

APPROVED RECORD DRAWINGS	
City Inspector	Tim Sims
Contractor	7B Building & Development, LLC
Construction Engineer	David Bishop
Date	11/28/2022

WORK ORDER PLANS FOR
CHAMPION XPRESS
CAR WASH
NORTHWEST OF THE INTERSECTION OF:
MENAUL BOULEVARD N.E. & PENNSYLVANIA STREET N.E.
REPLAT LOT 3B, BLOCK 8, BROAD ACRES SUBDIVISION
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

AS-BUILT

INDEX

SHEET NUMBER	DESCRIPTION
1	COVER SHEET
2	BROAD ACRES SUBDIVISION
3	GRADING & DRAINAGE PLAN (FOR INFORMATION ONLY)
4	GRADING & DRAINAGE NOTES (FOR INFORMATION ONLY)
5	EXISTING CONDITIONS & DEMOLITION PLAN
6	PAVING PLAN
7	UTILITY PLAN

CONSTRUCTION NOTES:

- The contractor shall abide by all local, state, and federal laws, rules and regulations which apply to the construction of these improvements.
- Prior to construction, contractor shall excavate and verify the horizontal and vertical locations of all potential obstructions. Should a conflict exist, the contractor shall notify the engineer or construction observer so that the conflict can be resolved with a minimum amount of delay.
- All electrical, telephone, cable tv, gas and other utility lines, cables and appurtenances encountered during construction that require relocation, shall be coordinated with that utility. The contractor shall be responsible for coordination of all necessary utility adjustments. No additional compensation will be allowed for delays or inconveniences caused by utility company work crews. The contractor may be required to reschedule his activities to allow utility crews to perform their required work.
- Disposal site for all excess excavation material, and unsuitable material shall be obtained by the contractor in compliance with applicable environmental regulations and approved by the construction observer. All costs incurred in obtaining a disposal site and haul thereto shall be considered incidental to the project and no separate measurement or payment shall be made.
- The contractor is responsible for protecting the existing utility lines within the construction area. Any damage to existing facilities caused by construction activity shall be repaired or replaced at the contractor's expense and approved by the construction observer.
- Construction activity shall be limited to the property and/or project limits. Any damage to adjacent properties resulting from the construction process is the responsibility of the contractor. Any costs incurred for repairs shall be the cost of the contractor.
- Overnight parking of construction equipment shall not obstruct driveways or designated traffic lanes. The contractor shall not store any equipment or material within the public right-of-way.
- The contractor shall obtain all the necessary permits for the project prior to commencing construction (i.e., barricading, surface disturbance).
- The contractor shall be responsible to replace at his expense any and all property corners destroyed during construction. All property corners must be reset by a registered land surveyor.
- All permanent pavement marking and traffic signing shall be furnished by the contractor per plan.
- The contractor shall follow the construction traffic control and signing plan provided herein. The contractor shall coordinate with the City of Albuquerque, Traffic Engineering Department, prior to beginning any construction work on or adjacent to existing streets.
- All barricades and construction signing shall conform to applicable sections of the "Manual of Uniform Traffic Control Devices" (MUTCD), U.S. Department of Transportation, latest edition.
- The contractor shall maintain all construction barricades and signing at all times, the contractor shall verify the proper location of all barricading at the end and beginning of each day.
- Removal of existing curb & gutter and sidewalks shall be to nearest joint.
- Contractor to test subgrade R-value prior to construction. In the event the R-value is less than 50, remove 2 feet of subgrade material and import material with R-value greater than 50 or contact the engineer immediately so the pavement section can be modified.
- At all pavement removal and replacements, sawcut edges shall be straight and clean, and longitudinal joints shall not be placed within wheel paths. Patches shall be regular and square or rectangular, with four straight sides. Finished pavement surface shall be flush with existing pavement surface, with no spillover of asphalt or tack coat. Care must be taken to avoid damaging the integrity or appearance of surrounding pavements; if damaged, the entire surface patch must be expanded to cover damages.
- Contractor will ensure the asphalt has a smooth, uniform edge when removing and replacing curb & gutter. If the asphalt edge is not smooth and uniform, contractor will sawcut and replace a one foot strip of asphalt along the full section being replaced, refer to COA Standard Drawing #2465 with the appropriate paving section based on roadway classification.
- When abutting new curb and gutter to existing pavement, a 1' wide section of existing pavement adjacent to the curb and gutter shall be sawcut, removed, and replaced as per the standard specifications.
- The contractor shall assume responsibility for any damage to existing pavements, pavement markings, curb & gutter, drive pads, wheelchair ramps, and sidewalk during construction, apart from those sections indicated for removal on the plans and shall repair or replace per COA standards, at his own expense.
- For storm drain construction, RCP pipe joints shall not be grouted prior to final inspection. Final inspection will determine joints to be grouted for final acceptance of the construction.
- All excavation, trenching, and shoring activities must be carried-out in accordance with OSHA 29 CFR 1926.650 Subpart P.



CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Kevin J. Murtagh, of the firm of Bohannon-Huston, Inc., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as shown on these drawings (Champion Xpress Car Wash - Menaul) has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by the surveyor, Steven J. Sandoval, NMPS No. 12351.

7/25/2022

Engineer's Seal & Signature



City of Albuquerque Standard Detail Drawings referenced in this plan set can be found at: <http://www.cabq.gov/planning/development-review-services/design-review-construction-forms>

Only ABCWUA approved products shall be installed for water and sewer utilities. Approved Products List and City of Albuquerque Standard Detail Drawings for water and sewer utilities can be found at: https://www.abcwua.org/For_Builders.aspx

OWNER / DEVELOPER

VIA Real Estate, LLC.
Contact: Derrick Merchant
Phone: 806.368.7843
Email: derrick@7bdev.com

CIVIL ENGINEER / CONSULTANT

Burkhardt Engineering
Contact: Ryan Morrissey
Phone: 937.388.0060
Email: rmorrissey@burkhardtinc.com

UTILITY CONTACT INFORMATION:

SANITARY SEWER / WATER
Albuquerque Water Utility Authority
Contact: David Gutierrez
Telephone: 505.269.3307
Email: dggutierrez@abcwua.org

ELECTRIC
PNM (Public Service Company of New Mexico)
Contact: Michael Moyer
Telephone: 505.241.3697
Email: mmoyer@pnm.com

GAS
New Mexico Gas Company
Contact: Customer Service
Telephone: 505.697.3335

TELECOM
CenturyLink
Contact: Customer Service
Telephone: 865.465.2313

PREPARED BY:



CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2020 EDITION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (280-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT, TO THE CONSTRUCTION COORDINATION DIVISION, A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY CONSTRUCTION COORDINATION ENGINEER (768-2551) PRIOR TO OCCUPANCY AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- ALL WORK AFFECTING ARTERIAL ROADWAYS MAY REQUIRE TWENTY-FOUR HOUR CONSTRUCTION.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED W/ PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS EXISTING, OR AS INDICATED BY THIS PLAN SET.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO ENSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- CONTRACTOR SHALL COORDINATE WITH THE CITY OF ALBUQUERQUE WATER SYSTEMS DIVISION (857-8200) FIVE WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER OR SEWER UTILITIES. EXISTING VALVES TO BE OPERATED BY CITY PERSONNEL ONLY. CONTRACTOR SHALL CONTACT THE WATER SYSTEMS DIVISION THREE (3) DAYS PRIOR TO NEEDING VALVES TURNED ON OR OFF.

AS-BUILT

I, STEVEN JOHN SANDOVAL, NMPS 12351, DO HEREBY CERTIFY THAT THE PLAN DESIGN LOCATION OF IMPROVEMENTS AND, WHERE APPLICABLE, ELEVATIONS, ARE AS BUILT, WITH EXCEPTIONS OR MODIFICATIONS NOTED, AND ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



June 14, 2022

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ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO



INDEXING INFORMATION

SECTION 7, T10N, R4E,
LOT 3B, BLOCK 8,
BROAD ACRES SUBDIVISION
OWNER: VIA REAL ESTATE, LLC.
UPC# 101905924 927 920802 (LOT 3)
UPC# 101905925927920803 (LOTS 4-6)

TREASURER'S CERTIFICATE

THIS IS TO CERTIFY THAT THE TAXES ARE
CURRENT AND PAID ON UPC#
101905924927920802
101905925927920803
PROPERTY OWNER OF RECORD:
Kreider Shirley A RV
BERNALILLO COUNTY TREASURER'S OFFICE
Mikello Rodriguez

REPLAT B, BLOCK 8, BROAD ACRES SUBDIVISION
A LOT CONSOLIDATION OF LOTS 3, 4, 5, & 6, BLOCK 8
BROAD ACRES SUBDIVISION
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JUNE 2021

DOC# 2021093202

08/06/2021 02:54 PM Page 1 of 1
PLAT P 255.00 8 2021C P 0087 Linda Stover, Bernalillo County

PURPOSE OF PLAT

1. A REPLAT AS SHOWN HEREON, CONSOLIDATING LOTS 3 THRU 6 INTO ONE LOT.

LEGAL DESCRIPTION

LOTS NUMBERED THREE (3), FOUR (4), FIVE (5), AND SIX (6) IN BLOCK
NUMBERED EIGHT (8) OF BROAD ACRES, A SUBDIVISION, ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED
ON THE PLAT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO
COUNTY, NEW MEXICO ON FEBRUARY 21, 1947 IN VOLUME D, FOLIO 3.

BEING MORE PARTICULARLY DESCRIBED TOGETHER BY METES AND BOUNDS AS
FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, BEING
A POINT OF INTERSECTION OF THE NORTHERLY RIGHT-OF-WAY OF MENAUL BLVD
NE AND THE WEST RIGHT-OF-WAY OF PENNSYLVANIA STREET NE, SAID POINT
BEING IDENTICAL TO THE SOUTHEAST CORNER OF LOT 6, BLOCK 8, BROAD ACRES
SUBDIVISION AS FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO
COUNTY, NEW MEXICO ON FEBRUARY 21, 1947 IN VOLUME D, FOLIO 3;

THENCE, FROM THE POINT OF BEGINNING, ALONG THE NORTH RIGHT-OF-WAY OF
MENAU BLVD NE, S89°56'39"W, A DISTANCE OF 208.02 FEET TO A POINT FOR
THE SOUTHWEST CORNER OF THIS TRACT;

THENCE, LEAVING SAID NORTH RIGHT-OF-WAY, N00°03'21"W, A DISTANCE OF
150.05 FEET TO A POINT FOR THE NORTHWEST CORNER OF THIS TRACT;

THENCE, N89°56'39"E, A DISTANCE OF 208.11 FEET TO A NAIL WITH WASHER
MARKED 14271 ON THE WEST RIGHT-OF-WAY PENNSYLVANIA STREET NE FOR THE
NORTHEAST CORNER OF THIS TRACT;

THENCE, ALONG THE WEST RIGHT-OF-WAY OF PENNSYLVANIA STREET NE,
S00°01'21"E, A DISTANCE OF 150.05 FEET TO THE POINT AND PLACE OF
BEGINNING, ENCLOSING 0.717 ACRE, MORE OR LESS.

FREE CONSENT & DEDICATION

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN
ACCORDANCE WITH THE DESIRES OF THE UNDER SIGNED OWNER(S) AND/OR
PROPRIETOR(S) THEREOF WHO HEREBY GRANT THE RIGHT TO CONSTRUCT, OPERATE,
INSPECT, MAINTAIN FACILITIES THEREIN ALL PUBLIC UTILITY EASEMENTS SHOWN
HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND
COMMUNICATION SERVICE FOR DISTRIBUTION LINES, CONDUITS AND PIPES, INCLUDING
THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION, INSPECTION AND
MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS, SAID
OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL THE FOREGOING AND
DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

Chad Marchant 04-16-2021

VIA REAL ESTATE, LLC

STATE OF New Mexico } SS
COUNTY OF Bernalillo



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 27th DAY
OF April 2021 BY Chad Marchant OWNER
MY COMMISSION EXPIRES 8/24/24 NOTARY PUBLIC

PROJECT NUMBER: PR-2021-004038

APPLICATION NUMBER: SD-2021-00098

PLAT APPROVALS:

PNM ELECTRIC SERVICES 6/29/2021
Jeff Estvanko DATE
NEW MEXICO GAS COMPANY 8/23/21
CENTURY LINK 6/29/21
COMCAST 6/29/21

CITY APPROVALS:

Laura N. Rios Hoover, P.S. 6/4/2021
CITY SURVEYOR DATE
Sara W. Hines 7-1-21
TRAFFIC ENGINEERING, TRANSPORTATION DIV. DATE
B. W. 7-1-21
ABCMJA DATE
Chad Marchant 6/29/2021
PARKS AND RECREATION DEPARTMENT DATE
K. M. 7-1-2021
CITY ENGINEER/HYDROLOGY DATE
S. C. 7/6/21
CODE ENFORCEMENT DATE
W. C. 7/27/21
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

REFERENCE DOCUMENTS

BROAD ACRES SUBDIVISION PLAT,
ALBUQUERQUE, BERNALILLO
COUNTY, NEW MEXICO, AS FILED
IN THE OFFICE OF THE COUNTY
CLERK OF BERNALILLO COUNTY,
NEW MEXICO ON FEBRUARY 21,
1947 IN VOLUME D, FOLIO 3.

A BOUNDARY SURVEY AND
ALTA/ACSM LAND TITLE SURVEY
BY WILL PLOTNER, JR., NMPS
14271 DATED MAY 15, 2015

NOTES

1. BEARINGS ARE NEW MEXICO STATE PLANE, CENTRAL, GRID BEARINGS (NM C ZONE 3002 NAD 1983)
2. BASIS OF BEARINGS ESTABLISHED FROM CITY OF ALBUQUERQUE REFERENCE STATION 15-H18 TO 11-H19 AS N89°13'51"E
3. DISTANCES ARE GROUND DISTANCES UNLESS OTHERWISE NOTED.
4. PROJECT COMBINED SCALE FACTOR (GRID/GROUND)=0.999658245. FIELD (F) MEASUREMENTS COMPARED TO RECORD (R) BEARINGS AND DISTANCES ARE REFERENCED TO THE ORIGINAL PLAT OF BROAD ACRES SUBDIVISION AS FILED FOR RECORD ON FEBRUARY 21, 1947, IN VOLUME D, FOLIO 3, AS DOCUMENT #1947022147.
5. NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANYTIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THE PROPOSED PLAT.
6. THIS PLAT SHOWS ALL EASEMENTS SHOWN ON THE PLAT OF RECORD (NONE FOUND) OR MADE KNOWN ON TITLE COMMITMENT ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY DATED OCTOBER 15, 2020, COMMITMENT NO. 2009367 (NONE FOUND).
7. AN ADMINISTRATIVE WAIVER FROM THE 20-FOOT ALLEYWAY WIDTH REQUIREMENT WAS APPROVED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 9TH, 2021.

SURVEYOR'S CERTIFICATE

I, STEVEN J. SANDOVAL, A NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR, DO
HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR
UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF
RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE
SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED
PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND
SURVEYS OF THE CITY OF ALBUQUERQUE, AND THAT THIS SURVEY IS TRUE AND
CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF; AND THAT THIS SURVEY
AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO.

STEVEN J. SANDOVAL NMPS NO. 12351 DATE June 3, 2021

BASIS OF BEARING

ROTATED TO CITY OF
ALBUQUERQUE SURVEY
MONUMENTS 15-H18 AND 11-H19
AND PINNED TO A ONE-POINT
OPUS STATIC GPS SOLUTION
PERFORMED ON THE SUBJECT
PROPERTY AT NORTH LATITUDE
35°06'33.96794" WEST LONGITUDE
106°33'37.30036" N1495266.12
E1547596.14 SPC NM C ZONE
3002 ORTHOMETRIC HEIGHT OF
5342.61 NAVD 1988

SUBDIVISION DATA

1. DRB PROJECT NO.: PR-2021-004038
2. APPLICATION NO.: SD-2021-00098
3. ZONE ATLAS INDEX NUMBER: H-19
4. ZONING: MX-M
5. GROSS SUBDIVISION ACREAGE: 0.717 ACRE.
6. TOTAL NUMBER OF LOTS/TRACTS CREATED:
CONSOLIDATED 4 LOTS INTO 1
7. 0 MILES PUBLIC STREET AND PRIVATE
RIGHT-OF-WAY CREATED.
8. DATE OF SURVEY: 01/07/2021
9. THE SUBJECT PROPERTY IS LOCATED IN SECTION 7,
T10N, R4E, NMPM, CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO

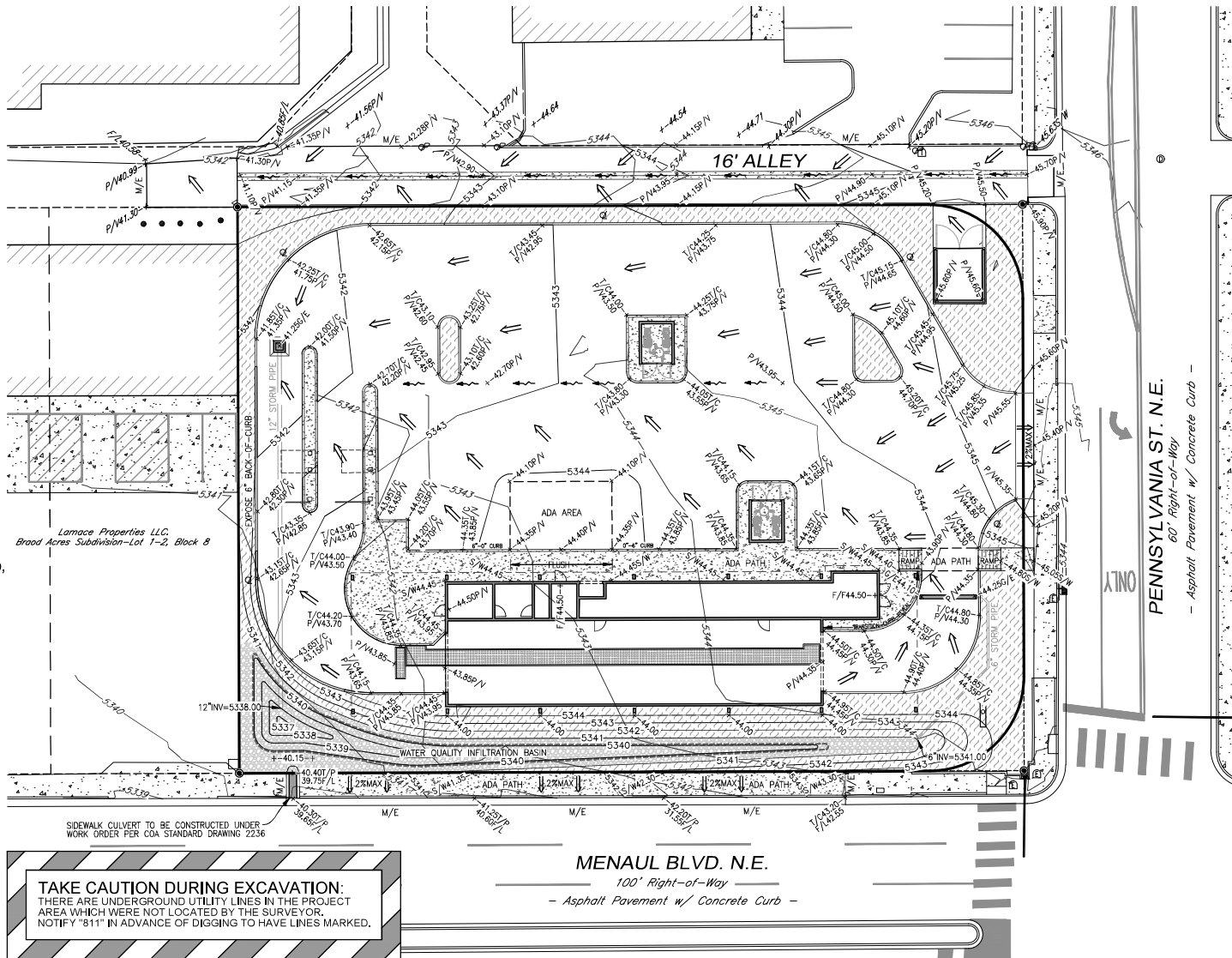
Construction Surveying Services
PO Box 2295, Alamogordo, NM 88311
(575) 443-6202 FAX (575) 443-1151

AS-BUILT

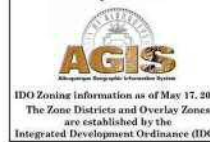


AS BUILT CERTIFICATION

I, STEVEN JOHN SANDOVAL, NMPS 12351, DO HEREBY CERTIFY THAT THE PLAN DESIGN LOCATION OF IMPROVEMENTS AND, WHERE APPLICABLE, ELEVATIONS, ARE AS BUILT, WITH EXCEPTIONS OR MODIFICATIONS NOTED, AND ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



IDO Zone Atlas May 2018



PROJECT SUMMARY

Project will include the demolition and removal of existing structures, utilities, vegetation, pavement, etc. as necessary to construct a new Champions Xpress Car Wash and its associated pavement, parking facilities, utilities, landscaping, signage and any other proposed improvements which are needed to service the facility.

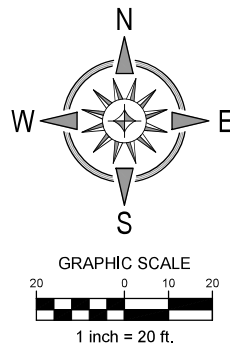
PROPERTY INFORMATION

Address: 7521 Menaul Blvd. N.E., Albuquerque, NM 87110
Legal Description: Lots 3-6, Block 8, Broad Acres Subdivision, City of Albuquerque, Bernalillo County, New Mexico, RePlat to Lot 3B
Area: 0.711 acres (0.006 acres dedicated to City in RePlat)
Zoning: "MX-M" Mixed Use - Moderate Intensity Zone District
Flood Zone Designation: FIRM # 35001C0356H, effective date: August 16, 2012
Zone "X" - Areas determined to be outside the 0.2% annual chance floodplain.

SEE GRADING & DRAINAGE NOTES AND DETAILS, SHEET C-3.1 FOR ADDITIONAL INFORMATION, FLOW CALCULATIONS, GENERAL NOTES, DETAILS AND CROSS SECTIONS.

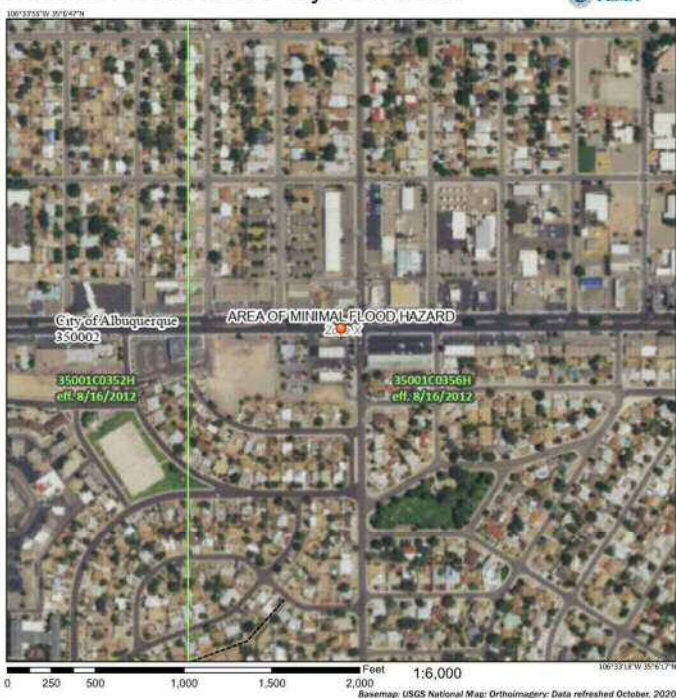
GRADING LEGEND

M/E	MATCH EXISTING PAVEMENT GRADE
S/W	SIDEWALK PAVEMENT
T/C	TOP-OF-CURB
T/P	TOP-OF-PAVEMENT
P/V	DRIVE PAVEMENT GRADE
F/F	FINISHED FLOOR GRADE
F/L	FLOW LINE
G/E	GRATE ELEVATION
←	SHEET FLOW
↘	CHANNEL / GUTTER FLOW
+00.00	PROP. SPOT ELEVATION
-0000	PROP. CONTOUR
[Pattern]	LANDSCAPE AREA
[Pattern]	ROCK LINER / RIP-RAP



WORK WITHIN PUBLIC RIGHT-OF-WAY REQUIRES DRC-APPROVED PLANS.

National Flood Hazard Layer FIRMette



VERTICAL & HORIZONTAL CONTROL:

Reference - ALTA / NSPS Land Survey of the subject property prepared by Steve Sandoval Professional Land Surveyor - New Mexico Registration No. 12351 (NAD 83, NAVD88)

Rotated to City of Albuquerque Survey Monuments 15_H18 and 11_H19 and pinned to a one-point opus static GPS solution performed on the subject property at North Latitude 35°06'33.96794" West Longitude 106°33'37.30036" N1495266.12 E1547596.14 SPC NM C Zone 3002 Orthometric Height of 5342.81 NAVD 1988.



Date	Description
05/04/21	1 Rev 5 - Revised per DRB Comments.
07/07/21	2 Rev 6 - Revised per DRC Comments.

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
NORTHWEST OF THE INTERSECTION OF
MENAU BOULEVARD N.E. & PENNSYLVANIA STREET N.E.
LOTS 3-6, BLOCK 8, BROAD ACRES SUBDIVISION
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



Design: RJM	Proj: 19,106
Draw: JMM	Dwg: 19-106.dwg
Check: RJM	Tab: C3.0-GP
Scale: 1" = 20'	

Date: 02.05.2021

Sheet:

GRADING & DRAINAGE PLAN

Sheet No.:

C-3.0

FOR INFORMATION ONLY

1. Build sidewalk culvert per COA STD DWG 2236.
2. Contact Storm Drain Maintenance at (505) 857-8033 to schedule a meeting prior to forming.
3. An excavation permit will be required before beginning any work within City Right-Of-Way.
4. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
5. Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" [or (505) 260-1990] for the location of existing utilities.
6. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
7. Backfill compaction shall be according to traffic/street use.
8. Maintenance of the facility shall be the responsibility of the owner of the property being served.
9. Work on arterial streets may be required on a 24-hour basis.
10. Contractor must contact Storm Drain Maintenance at (505) 857-8033 to schedule a construction inspection. For excavating and barricading inspections, contact Construction Coordination at (505) 924-3416.

Existing Lot Coverage - 87% impervious / 13% landscaping & gravel
Proposed Lot Coverage - 83% impervious / 17% landscaping

Methodology:
Albuquerque Development Process Manual
 Chapter 22, Section 2, Part A;
 "A simplified procedure for projects with sub-basins smaller than 40 acres has been developed based on initial abstraction / uniform infiltration precipitation losses and Rational Method procedures."

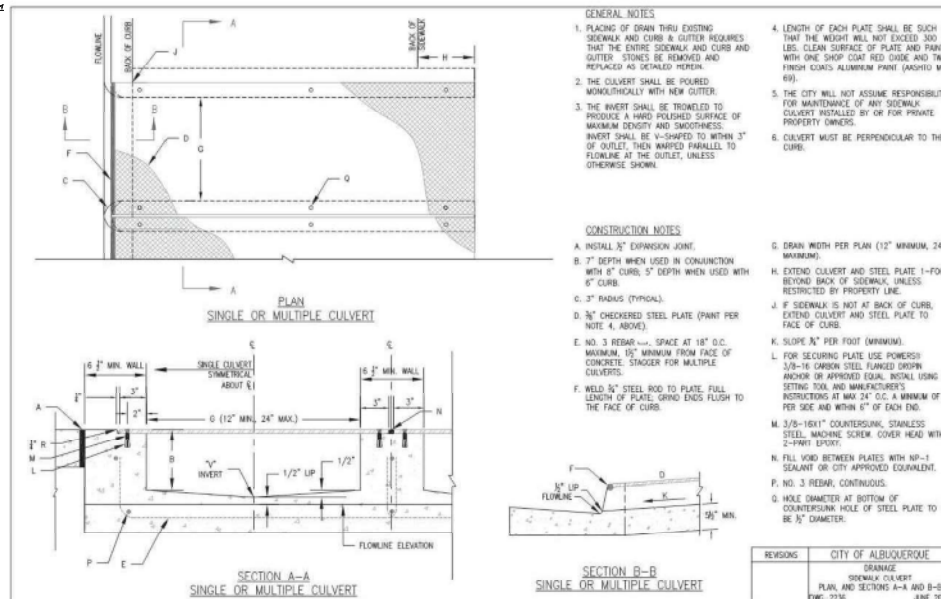
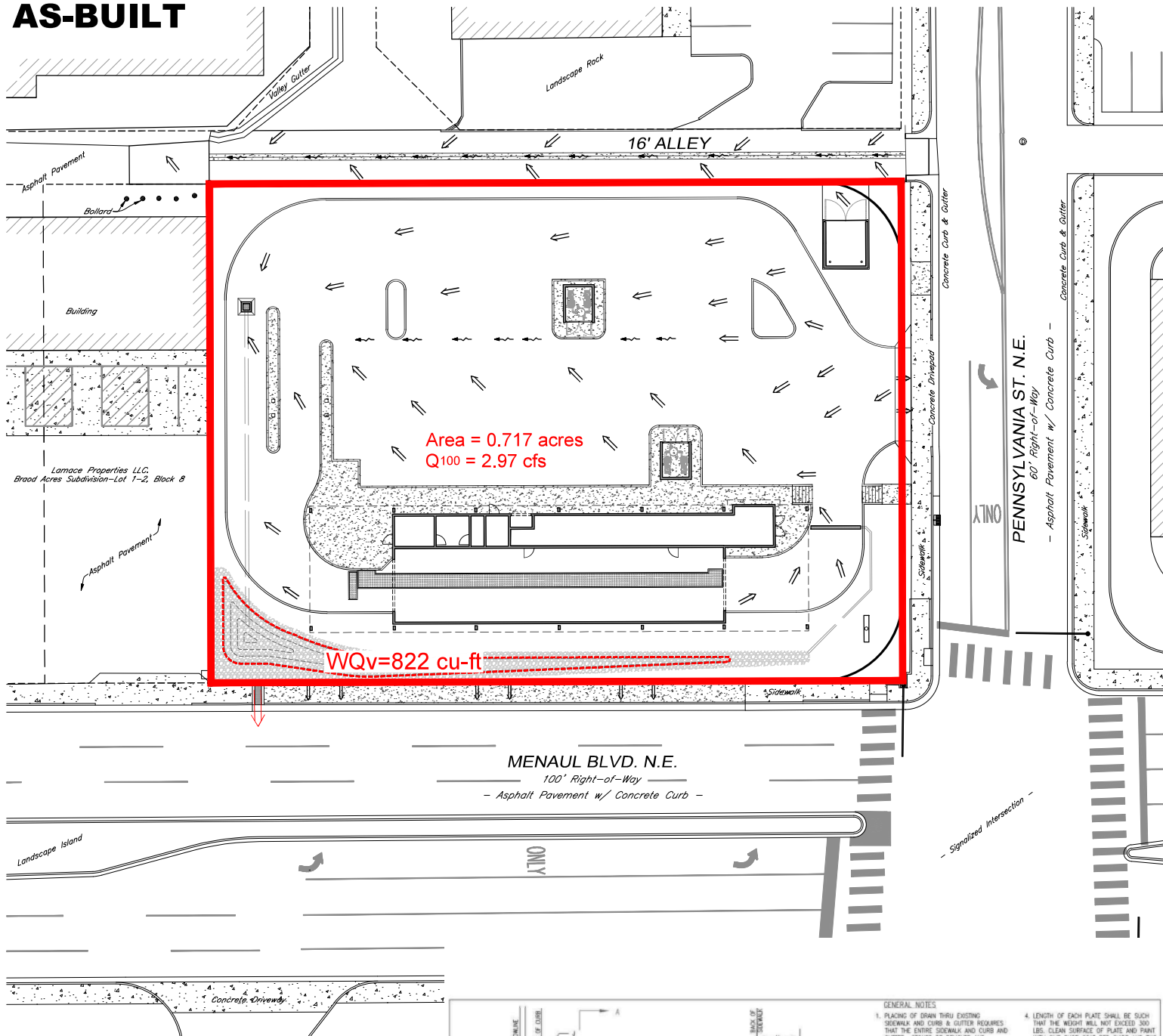
Precipitation Zone:
Precipitation Zone 3: "Between the San Mateo and Eubank"

Area = 0.717 acres
Treatment B (Desert Landscaping Area) - 17%
Treatment D (Impervious Area) - 83% = 0.595 acres
100-year peak Discharge Rate = 4.14 cfs/acre (Table A-9)
 $Q_{100} = 2.97$ cfs
WQv = 677 cu-ft (required)

Elevation (ft)	Contour Area (sq-ft)	Incremental Vol. (cu-ft)	Σ Volume (cu-ft)
5337	8	0	0
5338	46	27	27
5339	250	148	175
5340	791	521	696
5340.15	895	126	822 - overflow to R/W

Weir Equation; $Q = CxLxH^{3/2}$ where,
 Q = discharge (cfs)
 C = weir coefficient = 3.33
 L = length of weir (ft)
 H = head or depth (ft)

AS-BUILT



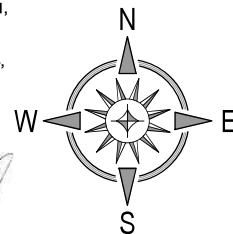
1. All spot elevations indicated in pavement areas are at bottom face of curb and/or finished pavement grade unless noted otherwise. All spot elevations indicated in grass or landscape areas are finished grade unless noted otherwise.
2. The Contractor shall be responsible for the removal and disposal of all vegetation and organic materials from the site that results from clearing & grubbing activities.
3. The Contractor shall be responsible for stripping and removal of all excess topsoil from the site. All topsoil that cannot be used on site shall be removed from the site at the Contractor's expense. The Contractor may dispose of excess topsoil by burying topsoil in landscape areas only at the direction of the Owner or the Owner's Representative.
4. The Contractor will be responsible for all safety requirements and for the protection of all existing and proposed utilities or structures during earthwork procedures.
5. The Contractor shall be responsible for the import of structural fill materials if suitable material is not available on site. The location and testing of suitable material shall be the Contractor's responsibility. The Contractor shall be responsible for the export and disposal of all excess or unsuitable materials.
6. The Contractor shall provide construction dewatering as necessary to complete construction as outlined in plans.
7. The Contractor shall exercise extreme care in establishing all grades and slopes in pavement areas, ramps and sidewalks in the vicinity of handicap parking and access areas and shall comply with Federal, State, and Local Codes.
8. In areas where sheet drainage flows from grass or landscape areas onto paved areas, the finished grade in grass or landscape areas shall be 1/2 inch above the top of curb or above the pavement in areas without curb. In areas where sheet drainage flows from pavement to grass or landscaped areas, the finished grade in grass or landscape areas shall be 1/2 inch below the pavement.
9. The Contractor shall provide positive drainage in all areas and away from all buildings.
10. All pavement shall be laid on a straight, even, and uniform grade with a minimum of 1:100 (1.0%) slope toward the collection points unless otherwise specified on plans. Cut or fill slopes in unpaved areas shall not exceed 3:1 (33.3%) maximum grade unless otherwise noted on plans.
11. ADA accessible areas shall not exceed the following slopes:
 - Ramps - 1:12 (8.3%) max.
 - Routes - 1:20 (5.0%) max.
 - Parking - 1:50 (2.0%) max.
 - Cross Slopes - 1:50 (2.0%) max.
12. The Contractor shall adjust tops/rids/grates of all cleanouts, manholes, inlets, valves, etc. to match final grade.
13. Following grading of subsoil to subgrade elevations, the Contractor shall provide 4" of topsoil (minimum) in all disturbed areas which are not to be paved. Final grades should be smoothly finished to surrounding areas and ensure positive drainage. Stockpiled topsoil shall be screened prior to respreading and should be free of subsoil, debris, and stones.
14. The Contractor shall be responsible for determining exact quantities of cut and/or fill for estimating and construction and should alert the Engineer of any excessive cut and/or fill, especially if additional cut and/or fill will be required due to poor existing soil conditions discovered during earthwork operations.
15. Refer to the Architectural and Structural Plans for information regarding any perimeter foundation drains.
16. The Contractor shall obtain a copy of the Geotechnical / Soils Report and become thoroughly familiar with site and subgrade information and fully implement recommendations given therein.

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 08/13/21
By: *Renee C. Bonaselli*
Title: *H19D091*

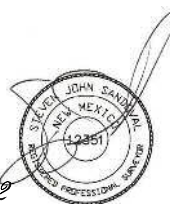
THE APPROVAL OF THESE PLANS/DRAWINGS SHALL NOT BE CONSIDERED AN ENDORSEMENT OF THE PROJECT OR THE DESIGNER'S USE OF ANY LAW, AND SHALL NOT PRESENT THE CITY OF ALBUQUERQUE AS A GUARANTEE OF THE ACCURACY, COMPLETENESS, OR CORRECTNESS OF INFORMATION IN PLANS, SPECIFICATIONS, OR CONTRACT DOCUMENTS. THE CITY OF ALBUQUERQUE SHALL NOT BE LIABLE FOR ANY DAMAGE OR ALTERATION WITHOUT ADEQUATE NOTICE.

AS BUILT CERTIFICATION
I, STEVEN JOHN SANDOVAL, NMPS 12351,
DO HEREBY CERTIFY THAT THE PLAN
DESIGN LOCATION OF IMPROVEMENTS
AND, WHERE APPLICABLE, ELEVATIONS,
ARE AS BUILT, WITH EXCEPTIONS OR
MODIFICATIONS NOTED, AND ARE TRUE
AND CORRECT TO THE BEST OF MY
KNOWLEDGE AND BELIEF.



GRAPHIC SCALE

1 inch = 20 ft.



June 14, 2022



Know what's below.
Call before you dig.

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
NORTHWEST OF THE INTERSECTION OF
MENAUL BOULEVARD N.E. & PENNSYLVANIA STREET N.E.
LOTS 3-6, BLOCK 8, BROAD ACRES SUBDIVISION
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



BURKHARDT
ENGINEERS • SURVEYORS

26 North Cherry Street | Germantown, Ohio 45737 | Phone: 817-338-0651 | BURKHARDTINC.COM

Design: RJM	Proj: 19_106
Draw: JMM	Dwg: 19-106.dwg
Check: RJM	Tab: C3.1-GP
Scale: 1" = 20'	
Date: 02.05.2021	
Sheet: GRADING & DRAINAGE NOTES AND DETAILS	
Sheet No.: C-3.1	

GENERAL DEMOLITION NOTES

1. Within the subject property, the intent is to have a clean, clear site, free of all existing items noted to be removed in order to allow for the construction of the new project.
2. All items noted to be removed shall be done as part of the contract for general construction.
3. Remove and dispose of any materials requiring removal from the work area in an approved off-site landfill.
4. The Contractor shall secure all permits for demolition and disposal of demolition material to be removed from the site. The Contractor shall post all bonds and pay all permit fees as required.
5. The Contractor shall cut and plug, or arrange for the appropriate utility company to cut and plug service piping at the property line or at the main (as required). All services may not be shown on this plan.
6. For all items noted to be removed, remove not only above ground elements, but all underground elements as well, including, but not necessarily limited to: foundations, slabs, gravel fills, tree roots, pipes, wires, unsuitable materials, etc.
7. The Contractor shall sawcut existing pavement to provide a clean edge between existing pavement to remain and existing pavement to be removed.
8. Limits of removal shown on demolition plan are approximate only. Actual quantities may vary due to construction activities. Contractor is responsible for all demolition, removal and restoration work necessary to allow for the construction of the new project.
9. Backfill excavations resulting from demolition work to meet the requirements for fill outlined in the Geotechnical / Soils Report.

12" WIDE SECTION OF ASPHALT PAVEMENT ADJACENT TO NEW CURB AND GUTTER SHALL BE SAWCUT, REMOVED, AND REPLACED AS PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS, PAVEMENT SECTION PER PAVING PLAN / SHEET 6 OR MATCH EXISTING SECTION, PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING No. 2407.

CONTRACTOR TO REFERENCE CITY OF ALBUQUERQUE STANDARD DETAILS FOR TEMPORARY TRAFFIC CONTROL.

EXISTING METERED SERVICE AND FIRE LINES THAT WILL NOT BE UTILIZED ARE TO BE REMOVED BY SHUTTING THE VALVE NEAR THE DISTRIBUTION MAIN AND CAPPING THE LINE NEAR THE VALVE. FOR FIRE LINES, THE VALVE ACCESS SHALL BE GROUTED AND COLLAR REMOVED. SEE UTILITY PLAN FOR METER TO BE REUSED. CONTACT ABCWUA TO COORDINATE WORK DONE TO WATER AND SEWER.

PERMITTING CONTACT INFORMATION:

PLANNING / ZONING / BUILDING
City of Albuquerque - Planning Department
Contact: David Campbell
Telephone: 505.924.3860
Email: dscampbell@cabq.gov

UTILITY CONTACT INFORMATION:

SANITARY SEWER / WATER
Albuquerque Bernalillo County Water Utility Authority
Contact: David Gutierrez
Telephone: 505.289.3307
Email: dggutierrez@abcwua.org

GAS
New Mexico Gas Company
Contact: Customer Service
Telephone: 505.697.3335

ELECTRIC
PNM (Public Service Company of New Mexico)
Contact: Michael Moyer
Telephone: 505.241.3697
Email: mmoyer@pnm.com

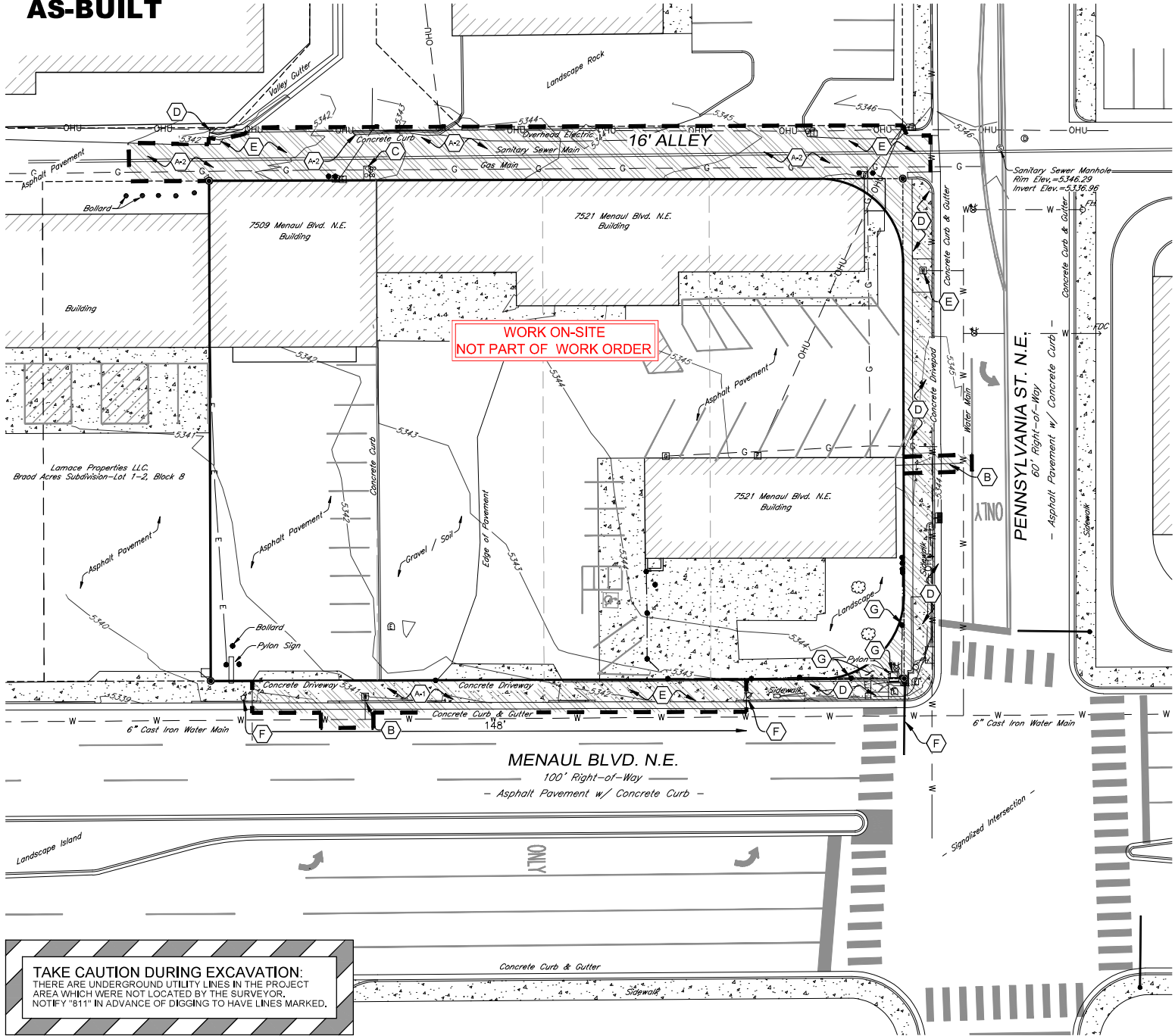
TELECOM
CenturyLink
Contact: Customer Service
Telephone: 865.465.2313

VERTICAL & HORIZONTAL CONTROL:

Reference - ALTA / NSPS Land Survey of the subject property prepared by Steve Sandoval Professional Land Surveyor - New Mexico Registration No. 12351 (NAD 83, NAVD88)

Rotated to City of Albuquerque Survey Monuments 15_H18 and 11_H19 and pinned to a one-point opus static GPS solution performed on the subject property at North Latitude 35°06'33.96794" West Longitude 106°33'37.30036" N1495266.12 E1547596.14 SPC NM C Zone 3002 Orthometric Height of 5342.81 NAVD 1988.

AS-BUILT



AS-BUILT

EXISTING CONDITIONS LEGEND

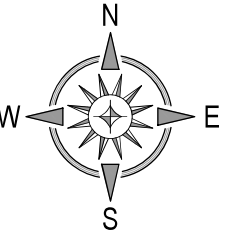
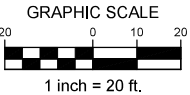
- | | |
|--|-------------------------|
| ● EX. PROPERTY MONUMENT | ⚡ EX. FIRE HYDRANT |
| ⊙ EX. UTILITY POLE | ⚙ EX. WATER VALVE |
| ⊕ EX. LIGHT POLE | ⊞ EX. WATER METER |
| Ⓜ EX. TELECOM PEDESTAL | ⊙ EX. SANITARY MANHOLE |
| Ⓜ EX. ELECTRIC STUB OUT | ∞ EX. SANITARY CLEANOUT |
| Ⓜ EX. ELECTRIC METER | ⊙ EX. STORM MANHOLE |
| ● EX. BOLLARD | Ⓜ EX. CURB INLET |
| ⊙ EX. TREE | Ⓜ EX. GAS METER |
| | Ⓜ EX. TRAFFIC LIGHT |
| — 0000 — EX. CONTOUR | |
| — W — W — EX. WATER MAIN | |
| — G — G — EX. GAS MAIN | |
| — E — E — EX. UNDERGROUND ELECTRIC | |
| — OHE — OHE — EX. OVERHEAD UTILITY LINES | |
| ▨ PROJECT AREA | |

STREET DEMOLITION KEYNOTES

- (A) PAVEMENT REMOVAL
- (A-1) REMOVE EXISTING DRIVE PAD, CURB & GUTTER AND SIDEWALK AS NEEDED FOR NEW DRIVE PAD, CURB & GUTTER, SIDEWALK AND SIDEWALK CULVERT. REMOVE CURB & GUTTER / SIDEWALK TO NEAREST JOINT AND SAWCUT PAVEMENT FOR CLEAN EDGE. SEE SHEET 6 FOR INSTALLATION DETAILS.
- (A-2) REMOVE EXISTING ASPHALT PAVEMENT, CONCRETE CURB, AND LANDSCAPE ROCK IN PUBLIC ALLEY FOR RE-BUILD WITH ALLEY GUTTER & NEW PAVEMENT. SAWCUT FOR CLEAN EDGE ALONG RIGHT-OF-WAY LINE. SEE SHEET 6 FOR INSTALLATION DETAILS.
- — — — — SAWCUT LINE
- (B) REMOVE WATER UTILITY SERVICE. COORDINATE WITH LOCAL UTILITY PROVIDER FOR VALVE SHUTOFF, CAPPING, ETC. REPAIR SIDEWALK, CURB & GUTTER, AND PAVEMENT PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING No. 2430, 2415, & 2465, RESPECTIVELY.
- (C) REMOVE SANITARY UTILITY SERVICE. COORDINATE WITH LOCAL UTILITY PROVIDER FOR VALVE SHUTOFF, CAPPING, ETC.
- (D) RETAIN AND PROTECT EXISTING CONCRETE SIDEWALK, ADA RAMPS, CURB AND GUTTER, AND VALLEY GUTTER.
- (E) RETAIN AND PROTECT UTILITIES IN PROJECT AREA. COORDINATE WITH LOCAL UTILITY PROVIDERS FOR REUSE OF WATER UTILITY SERVICE.
- (F) RETAIN AND PROTECT IN PLACE EXISTING SIGNAL MAST ARM AND EXISTING STREET LIGHT.
- (G) REMOVE PYLON SIGN, BOLLARDS, AND CONCRETE PAVEMENT.

AS BUILT CERTIFICATION
I, STEVEN JOHN SANDOVAL, NMP5 12351, DO HEREBY CERTIFY THAT THE PLAN DESIGN LOCATION OF IMPROVEMENTS AND, WHERE APPLICABLE, ELEVATIONS, ARE AS BUILT, WITH EXCEPTIONS OR MODIFICATIONS NOTED, AND ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

June 21, 2022



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION

CHAMPION XPRESS CAR WASH
EXISTING CONDITIONS & DEMO PLAN



City Project No. 679784

Zone Map No. H-19-Z

Sheet 5 Of 7



GENERAL SITE NOTES

- Building dimensions shown on the Civil Engineering Plans are for reference purposes only. The Contractor shall use the Architectural and Structural Plans for exact building dimensions.
- All site and radii dimensions are referenced to the face of curbs or edge of paving unless otherwise noted.
- All dimensions to the building are referenced to the outside face of the structure's facade.
- All sidewalks, curb and gutter, street paving, curb cuts, driveway approaches, handicap ramps, etc. constructed outside the property line in the right-of-way shall conform to all Local and/or State specifications and requirements.
- All proposed handicap ramps, parking areas, and accessible routes shall strictly comply with current Local, State, and Federal regulations, including but not necessarily limited to the ADA Accessibility Guidelines (ADAAG).
- All ADA accessible routes shall have detectable warnings installed as required by the ADAAG. Detectable warnings shall consist of raised truncated domes which contrast visually with the adjoining surfaces, either light-on-dark, or dark-on-light.
- Contractor shall sawcut existing pavement to provide a clean, straight joint where new pavement meets existing pavement and ensure positive drainage.
- All concrete pavement shall have joints in accordance with ACI 330R-08, Section 3.7 and Appendix C. Contraction joints shall be 1/4 of the slab thickness. Isolation joints shall be placed between pavement and foundations, inlets, and other fixed structures. Contraction joints shall be tooled finished and spaced as follows:
 - Curbing: 10'-0" (max) spacing.
 - Sidewalks: 5'-0" (max) spacing.
 - Vehicular Traffic Areas: 24 x Concrete Pavement Thickness (feet), 15'-0" (max) spacing.

City Departmental Approval Summary:

- Fire 1 Plan approved by Fire Marshall's Office on March 25, 2021.
- Traffic Control Plan approved by Engineering Department on March 10, 2021.
- Grading and Drainage Plan approved by Planning Department on March 26, 2021.
- Trash enclosure approved by Planning Department on March 10, 2021.

City of Albuquerque Standard Detail Drawings referenced in this plan set can be found at:
<http://www.cabq.gov/planning/development-review-services/design-review-construction-forms>

PERMITTING CONTACT INFORMATION:

PLANNING / ZONING / BUILDING
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Email: dscampbell@cabq.gov

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Email: dggutierrez@abcwua.org

GAS
New Mexico Gas Company
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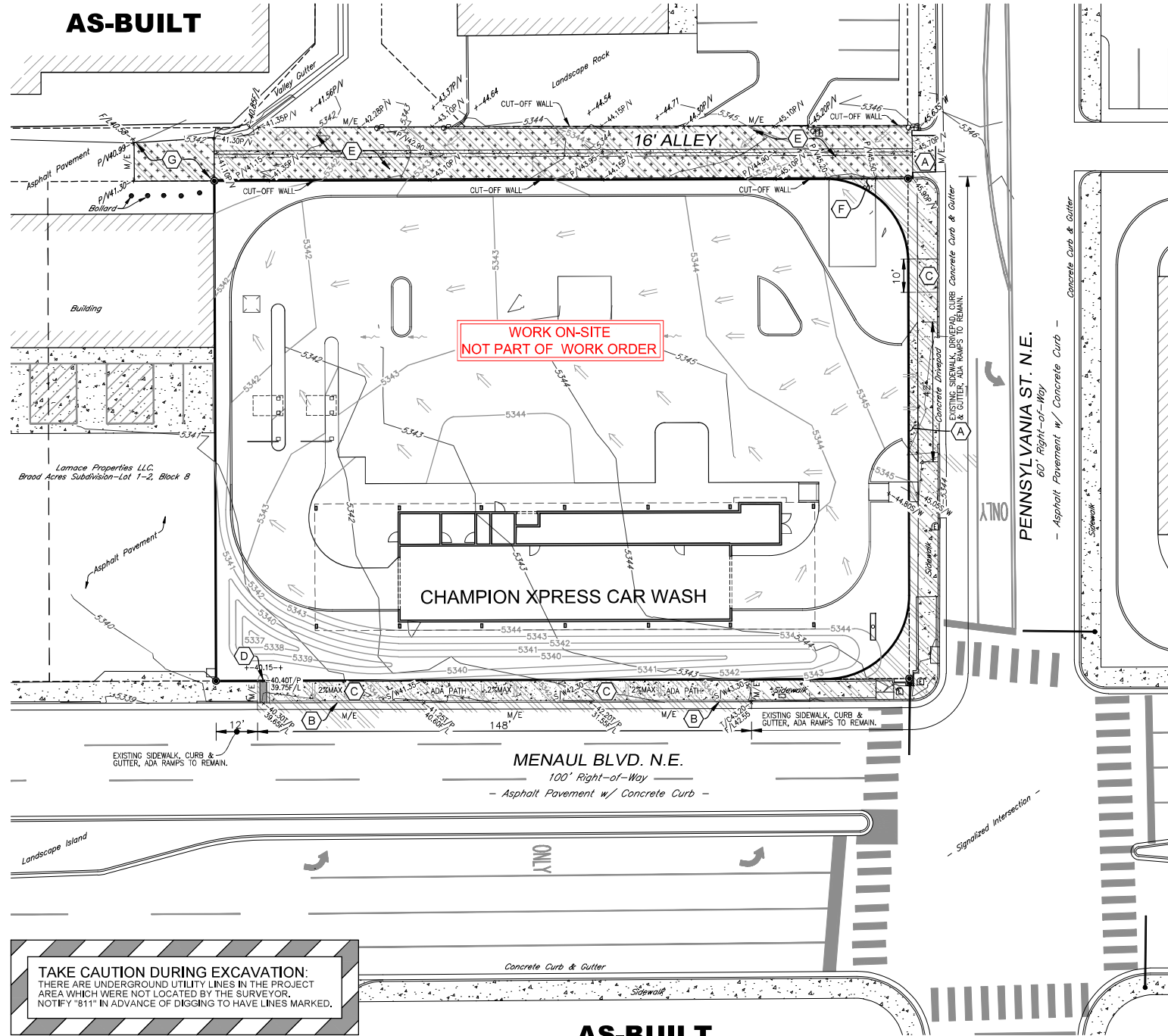
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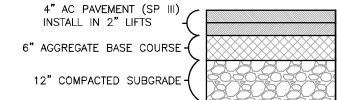
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AS-BUILT



TAKE CAUTION DURING EXCAVATION:
THERE ARE UNDERGROUND UTILITY LINES IN THE PROJECT AREA WHICH WERE NOT LOCATED BY THE SURVEYOR.
NOTIFY "811" IN ADVANCE OF DIGGING TO HAVE LINES MARKED.

AS-BUILT



INSTALL PAVEMENT PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING 2407, OR MATCH EXISTING PAVEMENT SECTION.
ASPHALT PAVEMENT TYPICAL SECTION
(FOR REFERENCE)
NOT TO SCALE

12\"/>

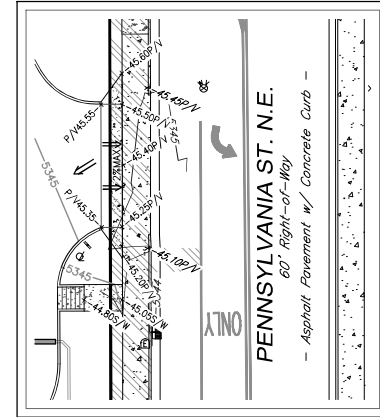
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PAVEMENT LEGEND

- CONCRETE PAVEMENT / SIDEWALK
- ASPHALT PAVEMENT
- PROJECT AREA

STREET IMPROVEMENT KEYNOTES

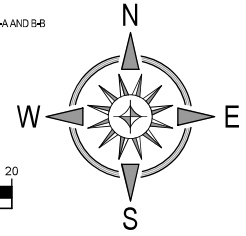
- (A) CITY DRIVEPAD WITH SIDEWALK AT PROPERTY LINE**
 - MAINTAIN EXISTING DRIVEPAD IN RIGHT-OF-WAY. INSTALL NEW SIDEWALK / DRIVEPAD PER CITY DETAILS.
 - PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING No. 2425A, 2425B, AND 2428
- (B) CITY STANDARD CURB & GUTTER**
 - PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING No. 2415
- (C) CITY CONCRETE SIDEWALK**
 - PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING No. 2430
- (D) 24\"/>**
- (E) CITY ASPHALT ALLEY WITH CONCRETE ALLEY GUTTER**
 - PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING No. 2411, 2415 & 2407
 - PAVEMENT PER TYPICAL SECTION / THIS SHEET.
- (F) CONCRETE DUMPSTER PAD & APRON**
 - PAD TO BE CONSTRUCTED OF MIN. 8 IN. THICK 4000 PSI CONCRETE REINFORCED WITH MIN. 6X6-10/10WWM @ 12 IN. O.C. IN EACH DIRECTION LOCATED IN THE UPPER THIRD OF SLAB.
 - PAD DIMENSIONS: 14' WIDE x 26' LONG
 - PROVIDE ONE (1) DUMPSTER.
 - SEE ARCHITECTURAL PLANS FOR TRASH ENCLOSURE DETAILS AND PIPE BOLLARD LAYOUT.
 - ALLEY SECTION PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING No. 2411
 - PROVIDE CUT-OFF WALL WHERE NEW ASPHALT ABUTS NON-PAVED SURFACE.
- (G) CITY ASPHALT ALLEY**
 - PER CITY OF ALBUQUERQUE STANDARD DETAIL DRAWING No. 2411 & 2407
 - WARP PAVEMENT TO PROVIDE POSITIVE DRAINAGE FROM ALLEY GUTTER TERMINUS.
 - PROVIDE CUT-OFF WALL WHERE NEW ASPHALT ABUTS NON-PAVED SURFACE.



GRADING @ DRIVEPAD

CITY OF ALBUQUERQUE STANDARD DETAILS INDEX

DWG. NO.	TITLE
2407	ART./ COLL. ST. SECTIONS WITHOUT MEDIAN
2411	COMMERCIAL AND RESIDENTIAL ALLEY SECTION
2415A	CURB AND GUTTER & CURB CUT DETAILS
2425A	DRIVEPADS
2425B	ISOMETRIC DRIVEPAD VIEWS
2430	SIDEWALK DETAILS
2236	SIDEWALK CULVERT PLAN, AND SECTIONS A-A AND B-B



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION

CHAMPION XPRESS CAR WASH PAVING PLAN

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of	
679784	H-19-Z	6	Of	7

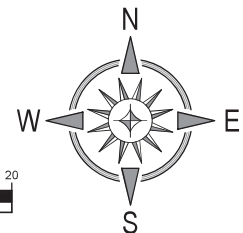





1. All work detailed on these plans to be performed under contract, except as otherwise stated or provided herein, shall be constructed in accordance with the City of Albuquerque Standard Specifications for Public Works Construction, 2020 Edition.
2. All utilities and utility service lines shall be installed prior to paving. Existing valves and manholes shall not be buried or paved over but rims shall be adjusted to match new grade per COA standard drawings 2461.
3. Manhole rims, fire hydrant elevations, and flange elevations shown are approximate. Contractor shall field verify and adjust to final pavement or surface grades.
4. All final backfill for trenches shall be compacted to a minimum of 95% maximum density per ASTM D-1557 and as directed by Standard Specifications Section 701.14.2 and Standard Drawing number 2465.
5. All fill shall be clean, free from vegetation, debris, and other deleterious materials, and shall not be contaminated with hydrocarbons or other chemical contaminants.



June 21, 2022

7/20/2021



 2' W
 2' W
 == SS ==
 — W —
 ⚙ EX. WATER VALVE
 ⚙ EX. FIRE HYDRANT
 ⚙ EX. WATER METER
 EX. RIGHT-OF-WAY & PROPERTY LINE
 EX. SANITARY SEWER
 — G — EX. GAS MAIN
 — W — EX. WATER MAIN
 — E — EX. UNDERGROUND ELECTRIC
 — OHU — EX. OVERHEAD UTILITY LINES
 PROJECT AREA

Sheet	7	Of	7
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PUBLIC SERVICE COMPANY OF NEW MEXICO
EASEMENT (ELECTRIC)

MT# P12056
A# 00005742
O# 003337

THIS EASEMENT made this _____ day of _____, 20_____ by and between

Shirley A. Kreider, Trustee of the Shirley A. Kreider Revocable Trust

(Grantor) and PUBLIC SERVICE COMPANY OF NEW MEXICO, a New Mexico corporation (Grantee), and its successors and assigns.

WITNESSETH:

Grantor, for and in consideration of the sum of One Dollar (\$1.00) in hand paid and other valuable consideration, the receipt of which is acknowledged, does hereby give, bargain, sell, grant and convey unto Grantee a perpetual easement to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain overhead and/or underground facilities for the transmission and distribution of electric power and energy and facilities for fiber optics and other communication purposes. Such facilities may include (but are not limited to) lines, cables, poles, guy wires, anchors, conduits and other equipment, fixtures, appurtenances and structures necessary to maintain such facilities on, over, beneath, through and across the easement hereinafter described, together with free access to, from and over said easement with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the easement to extend services to customers of Grantee and to trim and remove any trees, shrubs, bushes or vegetation and remove any structures which interfere with the purposes set forth herein. The easement granted herein is within lands situate in _____ Bernalillo _____ County, New Mexico, and is more particularly described as follows, to wit:

PNM MT# P12056

An easement within Lot 3B, Block 8 of Replat B, Block 8 Broad Acres Addition Subdivision, as the same is shown and designated on said Replat filed for record in the office of the County Clerk of Bernalillo County on August 6, 2021, in Plat Book 2021C, Page 87, situated in Section 7, T. 10 N, R. 4 E, N.M.P.M., conveyed in the Personal Representative Deed under Document # 2019059446 on July 17, 2019. Said easement is more particularly described as follows:

An Easement 10’ wide within said Lot 3B, Block 8 of Broad Acres Addition Subdivision as shown and described in the easement drawings by Larry Medrano N.M.P.S. #11993, Precision Surveys, Inc. dated 1/20/2022 attached hereto and made a part hereof as EXHIBIT “A” Sheets 1 and 2.

Grantor hereby covenants that Grantor is the true and lawful owner of the land described herein.

Grantor shall have the right to use the above described easement for purposes not inconsistent with the rights hereby granted, **provided** that Grantor shall not erect nor construct any building, pool or other structure thereon, nor drill nor operate any well thereon, nor conduct any activity which violates provisions of the National Electrical Safety Code.

The provisions hereof shall inure to the benefit of and bind the heirs, executors, mortgagees, lessees, tenants, successors and assigns of the parties hereto. Grantee shall have the unrestricted right to sell, transfer, assign, pledge, mortgage, lease, grant licenses or other use or occupancy rights with respect to, or otherwise dispose of, in whole or in part, any interest in the easement, and such assigns shall have the further right to convey, in whole or in part, the rights granted to them by Grantor.

WITNESS _____ hand _____ this _____ day of _____, 20_____

(SIGNATURE)

Shirley A. Kredier, Trustee

ACKNOWLEDGMENT FOR CORPORATION

STATE OF **New Mexico**

COUNTY OF **Bernalillo**

This instrument was acknowledged before me on

_____, 20_____.

By _____
(Name of Officer) (Title of Officer)

of _____,
(Corporation Acknowledgment)

a _____ corporation, on behalf of said corporation.
(State of Incorporation)

Said officer hereby acknowledges that s/he is the duly authorized signatory for said corporation.

My Commission Expires: _____
(Seal)

Notary Public

FOR RECORDER'S USE ONLY

PNM
REFERENCE
NUMBER

RECORDING STAMP

Location and Key Map-T. 10 N., R. 4 E.



Vicinity Map



OFFICE LOCATION:
9200 San Mateo Boulevard, NE
Albuquerque, NM 87113

505.856.5700 PHONE
505.856.7900 FAX

COORDINATE AND DIMENSION INFORMATION				PLSS INFORMATION				PROJECT INFORMATION		INDEXING INFORMATION	
STATE PLANE ZONE: NM-C	GRID / GROUND COORDINATES: GRID	TYPE: VRS		LAND GRANT n/a				C E W. EC : AB	DATE OF SURVEY 01/20/2022	PROPERTY OWNER VIA REAL ESTATE LLC (per WD 2021108186)	
HORIZONTAL DATUM: NAD83	VERTICAL DATUM: NAVD88		ROTATION ANGLE 0° 00' 00.00"	SECTION 7	TOWNSHIP 10 NORTH	RANGE 4 EAST	MERIDIAN NMPM	DRAWN BY: MT	CHECKED BY: LM	SUBDIVISION NAME BROAD ACRES SUBDIVISION	
CONTROL USED: NATIONAL GEODETIC SURVEY			BASE POINT N = 0 E = 0	CITY ALBUQUERQUE	COUNTY BERNALILLO	STATE NM		PS JOB NO. 228031EA	SHEET NUMBER 1 OF 2	UPC 101905925927920803	
COMBINED SCALE FACTOR: GRID TO GROUND: 1.0003415421 GROUND TO GRID: 0.9996585745		DISTANCE ANNOTATION: GROUND BEARING ANNOTATION: GRID									

Legal Description

A PNM EASEMENT LYING AND SITUATE WITHIN PROJECTED SECTION 7, TOWNSHIP 10 NORTH, RANGE 4 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING A PORTION OF LOT 3B AS THE SAME IS DESIGNATED ON REPLAT B, BLOCK 8, BROAD ACRES SUBDIVISION THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 6, 2021 IN BOOK 2021C, PAGE 0087, BEING THE WEST 10 FEET OF THE NORTH 35 FEET.

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS EXHIBIT FOR EASEMENT SURVEY WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY ON THE GROUND SURVEY PERFORMED BY ME OR UNDER MY DIRECTION SUPERVISION, AND THAT I AM RESPONSIBLE FOR THIS SURVEY, MEETING THE MINIMUM REQUIREMENTS FOR THIS CLASSIFICATION OF SURVEY EASEMENT AS PER THE MINIMUM STANDARDS FOR LAND SURVEYING IN NEW MEXICO AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



OFFICIAL SEAL
JONETTE M. MEDRANO
NOTARY-PUBLIC, STATE OF NEW MEXICO
MY COMMISSION EXPIRES 8-19-2024

Larry W. Medrano 02/15/2022
LARRY W. MEDRANO
N.M.P.S. No. 11993
DATE



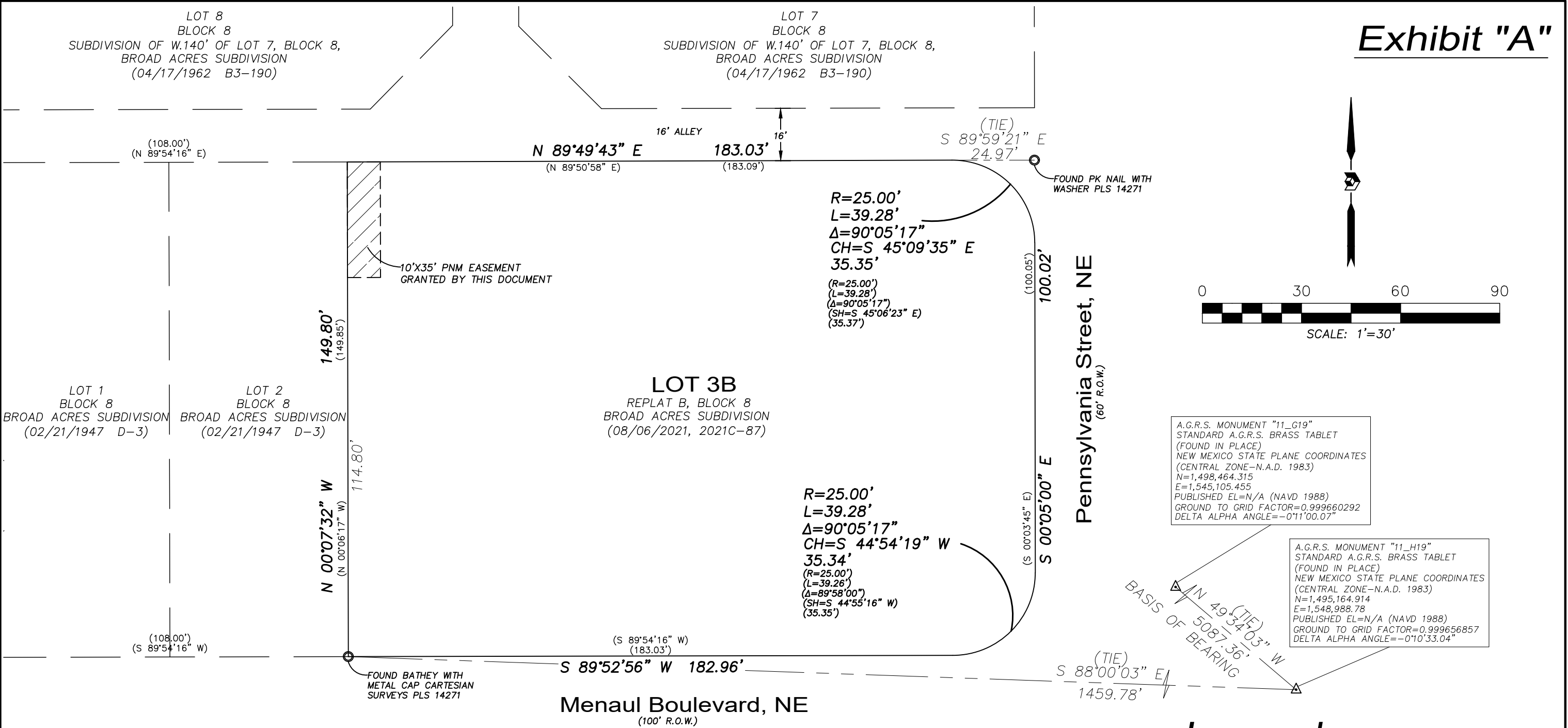
Acknowledgment

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 15th DAY OF February, 2022 BY LARRY W. MEDRANO, PRESIDENT, PRECISION SURVEYS, INC.

BY *Jonette M. Medrano* MY COMMISSION EXPIRES: 8-19-2024
NOTARY PUBLIC

Exhibit "A"



A.G.R.S. MONUMENT "11_G19"
STANDARD A.G.R.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,498,464.315
E=1,545,105.455
PUBLISHED EL=N/A (NAVD 1988)
GROUND TO GRID FACTOR=0.999660292
DELTA ALPHA ANGLE=-0°11'00.07"

A.G.R.S. MONUMENT "11_H19"
STANDARD A.G.R.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,495,164.914
E=1,548,988.78
PUBLISHED EL=N/A (NAVD 1988)
GROUND TO GRID FACTOR=0.999656857
DELTA ALPHA ANGLE=-0°10'33.04"

Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
△	FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED



OFFICE LOCATION:
9200 San Mateo Boulevard, NE
Albuquerque, NM 87113

505.856.5700 PHONE
505.856.7900 FAX

				505.856.5700 PHONE 505.856.7900 FAX				PNM PROJECT NO. MT #: P12056		PNM APPROVAL Cindy Spring									
COORDINATE AND DIMENSION INFORMATION				PLSS INFORMATION				PROJECT INFORMATION		INDEXING INFORMATION									
STATE PLANE ZONE: NM-C		GRID / GROUND COORDINATES: GRID		TYPE: VRS		LAND GRANT n/a				CREW/TECH: AB		DATE OF SURVEY 01/20/2022		PROPERTY OWNER VIA REAL ESTATE LLC (per WD 2021108186)					
HORIZONTAL DATUM: NAD83		VERTICAL DATUM: NAVD88		ROTATION ANGLE: 0° 00' 00.00"		SECTION 7		TOWNSHIP 10 NORTH		RANGE 4 EAST		MERIDIAN NMPM		DRAWN BY: MT		CHECKED BY: LM		SUBDIVISION NAME BROAD ACRES SUBDIVISION	
CONTROL USED: NATIONAL GEODETIC SURVEY				BASE POINT N = 0 E = 0		CITY ALBUQUERQUE		COUNTY BERNALILLO		STATE NM		PSI JOB NO. 228031EA		SHEET NUMBER 1 OF 2		UPC 101905925927920803			
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