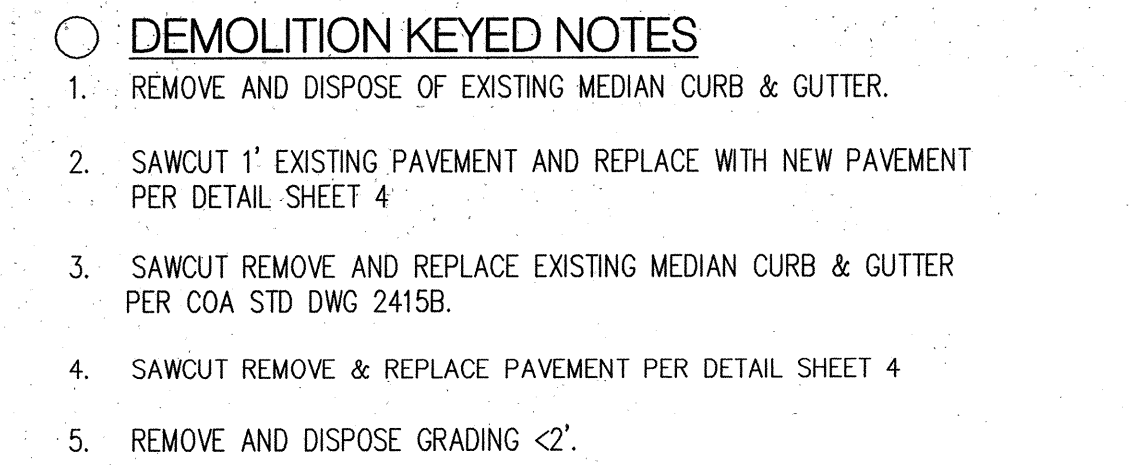
Disclaimer


In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.




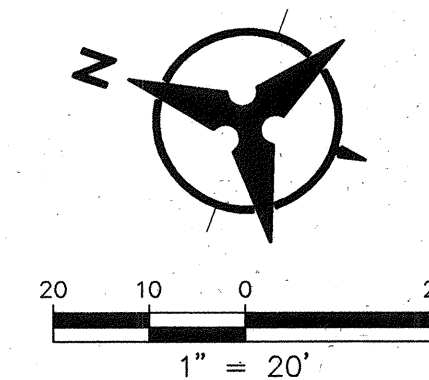
THIS IS TO CERTIFY THAT TAXES ARE CURRENTLY PAID ON LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 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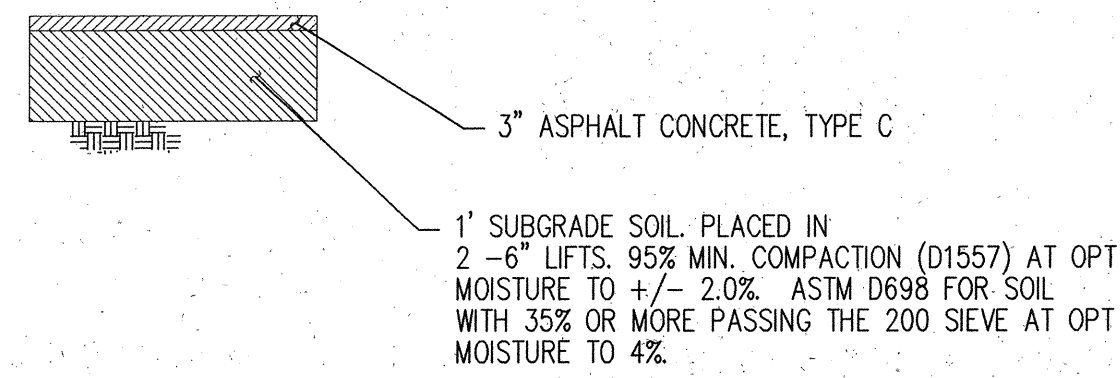




 REMOVE EXISTING PAVEMENT PER KEYED NOTES 2 & 4.

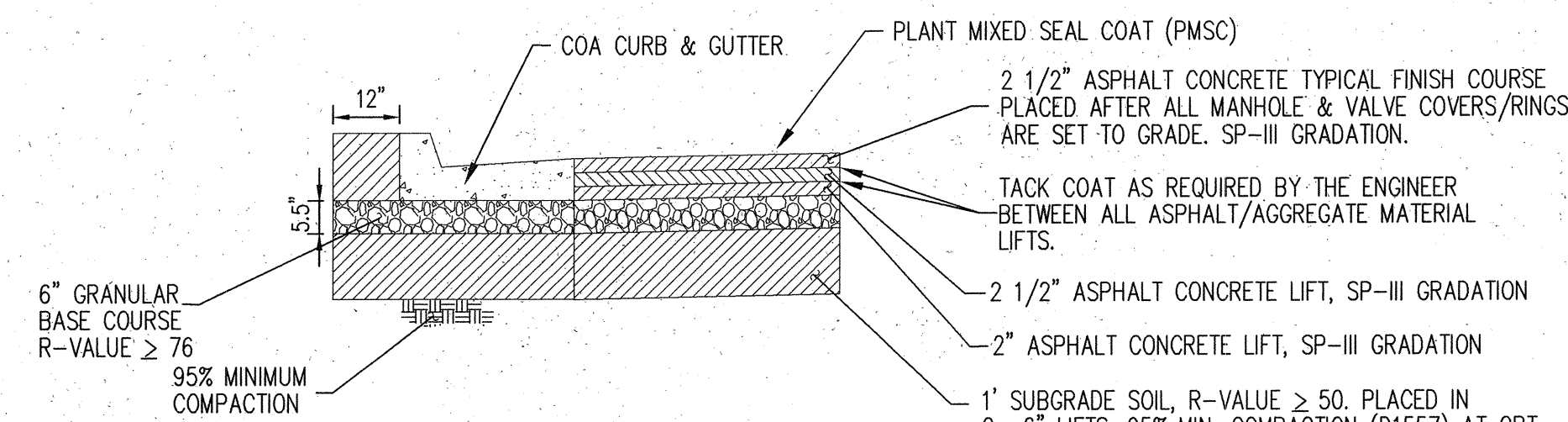
 REMOVE AND DISPOSE GRADING <2' PER KEYED NOTE 5.



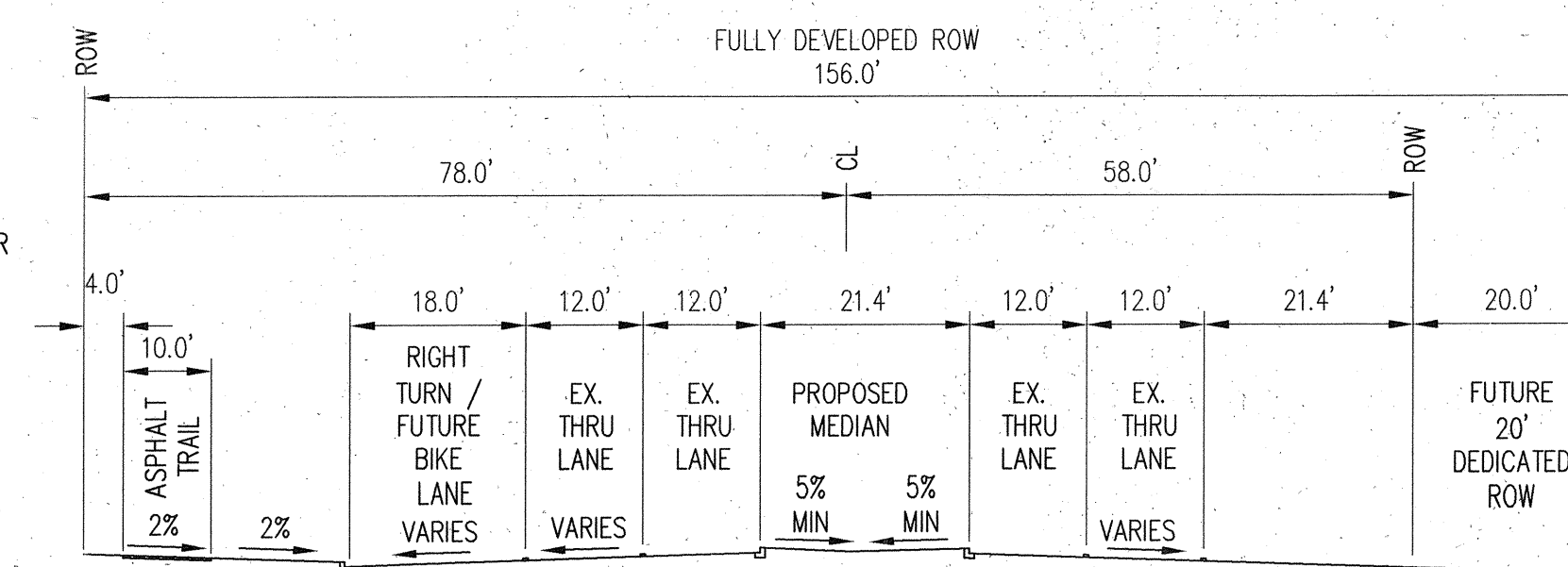


NOT TO SCALE
(PER COA STD DWG 2415B)

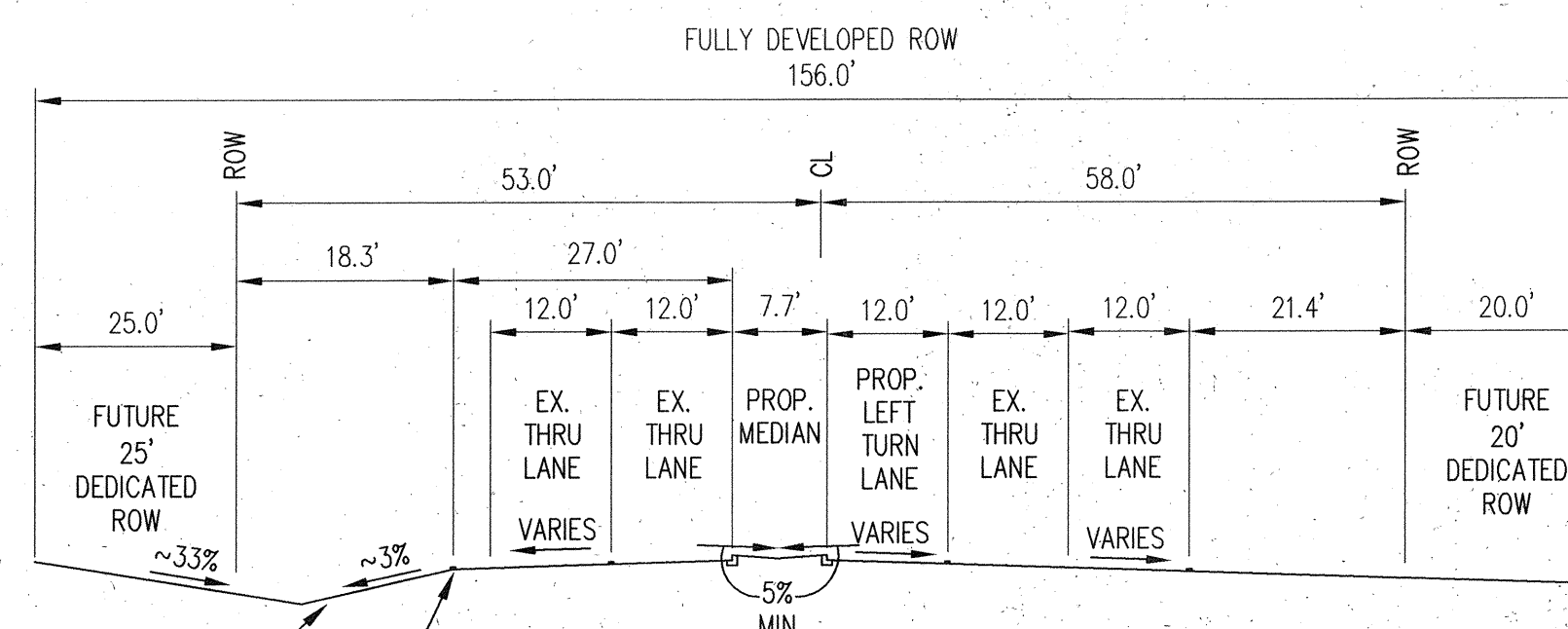
NOTE:
*SOIL NOT HAVING THE MINIMUM R-VALUE OF 50, SHALL BE REMOVED TO A DEPTH OF 2 FEET AND REPLACED, BY THE CONTRACTOR, WITH SUITABLE MATERIAL OR PAVEMENT SECTION SHALL BE DESIGNED, BY THE CONSULTANT ACCOMMODATING THE EXISTING R-VALUE PER COA STANDARD SPECIFICATIONS.



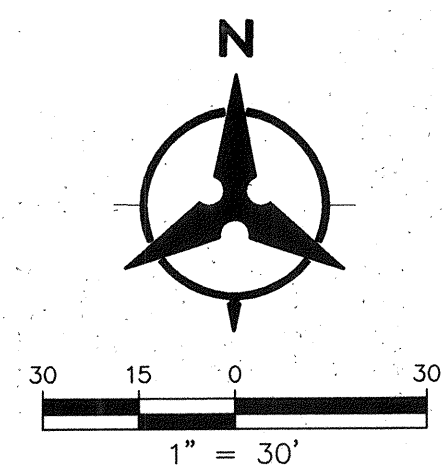
NOT TO SCALE
(PER COA STD DWG 2407)




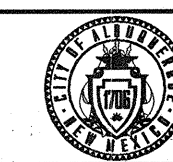
NOT TO SCALE



NOT TO SCALE



Bohannon  Huston INC.
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4395
 ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES



CITY OF ALBUQUERQUE
DEPARTMENT OF
MUNICIPAL DEVELOPMENT

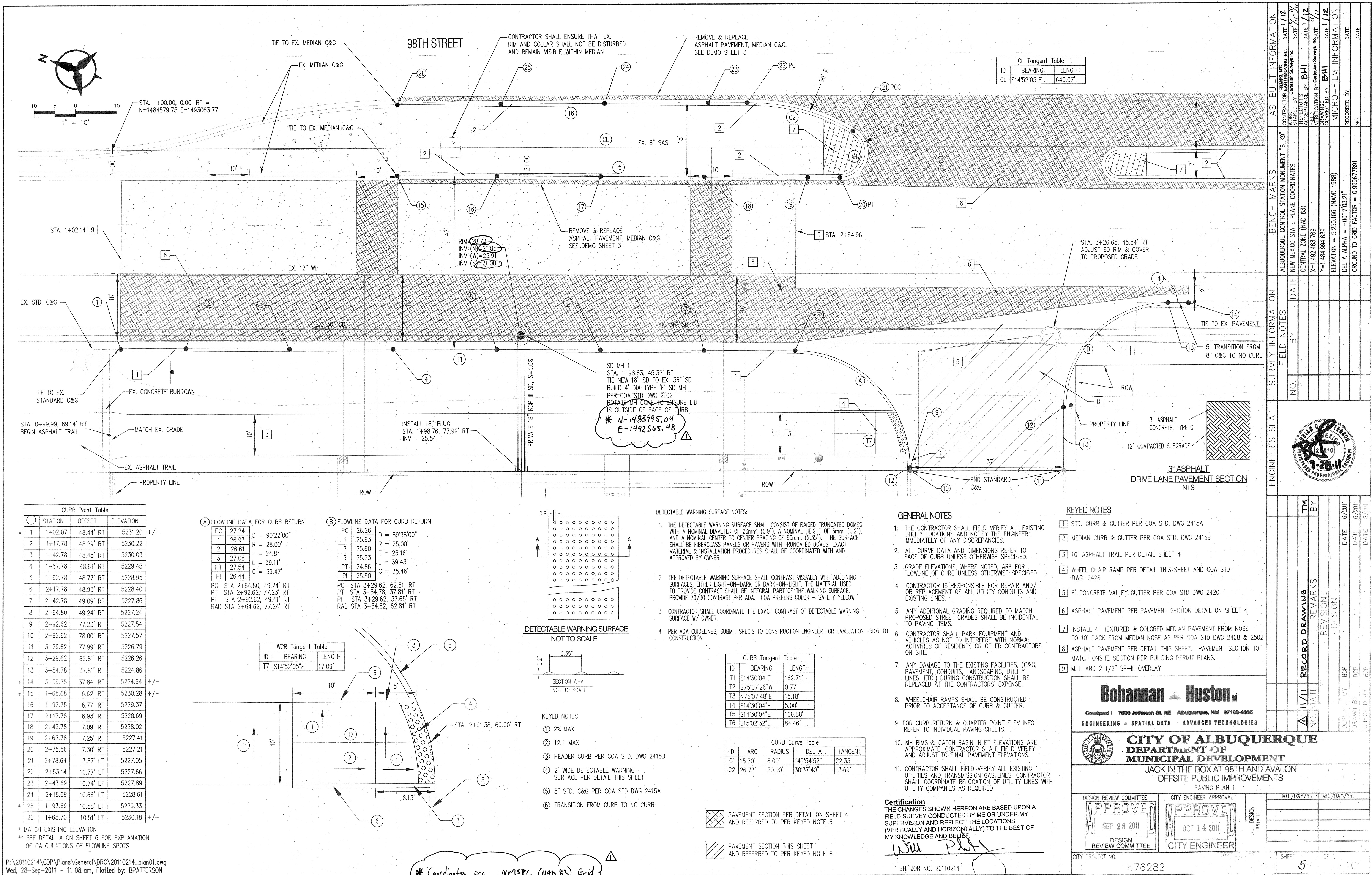
JACK IN THE BOX AT 98TH AND AVALON
OFFSITE PUBLIC IMPROVEMENTS

OVERALL PAVING

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL		MO./DAY/YR.	MO./DAY/YR.
APPROVE SEP 28 2011 DESIGN REVIEW COMMITTEE	APPROVED OCT 14 2011 CITY ENGINEER	LAST DESIGN UPDATE		

CITY PROJECT NO.	676282	ZONE MAP NO.	K-9	SHEET	4	OF	10
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		ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
				FIELD NOTES		ALBUQUERQUE CONTROL STATION MONUMENT "B.49"		FRANKLIN'S CONTRACTOR EARTHMOVING INC. DATE 1/12	
				BY DATE		NEW MEXICO STATE PLANE COORDINATES		WORK STARTED BY Carriann Surveys Inc. DATE 6/10	
				NO.		CENTRAL ZONE (NAD 83)		INSPECTOR'S DATE 1/12	
						X=1,492,463.769		FIELD MEASURED BY B.H. DATE 1/12	
						Y=1,464,394.639		VERIFICATION BY Carriann Surveys Inc. DATE 1/12	
						ELEVATION = 5,250.66 (NAVD 1988)		CORRECTED BY B.H. DATE 1/12	
						DELTA ALPHA = -0.770321"		MICRO-FILM INFORMATION	
						GROUND TO GRID FACTOR = 0.999677891		RECORDED BY DATE	
								NO. DATE	
DESIGNED BY	BCP	DATE	6/2011						
DRAWN BY	BCP	DATE	6/2011						
CHECKED BY	BCP	DATE	6/2011						

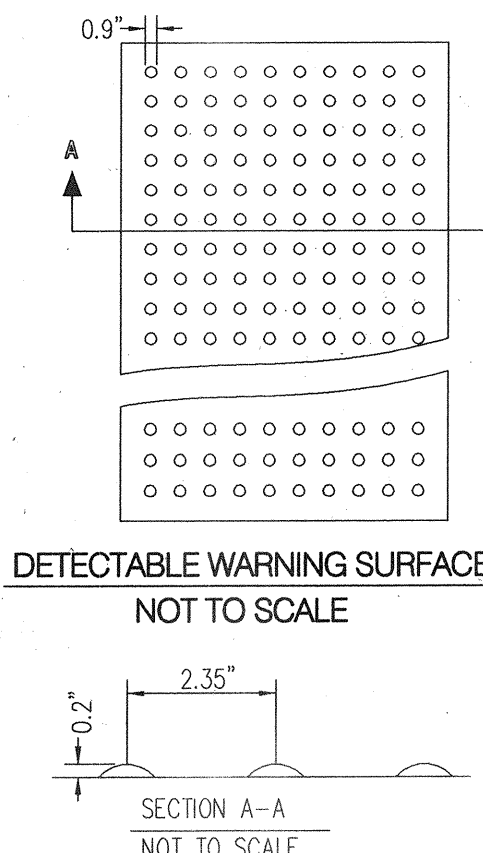


CURB Point Table			
STATION	OFFSET	ELEVATION	+/-
1	1+02.07	48.44' RT	5231.20
2	1+17.78	48.29' RT	5230.22
3	1+42.78	48.45' RT	5230.03
4	1+67.78	48.61' RT	5229.45
5	1+92.78	48.77' RT	5228.95
6	2+17.78	48.93' RT	5228.40
7	2+42.78	49.09' RT	5227.86
8	2+64.80	49.24' RT	5227.24
9	2+92.62	77.23' RT	5227.54
10	2+92.62	78.00' RT	5227.57
11	3+29.62	77.99' RT	5226.79
12	3+29.62	62.81' RT	5226.26
13	3+54.78	37.81' RT	5224.86
14	3+59.78	37.84' RT	5224.64
15	1+68.68	6.62' RT	5230.28
16	1+92.78	6.77' RT	5229.37
17	2+17.78	6.93' RT	5228.69
18	2+42.78	7.09' RT	5228.02
19	2+67.78	7.25' RT	5227.41
20	2+75.56	7.30' RT	5227.21
21	2+78.64	3.87' LT	5227.05
22	2+53.14	10.77' LT	5227.66
23	2+43.69	10.74' LT	5227.89
24	2+18.69	10.66' LT	5228.61
25	1+93.69	10.58' LT	5229.33
26	1+68.70	10.51' LT	5230.18

A FLOWLINE DATA FOR CURB RETURN		
PC	27.24	D = 90°22'00"
1	26.93	R = 28.00'
2	26.61	T = 24.84'
3	27.08	L = 39.11'
PT	27.54	C = 39.47'
PI	26.44	
PC	STA 2+64.80, 49.24' RT	
PT	STA 2+92.62, 77.23' RT	
PI	STA 2+92.62, 49.41' RT	
RAD	STA 2+64.62, 77.24' RT	

B FLOWLINE DATA FOR CURB RETURN		
PC	26.26	D = 89°38'00"
1	25.93	R = 25.00'
2	25.60	T = 25.16'
3	25.23	L = 39.43'
PT	24.86	C = 35.46'
PI	25.50	
PC	STA 3+29.62, 62.81' RT	
PT	STA 3+54.78, 37.81' RT	
PI	STA 3+29.62, 37.65' RT	
RAD	STA 3+54.62, 62.81' RT	

WCR Tangent Table		
ID	BEARING	LENGTH
T7	S14°52'05"E	17.09'



- KEYED NOTES
- ① 2% MAX
 - ② 12:1 MAX
 - ③ HEADER CURB PER COA STD. DWG 2415B
 - ④ 2' WIDE DETECTABLE WARNING SURFACE PER DETAIL THIS SHEET
 - ⑤ 8" STD. C&G PER COA STD DWG 2415A
 - ⑥ TRANSITION FROM CURB TO NO CURB

- DETECTABLE WARNING SURFACE NOTES:
- THE DETECTABLE WARNING SURFACE SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A NOMINAL DIAMETER OF 23mm. (0.9"), A NOMINAL HEIGHT OF 5mm. (0.2"), AND A NOMINAL CENTER TO CENTER SPACING OF 60mm. (2.35"). THE SURFACE SHALL BE FIBERGLASS PANELS OR PAVERS WITH TRUNCATED DOMES. EXACT MATERIAL & INSTALLATION PROCEDURES SHALL BE COORDINATED WITH AND APPROVED BY OWNER.
 - THE DETECTABLE WARNING SURFACE SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE INTEGRAL PART OF THE WALKING SURFACE. PROVIDE 70/30 CONTRAST PER ADA. COA PREFERRED COLOR - SAFETY YELLOW.
 - CONTRACTOR SHALL COORDINATE THE EXACT CONTRAST OF DETECTABLE WARNING SURFACE W/ OWNER.
 - PER ADA GUIDELINES, SUBMIT SPEC'S TO CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.

CURB Tangent Table		
ID	BEARING	LENGTH
T1	S14°30'04"E	162.71'
T2	S75°07'26"W	0.77'
T3	N75°07'48"E	15.18'
T4	S14°30'04"E	5.00'
T5	S14°30'04"E	106.88'
T6	S15°02'32"E	84.46'

CURB Curve Table			
ID	ARC	RADIUS	TANGENT
C1	15.70'	6.00'	149°54'52"
C2	26.73'	50.00'	30°37'40"

- GENERAL NOTES
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 - ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 - GRADE ELEVATIONS, WHERE NOTED, ARE FOR FLOWLINE OF CURB UNLESS OTHERWISE SPECIFIED.
 - CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
 - ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
 - CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
 - ANY DAMAGE TO THE EXISTING FACILITIES, (C&G, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 - WHEELCHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB & GUTTER.
 - FOR CURB RETURN & QUARTER POINT ELEV INFO REFER TO INDIVIDUAL PAVING SHEETS.
 - MH RIMS & CATCH BASIN INLET ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT ELEVATIONS.
 - CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AND TRANSMISSION GAS LINES. CONTRACTOR SHALL COORDINATE RELOCATION OF UTILITY LINES WITH UTILITY COMPANIES AS REQUIRED.

Certification
THE CHANGES SHOWN HEREON ARE BASED UPON A FIELD SURVEY CONDUCTED BY ME OR UNDER MY SUPERVISION AND REFLECT THE LOCATIONS (VERTICALLY AND HORIZONTALLY) TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Wm. P. [Signature]
BHI JOB NO. 20110214

- KEYED NOTES
- STD. CURB & GUTTER PER COA STD. DWG 2415A
 - MEDIAN CURB & GUTTER PER COA STD. DWG 2415B
 - 10' ASPHALT TRAIL PER DETAIL SHEET 4
 - WHEEL CHAIR RAMP PER DETAIL THIS SHEET AND COA STD DWG. 2426
 - 6' CONCRETE VALLEY GUTTER PER COA STD DWG 2420
 - ASPHAL PAVEMENT PER PAVEMENT SECTION DETAIL ON SHEET 4
 - INSTALL 4" TEXTURED & COLORED MEDIAN PAVEMENT FROM NOSE TO 10' BACK FROM MEDIAN NOSE AS PER COA STD DWG 2408 & 2502
 - ASPHALT PAVEMENT PER DETAIL THIS SHEET. PAVEMENT SECTION TO MATCH ONSITE SECTION PER BUILDING PERMIT PLANS.
 - MILL AND 2 1/2" SP-III OVERLAY

Bohannon & Huston

Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87106-4395

ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE

DEPARTMENT OF MUNICIPAL DEVELOPMENT

JACK IN THE BOX AT 98TH AND AVALON OFFSITE PUBLIC IMPROVEMENTS

PAVING PLAN 1

DESIGN REVIEW COMMITTEE

APPROVE

SEP 28 2011

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

APPROVE

OCT 14 2011

CITY ENGINEER

NO. DAY/YR

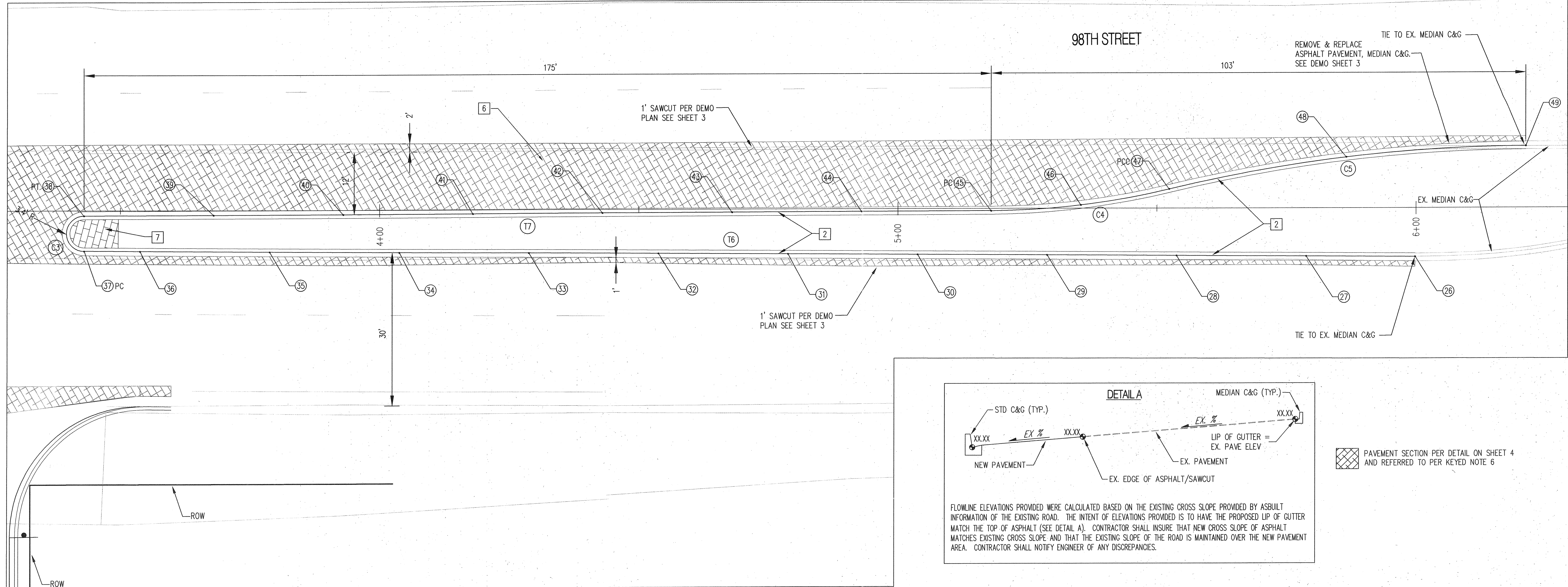
NO. DAY/YR

CITY PROJECT NO.

576282

AS-BUILT INFORMATION			BENCH MARKS			SURVEY INFORMATION			ENGINEER'S SEAL		
CONTRACTOR	FRANKLIN'S ENGINEERING INC.	DATE	11/12	STATION	CONTROL STATION MONUMENT "8.49"	DATE	NO.	BY	DATE	DATE	DATE
STAKED BY	CHAD SPRUELL	DATE	9/11	DATE	NEW MEXICO STATE PLANE COORDINATES	DATE	NO.	BY	DATE	DATE	DATE
ACCEPTANCE BY	BHI	DATE	11/12	DATE	CENTRAL ZONE (NAD 83)	DATE	NO.	BY	DATE	DATE	DATE
FIELD DRAWING	CHAD SPRUELL	DATE	11/12	DATE	X=1,492,463.769	DATE	NO.	BY	DATE	DATE	DATE
REVISION	CHAD SPRUELL	DATE	11/12	DATE	Y=1,484,994.639	DATE	NO.	BY	DATE	DATE	DATE
CORRECTED BY	BHI	DATE	11/12	DATE	ELEVATION = 5,250.166 (NAD 1988)	DATE	NO.	BY	DATE	DATE	DATE
RECORDED BY	DATE	DATE	DATE	DATE	DELTA ALPHA = -007703.21"	DATE	NO.	BY	DATE	DATE	DATE
DATE	DATE	DATE	DATE	DATE	GROUND TO GRID FACTOR = 0.999677891	DATE	NO.	BY	DATE	DATE	DATE

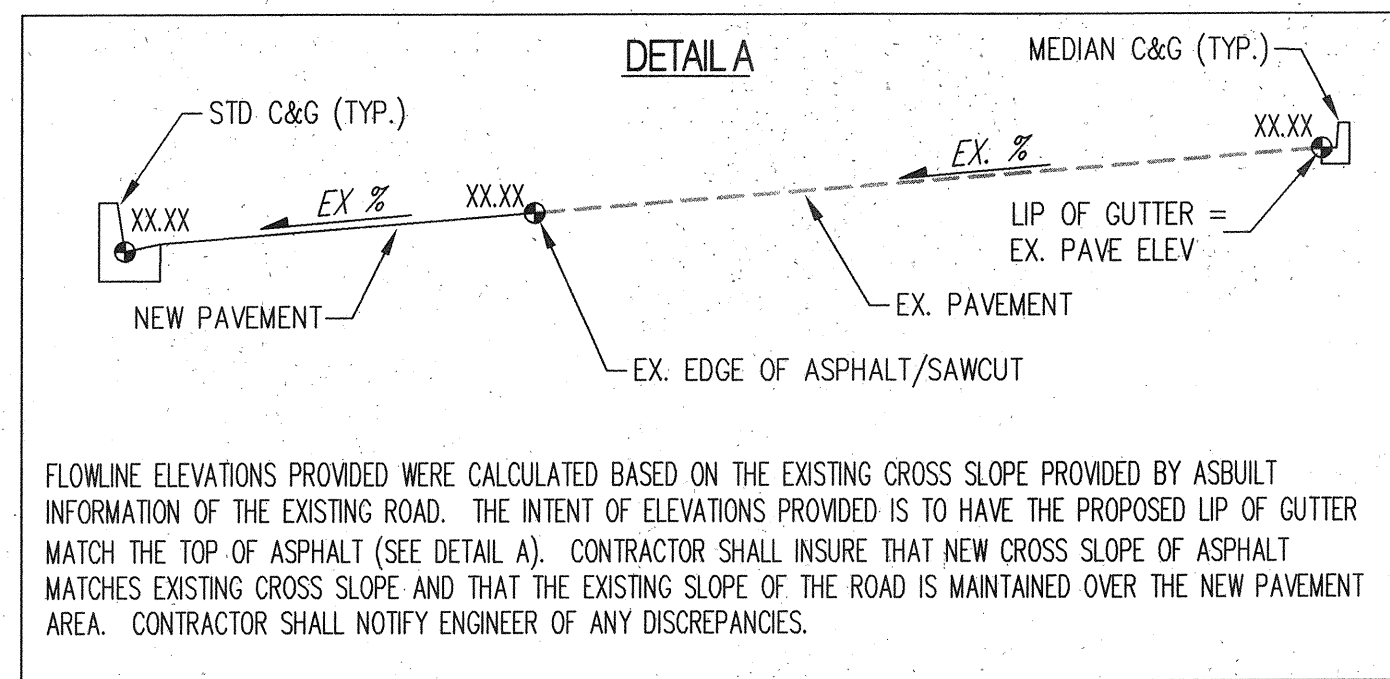
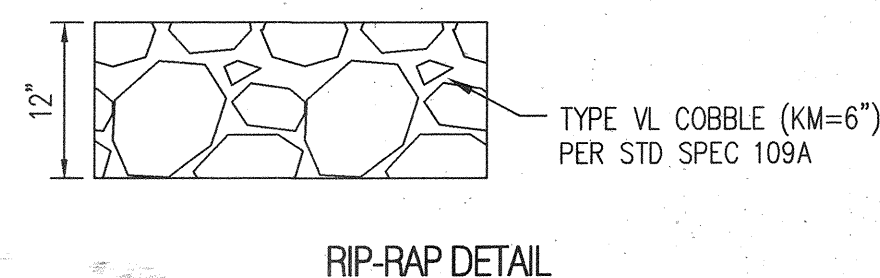
* Coordinates are NMSPC (NAD 83) Grid



CURB Point Table			
○	NORTHING	EASTING	ELEVATION
26	1484094.26	1493182.95	5219.54
27	1484114.63	1493177.69	5219.92
28	1484138.83	1493171.43	5220.35
29	1484163.04	1493165.17	5220.92
30	1484187.24	1493158.91	5221.43
31	1484211.45	1493152.65	5221.97
32	1484235.65	1493146.39	5222.47
33	1484259.85	1493140.13	5223.00
34	1484284.06	1493133.87	5223.58
35	1484308.26	1493127.61	5224.25
36	1484332.47	1493121.35	5224.92
37	1484342.91	1493118.64	5225.18
38	1484344.65	1493125.19	5224.36
39	1484320.51	1493131.68	5223.66
40	1484296.36	1493138.17	5223.10
41	1484272.22	1493144.66	5222.54
42	1484248.08	1493151.15	5222.00
43	1484223.93	1493157.64	5221.56
44	1484199.79	1493164.13	5221.05
45	1484175.65	1493170.61	5220.56
46	1484159.18	1493176.08	5220.30
47	1484143.46	1493183.41	5220.19
48	1484112.00	1493198.07	5220.03
49	1484079.07	1493209.00	5220.14


ID	BEARING	LENGTH
T6	N14°29'47"W	256.91'
T7	S15°03'00"E	174.92'


ID	ARC	RADIUS	DELTA	TANGENT	LENGTH
C3	10.65'	3.39'	180°00'00"	-----	10.65'
C4	34.72'	150.00'	13°15'41"	17.44'	34.72'
C5	69.44'	300.00'	13°15'41"	34.87'	69.44'



- GENERAL NOTES**

 1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 2. ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 3. GRADE ELEVATIONS, WHERE NOTED, ARE FOR FLOWLINE OF CURB UNLESS OTHERWISE SPECIFIED
 4. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
 5. ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
 6. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
 7. ANY DAMAGE TO THE EXISTING FACILITIES (C&G, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
 8. WHEELCHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB & GUTTER.
 9. FOR CURB RETURN & QUARTER POINT ELEV INFO REFER TO INDIVIDUAL PAVING SHEETS.
 10. MH RIMS & CATCH BASIN INLET ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT ELEVATIONS.
 11. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AND TRANSMISSION GAS LINES. CONTRACTOR SHALL COORDINATE RELOCATION OF UTILITY LINES WITH UTILITY COMPANIES AS REQUIRED.
 - 1) STD. CURB & GUTTER PER COA STD. DWG 2415A
 - 2) MEDIAN CURB & GUTTER PER COA STD. DWG 2415A
 - 3) 10' ASPHALT TRAIL PER DETAIL SHEET 4
 - 4) WHEEL CHAIR RAMP PER DETAIL THIS SHEET AND COA STD DWG. 2426
 - 5) 6" CONCRETE VALLEY GUTTER PER COA STD DWG 2420
 - 6) ASPHALT PAVEMENT PER PAVEMENT SECTION DETAIL ON SHEET 4
 - 7) INSTALL 4" TEXTURED & COLORED MEDIAN PAVEMENT FROM NOSE TO 10' BACK FROM MEDIAN NOSE AS PER COA STD DWG 2408 & 2502
 - 8) ASPHALT PAVEMENT PER DETAIL SHEET 4. PAVEMENT SECTION TO MATCH ONSITE SECTION PER BUILDING PERMIT PLANS.

Bohannon  Huston INC.
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES



CITY OF ALBUQUERQUE


DEPARTMENT OF MUNICIPAL DEVELOPMENT

JACK IN THE BOX AT 98TH AND AVALON

OFFSITE PUBLIC IMPROVEMENTS

PAVING PLAN 2

DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL		MO./DAY/YR. MO./DAY/YR. 	
APPROVED SEP 18 2011 DESIGN REVIEW COMMITTEE		APPROVED OCT 14 2011 CITY ENGINEER		LAST DESIGN UPDATE	
CITY PROJECT NO. 676282		ZONE, MAP NO. K-9		SHEET 6 OF 10	

ENGINEER'S SEAL	SURVEY INFORMATION	BENCH MARKS	AS-BUILT INFORMATION
	FIELD NOTES	ALBUQUERQUE CONTROL STATION MONUMENT "B_K9"	PLANNING DATE <u>1/12</u>
	NO.	DATE	CONTRACTOR <u>ERTHMOVING INC.</u> DATE <u>1/12</u>
	BY	NEW MEXICO STATE PLANE COORDINATES	SURVEYED BY <u>Carleson Surveys Inc.</u> DATE <u>1/12</u>
		CENTRAL ZONE (NAD 83)	INSPECTOR'S ACCEPTANCE BY <u>B.H.I.</u> DATE <u>1/12</u>
		X=1,492,463.769 Y=1,484,994.639	VERIFICATION BY <u>Carleson Surveys Inc.</u> DATE <u>1/12</u>
		ELEVATION = 5,250.166 (NAD 1988)	DRAWINGS CORRECTED BY <u>B.H.I.</u> DATE <u>1/12</u>
		DELTA ALPHA = -0017'03.21"	RECORDED BY DATE
		GROUND TO GRID FACTOR = 0.999677891	NO. DATE

GENERAL NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
2. ALL CURVE DATA AND DIMENSIONS ARE CALCULATED FROM CENTERLINE OF PIPE OR MANHOLE. ALL SAS & SD SLOPES ARE CALCULATED TO TRUE PIPE DIMENSIONS FROM INVERT TO INVERT. (PAY ITEMS ARE SHOWN IN PARENTHESES)
3. GRADE ELEVATIONS, WHERE NOTED, ARE FOR FLOWLINE OF CURB UNLESS OTHERWISE SPECIFIED.
4. CONTRACTOR IS TO INSTALL A 4" X 4" X 5' POST AND EMD AT THE END OF EACH SANITARY SEWER SERVICE.
5. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
6. CONTRACTOR SHALL PROVIDE THE INSPECTORS WITH THE PROPOSED TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
7. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
8. ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
9. MH RIMS & CATCH BASIN INLET ELEVATIONS, VALVE BOXES, ARV, FIRE HYDRANT & FLANGE ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT GRADES.
10. SAS STATIONING FOLLOWS SAS CL ALIGNMENT UNLESS OTHERWISE NOTED.
11. FLOWLINE ELEVATIONS FOR DROP INLETS ARE PROJECTED FROM FLOWLINE OF STANDARD CURB TO MIDDLE OF DOWNHILL GRATE.
12. RCP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATIONS. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF PIPE. RCP JOINTS SHALL NOT BE GROUTED UNLESS DIRECTED BY THE ENGINEER AFTER CITY APPROVAL.
13. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

LEGEND

---	PROPERTY LINE
---	EXISTING EASEMENT
EX. SAS	EXISTING SANITARY SEWER
EX. WL	EXISTING WATER LINE
EX. SD	EXISTING STORM DRAIN
□	EXISTING WATER METER
□	EXISTING CAP
□	EXISTING VALVE
⊗	EXISTING FIRE HYDRANT
⊙	EXISTING SANITARY SEWER MANHOLE
⊙	EXISTING STORM DRAIN
SAS	PROPOSED SANITARY SEWER
WL	PROPOSED WATER LINE
✕	PROPOSED VALVE
✕	PROPOSED HYDRANT
□	PROPOSED CAP
■	PROPOSED WATER METER
●	PROPOSED SANITARY SEWER MANHOLE
⊙	PROPOSED STORM DRAIN
★	PROPOSED STREET LIGHT

MATERIALS:

SAS LINE: SDR-35 PVC
WATER LINE: C900-PVC (DR-18)
SD LINE: CLASS III RCP (UNLESS OTHERWISE NOTED ON PLANS)

EMERGENCY WATER SHUT-OFF PLAN:

FOR CONNECTION VALVES CLOSED
98TH STREET VALVES 601, 751 & 752

CONTRACTOR WILL BE RESPONSIBLE FOR FLUSHING, DISINFECTING, AND TESTING THE LINES AS REQUIRED BY THE ABOUJA.

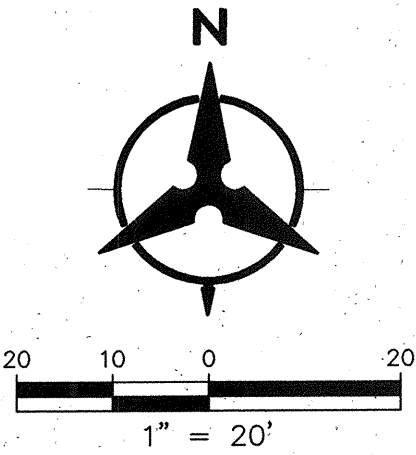
WATER SHUT-OFF REQUIREMENTS:

THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWJA.ORG/CONTENT/MEW/463/729/](http://abcwja.org/content/mew/463/729/).

- NOTE:
1. ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
 2. THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. UNLESS SPECIFIED DIFFERENTLY IN THE PLANS, ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTORS EXPENSE.
 3. THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE ACCOMPANYING TABLE.
 4. THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.
 5. RESTRAINED LENGTH IS FROM LARGE SIDE ON ALL REDUCERS.
 6. RESTRAIN ALL JOINTS BETWEEN UPPER AND LOWER VERTICAL BENDS.
 7. JOINT RESTRAINT LENGTH SHOWN FOR TEES REFERS TO THE BRANCH SECTION CASES.

RESTRAINED JOINT TABLE

FITTING	LENGTH TO BE RESTRAINED			
	(4")	(6")	(8")	(12")
6" x 6" x 6" TEE		1		
8" x 8" x 4" TEE	1			
8" x 8" x 6" TEE		1		
8" x 8" x 8" TEE			4	
12" x 12" x 12" TEE				18
12" x 12" x 8" TEE			1	
12" x 12" x 6" TEE		1		
11.25' BEND	1	2	3	4
22.5' BEND	3	4	5	7
45' BEND	6	8	11	15
90' BEND	15	20	27	37
VALVE/DEAD END	39	55	73	104
6" x 4" REDUCER		29		
8" x 6" REDUCER			31	
12" x 6" REDUCER				75
12" x 8" REDUCER				55



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CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT

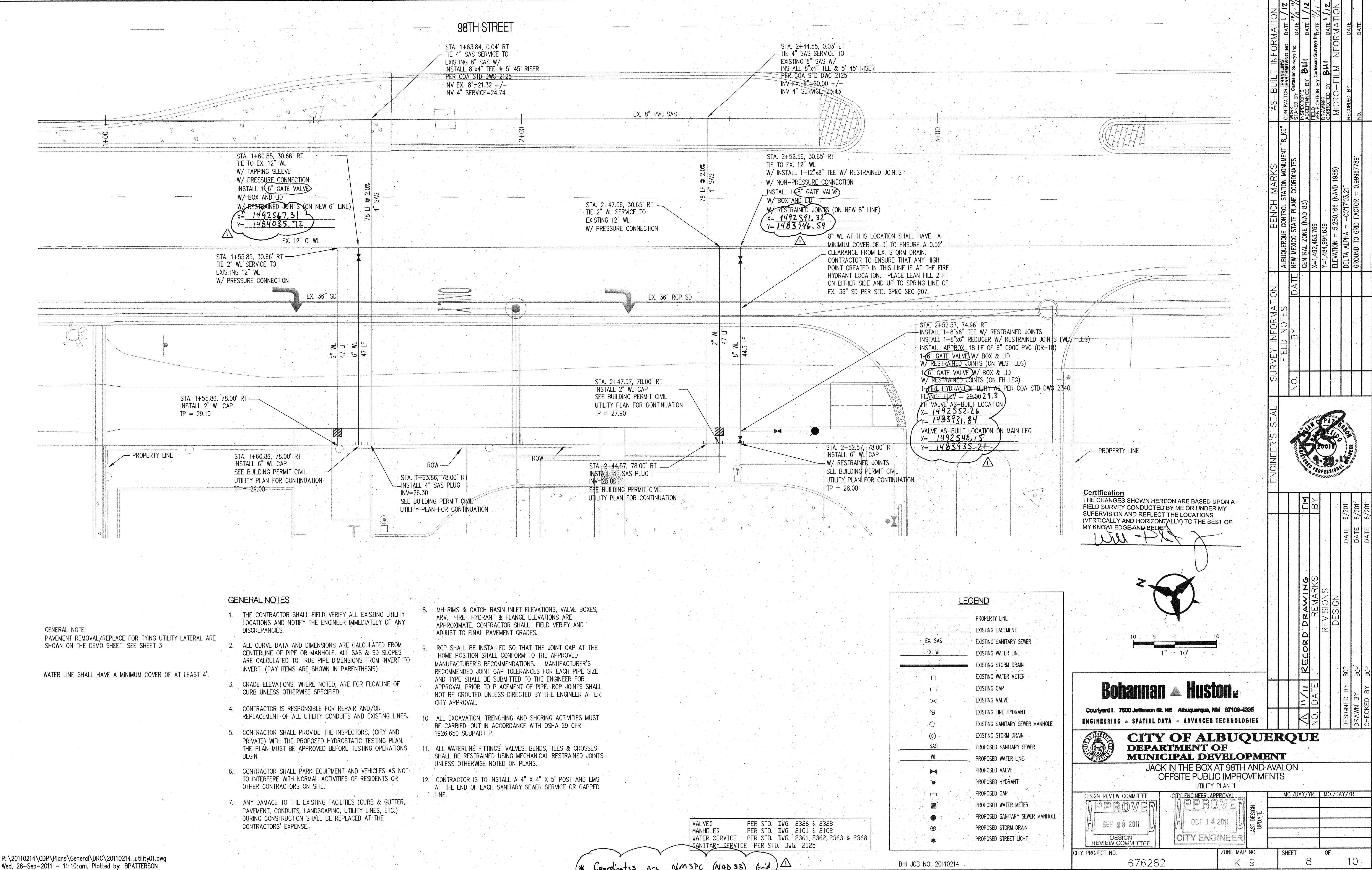
JACK IN THE BOX AT 98TH AND AVALON
OFFSITE PUBLIC IMPROVEMENTS

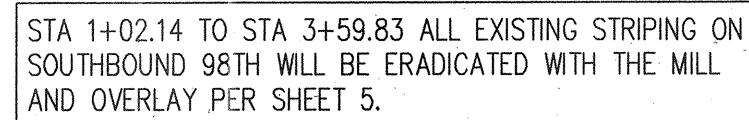
OVERALL UTILITY





LAST DESIGN UPDATE

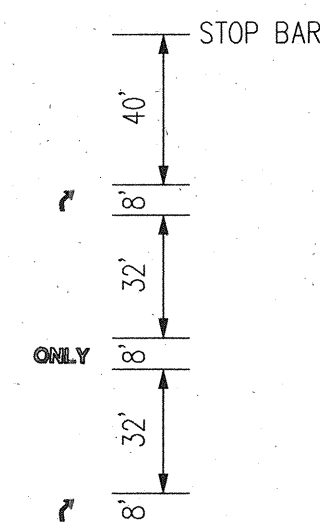
CITY PROJECT NO.	676282	ZONE MAP NO.	K-9	SHEET	7	OF	10
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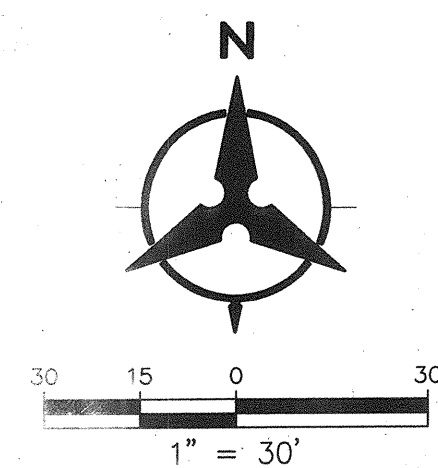


1. ALL SIGNING & STRIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE MUTCD.
2. MEDIAN NOSES SHALL BE PAINTED YELLOW FROM THE PC TO A PT 6' BACK FROM NOSE.
3. CONTRACTOR SHALL REMOVE ALL CONFLICTING EXISTING PAVEMENT MARKINGS. STRIPING ERADICATION SHALL BE ACCOMPLISHED BY WATER BLASTING OR SURFACE PLANING OF THE ROADWAY, TO A MAX. DEPTH OF 1/4" AND A WIDTH EQUAL TO TWICE THE WIDTH OF THE STRIPE OR MARKING TO BE REMOVED.
4. MARKED CROSSWALKS SHALL NOT BE LESS THAN 12' WIDE.
5. IF USED, STOP BAR STRIPES SHALL BE PLACED 4' IN ADVANCE OF AND PARALLEL TO THE NEAREST CROSSWALK LINE.
6. PAVEMENT WORD AND SYMBOL MARKINGS SHOULD BE PROPORTIONALLY SCALED TO FIT WITHIN THE WIDTH OF THE FACILITY UPON WHICH THEY ARE APPLIED.

1. EXISTING PAVEMENT MARKINGS TO REMAIN.
2. NEW 4" SOLID WHITE REFLECTIVE THERMOPLASTIC STRIPE.
3.  NEW PREFORMED THERMOPLASTIC LEFT ARROW.
4.  NEW PREFORMED THERMOPLASTIC RIGHT ARROW.
5. NEW PREFORMED THERMOPLASTIC PAVEMENT MARKING "ONLY"
6. PAINT MEDIAN NOSE YELLOW.
7. NEW 4" DASHED WHITE STRIPE (10' STRIPE w/ 30' GAP) REFLECTIVE THERMOPLASTIC STRIPE.
8. NEW 4" DASHED WHITE STRIPE (3' STRIPE w/ 7' GAP) REFLECTIVE THERMOPLASTIC STRIPE.



TYPICAL RIGHT/LEFT TURN ONLY
NOT TO SCALE



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Tue, 9-Aug-2011 - 1:11:pm, Plotted by: BPATTERSON

DRAINAGE BASIN CALCULATIONS FOR JIB @ 98th AND AVALON							
BASIN I.D.	AREA (AC)	% LAND TREATMENT				DISCHARGE (CFS)	
		A	B	C	D	10 YR*	100YR*
HYDROLOGICAL VOLUMETRIC & DISCHARGE DATA (EXISTING CALCULATED)							
EXISTING BASIN	0.99	50.0%	50.0%	0.0%	0.0%	0.50	1.63
TOTAL	0.99					0.50	1.63
DEVELOPED							
DEVELOPED BASIN	0.99	0.0%	5.0%	5.0%	90.0%	2.68	4.14
TOTAL	0.99					2.68	4.14
*NOTE: Peak Discharge calculated from Chapter 22 Section 2 of the COA DPM.							

GRADING AND DRAINAGE NARRATIVE

I. INTRODUCTION

THE PURPOSE OF THIS SUBMITTAL IS TO PRESENT A GRADING AND DRAINAGE PLAN FOR A PROPOSED JACK-IN-THE-BOX DEVELOPMENT IN SW ALBUQUERQUE. THE SITE IS LOCATED AT THE SOUTHWEST CORNER OF THE 98TH AVENUE AND AVALON ROAD. THE PROJECT WILL INCLUDE A JACK-IN-THE-BOX RESTAURANT AND RETAIL BUILDING WITH PEDESTRIAN ACCESS, PARKING, AND LANDSCAPING ON APPROXIMATELY 0.99 ACRES.

II. SITE LOCATION

THE SITE IS LOCATED WITHIN ZONE ATLAS MAP K-9-Z. THE PROJECT IS BOUNDED ALONG THE EAST BY 98TH AVENUE, ALONG THE WEST BY A DEVELOPED HOTEL SITE, ALONG THE NORTH BY A RETAIL BUILDING AND ALONG THE SOUTH BY UNDEVELOPED PROPERTY.

III. EXISTING HYDROLOGIC CONDITIONS

THE SITE ENCOMPASSES APPROXIMATELY 0.99 ACRES AND IS UNDEVELOPED. SLOPES FOR THE SITE RANGE BETWEEN 3 TO 4% TO THE SOUTHEAST AND THERE IS LIMITED VEGETATION COVER. CURRENTLY, THE SITE DRAINS VIA SURFACE FLOW TOWARD A SWALE ON THE WEST SIDE OF 98TH AVENUE. THE RUNOFF, 1.63 CFS, FLOWS SOUTH ALONG 98TH AVENUE, ENTERING THE EXISTING INLET AT THE NORTHWEST CORNER OF VOLCANO ROAD AND 98TH AVENUE.

IV. OFFSITE DRAINAGE

THERE IS LIMITED OFFSITE FLOW ENTERING THE SITE. THE HOTEL SITE TO THE WEST CONTAINS ITS FLOWS ON SITE, DRAINING NORTH TO AVALON AVENUE. FLOW FROM THE PROPERTY TO THE NORTH IS INTERCEPTED BY A CONCRETE SWALE AT THE PROPERTY LINE, DRAINING TO 98TH STREET. THE JACK-IN-THE-BOX SITE IS HIGHER THAN THE 98TH AVENUE RIGHT-OF-WAY AND THE UNDEVELOPED PROPERTY TO THE SOUTH.

IV. PROPOSED HYDROLOGIC CONDITIONS

THE PROPOSED SITE RUNOFF, 4.14 CFS, DRAINS WITH A PORTION OF THE SITE ENTERING INLETS IN THE PARKING AREA AND AN INLET IN THE DRIVE-THRU. THE REMAINING PORTION DISCHARGING OFFSITE VIA PROPOSED CURB & GUTTER. THE ON-SITE STORM DRAIN SYSTEM WILL DISCHARGE TO THE EXISTING STORM DRAIN IN 98TH AVENUE. THE SURFACE RUNOFF DISCHARGING OFFSITE WILL FLOW EXISTING HYDROLOGIC CONDITIONS AND BE CONVEYED BY THE EXISTING SWALE ON THE WEST SIDE OF 98TH AVENUE AND ENTER THE EXISTING INLET AT THE NORTHWEST CORNER OF VOLCANO ROAD AND 98TH AVENUE.

V. CONCLUSION

THE GRADING AND DRAINAGE PLAN FOR THE JACK-IN-THE-BOX SITE IS CONSISTENT WITH THE APPROVED DRAINAGE MANAGEMENT PLAN. THE PLAN IS CAPABLE OF SAFELY PASSING THE 100 YEAR STORM AND MEETS CITY REQUIREMENTS. ALL ANALYSIS WAS COMPLETED IN ACCORDANCE WITH SECTION 22.2 OF THE DEVELOPMENT PROCESS MANUAL.

GENERAL NOTES

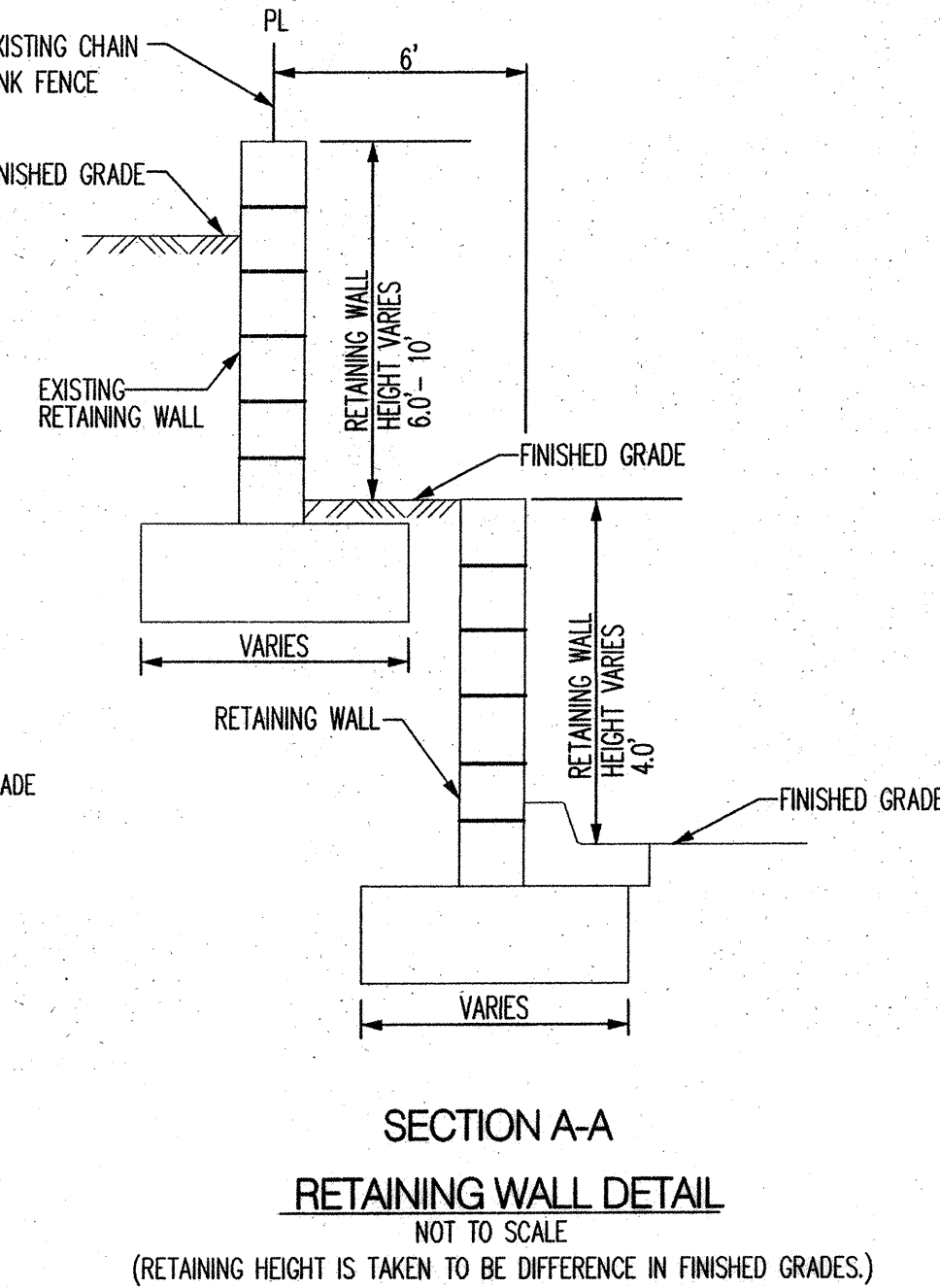
- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE. CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR SWPPP COMPLIANCE AND IMPLEMENTATION.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
- ALL ELEVATIONS ARE TAKEN AT THE TOP OF ASPHALT UNLESS OTHERWISE NOTED.
- ALL CURB IS 6" MEDIAN CURB UNLESS OTHERWISE NOTED. ALL ELEVATIONS SHOWN ALONG MEDIAN CURB ARE AT FLOWLINE UNLESS OTHERWISE INDICATED.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.

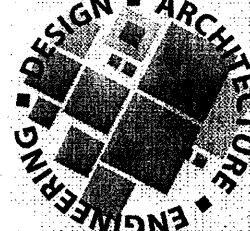
KEYED NOTES

- INSTALL 24" NYLOPLAST CURB INLET STRUCTURE WITH 2'x2' STEEL BAR RECTANGULAR GRATE H-20 RATED (OR APPROVED EQUAL)
- CONNECT TO EXISTING STORM DRAIN WITH NEW 4" MANHOLE, TYPE C OR E TO BE COMPLETED BY WORK ORDER.
- INSTALL 12" HDPE (N-12WT OR APPROVED EQUAL) STORM DRAIN
- INSTALL 2' WIDE CONCRETE VALLEY GUTTER PER COA STD. DWG 2420.
- INSTALL 2' WIDE SIDEWALK CULVERT PER COA STD. DWG 2236.
- INSTALL 18" RCP STORM DRAIN.
- PROPERTY LINE



LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- EXISTING GROUND SPOT ELEVATION
- ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE STATED.
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- PROPOSED CURB
- EASEMENT
- PROPOSED STORM DRAIN INLET
- PROPOSED RETAINING WALL



9330 BALBOA AVENUE
SAN DIEGO, CA 92123
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DATES

RELEASE: MAY 18, 2011

P.M. UPDATES:

PERMIT:

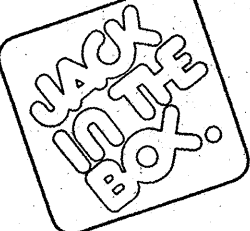
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CONSTRUCTION:

REVISIONS

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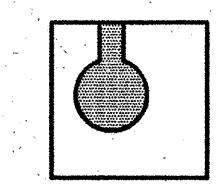
JACK IN THE BOX #1268 F
98TH / AVALON
ALBUQUERQUE, NEW MEXICO



Bohman & Huston

Company: 7800 Jefferson St. NE Albuquerque, NM 87109-2002
ENGINEERS • PLAT DATA • ADVANCED TECHNOLOGIES

LARRY J. CLUCK & ASSOCIATES
ARCHITECTS
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(505) 327-6670/327-8816



SITE INFORMATION

MK TYPE: 9A_LG2

JIB #: 1268 F

ADDRESS:

98TH / AVALON

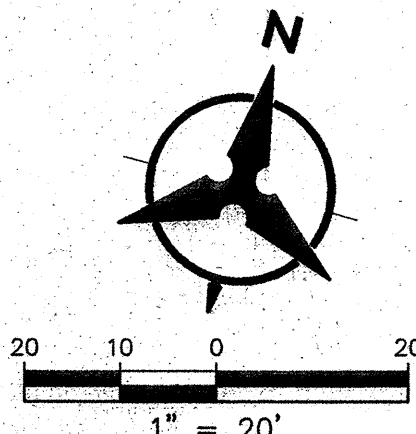
ALBUQUERQUE, NM

DRAWN BY: LJCA

SCALE:

GRADING
PLAN
C1.1

FOR INFORMATION ONLY



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