

SCANNED BY  
MESA REPRO

*Construction Plans for Public Fireline:*

*Sheet 1 of 6*

Sheet 2 of 6

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*Sheet 6 of 6*

APPROVED AS RECORD DRAWINGS  
DESIGN REVIEW SECTION  
CITY CONSTRUCTION ENGINEER  
DATE: 3/9/05

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the 'as-built' information shown on these drawings was obtained from field construction and 'as-built' surveys performed under my supervision, that the 'as-built' information shown on these drawings is a true and correct representation of that and this 'as-built' information is true and correct to the best of my knowledge and belief." Aldrich Land Surveying is not responsible for any of the design concepts, calculations, or engineering.

Timothy Aldrich, P.S. No. 7719

12-06-02  
Date

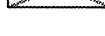
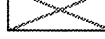
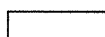

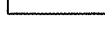

*The following notes apply when checked*

- ☒ 1. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITION OF CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. 1986 EDITION SHALL INCLUDE UPDATE NO. 6.
- ☒ 2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
- ☒ 3. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
- ☒ 4. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- ☒ 5. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION, ETC.).
- ☒ 6. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE TRAFFIC ENGINEERING DEPARTMENT PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ☒ 7. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- ☒ 8. FOR PURPOSES OF THIS PROJECT THE TERM ENGINEER SHALL REFER TO EITHER THE OWNER'S EMPLOYEE OR THE CONSTRUCTION OBSERVER RESPONSIBLE FOR CONSTRUCTION INSPECTION OF THE PROJECT.

- ☒ 9. FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM CONSTRUCTION COORDINATION DIVISION. THE CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- ☒ 10. THE WATER SYSTEMS DIVISION (857-8200) SHALL BE NOTIFIED FIVE (5) WORKING DAYS IN ADVANCE OF ANY WORK WHICH MAY AFFECT EXISTING PUBLIC WATER FACILITIES. THE CONTRACTOR SHALL ALSO COORDINATE FOR VALVE OPERATION FOR WATER SHUTOFF.
- ☒ 11. THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL SYSTEM, PHONE: 260-1990, TO LOCATE UNDERGROUND UTILITIES TWO (2) WORK DAYS PRIOR TO BEGINNING EXCAVATION.
- ☒ 12. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION SHALL BE COORDINATED WITH THAT UTILITY COMPANY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM REQUIRED WORK.
- ☒ 13. ALL EXISTING IMPROVEMENTS ARE TO REMAIN, UNLESS SPECIFICALLY NOTED TO BE REMOVED. CONTRACTOR SHALL REPAIR ANY CONTRACTOR-CAUSED DAMAGE, AS DETERMINED BY THE ENGINEER TO EXISTING IMPROVEMENTS TO THE SATISFACTION OF THE OWNER AT THE CONTRACTOR'S EXPENSE.
- ☒ 14. ALL REFERENCES TO COMPACTED BACKFILL OR COMPACTED SUB-GRADE SHALL MEAN SOIL COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557 UNLESS OTHERWISE NOTED.

15. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CHECK ALL DIMENSIONS, HORIZONTAL AND VERTICAL, AND SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CONFLICT CAN BE RESOLVED WITH THE MINIMUM AMOUNT OF DELAY.
16. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK, IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY OF ALBUQUERQUE SURVEY SECTION. WHEN A CHANGE IS MADE IN THE FINISH ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO NEW GRADE, UNLESS OTHERWISE SPECIFIED.
17. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- PAVING NOTES:
1. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED THIS PLAN.
2. ANY WORK AFFECTING AN ARTERIAL ROADWAY REQUIRES TWENTY-FOUR (24) HOUR CONSTRUCTION.
3. ALL PAVEMENT TO BE REMOVED SHALL BE SAW CUT, HAVE A UNIFORM EDGE AND BE SPRAYED WITH TACK

4. WHEN ABUTTING NEW CURB AND GUTTER TO EXISTING PAVEMENT, A 1'-WIDE SECTION OF EXISTING PAVEMENT ADJACENT TO THE CURB AND GUTTER SHALL BE NEATLY SAW CUT, REMOVED AND REPLACED.
5. PAVING AND ROADWAY GRADES SHALL BE  $\pm 0.05'$  FROM ELEVATIONS SHOWN ON PLANS.
- GRADING NOTES:
1. THE CONTRACTOR MUST CONFORM TO ALL COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS, PERMITS AND APPROVALS. THE COST FOR REQUIRED MEASURES SHALL BE INCIDENTAL TO THE PROJECT COSTS.
2. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO PREVENT WIND EROSION.
3. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE CONSTRUCTION OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- TRAFFIC CONTROL NOTE:
1. THE CONTRACTOR SHALL CONTACT TRAFFIC ENGINEERING OPERATIONS AT 857-8000 FOR REMOVAL AND REPLACEMENT OF TRAFFIC SIGNS.
- STORM DRAIN NOTE:
1. FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.

	ALL UTILITIES AND UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVING.
	BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
	TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
	SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
	IF CURB IS DEPRESSED FOR A DRIVE PAD, THE DRIVE PAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
	ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

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1100 ALVARADO DR. NE ALBUQUERQUE, N.M. 87110 - (505) 266-3444

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REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE			APPROVALS	ENGINEER	DATE	*****	
			DRC Chairman	<i>[Signature]</i>	8-21-02	APPROVED FOR CONSTRUCTION	
			Transportation	<i>[Signature]</i>	5/6/02		
			Water/Wastewater	<i>[Signature]</i>	5/16/2002		
			Hydrology	<i>[Signature]</i>	5-16-02		
			C.I.P.				
			Constr. Mngmt.				
			Constr. Coord.	<i>[Signature]</i>	8-21-02	City Engineer	DATE
			City Project No.			Sheet	Of
			<b>687481</b>			<b>1</b>	<b>6</b>



## GENERAL NOTES

**GENERAL NOTES**  
**LEGAL:** Lots G and H, Los Angeles Investors Tract 4, Albuquerque, New Mexico  
**SURVEYOR:** Aldrich Land Surveying - 505-884-1990  
**B.M.:** Benchmark: ACS Monument "12-C17" Elevation = 5107.95 MSLD  
**T.B.M.:** SAS Manhole Rim located in Washington Street adjacent to the site. Elevation = 5108.67 MSLD  
**OFF-SITE DRAINAGE:** No off-site drainage affects this property.  
**FLOOD HAZARD:** Per Bernalillo County FIRM Map #136 / 137 (see plan), the site is not located within a flood zone.  
**EROSION CONTROL:** The contractor is responsible for retaining on-site all sediment generated during construction by means of temporary earth berms or silt fences at the low points on the west and north property lines.

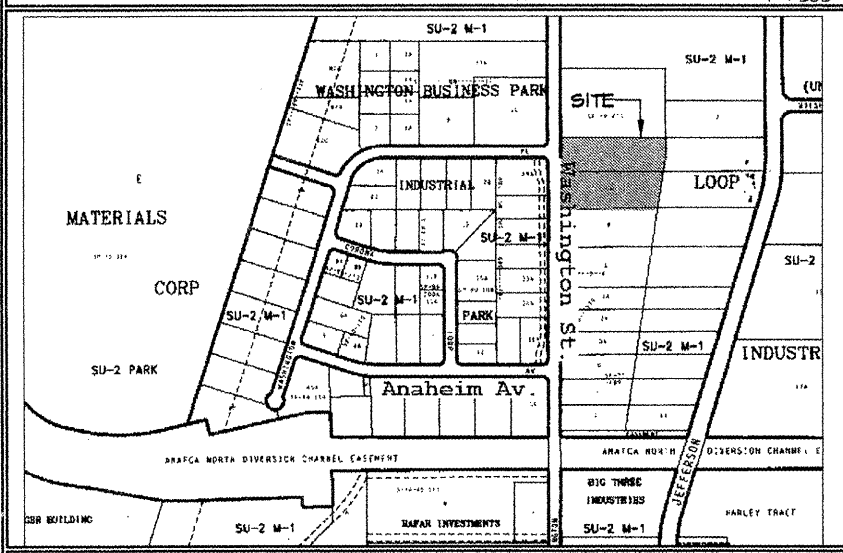
## KEYNOTES

1. CONSTRUCT SITE ENTRANCE PER C.O.A. STANDARDS. MATCH EXISTING FLOWLINE ELEVATIONS TO PROVIDE A SMOOTH RIDING TRANSITION. CONSTRUCT CONCRETE VALLEY GUTTER / HANDICAP RAMPS PER C.O.A. STD. DWS. 2426) MATCHING EXISTING TOP OF WALK / FLOWLINE ELEVATIONS. SEE ARCHITECTURAL FOR DIMENSIONS / DETAILS / DEMOLITION OF EXISTING CURBS.
2. PROPOSED ASPHALT PAVING. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION REGARDING PARKING LAYOUT, DIMENSIONS, STRIPING, ETC.
3. CONSTRUCT CONCRETE HEADER CURB PER C.O.A. STD. DWS. 2415 (TYPICAL). SEE ARCHITECTURAL FOR DETAIL.
4. CONSTRUCT PAVED PONDING AREA AT ELEVATIONS SHOWN TO CAPTURE SITE / ROOF FLOWS. POND DIMENSIONS (LENGTH, WIDTH AND DEPTH) AND ELEVATIONS TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES. SEE DIMENSIONED DETAIL THIS SHEET.
5. CONSTRUCT 2" WIDE ALLEY GUTTER PER C.O.A. STD. DWS. 2415 AT FLOWLINE ELEVATIONS SHOWN TO DIRECT CAPTURED FLOW TO PROPOSED STORM DRAIN INLET. SLOPE = 0.0040'.
6. CONSTRUCT 2'X2' STORM INLET WITH NEENAH R-5588-L GRATE PER C.O.A. STD. DWS. 2206 (54").
7. INSTALL 232 LF 15" PVC STORM DRAIN AT INVERT ELEVATIONS SHOWN.
8. INSTALL 44 LF 18" PVC STORM DRAIN AT INVERT ELEVATIONS SHOWN.
9. INSTALL 56 LF 12" PVC STORM DRAIN AT INVERT ELEVATIONS SHOWN.
10. PAVING HIGH POINT THIS AREA.
11. CONSTRUCT TURNED DOWN CONCRETE WALK THIS AREA. TOP OF WALK IS 6" ABOVE TOP OF ADJACENT PAVEMENT (TYPICAL). SEE ARCHITECTURAL FOR RAMP LOCATIONS / DIMENSIONS AND ADDITIONAL INFORMATION.
12. WEST ROOF FLOWS TO BE RELEASED THROUGH 1" WIDE SIDEWALK CULVERT (PER C.O.A. STD. DTL. 2236) TO PAVEMENT. SEE ARCHITECTURAL FOR SPECIFIC CUTFALL POINTS.
13. EAST ROOF FLOWS TO BE RELEASED TO REAR PONDING AREA. SEE ARCHITECTURAL FOR SPECIFIC CUTFALL POINTS.
14. TOP OF POND WALL FLUSH WITH TOP OF ASPHALT PAVEMENT TO ALLOW SHEETFLOW TO PASS. SEAL JOINTS WITH URETHANE SEALANT (SONOLASTIC NP-1 O.A.E.)
15. CONSTRUCT RETAINING WALL THIS AREA TO ACHIEVE GRADE DIFFERENCES SHOWN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION (DESIGN BY OTHERS).
16. MINOR GRADING ON ADJACENT PROPERTY (SAME OWNER) TO ACHIEVE GRADES SHOWN.
17. CONSTRUCT DOCK AREA AT GRADES SHOWN. INSTALL SUMP PIT WITH HYDROMATIC SK100-M2 1 HP SUBMERSIBLE PUMP (O.A.E.) TO DRAIN. INSTALL 2" SCHEDULE 40 PVC DISCHARGE LINE FROM SUMP PUMP THROUGH DOCK WALL TO ADJACENT PAVING. INVERT ELEVATION SHOWN. PROVIDE WATER TIGHT GROUT SEAL. SEE ARCHITECTURAL FOR PIT / ELECTRICAL DETAILS.
18. CONSTRUCT PONDING AREA WITH CONCRETE PERIMETER WALLS AT ELEVATIONS SHOWN TO CAPTURE SITE FLOWS. POND DIMENSIONS (LENGTH, WIDTH AND DEPTH) AND ELEVATIONS TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES. SEE DIMENSIONED DETAIL THIS SHEET.
19. CONSTRUCT ONE 24" WIDE COVERED SIDEWALK CULVERT PER C.O.A. STD. DWS. 2236 TO RELEASE POND FLOWS (AT A CONTROLLED DISCHARGE RATE) TO WASHINGTON STREET. PROVIDE 24" WIDE X 8" HIGH OPENING IN POND WALL TO MATCH SIDEWALK CULVERT. DIMENSIONS AND ELEVATIONS TO BE ADHERED TO FOR CERTIFICATION PURPOSES.
20. STEP TOP OF POND WALL TO ELEVATION 04.0 TO CREATE A 14" WIDE POND SPILLWAY ALONG EAST SIDE OF POND. SEE DETAIL FOR ADDITIONAL INFORMATION.
21. RELOCATE / REMOVE EXISTING WATER METER BOXES AS REQUIRED TO AVOID CURB RAMP.
22. ADJUST POND WALL AS REQUIRED TO AVOID CONFLICTS WITH EXISTING WATER METER BOX THIS AREA.

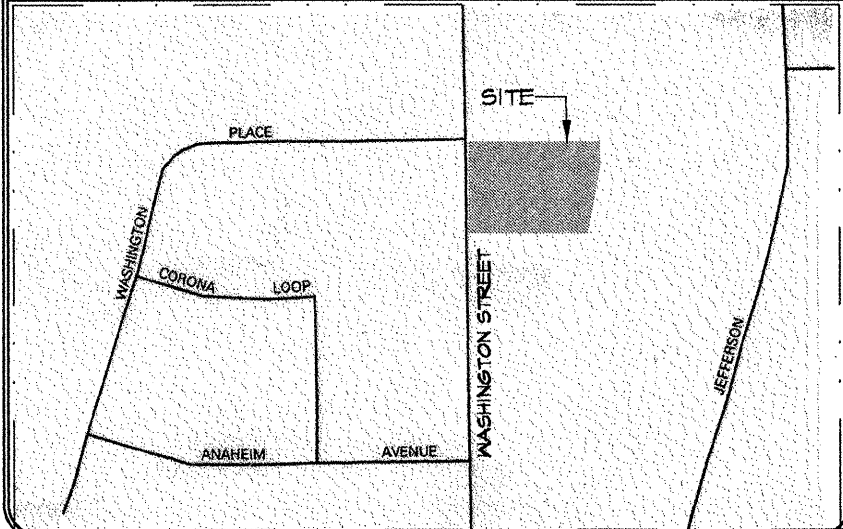
## MECHENBIER OFFICE/WAREHOUSE

Washington Street  
Albuquerque, New Mexico

## VICINITY MAP #C-17



## FIRM MAP #136



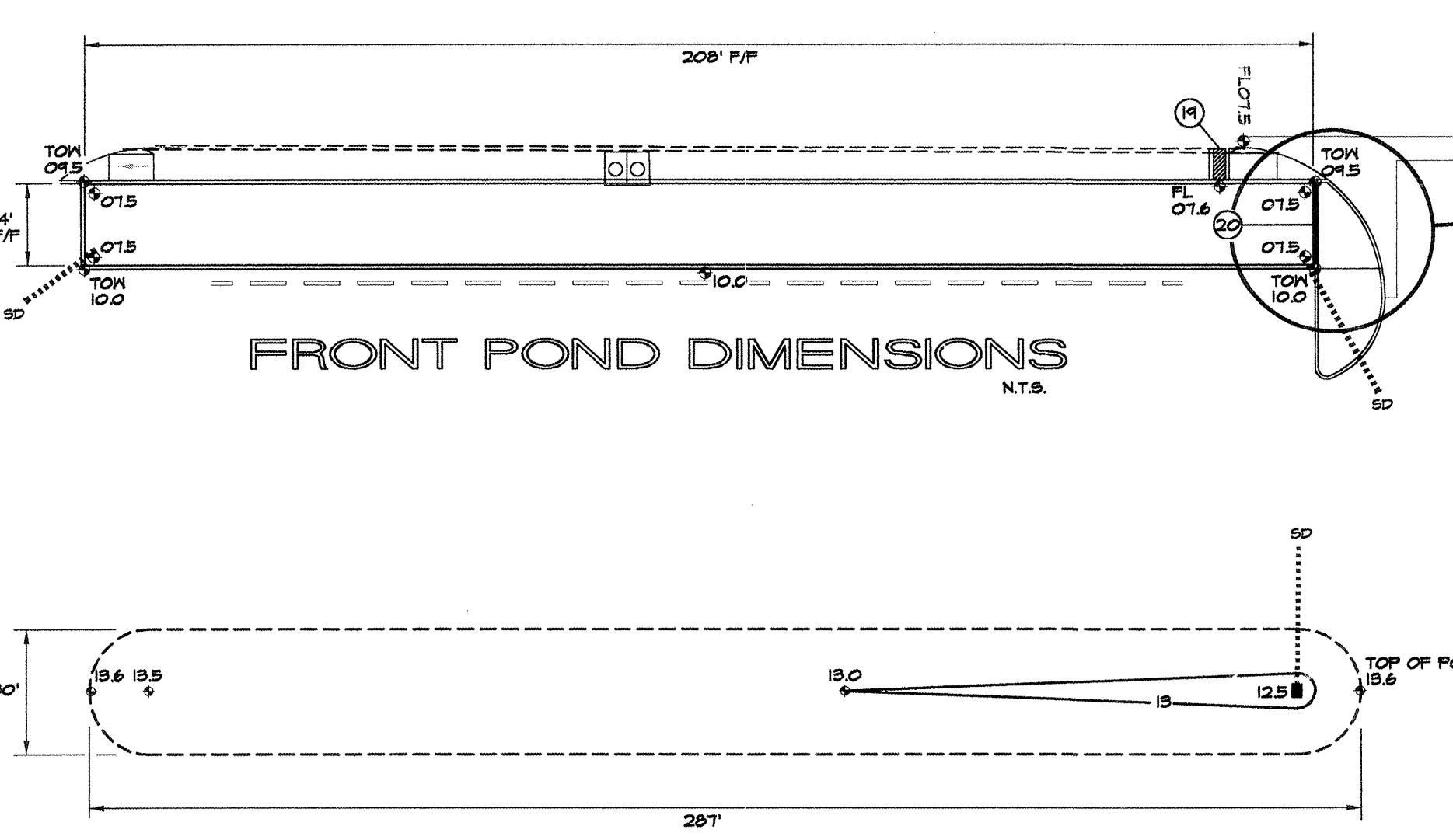
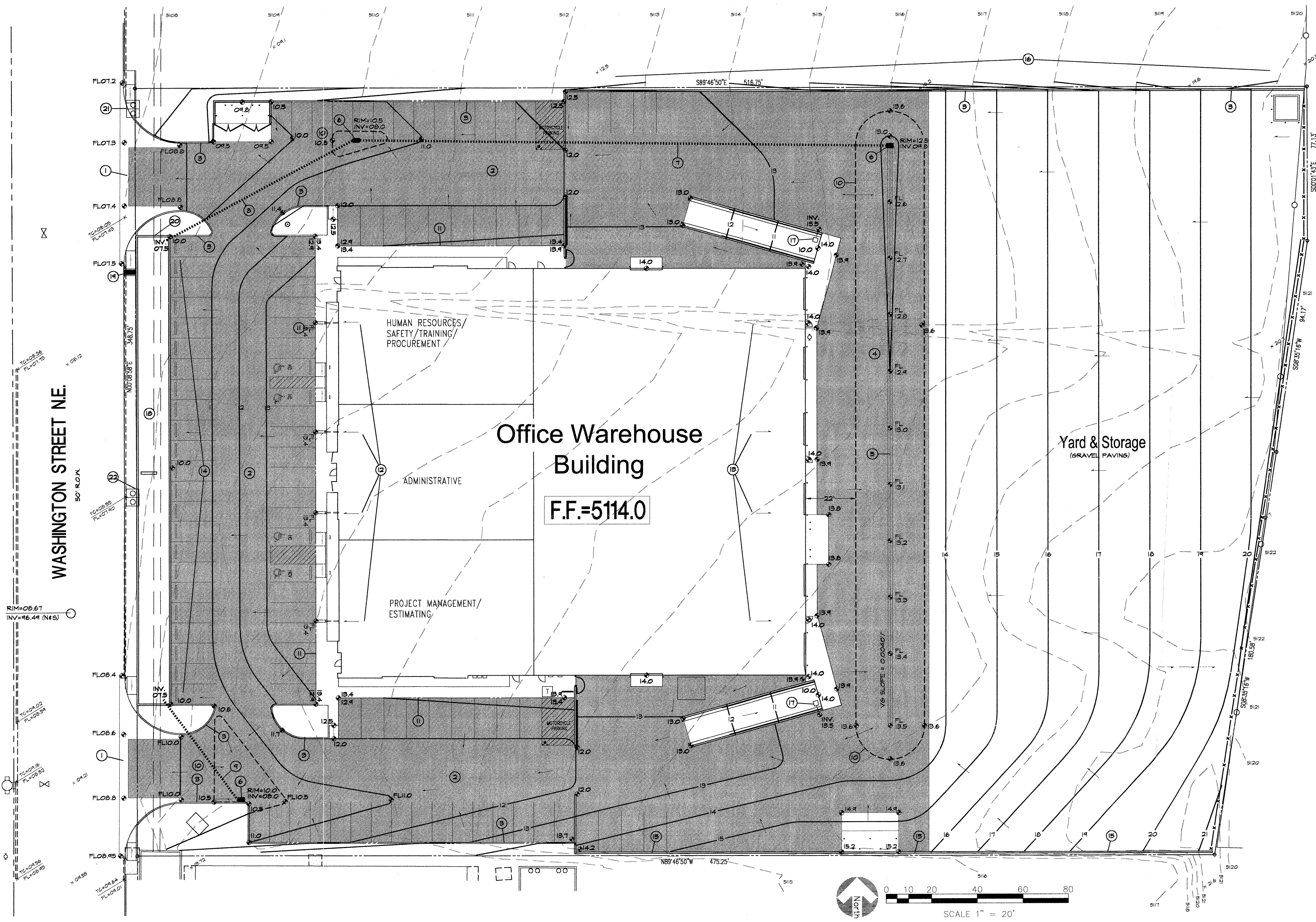
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drawn by **BJB**  
reviewed by **CLW**  
date **02/07/02**  
project no. **01068**  
drawing name

Drainage and  
Grading Plan

sheet no.

**C001**



## Drainage Facilities within City Right-of-way notice to contractor

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAIL ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1254, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITHIN A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO COLLECTOR STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. CONTRACTOR IS RESPONSIBLE FOR OBTAINING EXCAVATION PERMIT FOR SIDEWALK CULVERT/DRAIN.
8. PROOF OF ACCEPTANCE WILL BE REQUIRED PRIOR TO SIGN OFF FOR CERTIFICATE OF OCCUPANCY (C.O.).

INSPECTION APPROVAL: \_\_\_\_\_  
CONSTRUCTION SECTION \_\_\_\_\_  
DATE \_\_\_\_\_

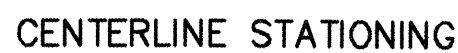
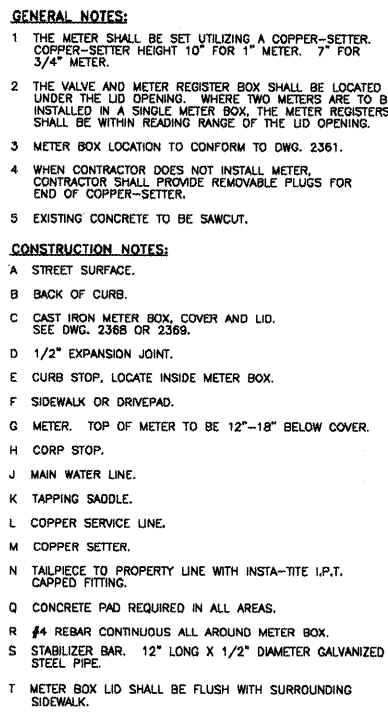
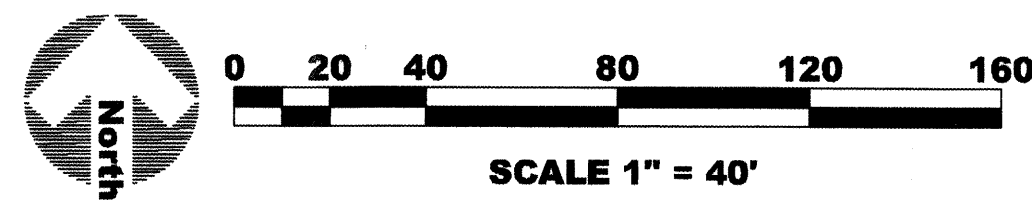
## C.L. WEISS ENGINEERING, INC.

POST OFFICE BOX 41 SANDIA PARK, N.M. 87041 (505) 281-1800  
100 ALVARADO DR. NE ALBUQUERQUE, N.M. 87110 (505) 266-5444

## LEGEND


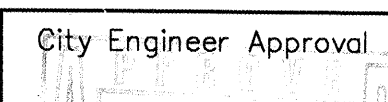
---	SIDEWALK, CURB AND GUTTER (EXISTING, PROPOSED)
---	PROPOSED PAVED DRIVE
---	BUILDING (EXISTING, PROPOSED)
---	PROPERTY LINE
---	EXISTING SPOT ELEVATION
---	EXISTING CONTOUR
---	PROPOSED SPOT ELEVATION
---	PROPOSED CONTOUR
---	SURFACE FLOW DIRECTION (EXISTING, PROPOSED, ROOF)
SD	STORM DRAIN
TOP	TOP OF POND
TOM	TOP OF WALL
TC	TOP OF CURB
FL	FLOW LINE
FF	FINISHED FLOOR
ROW	RIGHT OF WAY
PS	POND SPILLWAY ELEVATION
PP	POWER POLE



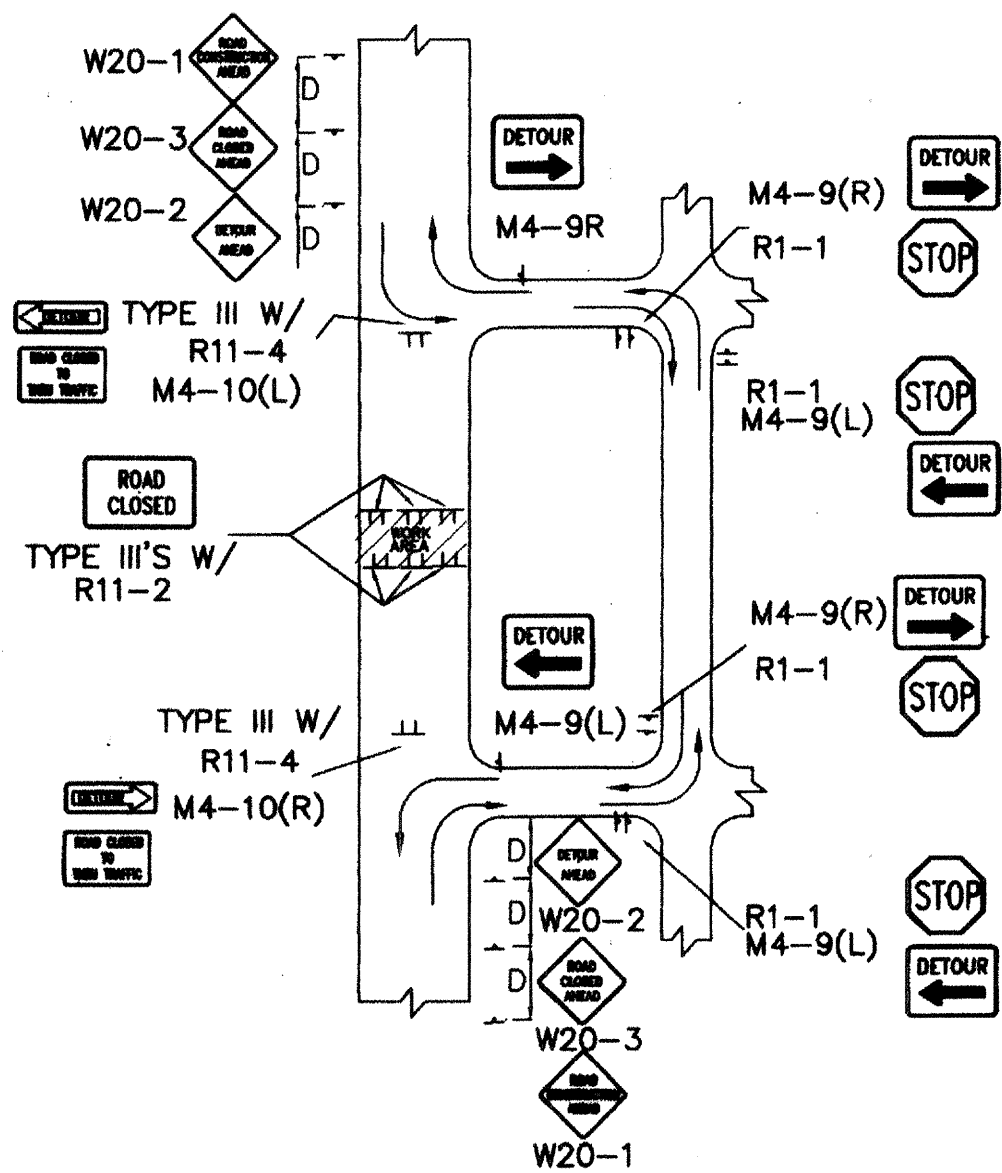
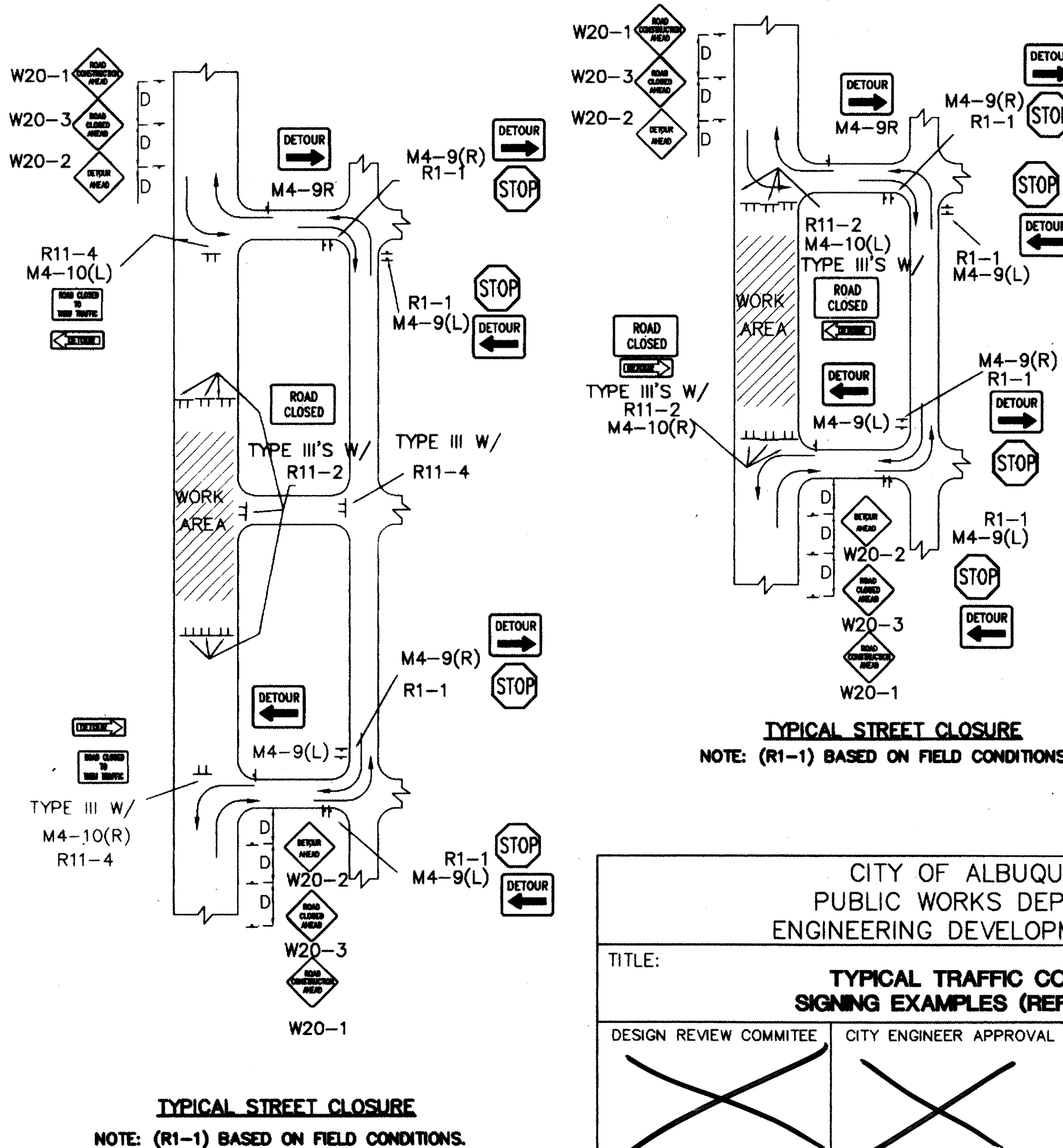
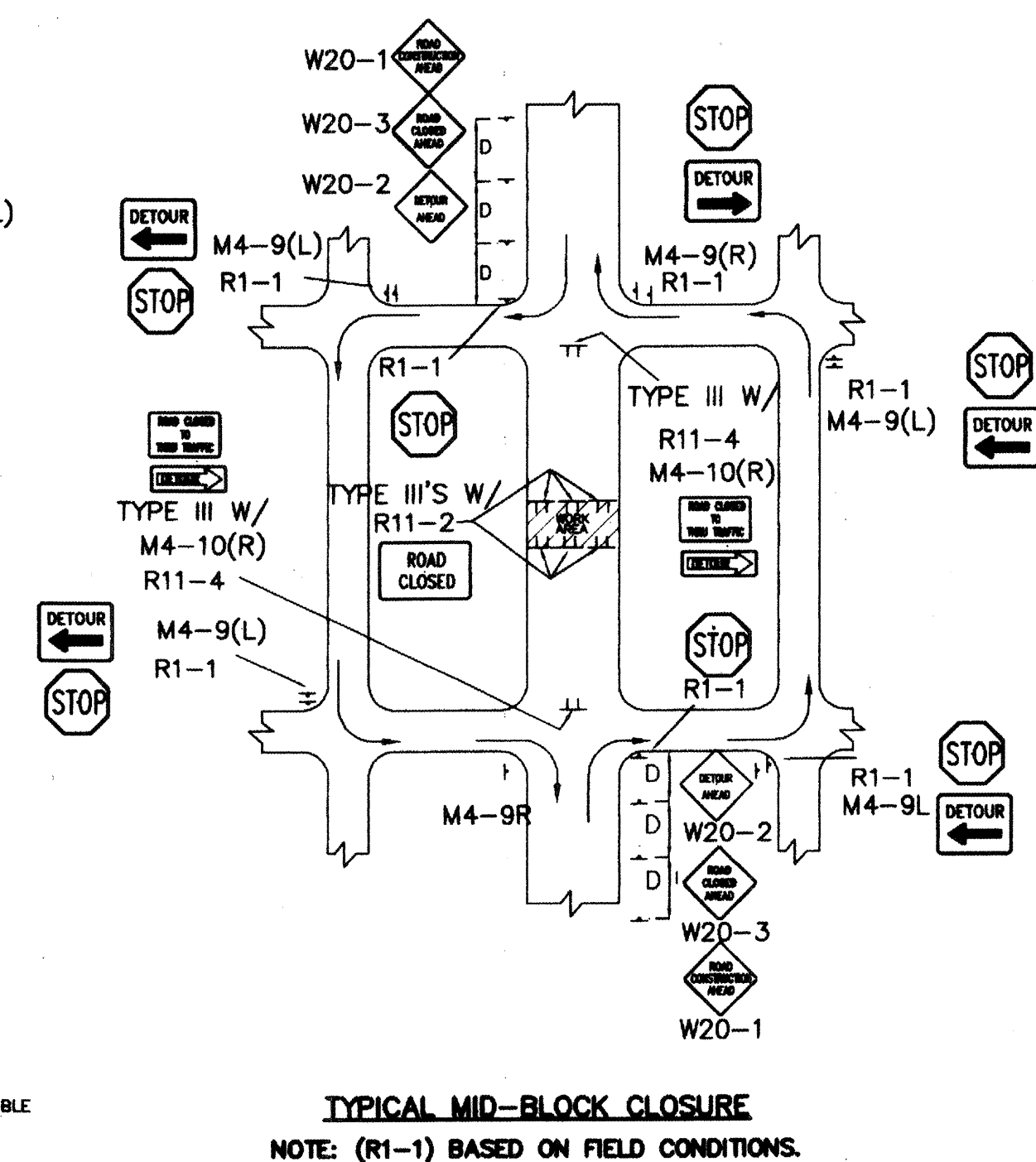
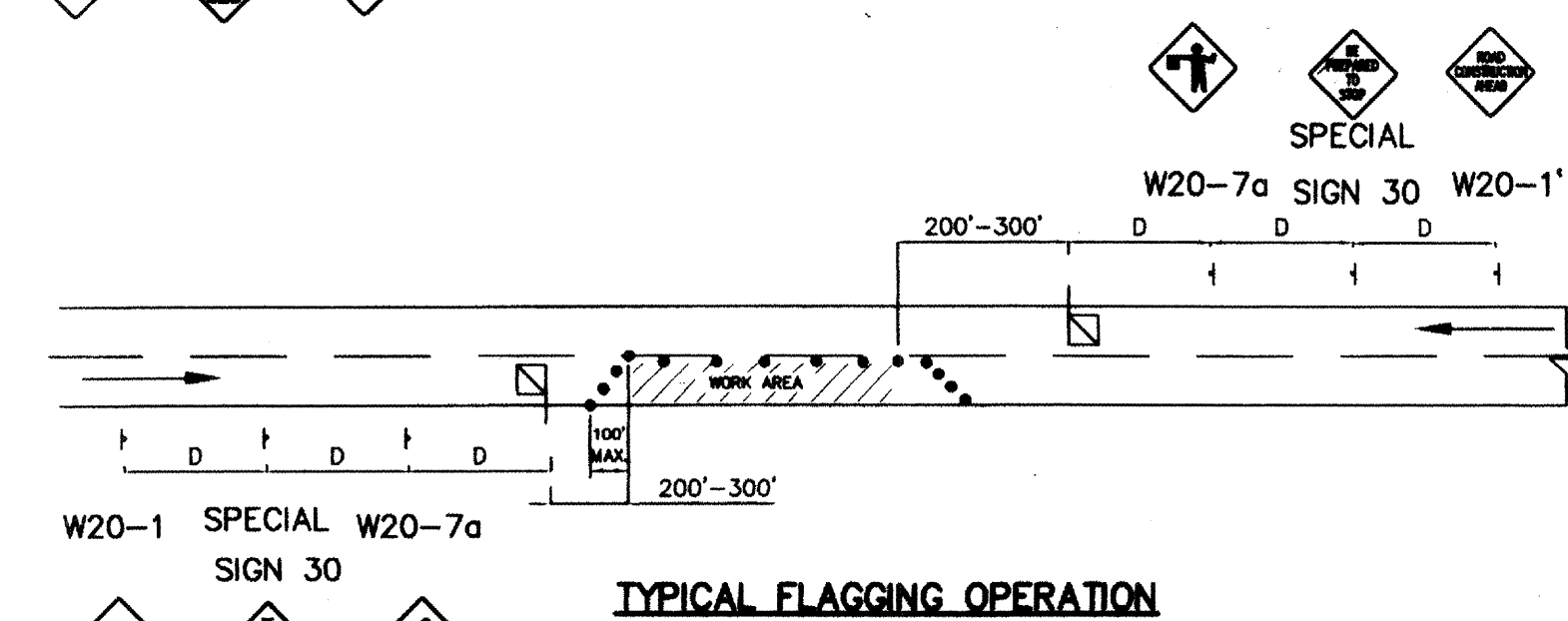
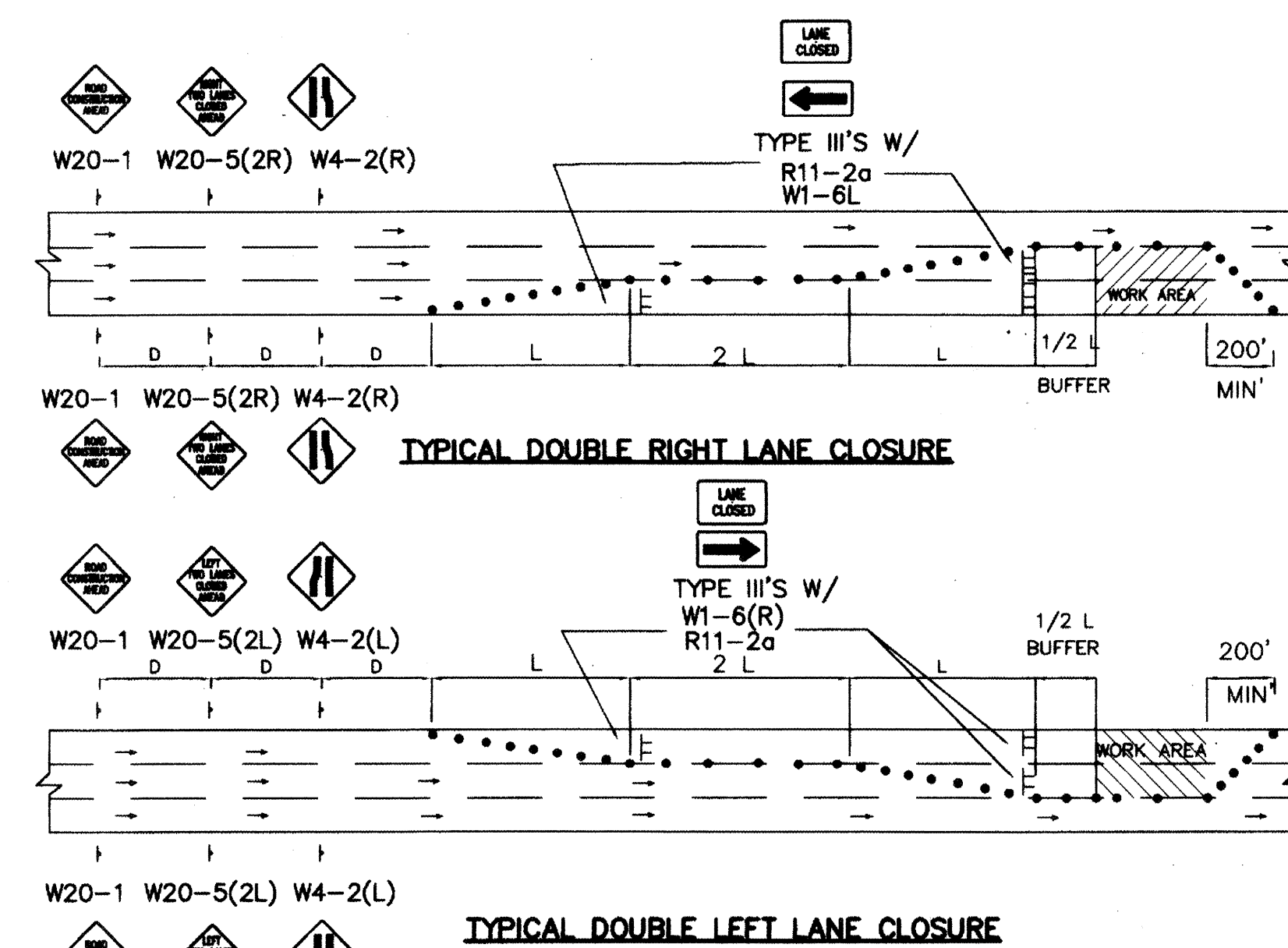
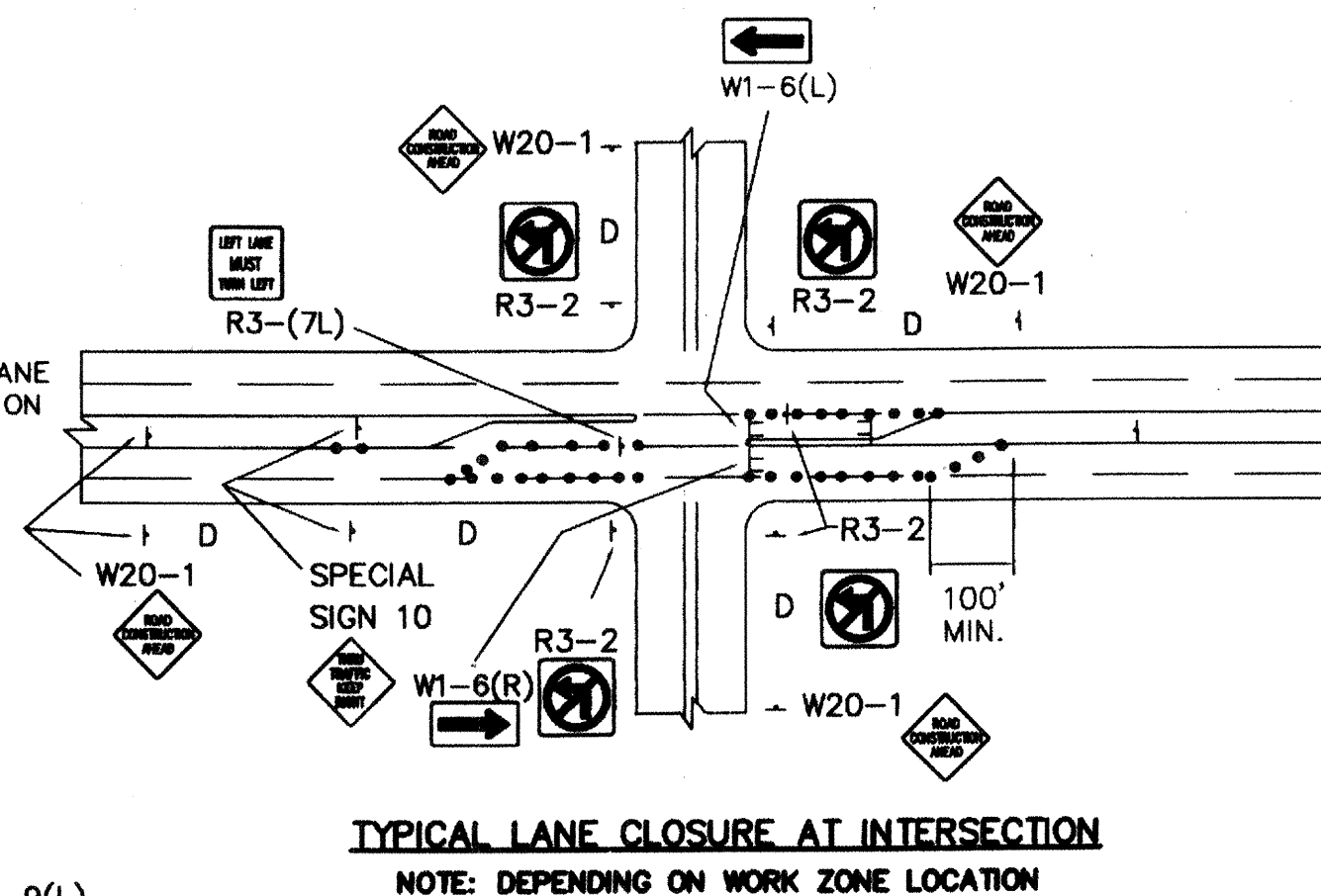
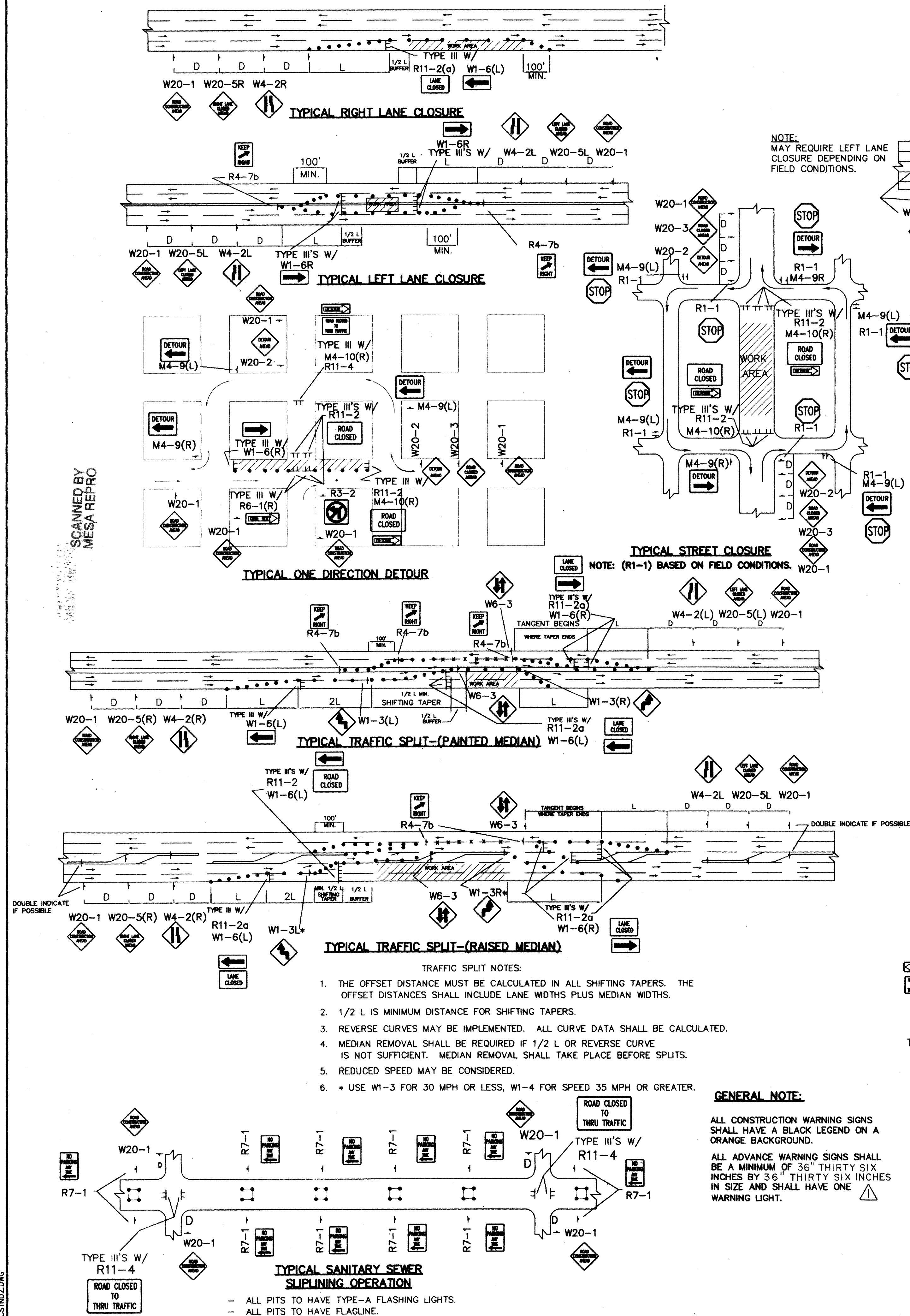


ASTM SOIL CLASSIFICATION SM (SAND/SILT MIXTURE)  
AWWA TRENCH TYPE 5  
DEPTH OF BURY 3' TO TOP OF PIPE  
WORKING PRESSURE 100 PSI  
TEST PRESSURE 150 PSI  
FACTOR OF SAFETY = 1.5 TO 1

CLOSE COA VALVES 294, 541 AND 741

		Last Design Update <table border="1"> <tr> <th>Month / Day / Year</th> <th>Month / Day / Year</th> </tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>	Month / Day / Year	Month / Day / Year								
Month / Day / Year	Month / Day / Year											
City Project No. <b>687481</b>	Zone Map No. <b>C-17</b>	Sheet <b>4</b> Of <b>6</b>										



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26-168 74-8 1-20 112

SCANNED BY  
PLANNING

FIRE  
MARSHALL  
APPROVAL

PROPOSED STUB FOR  
FUTURE DEVELOPMENT

PROPOSED FH  
WITH BARRICADES

20' PUBLIC WATERLINE EASEMENT  
TO BE GRANTED BY  
PAPER EASEMENT.

Yard & Storage

16"x8"  
TAPPING  
SLEEVE  
WET CONNECTION

8" VALVE

SERVICE LINE

METER  
SIZE AND LOCATION

PROPOSED 8" FIRELINE

SPRINKLER LINE CONNECTION  
SIZE AND LOCATION

HUMAN RESOURCES/  
SAFETY/TRAINING/  
PROCUREMENT

ADMINISTRATIVE

PROJECT MANAGEMENT/  
ESTIMATING

EXISTING FIRE HYDRANT - 300' RADIUS

EXISTING FIRE HYDRANT - 300' RADIUS

PROPOSED FIRE HYDRANT - 300' RADIUS

RM=08.67  
INV=96.49 (NMS)

N89°48'50"W 475.25'

S00°01'43"E 771.13'

S08°35'16"W 94.17'

S8°18'18"E 180.18'