Mechenbier Office / Warehouse

LOTS H AND I, LOS ANGELES INVESTORS TRACT 4, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

Construction Plans for Public Fireline:

Title Sheet *Plat* Drainage / Grading Plan Water Improvements Plan and Profile Traffic (1 of 2) Traffic (2 of 2)

Sheet 1 of 6 Sheet 2 of 6 Sheet 3 of 6 Sheet 4 of 6 Sheet 5 of 6 Sheet 6 of 6



1 2 3 4 5 6 7 8 9 10 11 12 13 14 1

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the 'as-built' information shown on these drawings was obtained from field construction and 'as-built' surveys performed by me or under my supervision, that the 'as-built' information shown on these drawings was added by me or under my supervision, and that this 'as-built' information is true and correct to the best of my knowledge and belief." Aldrich Land Surveying is not responsible for any of the design concepts, calculations, engineering, or intent of the record drawings.



Notice to Contractor The following notes apply when checked

GENERAL NOTES:

- 1. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITION OF CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. 1986 EDITION SHALL INCLUDE UPDATE NO. 6.
- 🔀 2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
- 3. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
- ▼ 4. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OB— STRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- 5. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION, ETC.).
- É ☑ 6. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE TRAFFIC ENGINEERING DEPARTMENT PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ズ 7. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- 8. FOR PURPOSES OF THIS PROJECT THE TERM ENGINEER SHALL REFER TO EITHER THE OWNER'S EMPLOYEE OR THE CONSTRUCTION OBSERVER RESPONSIBLE FOR CONSTRUCTION INSPECTION OF THE PROJECT.

- 9. FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM CONSTRUCTION COORDINATION DIVISION. THE CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- 10. THE WATER SYSTEMS DIVISION (857-8200) SHALL BE NOTIFIED FIVE (5) WORKING DAYS IN ADVANCE OF ANY WORK WHICH MAY AFFECT EXISTING PUBLIC WATER FACILITIES. THE CONTRACTOR SHALL ALSO COORDINATE FOR VALVE OPERATION FOR WATER SHUTOFF.
- 11. THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL SYSTEM. PHONE: 260-1990, TO LOCATE UNDERGROUND UTILITIES TWO (2) WORK DAYS PRIOR TO BEGINNING EXCAVATION.
- 12. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION SHALL BE COORDINATED WITH THAT UTILITY COMPANY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSA- TION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM REQUIRED WORK.
- ☑ 13. ALL EXISTING IMPROVEMENTS ARE TO REMAIN, UNLESS SPECIFICALLY NOTED TO BE REMOVED. CONTRACTOR SHALL REPAIR ANY CONTRACTOR-CAUSED DAMAGE, AS DETERMINED BY THE ENGINEER TO EXISTING IMPROVEMENTS TO THE SATISFACTION OF THE OWNER AT THE CONTRACTOR'S EXPENSE.
- 14. ALL REFERENCES TO COMPACTED BACKFILL OR COMPACTED SUB-GRADE SHALL MEAN SOIL COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557 UNLESS OTHERWISE NOTED.

- 15. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CHECK ALL DIMENSIONS, HORIZONTAL AND VERTICAL, AND SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CONFLICT CAN BE RESOLVED WITH THE MINIMUM AMOUNT OF DELAY.
- 16. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK, IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF L SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY OF ALBUQUERQUE SURVEY SECTION. WHEN A CHANGE IS MADE IN THE FINISH ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY 2. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE MONUMENT IS LOCATED, CONTRACTOR SHALL AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO NEW GRADE, UNLESS OTHERWISE SPECIFIED.
- 17. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.

PAVING NOTES:

1. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR

- $\stackrel{\textstyle ilde{\times}}{\!}$ 2. Any work affecting an arterial roadway requires TWENTY-FOUR (24) HOUR CONSTRUCTION.
- 3. ALL PAVEMENT TO BE REMOVED SHALL BE SAW CUT, HAVE A UNIFORM EDGE AND BE SPRAYED WITH TACK.

- 4. WHEN ABUTTING NEW CURB AND GUTTER TO EXISTING PAVEMENT, A 1'-WIDE SECTION OF EXISTING PAVEMENT ADJACENT TO THE CURB AND GUTTER SHALL BE NEATLY SAW CUT, REMOVED AND REPLACED.
- 5. PAVING AND ROADWAY GRADES SHALL BE ±0.05' FROM ELEVATIONS SHOWN ON PLANS.

GRADING NOTES:

- THE CONTRACTOR MUST CONFORM TO ALL COUNTY, STATE AND FED-ERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY AP-PLICATIONS, PERMITS AND APPROVALS. THE COST FOR REQUIRED MEASURES SHALL BE INCIDENTAL TO THE PROJECT COSTS.
- SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO PREVENT WIND EROSION.
- 3. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL AND UN-SUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE CONSTRUCTION OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERETO SHALL BE CON-SIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASURE-MENT OR PAYMENT SHALL BE MADE.

TRAFFIC CONTROL NOTE:

- TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED THIS PLAN! | 1. THE CONTRACTOR SHALL CONTACT TRAFFIC ENGINEERING OPERATIONS AT 857-8000 FOR REMOVAL AND REPLACEMENT OF TRAFFIC SIGNS. STORM DRAIN NOTE:
 - 1. FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.

I, Christopher L. Weiss, NMPE 6653 of C.L. Weiss Engineering, Inc., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by Tim Aldrich, NMPS #7719.

VICINITY MAP C-17 MATERIALS AMAFCA NURTH / DIVERSION CHANNI ANAFCA NORTH DIVERSIGN CHANNEL EASENFHT OIC THREE INDUSTRIES

| THE | FOLLOWING | NOTES | APPLY | WHEN | CHECKE |
|-----|-----------|-------|-------|------|--------|
| | | | | | |

ALL UTILITIES AND UTILITY LINES SHALL BE INSTALLED

PRIOR TO PAVING. BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED

TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.

SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.

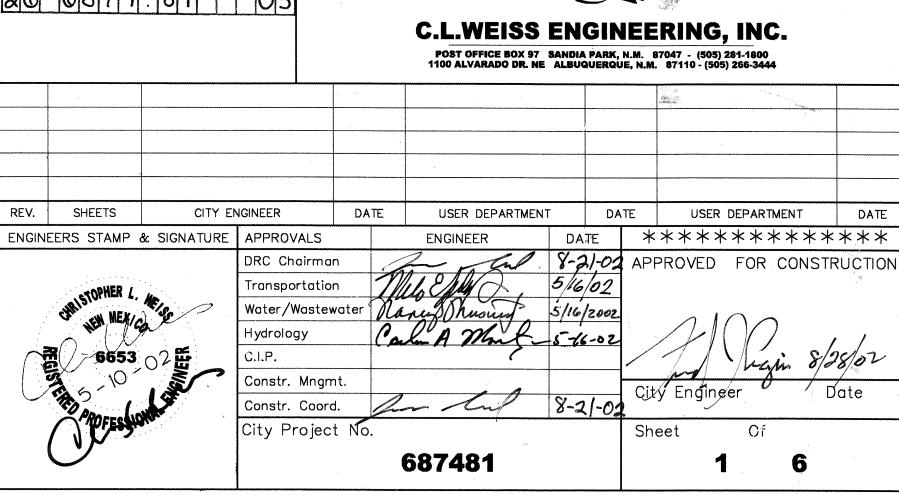
IF CURB IS DEPRESSED FOR A DRIVE PAD, THE DRIVE PAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.

PRIOR TO FINAL ACCEPTANCE.



ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED

CITY ENGINEER USER DEPARTMENT DATE USER DEPARTMENT ****** ENGINEER DATE DRC Chairman APPROVED FOR CONSTRUCTION Manus Ohnound Transportation Water/Wastewate Hydrology ~6653 _C 40.7 Constr. Mngmt. City Engineer - Trif Constr. Coord. City Project No Sheet





TOP OF POND

12.5 🖹)

REAR POND DIMENSIONS

SIDEMALK CULVERT/DRAIN.

INSPECTION APPROVAL:

CERTIFICATE OF OCCUPANCY (C.O.).

8. PROOF OF ACCEPTANCE WILL BE REQUIRED PRIOR TO SIGN OFF FOR

CONSTRUCTION SECTION

DATE

SCANNED BY MESA REPRO

<u>LEGAL:</u> Lots G and H, Los Angeles Investors Tract 4, Albuquerque, New

SURVEYOR: Aldrich Land Surveying - 505-884-1990

B.M.: Benchmark: ACS Monument "12-C17" Elevation = 5107.95 MSLD <u>T.B.M.</u>: SAS Manhole Rim located in Washington Street adjacent to the site. Elevation = 5108.67 MSLD

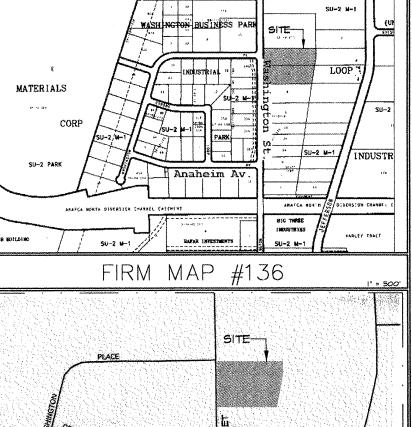
OFF-SITE DRAINAGE: No off-site drainage affects this property. FLOOD HAZARD: Per Bernalillo County FIRM Map #136 / 137 (see plan), the site is not located within a flood zone.

EROSION CONTROL: The contractor is responsible for retaining on-site all sediment generated during construction by means of temporary earth berms or silt fences at the low points on the west and north property lines.

KEYNOTES

- ONSTRUCT SITE ENTRANCE PER C.O.A. STANDARDS. MATCH EXISTING FLOWLINE ELEVATIONS TO PROVIDE A SMOOTH RIDING TRANSITION. CONSTRUCT CONCRETE VALLEY GUTTER / HANDICAP RAMPS (PER C.O.A. STD. DWG. 2426) MATCHING EXISTING TOP OF WALK / FLOWLINE ELEVATIONS. SEE ARCHITECTURAL FOR DIMENSIONS / DETAILS / DEMOLITION OF
- (3) CONSTRUCT CONCRETE HEADER CURB PER C.O.A. STD. DWG.
- 2415 (TYPICAL). SEE ARCHITECTURAL FOR DETAIL.
- (4) CONSTRUCT PAVED PONDING AREA AT ELEVATIONS SHOWN TO CAPTURE SITE / ROOF FLOWS. POND DIMENSIONS (LENGTH, WIDTH AND DEPTH) AND ELEVATIONS TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES. SEE DIMENSIONED DETAIL
- (5) CONSTRUCT 2' WIDE ALLEY GUTTER PER C.O.A. STD. DMG. 2415 AT FLONLINE ELEVATIONS SHOWN TO DIRECT CAPTURED FLOW TO PROPOSED STORM DRAIN INLET. SLOPE = 0.0040'/
- 6 CONSTRUCT 2'X2' STORM INLET WITH NEENAH R-3588-L GRATE PER C.O.A. STD. DWG. 2206 (SIM).
- 7 Install 232 LF 15" PVC STORM DRAIN AT INVERT ELEVATIONS
- (8) Install 94 LF 18" PVC STORM DRAIN AT INVERT ELEVATIONS
- (9) Install 56 LF 12" PVC STORM DRAIN AT INVERT ELEVATIONS (10) PAVING HIGH POINT THIS AREA.
- (II) CONSTRUCT TURNED DOWN CONCRETE WALK THIS AREA. TOP OF WALK IS 6" ABOVE TOP OF ADJACENT PAVEMENT (TYPICAL).
 SEE ARCHITECTURAL FOR RAMP LOCATIONS / DIMENSIONS AND ADDITIONAL INFORMATION. (12) WEST ROOF FLOWS TO BE RELEASED THROUGH I' WIDE
- SIDEMALK CULVERT (PER C.O.A. STD. DTL. 2236) TO PAVEMENT. SEE ARCHITECTURAL FOR SPECIFIC OUTFALL POINTS.
- (3) EAST ROOF FLOWS TO BE RELEASED TO REAR PONDING AREA. SEE ARCHITECTURAL FOR SPECIFIC OUTFALL POINTS.
- 14) TOP OF POND WALL FLUSH WITH TOP OF ASPHALT PAVEMENT TO ALLOW SHEETFLOW TO PASS, SEAL JOINTS WITH URETHANE SEALANT (SONOLASTIC NP-! O.A.E.)
- (5) CONSTRUCT RETAINING WALL THIS AREA TO ACHIEVE GRADE DIFFERENCES SHOWN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION (DESIGN BY OTHERS).
- (16) MINOR GRADING ON ADJACENT PROPERTY (SAME OWNER) TO ACHIEVE GRADES SHOWN.
- (IT) CONSTRUCT DOCK AREA AT GRADES SHOWN. INSTALL SUMP PIT WITH HYDOMATIC SKIOO-M2 I HP SUBMERSIBLE PUMP (O.A.E.) TO DRAIN. INSTALL 2" SCHEDULE 40 PVC DISCHARGE LINE FROM SUMP PUMP THROUGH DOCK WALL TO ADJACENT PAVING AT INVERT ELEVATION SHOWN. PROVIDE WATERTIGHT GROUT SEAL. SEE ARCHITECTURAL FOR PIT / ELECTRICAL DETAILS.
- (B) CONSTRUCT PONDING AREA WITH CONCRETE PERIMETER WALLS AT ELEVATIONS SHOWN TO CAPTURE SITE FLOWS. POND DIMENSIONS (LENGTH, WIDTH AND DEPTH) AND ELEVATIONS TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES, SEE DIMENSIONED DETAIL THIS SHEET.
- (19) CONSTRUCT ONE 24" WIDE COVERED SIDEWALK CULVERT PER C.O.A. STD. DWG. 2236 TO RELEASE POND FLOWS (AT A CONTROLLED DISCHARGE RATE) TO WASHINGTON STREET PROVIDE 24" WIDE X 6" HIGH OPENING IN POND WALL TO MATCH SIDEWALK CULVERT OPENING. DIMENSIONS AND ELEVATIONS TO BE ADHERED TO FOR CERTIFICATION PURPOSES.
- (20) STEP TOP OF POND WALL TO ELEVATION 09.0 TO CREATE A 14' WIDE POND SPILLWAY ALONG EAST SIDE OF POND. SEE DETAIL FOR ADDITIONAL INFORMATION.
- (21) RELOCATE / REMOVE EXISTING WATER METER BOXES AS REQUIRED TO AVOID CURB RAMP.
- 22 ADJUST POND WALL AS REQUIRED TO AVOID CONFLICTS WITH EXISTING WATER METER BOX THIS AREA.

VICINITY MAP #C-17 WASHINGTON BUSINESS PAR



TOP OF WALL

TOP OF CURB

RIGHT OF WAY

POWER POLE

POND SPILLWAY ELEVATION

FLOW LINE FINISHED FLOOR plotted: 10-25-2001 1:29P S:\01068 MECHENBIER\DD\01068TB.DWG drawn by CLW reviewed by 02/07/02 project no. drawing name

Drainage and Grading Plan

2 PROPOSED ASPHALT PAVING. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION REGARDING PARKING LAYOUT, DIMENSIONS, STRIPING, ETC.

architecture

S

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interiors

planning

AREHOUSE shingt MECHENBIER a

687481

(1) PROJECT BASIS OF BEARINGS IS NORTHWEST PROPERT LINE CORNER. (REFER TO PLAT). 2) TEMPORARY BENCHMARK IS CENTER OF EXISTING WASHINGTON STREET MANHOLE SAS MANHOLE. ELEVATION = 5108.67. NOTE: CONTRACTOR TO REESTABLISH CONSTRUCTION BENCHMARKS AS $\langle 3 \rangle$ 8" WATERLINE STA 10+00 IS LOCATED S 0.4'12" E, 35.00' FROM INDICATED PROPERTY CORNER. $\langle 4 \rangle$ install 432 LF 8" PVC waterline as located. SEE COA STD. DWGS. 2301 AND 2315. (5) REMOVE AND REPLACE 1000 SF ARTERIAL PAVEMENT PER COA STD. DWG. 2465. NOTE: SITE ENTRANCE / CONCRETE VALLEY GUTTER TO BE INSTALLED AS PART OF MECHENBIER OFFICE / WAREHOUSE BUILDING PERMIT CONSTRUCTION (C.O.A. PROJECT. NO. C17/D113). MATCH EXISTING GRADES FOR SMOOTH $\langle 6
angle$ WET CONNECTION TO EXISTING 16" C.I. WATERLINE. $\langle 7 \rangle$ INSTALL FIRE HYDRANT AT STATION / LOCATION SHOWN. SEE COA STD. DWG. 2340. (8) WATER LINE TO CROSS UNDER PROPOSED PRIVATE 18" STORM DRAIN AT 10+73 AT TP ELEVATION (9) TWO EXISTING METER BOXES THIS AREA TO BE REMOVED AS PART OF ENTRANCE CONSTRUCTION FOR "MECHENBIER OFFICE / WAREHOUSE". (10) CONSTRUCT CONCRETE HEADER CURB PER C.O.A. STD. DWG. 2415 TO PROTECT FIRE HYDRANT. (11) LOT G-1 20' PUBLIC WATERLINE EASEMENT TO BE GRANTED TO CITY OF ALBUQUERQUE BY PAPER RECORDING #: 23021050 14 BOOK #: A40 PAGE #: 4708 $\langle 12 \rangle$ LOT H-1 PUBLIC WATERLINE EASEMENT TO BE GRANTED TO CITY OF ALBUQUERQUE BY PAPER RECORDING #: 20021050 14 BOOK #: A 40 PAGE #: 4708 (13) PROPOSED BUILDING FIRELINE 14 PROPOSED STORM SEWER (C.O.A. C17/D113) (15) EXTEND 8" WATERLINE 5' INTO LOT H-1 (SAME OWNER) FOR FUTURE FIRELINE CONTINUATION. INSTALL WATER VALVE SHUTOFF PLAN VALVE 294 WASHINGTON PI VALVE 541 VALVE 741 ANAHEIM AVE. CLOSE COA VALVES 294, 541 AND 741 **C.L.WEISS ENGINEERING, INC.** POST OFFICE BOX 97 SANDIA PARK, N.M. 87047 - (505) 281-1800 1100 ALVARADO DR. NE ALBUQUERQUE, N.M. 87110 - (505) 266-3444 CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP **JEFFERSON COMMONS II LOT 6 WATER/SANITARY SEWER IMPROVEMENTS** Design Review Committee | City Engineer Approval ini aug 2 8 ggs

Zone Map No.

C-17

Sheet

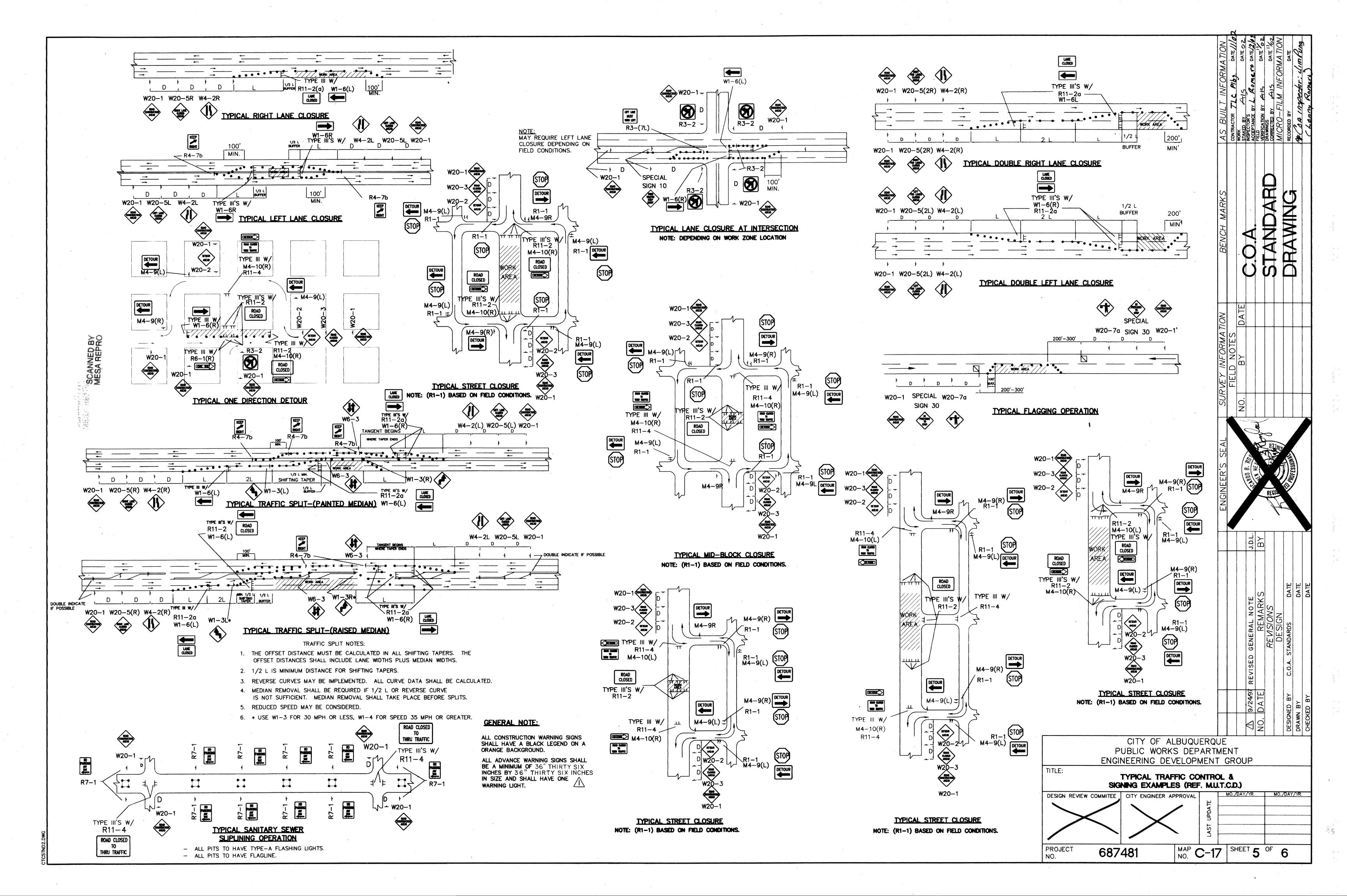
Of

6

City Project No.

687481

KEYED NOTES



CONSTRUCTION TRAFFIC CONTROL GENERAL NOTES

- 1. CONTRACTOR MUST OBTAIN FROM CONSTRUCTION COORDINATION AN EXCAVATION/BARRICADING PERMIT BEFORE ENGAGING IN ANY CONSTRUCTION, MAINTENANCE OR REPAIR WORK IN ANY OF THE CITY OF ALBUQUERQUE'S RIGHTS-OF-WAY. EMERGENCY WORK THAT WOULD PRESERVE LIFE OR PROPERTY IS EXCLUDED WITH THE UNDERSTANDING, THAT A PERMIT SHALL BE OBTAINED WITHIN 24 TO 48 HOURS.
- 2. CONTRACTOR SHALL AT THE TIME OF PERMIT REQUEST, SUBMIT FOR APPROVAL BY CONSTRUCTION COORDINATION, A TRAFFIC CONTROL PLAN DETAILING ALL EXISTING TOPOGRAPHY SUCH AS LANE WIDTHS, DRIVEWAYS, AND BUSINESS/RESIDENTIAL ACCESSES. THE TRAFFIC CONTROL PLAN SHALL INCLUDE ALL PHASES OF WORK AND SCHEDULES INVOLVED IN THE CONSTRUCTION PROJECT. ANY SEPARATE PHASES OF A CONSTRUCTION PROJECT SHALL BE GIVEN AN INDIVIDUAL PERMIT EACH. BLANKET PERMITS WILL NOT BE ISSUED.
- 3. THESE TYPICAL TRAFFIC CONTROL PLANS DO NOT REFLECT THE EXISTING TOPOGRAPHY SUCH AS DRIVEWAYS, LANE WIDTHS, AND BUSINESS/RESIDENTIAL ACCESSES. EVERY LOCATION THAT REQUIRES CONSTRUCTION TRAFFIC CONTROL SHALL HAVE A DETAILED TRAFFIC CONTROL PLAN SHOWING ALL EXISTING TOPOGRAPHY.
- 4. CONSTRUCTION SHALL NOT BEGIN UNLESS A TRAFFIC CONTROL PLAN HAS BEEN APPROVED AND VERIFIED BY CONSTRUCTION COORDINATION.
- 5. CONSTRUCTION COORDINATION SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY TRAFFIC CONTROL CHANGES NEEDED BY CONTRACTOR, THAT WERE NOT PREVIOUSLY APPROVED. THESE TRAFFIC CONTROL CHANGES SHALL BE REQUESTED IN WRITING ACCOMPANIED WITH A TRAFFIC CONTROL PLAN REFLECTING SUCH CHANGES.
- 6. ALL CONSTRUCTION TRAFFIC CONTROL DEVICES SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL, SERVICE AND MAINTAIN ALL TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL DEVICES SHALL NOT BE REMOVED OR ALTERED IN ANY WAY WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION, PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.
- 7. THE CONSTRUCTION TRAFFIC CONTROL INITIAL SET-UP SHALL BE BY AN AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA) CERTIFIED WORKSITE TRAFFIC SUPERVISOR. THE MAINTENANCE AND SERVICING SHALL ALSO BE DONE BY AN ATSSA CERTIFIED WORKSITE TRAFFIC SUPERVISOR OR E EQUIVALENT.
- 8. CONTRACTOR IS RESPONSIBLE TO MAINTAIN AND SERVICE ALL TRAFFIC CONTROL DEVICES 24 HOURS A DAY, 7 DAYS A WEEK THROUGHOUT LENGTH OF PROJECT. CONTRACTOR IS RESPONSIBLE THAT ALL TRAFFIC CONTROL DEVICES COMPLY WITH THE MUTCD, LATEST EDITION.
- 9. ALL ADVANCE WARNING SIGNS SHALL BE DOUBLE INDICATED WHENEVER THERE ARE MULTI-LANE TRAFFIC IN ANY ONE GIVEN DIRECTION AND THERE IS SUFFICIENT MEDIAN SPACE.
- 10. ALL BARRICADES IN ALL TAPERS AND TANGENTS SHALL BE PLACED APART, A DISTANCE MEASURED IN FEET, EQUAL TO THAT OF THE POSTED SPEED LIMIT. NO EXCEPTIONS UNLESS APPROVED BY CONSTRUCTION COORDINATION PER MUTCD SECTION 6A-4.
- 11. ALL WORK IN ARTERIAL ROADWAYS SHALL BE ON A CONTINUOUS A 24 HOUR PER DAY BASIS UNTIL COMPLETED.
- 12. CONTRACTOR IS RESPONSIBLE TO PROVIDE CONSTRUCTION COORDINATION, A WEEKLY LOG OF DAILY INSPECTIONS OF BARRICADE AND MAINTENANCE SCHEDULES ON PROJECTS THAT ARE OVER ONE WEEK DURATION.
- 13. EQUIPMENT OR MATERIALS SHALL NOT BE STORED WITHIN 15 FEET OF A TRAVELLED TRAFFIC LANE DURING NON-WORKING HOURS WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION.
- 14. CONTRACTOR SHALL PROVIDE AND MAINTAIN A SAFE AND ADEQUATE MEANS OF CHANNELIZING PEDESTRIAN TRAFFIC AROUND AND THROUGH THE CONSTRUCTION AREA.
- 15. CONTRACTOR IS RESPONSIBLE FOR OBLITERATION OF ANY CONFLICTING STRIPING AND RESPONSIBLE FOR ALL TEMPORARY STRIPING.
- 16. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES, BUSINESSES AND/OR RESIDENTS AT ALL TIMES.
- 17. CONTRACTOR SHALL PROVIDE ACCESS SIGNS FOR BUSINESSES LOCATED WITHIN THE CONSTRUCTION AREA UNDER THE SUPERVISION OF CONSTRUCTION COORDINATION. EACH ACCESS SIGN SHALL HAVE 5 INCH, WHITE OPAQUE LETTERING ON BLUE REFLECTORIZED BACKGROUND. ACCESS SIGNS SHALL BE CONSIDERED INCIDENTAL TO THE BID AND NOT PART OF THE CONTRACT UNLESS OTHERWISE STATED. NO MORE THAN 3 BUSINESSES SHALL BE LISTED ON A ACCESS SIGN. SHOPPING CENTERS AND MALLS SHALL BE LISTED AS SUCH.
- 18. ALL ADVANCE WARNING SIGNS SHALL MEET THE MINIMUM REFLECTIVE INTENSITY REQUIREMENTS SET FORTH BY THE CITY OF ALBUQUERQUE. CONSTRUCTION COORDINATION SHALL DETERMINE ALL REQUIREMENTS AND APPROVE OR DISAPPROVE ANY ADVANCE WARNING SIGN PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.
- 19. 48 HOURS PRIOR TO OCCUPYING OR CLOSING OF A RIGHT-OF-WAY, CONTRACTOR SHALL NOTIFY: POLICE, FIRE DEPARTMENT, SCHOOLS, HOSPITALS, TRANSIT AUTHORITY, BUSINESSES AND/OR RESIDENTS THAT WILL BE AFFECTED BY THE CONSTRUCTION.
- 20. ANY FIELD ADJUSTMENTS SHALL BE APPROVED BY CONSTRUCTION COORDINATION.

- 21. EXCAVATIONS SHALL BE PLATED, TEMPORARILY PATCHED OR RESURFACED PRIOR TO OPENING OF TRAFFIC. A MINIMUM OF 11 FEET SHALL BE PROVIDED FOR TRAFFIC IN ANY GIVEN DIRECTION. CONTRACTOR IS RESPONSIBLE FOR ANY WORK INVOLVED IN SATISFYING THESE REQUIREMENTS.
- 22. CONTRACTOR SHALL AT ALL TIMES COMPLY WITH THE FOLLOWING: 1. STANDARDS AND REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION 2. THE CITY OF ALBUQUERQUE TRAFFIC CODE, LATEST EDITION. 3. SECTION 19 OF THE CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTION, AS WELL AS OTHER SECTIONS.
- 23. FAILURE TO COMPLY WITH ANY OF THE ABOVE MENTIONED, WILL BE ADEQUATE CAUSE TO CEASE ALL WORK ON ANY CONSTRUCTION PROJECT. WORK WILL NOT RESUME UNTIL ALL REQUIREMENTS ARE ADDRESSED AND APPROVED BY CONSTRUCTION COORDINATION.
- 24. ALL TRAFFIC CONTROL DEVICES SHALL BE KEPT IN NEW-CLEAN CONDITION. WASHING OF EQUIPMENT IS INCIDENTAL TO IT'S PLACEMENT AND MAINTENANCE.
- 25. TRAFFIC CONTROL STANDARDS APPLY ONLY WHERE THE CONSTRUCTION TRAFFIC CONTROL PLANS ARE NOT SPECIFIC.
- 26. ADVANCE WARNING SIGNS SHALL BE 36"x36" MIN. WITH SUPER ENGINEERING GRADE SHEETING OR BETTER. MOUNTING HEIGTH AT TOP OF SIGN SHALL BE THE SAME AS FOR A 48" SIGN AS INDICATED IN THE M.U.T.C.D. /3
- 27. CONTRACTOR SHALL MAINTAIN A GRAFFITI FREE WORKSITE. ALL GRAFFITI SHALL BE PROMPTLY REMOVED FROM ALL EQUIPMENT, BOTH PERMANENT AND TEMPORARY. 4

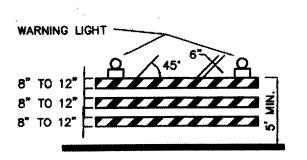
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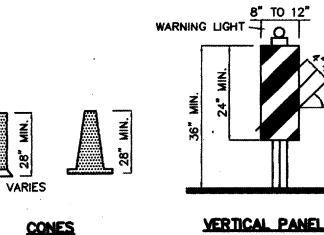
PREPARED PREPARED

THRU TRAFFIC KEEP LEFT

SPECIAL SIGN 20



TYPE III BARRICADE



8" TO 12"

DETOUR

M4-10(L)

CONSTRUCTION

G20-2

HIGH LEVEL WARNING DEVICE

LEGEND

WORK AREA

BARRICADE - TYPE I, TYPE II, OR BARREL

BARRICADE - TYPE III.

VERTICAL PANEL

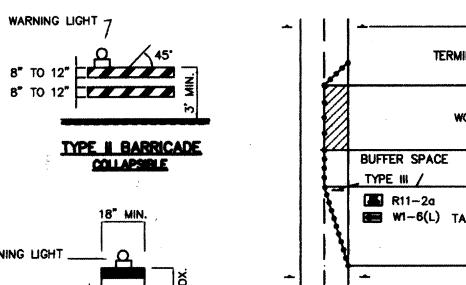
WARNING SIGN

DISTANCE BETWEEN SIGNS - A DISTANCE MEASURED IN FEET EQUAL TO A VALUE OF TEN TIMES THE SPEED LIMIT OF THE STREET FLAGMAN POSITION

SPACING BETWEEN BARRICADES- A DISTANCE MEASURED IN FEET EQUAL TO THE SPEED LIMIT OF THE STREET

TAPER LENGTH - SEE CHART BELOW

THE TANGENT LENGTH IS EQUAL TO THE TAPER LENGTH FOR A GIVEN STREET.



TRAFFIC CONTROL ELEMENTS

TERMINATION AREA WORK ZONE W1-6(L) TAPER AREA ADVANCE WARNING AREA

| SPEED LIMIT | TAPER LENGTH (L) (FEET) | | | MINIMUM NUMBER | MAXIMUM DEVICE SPACING IN FEET | | |
|----------------|----------------------------|-------------|-------------|----------------------------|-----------------------------------|----------------|--|
| (MPH) | 10' LANE | 11' LANE | 12' LANE | OF DEVICES FOR TAPER | ALONG TAPER | AFTER TAPER | |
| 20 | 70 | 75 | 80 | 5 | 20 | 20 | |
| 25 | 105 | 115 | 125 | 6 | 25 | 25 | |
| 30 | 150 | 165 | 180 | 7 | 30 | 30 | |
| 35 | 205 | 225 | 245 | 8 | 35 | 35 | |
| 40 | 270 | 295 | 320 | 9 | 40 | 40 | |
| 45 | 450 | 495 | 540 | 13 | 45 | 45 | |
| 50 | 500 | 550 | 600 | 13 | 50 | 50 | |
| 55 | 550 | 605 | 660 | 13 | 55 | 55 | |

TAPER REQUIREMENTS

RECOMMENDED SIGN SPACING(D) FOR ADVANCE WARNING SIGN SERIES

| ADVANCE WARNING SIGN SERIES | | | | | | | |
|-----------------------------|------------------|----------------------------|--|--|--|--|--|
| SPEED | MINIMUM DIST | MINIMUM DISTANCE IN FEET | | | | | |
| MILES PER HOUR | BETWEEN SIGNS | FROM LAST SIGN TO TAPER | | | | | |
| 0-20 | 10 X SPEED LIMIT | 10 X SPEED LIMIT | | | | | |
| 25-30 | 10 X SPEED LIMIT | 10 X SPEED LIMIT | | | | | |
| 30-35 | 10 X SPEED LIMIT | 10 X SPEED LIMIT | | | | | |
| 40-45 | 10 X SPEED LIMIT | 10 X SPEED LIMIT | | | | | |
| 50-60 | 10 X SPEED LIMIT | 10 X SPEED LIMIT | | | | | |

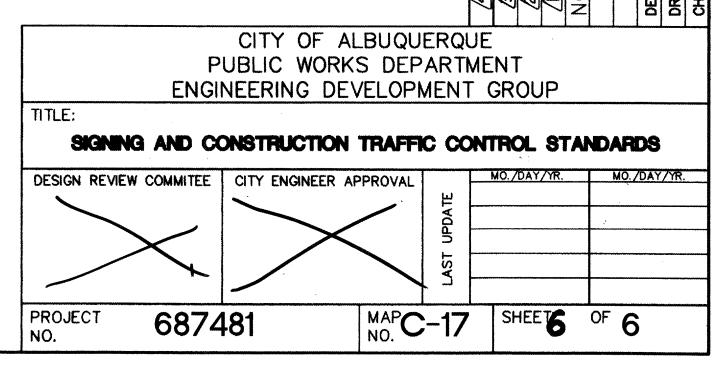
TAPER CRITERIA

| TAPER LENGTH | | | |
|------------------|--|--|--|
| | | | |
| L MINIMUM | | | |
| 1/2 L MINIMUM | | | |
| 1/2 L MINIMUM | | | |
| 100 FEET MAXIMUM | | | |
| | | | |

TAPER LENGTH COMPUTATION

| SPEED LIMIT | | | | | | |
|-------------------------------------------|---|------|---------|----------|--------------|--|
| 40 MPH OR LESS | | L | | WS 60 | ² | |
| 45 MPH OR GREATER | | L | = | W | X | |
| L = TAPER LENGTH W = WDTH OF OFFSET IN | ٧ | FEET | • | | | |

S = POSTED SPEED OR OFF-PEAK 85-PERCENTILE SPEED IN MPH



DATE DATE DATE

STOP W1-6(R)W1-6(L) RIGHT TWO LANES CLOSED AHEAD TWO LANES CLOSED AHEAD ROAD CONSTRUCTION AHEAD CLOSED AHEAD CLOSED KEEP KEEP NO MUST MUST TURNS AHEAD TURN RIGHT TURN LEFT LEFT RIGHT R3-7(R) R3-7(L) END DETOUR DETOUR **DETOUR** LANE DO NOT ONE WAY ONE WAY CLOSED CLOSED THRU TRAFFIC ENTER M4-9(R) M4-9(L) R5-1a R11-2a M4-8a

ALL CONSTRUCTION WARNING SIGNS SHALL HAVE A BLACK LEGEND ON A

ORANGE BACKGROUND.

SIGN FACE DETAILS

WASHINGTON STREET N.E. (60' R/W) (3"00"1"00"E) **3"62"6 | 100N** \$08*41*05*W (\$08*33*00*W) 274.50' S0017'17"W (274.46') (S0011'00"W) 414.52 LOT LOOP INDUSTRIAL DISTRICT #2 (08-25-81, C18-171) 100 ANDS

687481

LOTS G-1-1 INVESTORS

Sheet 2 of 6

SCANNED BY MESA REPRO