

CONSTRUCTION PLANS

FOR

RANCHO MIRAGE CONDOS

UTILITY IMPROVEMENTS

CITY OF ALBUQUERQUE
NEW MEXICO
AUGUST 2002

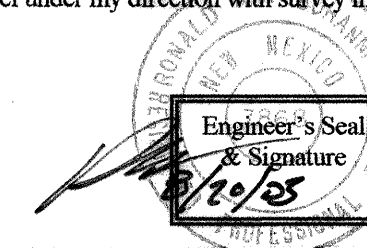
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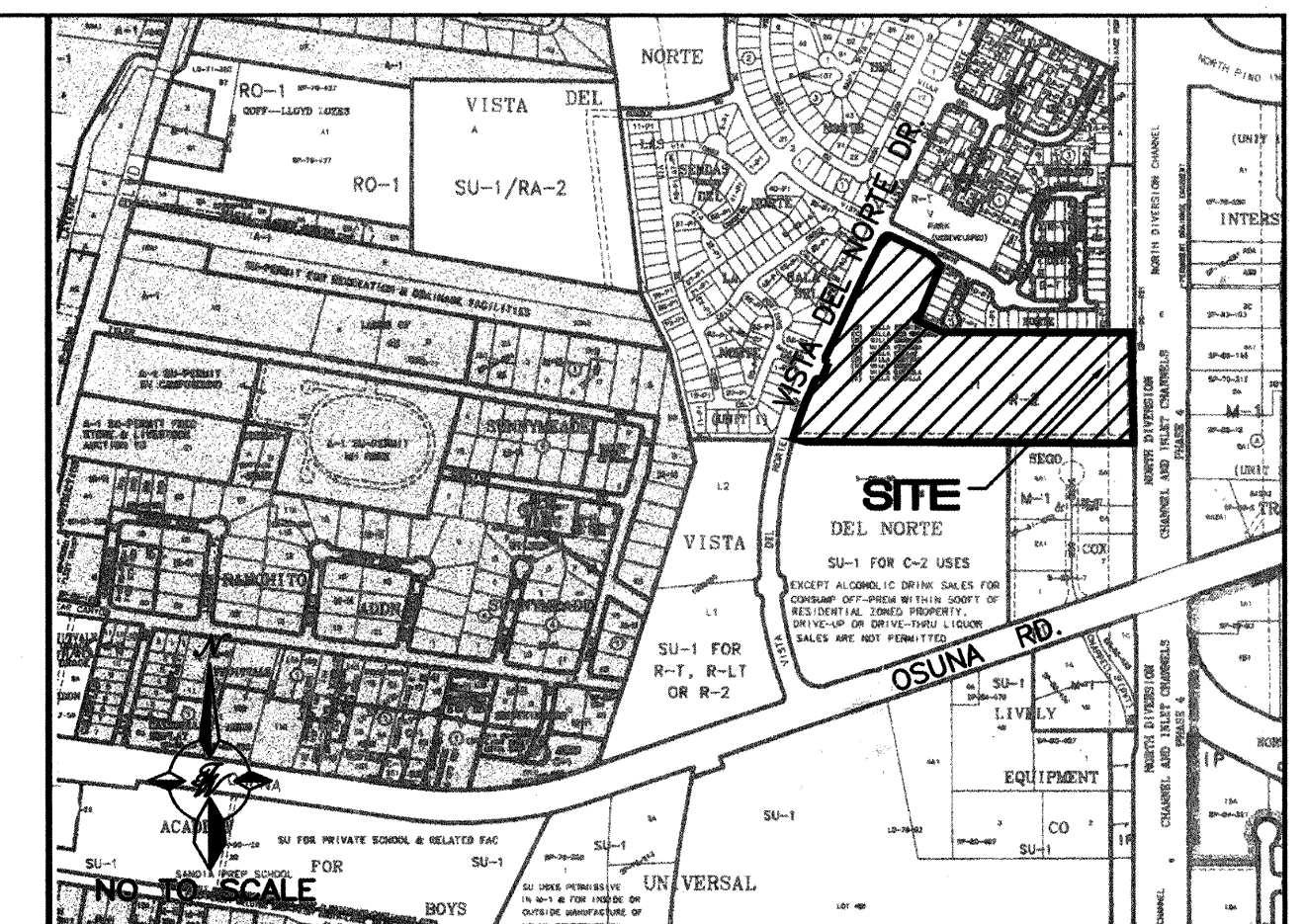
CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Bohannon, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Aldrich Land Surveying, NMPS number 7719.



APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY CONSTRUCTION ENGINEER
DATE: 4/10/03

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26 69 20 81 11 04



VICINITY MAP ZONE ATLAS E-16-Z

NOTICE TO CONTRACTORS

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION (UPDATE #6).
2. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
3. ANY WORK AFFECTING AN ARTERIAL ROADWAY REQUIRES 24-HOUR CONSTRUCTION.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. FIVE (5) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATIONS DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO STANDARD SPECIFICATIONS.
6. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY THE CONTRACTOR TO LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.
7. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS. ANY PERMANENT SURVEY MONUMENT LOCATED WITHIN 50' OF THIS PROJECT THAT IS NOT SHOWN ON THE PLAN AND IS DESTROYED DURING CONSTRUCTION WILL BE REPLACED AT THE DESIGNER'S EXPENSE.
8. FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.

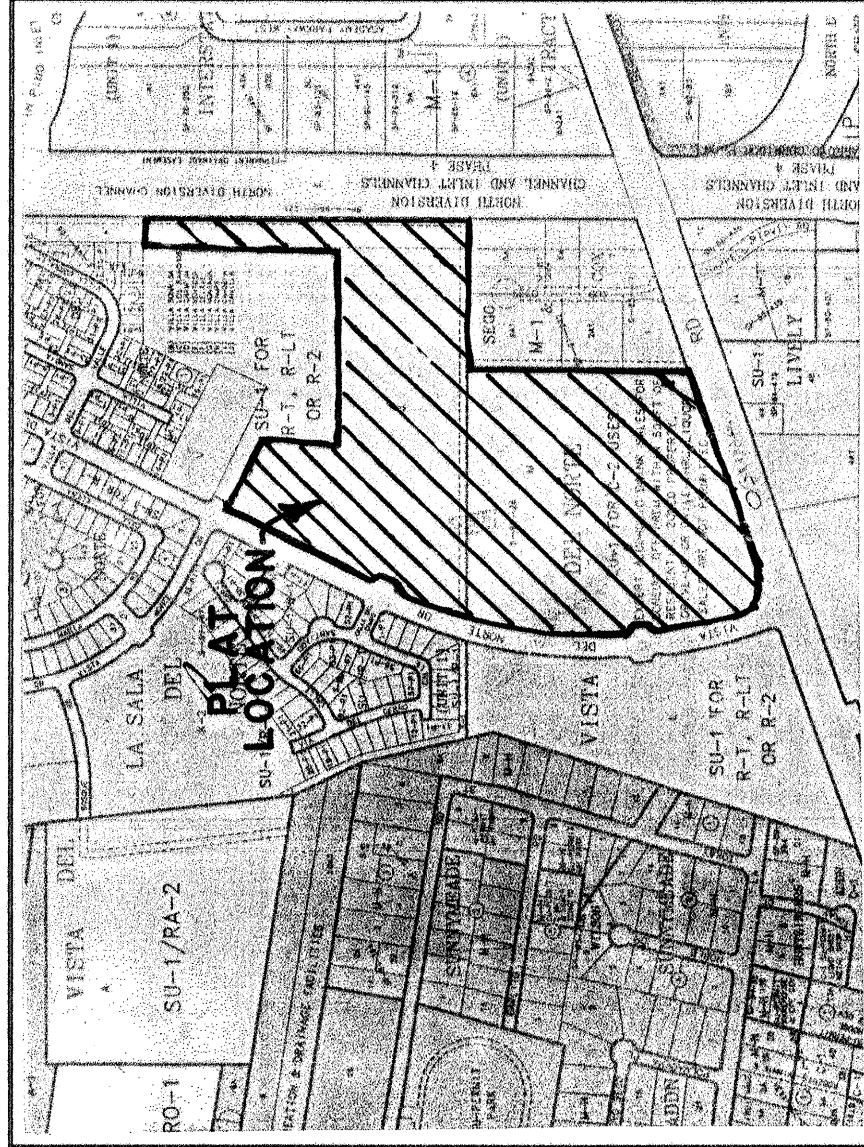
THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE ENGINEER.
- ☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

DRB NO. 1001150

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

REV	SHEETS	CITY ENGINEER	DATE	USER DEPT.	DATE	USER DEPT.	DATE
1	35		5-28-03				
ENGINEERS STAMP & SIGNATURE		APPROVALS	ENGINEER	DATE	*****		
		ORC Chairman	<i>[Signature]</i>	5/1/03	APPROVED FOR CONSTRUCTION		
		Transportation	<i>[Signature]</i>	10/04/02			
		Water/Wastewater	<i>[Signature]</i>	10/02/02			
		Hydrology	<i>[Signature]</i>	8/28/02			
		City AMFCA	<i>[Signature]</i>	4-28-03			
Constr. Mngmt.	<i>[Signature]</i>						
Constr. Coord.	<i>[Signature]</i>	5/1/03					
CITY PROJECT NO.				SHEET			
692081				1 OF 6			



LOCATION MAP 1" = 800' E-16-Z

PURPOSE OF PLAT

- To create Tracts J-1-A, J-1-B, J-1-C and M-1 as shown herein.
- To eliminate lot line as shown herein.
- To grant easement as shown herein.

SUBDIVISION DATA

- Project No.: 100150
- Application No.: 02-LAB-01071
- Zone Atlas Index No.: E-16-Z
- Total Number of Existing Lots: 0
- Total Number of Existing Tracts: 2
- Total Number of Lots created: 0
- Total Number of Tracts created: 4
- Gross Subdivision Acreage: 45.9227

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances are field and record.
- Basis of boundary is from the plat of record entitled:
PLAT OF "VISTA DEL NORTE SUBDIVISION", (03-16-99, 99C-57)
PLAT OF "VILLA DEL NORTE SUBDIVISION", (07-23-99, 99C-205)
PLAT OF "BERNARDO DEL NORTE SUBDIVISION", (08-09-00, 00C-209)
PLAT OF "SEGO-COX", (10-15-85, C28-127)
PLAT OF "SEGO-COX", (08-19-87, C34-108)
PLAT OF "SEGO-COX", (04-16-91, 91C-77)
all being records of Bernalillo County, New Mexico.
- Field Survey: performed September, 2001.
- Title Report: provided by Fidelity National Title Insurance Company
Commitment No.: 01-1015836-B-VG (Effective Date: 01-16-01)
- Address of Property: None provided.
- City of Albuquerque, New Mexico Zone: R-2 (TRACT J-1)
AND SU-1 FOR C-2 USES (TRACT 14)
- Utility Council Location System Log No.: 2002160235

Note for Reference Only

Owner(s):

John A. Myers, Assistant Manager, pro tem, Vista Del Norte
Development, A New Mexico Limited Liability Company
BERNALILLO COUNTY

On this 30th day of May, 2002, this instrument was acknowledged before me by John A. Myers, Assistant Manager, pro tem, Vista Del Norte Development, LLC, a New Mexico Limited Liability Company.
Raymond C. Bargull My Commission Expires 11-18-2005
Notary Public

Owner(s):
Raymond C. Bargull 5/28/02
Raymond C. Bargull, Executive Vice President/CFO,
Sundt Construction, Inc., An Arizona Corporation.
STATE OF NEW MEXICO
BERNALILLO COUNTY

On this 28th day of May, 2002, this instrument was acknowledged before me by Raymond C. Bargull, Executive Vice President/CFO, Sundt Construction, Inc., An Arizona Corporation.
John A. Myers My Commission Expires 11-18-2005
Notary Public

PUBLIC UTILITY EASEMENTS
PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:
1. PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.

2. PNM Gas Services Division for installation, maintenance, and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide natural gas services.

3. Qwest Telecommunications for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and related facilities.

4. Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated in, on, or over said easements. Property shall be subject to any correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies listed above did not conduct a title search of the properties shown herein. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof, and owner(s) and/or proprietor(s) do hereby consent to the elimination of all lot lines and the creation of the tracts J-1-A, J-1-B, J-1-C and M-1 as shown herein. Said owner(s) and/or proprietor(s) do hereby consent to the granting of easement as shown herein. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed.

Owner(s):
John A. Myers 5/28/02
John A. Myers, Assistant Manager, pro tem, Vista Del Norte
Development, A New Mexico Limited Liability Company
BERNALILLO COUNTY

On this 30th day of May, 2002, this instrument was acknowledged before me by John A. Myers, Assistant Manager, pro tem, Vista Del Norte Development, LLC, a New Mexico Limited Liability Company.
Raymond C. Bargull My Commission Expires 11-18-2005
Notary Public

Owner(s):
Raymond C. Bargull 5/28/02
Raymond C. Bargull, Executive Vice President/CFO,
Sundt Construction, Inc., An Arizona Corporation.
STATE OF NEW MEXICO
BERNALILLO COUNTY

On this 28th day of May, 2002, this instrument was acknowledged before me by Raymond C. Bargull, Executive Vice President/CFO, Sundt Construction, Inc., An Arizona Corporation.
John A. Myers My Commission Expires 11-18-2005
Notary Public

SCANNED BY
MESA REPRO

PLAT FOR TRACTS J-1-A, J-1-B, J-1-C AND M-1 WITHIN THE ELENA CALLEGOS GRANT PROJECTED SECTION 27 TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO APRIL, 2002

DESCRIPTION

A tract of land situated within the Elena Callegos Grant, projected Section 27, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT J-1, BERNARDO DEL NORTE SUBDIVISION as the same is shown and designated on said plat, filed for record in the office of the County Clerk of Bernalillo County, August 9, 2000, in Book 2000C, Page 203 together with TRACT M-1, VISTA DEL NORTE SUBDIVISION as the same is shown and designated on said plat, filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 16, 1939 in Volume 99C, Folio 57 and containing 45.9227 acres more or less.

APPROVED AND ACCEPTED BY:

Project No.: 100150
Application No.: 02DRB-01071

Planning Director, City of Albuquerque, N.M.	Date
City Engineering Div., City of Albuquerque, N.M.	Date
Albuquerque Metropolitan Arroyo Flood Control Authority	Date
Traffic Div., City of Albuquerque, N.M.	Date
Water Utilities Dept., City of Albuquerque, N.M.	Date
Parks and Recreation, City of Albuquerque, N.M.	Date
City Surveyor, City of Albuquerque, N.M.	6-20-02

County Treasurer, Bernalillo County, N.M.	Date
PNM Gas Services Division	8-28-02
PNM Electric Services Division	8-28-02
Qwest Telecommunications	Date
Comcast, Inc.	8-28-02

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows the easements as shown on the plat of record or made known to me by the owner(s) and/or proprietor(s) of the land shown and designated on the plat, and that I am a duly qualified Registered Professional Land Surveyor in good standing with the Board of Professional Land Surveyors and other appropriate agencies, and that I am duly licensed to practice my profession in the State of New Mexico and I am duly qualified to perform the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief."

Timothy Aldrich, P.S. No. 7719

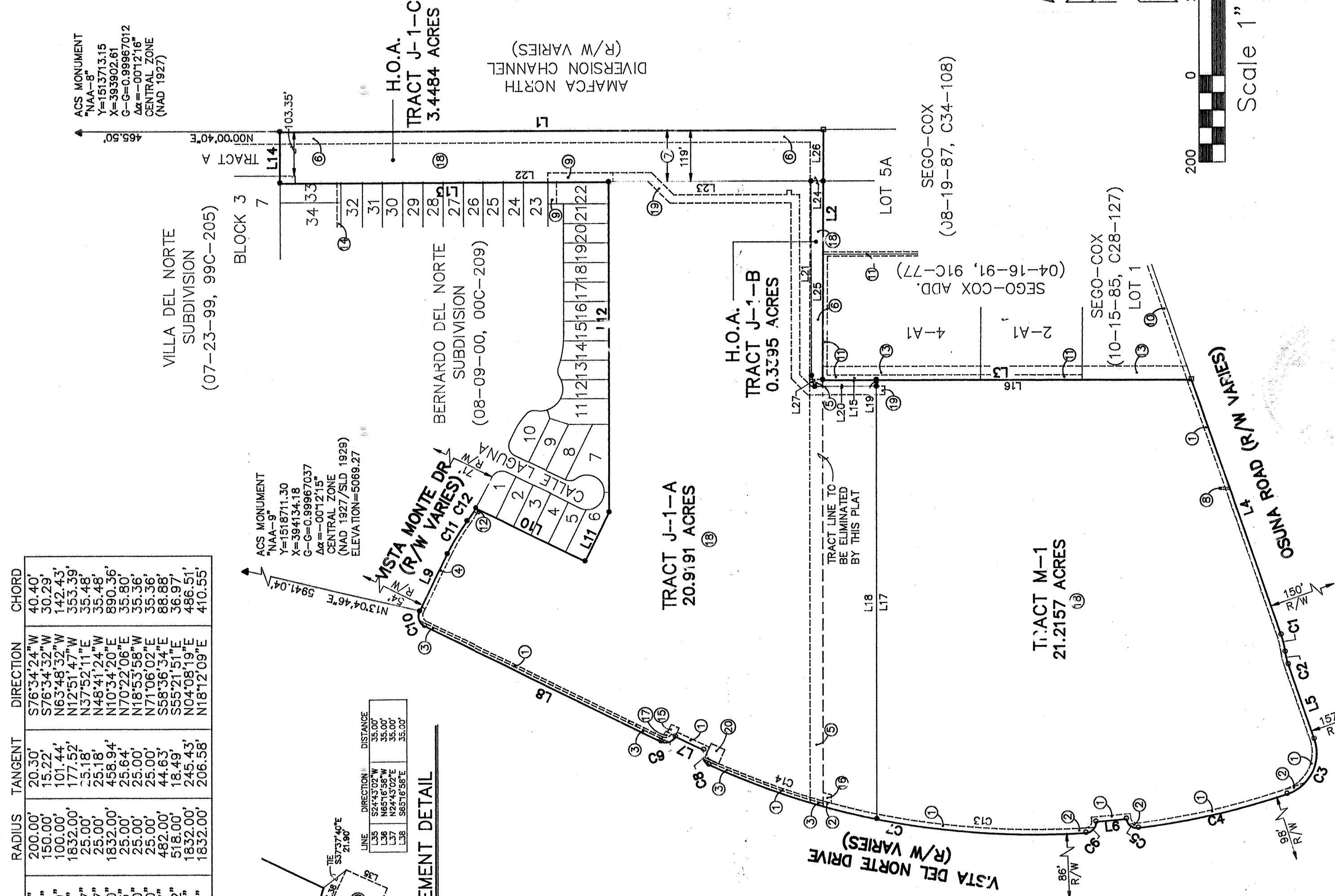
**ALDRICH LAND
SURVEYING**
P.O. BOX 30701, ALBU., N.M. 87130
505-884-1990

Drawn By: RJA/TA	Date: 04-15-02
Checked By: TA	Drawing Name: 01071PLT.DWG
Job No.: 01-071	Sheet: 1 of 2

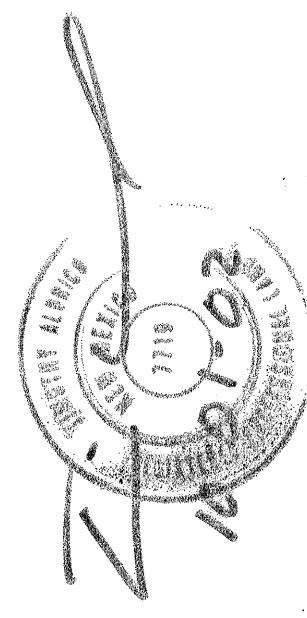
LINE	DIRECTION	DISTANCE	CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
L1	S00°00'24"W	1262.80'	C1	40.47'	11°35'41"	200.00'	20.30'	S76°34'24"W	40.40'
L2	N89°42'03"W	577.74'	C2	30.34'	15°22'	150.00'	15.22'	S76°34'32"W	30.29'
L3	S00°48'23"W	856.17'	C3	156.51'	90°48'19"	100.00'	101.44'	N63°48'32"W	142.43'
L4	S00°48'34"W	629.16'	C4	353.94'	11°04'13"	1832.00'	171.52'	N12°51'41"W	353.93'
L5	N05°24'38"W	72.00'	C5	39.44'	80°23'47"	25.00'	25.18'	N48°41'24"W	35.48'
L6	N25°38'14"E	73.00'	C6	39.44'	28°07'40"	1832.00'	458.94'	N10°34'20"E	890.36'
L7	N25°38'14"E	73.00'	C7	39.44'	28°07'40"	1832.00'	458.94'	N10°34'20"E	890.36'
L8	N26°06'02"E	612.71'	C8	39.91'	91°27'53"	25.00'	25.64'	N70°22'06"E	35.80'
L9	S63°53'58"E	146.81'	C9	39.91'	90°00'00"	25.00'	25.00'	N16°58'09"W	35.36'
L10	S63°53'58"E	127.06'	C10	39.91'	90°00'00"	25.00'	25.00'	N16°58'09"W	35.36'
L11	S89°39'21"E	766.07'	C11	36.90'	10°34'47"	482.00'	44.63'	S58°36'34"E	68.89'
L12	S89°39'21"E	766.07'	C12	36.90'	10°34'47"	482.00'	44.63'	S58°36'34"E	68.89'
L13	N00°00'24"E	784.00'	C13	457.95'	15°15'39"	1832.00'	245.43'	N04°08'19"E	486.51'
L14	S89°39'21"E	119.00'	C14	411.42'	12°52'01"	1832.00'	206.58'	N18°12'09"E	410.55'
L15	S00°00'24"W	733.17'							
L16	S00°00'00"W	1019.67'							
L17	S00°00'00"W	1003.80'							
L18	S00°00'00"W	15.86'							
L19	S00°00'00"W	443.00'							
L20	S00°00'00"W	443.00'							
L21	S00°00'23"W	1262.01'							
L22	S00°00'23"W	469.69'							
L23	S00°00'23"W	283.94'							
L24	S00°00'23"W	283.94'							
L25	N89°42'03"W	119.00'							
L26	N89°42'03"W	26.83'							
L27	N74°07'44"E	26.83'							

EASEMENTS

- EXISTING 10' PUE (03-16-99, 99C-57)
- EXISTING 10' PEDESTRIAN / LANDSCAPE EASEMENT (03-16-99, 99C-57)
- EXISTING 5' LANDSCAPE EASEMENT (03-16-99, 99C-57)
- EXISTING 10' PUE (08-09-00, 00C-209)
- EXISTING 30' PUBLIC DRAINAGE EASEMENT (03-16-99, 99C-57)
- EXISTING 30' GASLINE EASEMENT (11-17-91, BK. 91-18, PGS. 4253-4256)
- EXISTING AMAFCA EXCAVATION RESTRICTION EASEMENT (12-08-67, BK.MISC. 88, PGS. 268-287)
- EXISTING 5' PNM & MST&T EASEMENT (12-16-85, BK.MISC. 301-A, PG. 818)
- EXISTING 20' PUBLIC WATERLINE EASEMENT (08-09-00, 00C-209)
- EXISTING 10' UTILITY & SIDEWALK EASEMENT (10-15-85, C28-127)
- EXISTING 10' PRIVATE DRAINAGE EASEMENT (10-15-85, C28-127)
- EXISTING 10' X 15' PNM EASEMENT (10-15-85, C28-127)
- EXISTING 30' GASLINE EASEMENT (08-02-65, BK.MISC. 143, PGS. 352-353)
- EXISTING 10' PUBLIC DRAINAGE EASEMENT (08-09-00, 00C-209)
- EXISTING 20' X 20' U.S. WEST EASEMENT (08-30-00, BK. A9, PG. 5075)
- EXISTING 20' X 20' U.S. WEST EASEMENT (08-30-00, BK. A9, PG. 5077)
- EXISTING UG PNM EASEMENT (09-07-00, BK. A9, PG. 8375)
- EXISTING DRAINAGE COVENANT ENCUMBERING TRACTS A AND B TO ACCEPT SURFACE DRAINAGE WATERS FROM SEGO-COX ADD. (03-18-85, BK.MISC. 211-A, PGS. 30-32)
- NEW 20' PUBLIC WATERLINE EASEMENT - "SEE DETAIL THIS SHEET" (GRANTED BY THIS PLAT)
- NEW 35' X 35' PUBLIC WATERMETER EASEMENT - "SEE DETAIL THIS SHEET" (GRANTED BY THIS PLAT)



Note for Reference Only



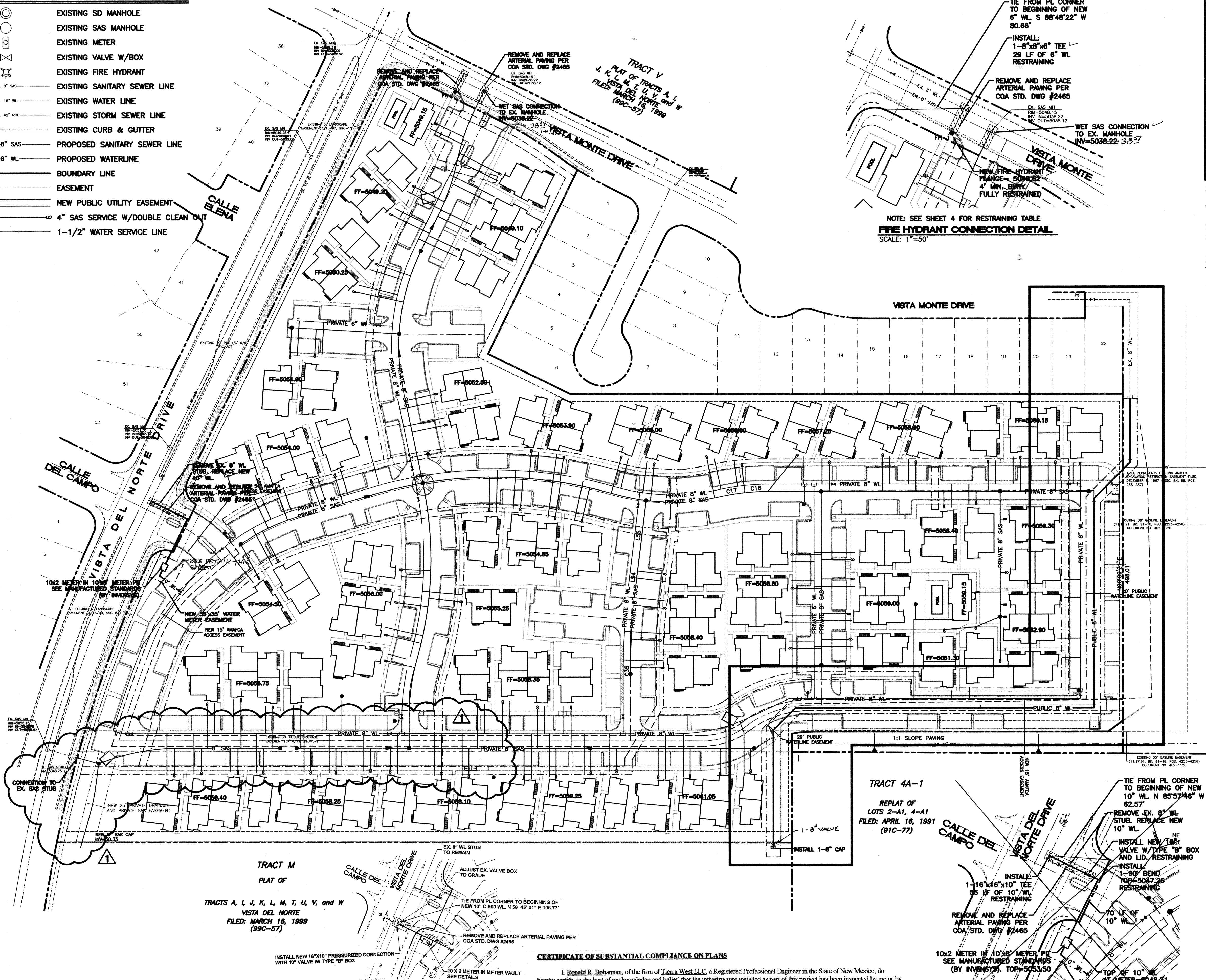
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SURVEYING**
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Drawn By: RJA/TA	Date: 04-15-02
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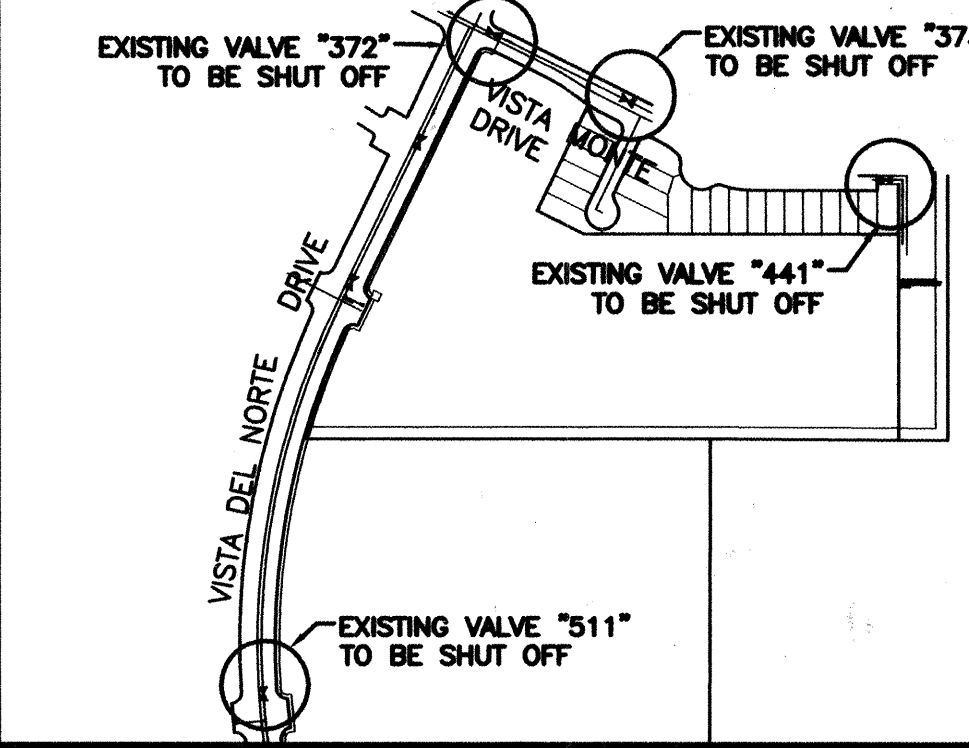
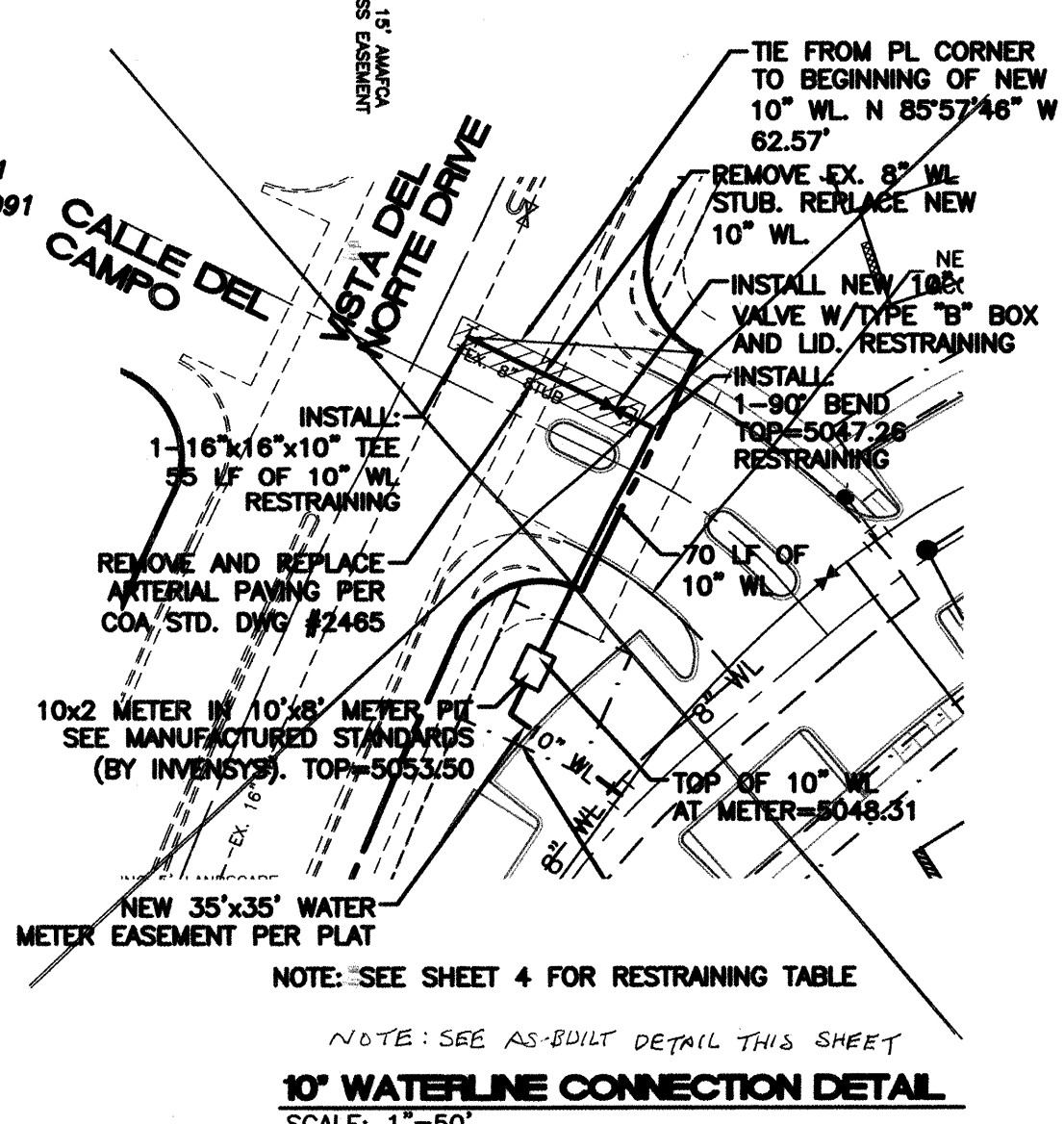
LEGEND

- EXISTING SD MANHOLE
- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE
- EXISTING CURB & GUTTER
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATERLINE
- BOUNDARY LINE
- EASEMENT
- NEW PUBLIC UTILITY EASEMENT
- 4" SAS SERVICE W/DOUBLE CLEAN OUT
- 1-1/2" WATER SERVICE LINE

SCANNED BY
MESA REPRO

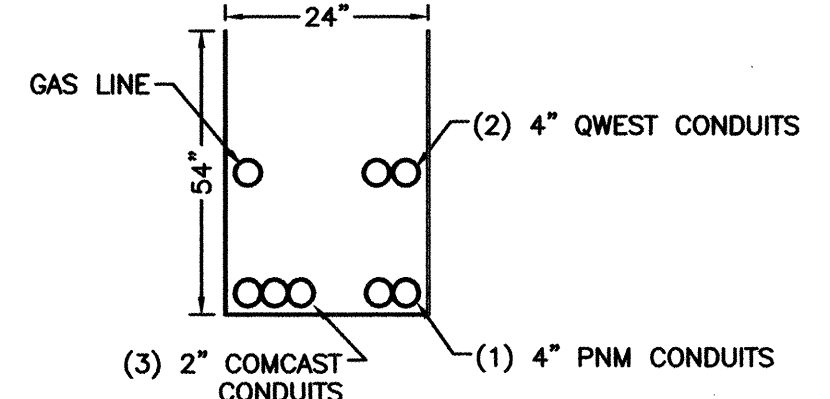


FIRE HYDRANT CONNECTION DETAIL
SCALE: 1"=50'



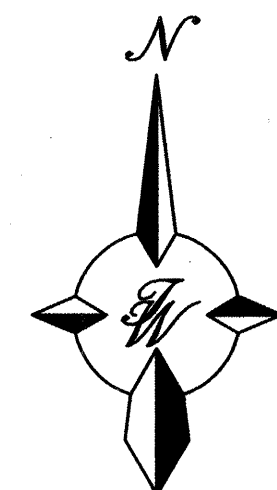
WATER SHUT-OFF PLAN

- NOTES:
1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
 2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN.
 3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS. CONTRACTOR IS TO MAKE THE WATER CONNECTION DURING THE THAT PERIOD.
 4. SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN

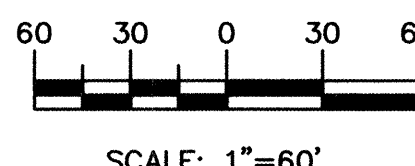


UTILITY TRENCH DETAIL
NTS

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



GRAPHIC SCALE

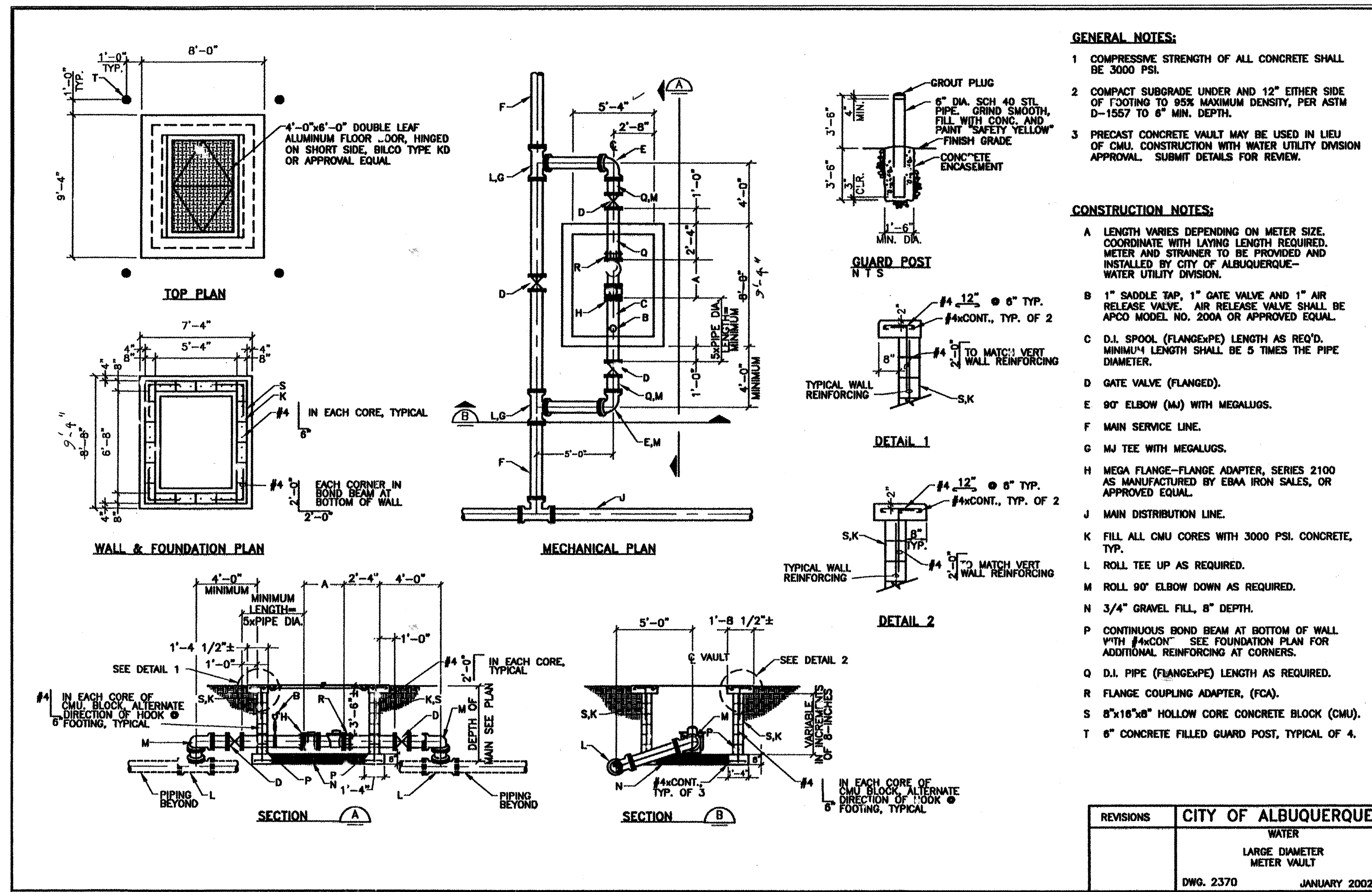


CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

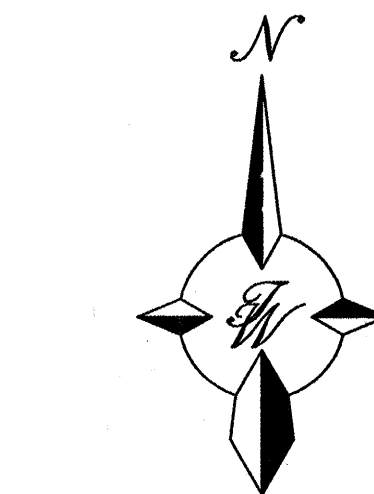
I, Ronald R. Bohannon, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction, with survey information provided by Aldrich Land Surveying, NMPS number 7719.

Engineer's Seal & Signature
6/10/03

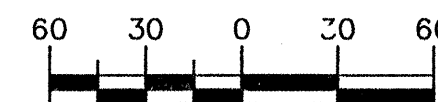
Tierra West, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
TITLE: RANCHO MIRAGE CONDOS UTILITY IMPROVEMENTS MASTER UTILITY PLAN	
DESIGN REVIEW COMMITTEE APPROVE MAY 28 2003 REVIEW COMMITTEE	CITY ENGINEER APPROVAL MAY 28 2003
CITY PROJECT NO. 692081	ZONE MAP NO. E-16-Z
SHEET 3 OF 7	MO./DAY/YR. MO./DAY/YR.



LARGE DIAMETER METER VAULT DETAIL
NTS



GRAPHIC SCALE



SCALE: 1"=60'

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **RANCHO MIRAGE CONDOS**
UTILITY IMPROVEMENTS
MASTER UTILITY PLAN DETAILS

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
DESIGN REVIEW COMMITTEE	CITY ENGINEER		
DESIGNED BY: RRB	DRAWN BY: BDO	DATE: 06/02	DATE: 10/01/02
DRAWN NAME: 2116CTMU.DWG	CHECKED BY: RRB	DATE: 06/02	

CITY PROJECT NO. 692081 ZONE MAP NO. E-16-Z SHEET 3A OF 7

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

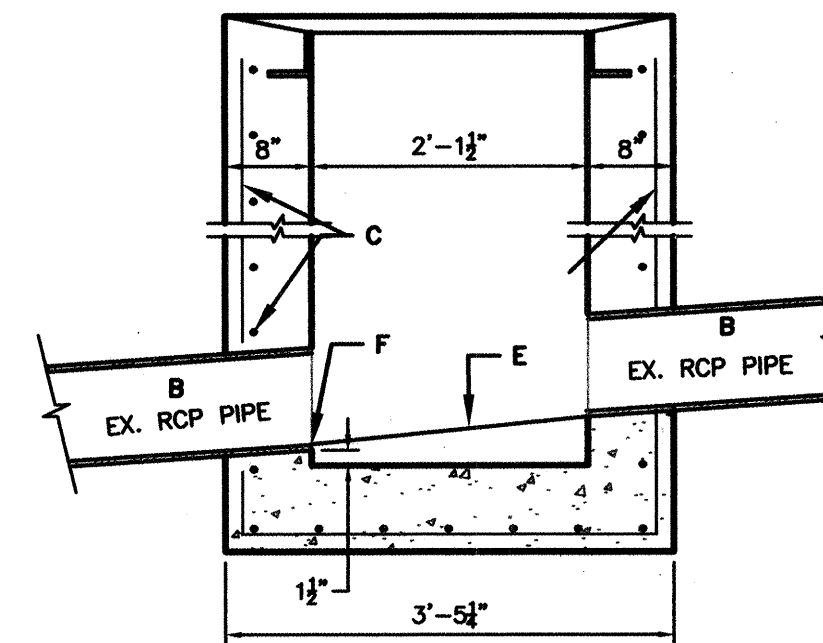
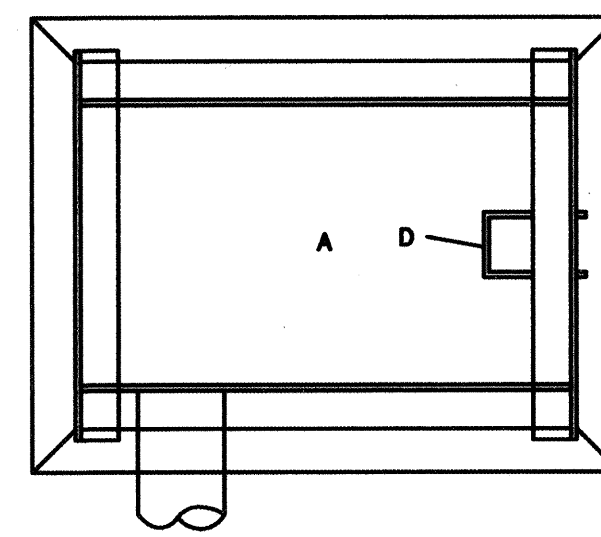
I, Ronald R. Dehannan, of the firm of Terra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Aldrich Land Surveying, NMPS number 7719.

Engineer's Seal
& Signature
06/02

SCANNED BY
MESA REPRO

LEGEND

- | | |
|---|------------------------------|
|  | EXISTING SD MANHOLE |
|  | EXISTING SAS MANHOLE |
|  | EXISTING METER |
|  | EXISTING VALVE W/BOX |
|  | EXISTING FIRE HYDRANT |
|  | EXISTING SANITARY SEWER LINE |
|  | EXISTING WATER LINE |
|  | EXISTING STORM SEWER LINE |
|  | EXISTING CURB & GUTTER |
|  | PROPOSED STORM SEWER LINE |
|  | PROPOSED SANITARY SEWER LINE |
|  | PROPOSED WATERLINE |
|  | BOUNDARY LINE |
|  | EASEMENT |

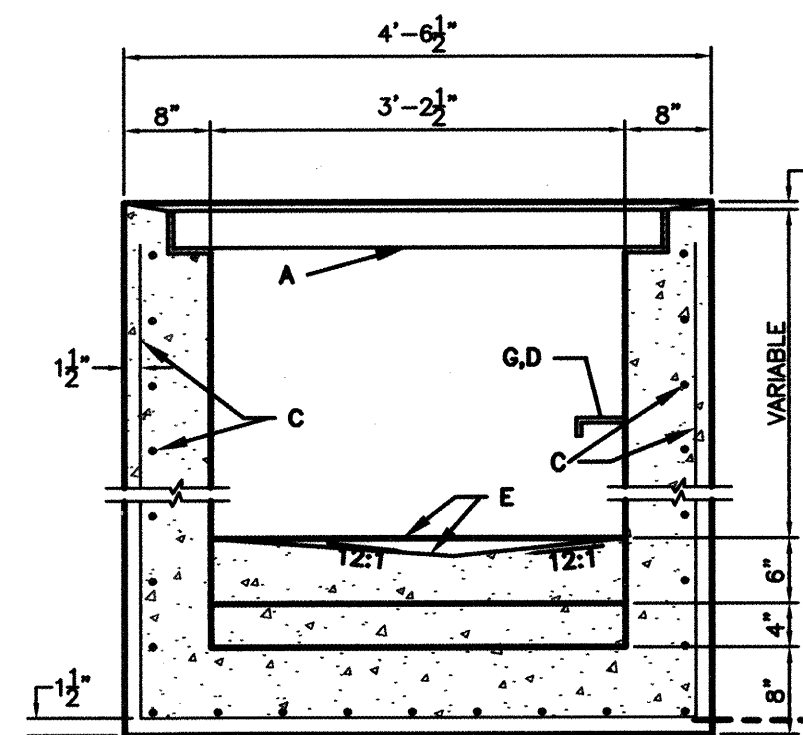


GENERAL NOTES

1. STORM INLET CUTTER TRANSITION WILL BE SHOWN ON THE CONSTRUCTION PLANS.
2. OUTLET PIPE, PER DESIGN REQUIREMENT.
3. FOR FRAME & GRATING, SEE DWG. 2216, 2220 & 2221

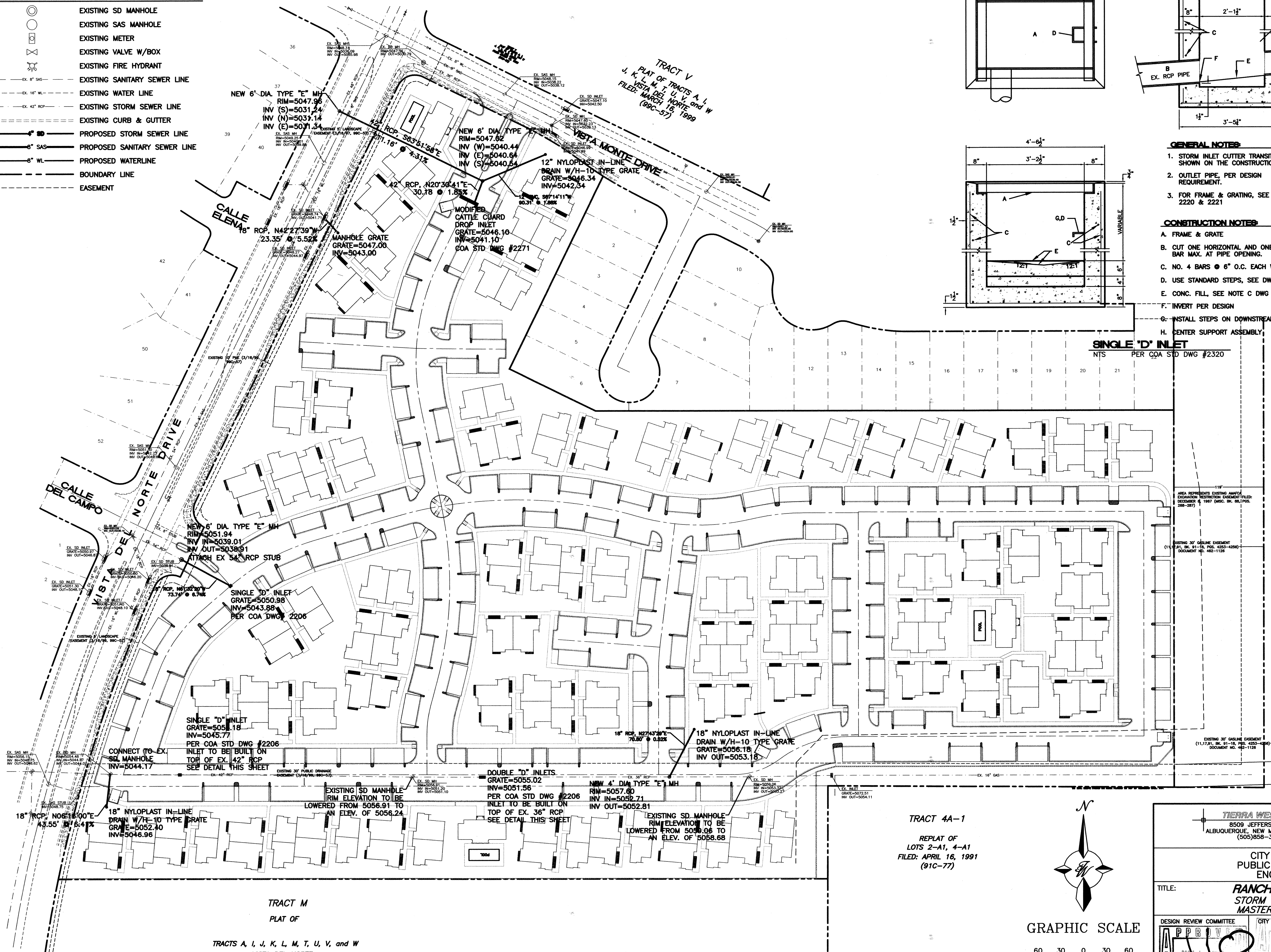
CONSTRUCTION NOTES:

- A. FRAME & GRATE
- B. CUT ONE HORIZONTAL AND ONE VERTICAL BAR MAX. AT PIPE OPENING.
- C. NO. 4 BARS @ 6" O.C. EACH WAY
- D. USE STANDARD STEPS, SEE DWG 2229.
- E. CONC. FILL, SEE NOTE C DWG 2201
- F. INVERT PER DESIGN
- G. INSTALL STEPS ON DOWNSTREAM FACE
- H. CENTER SUPPORT ASSEMBLY



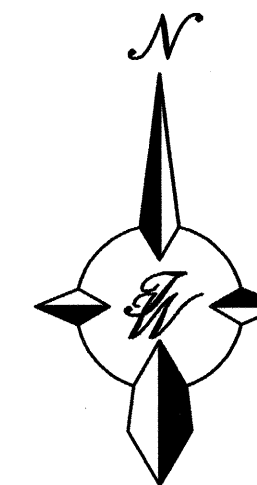
SINGLE "D" INLET

NTS PER COA STD DWG #2320

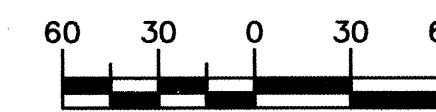


TRACT 4A-1

REPLAT OF
LOTS 2-A1, 4-A1
FILED: APRIL 16, 1991
(91C-77)



GRAPHIC SCALE



SCALE: 1"=60'

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87120
(505)858-3100

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **RANCHO MIRAGE CONDOS**
STORM SEWER IMPROVEMENTS
MASTER STORM SEWER PLAN

DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL		LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
						
CITY	ZONE	MAP	NO.	SHEET	OF	

CITY PROJECT NO. 692081

ZONE MAP NO.
E-16-Z

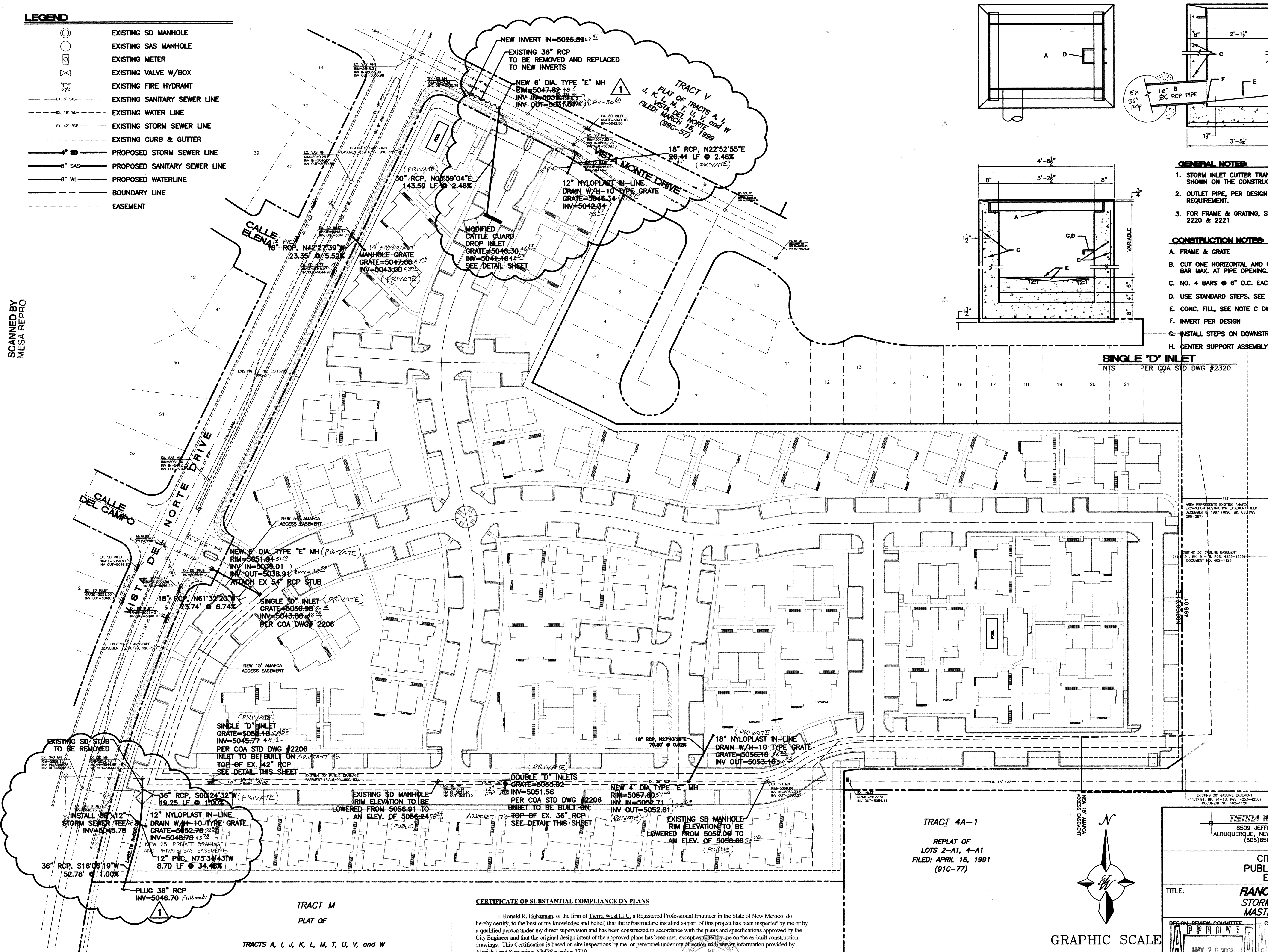
SHEET 5 OF 7

VOID

LEGEND

- EXISTING SD MANHOLE
- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE
- EXISTING CURB & GUTTER
- PROPOSED STORM SEWER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATERLINE
- BOUNDARY LINE
- EASEMENT

SCANNED BY
MESA REPRO



GENERAL NOTES

- STORM INLET CUTTER TRANSITION WILL BE SHOWN ON THE CONSTRUCTION PLANS.
- OUTLET PIPE, PER DESIGN REQUIREMENT.
- FOR FRAME & GRATING, SEE DWG. 2216, 2220 & 2221

CONSTRUCTION NOTES

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- USE STANDARD STEPS, SEE DWG. 2229.
- CONC. FILL, SEE NOTE C DWG. 2201
- INVERT PER DESIGN
- INSTALL STEPS ON DOWNSTREAM FACE
- CENTER SUPPORT ASSEMBLY

SINGLE "D" INLET NTS PER COA STD DWG #2320

AREA REPRESENTS EXISTING AMACO
EROSION PROTECTION EASEMENT
DECEMBER 8, 1967 (MISC. BK. 86, PGS.
268-267)

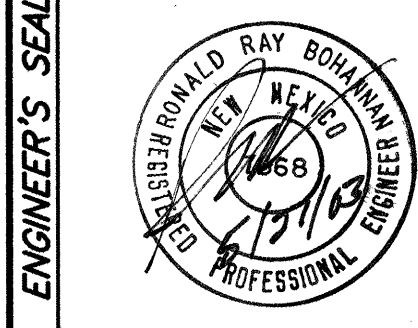
EXISTING 30" COASTLINE EASEMENT
(11,17,91, BK. 91-18, PGS. 4203-4206)
DOCUMENT NO. 462-1126

TIERRA WEST, LLC
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(505)858-3100

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **RANCHO MIRAGE CONDOS
STORM SEWER IMPROVEMENTS
MASTER STORM SEWER PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
APPROVED MAY 28 2003	APPROVED MAY 28 2003		
DESIGN REVIEW COMMITTEE	CITY ENGINEER		
CITY PROJECT NO. 692081	ZONE MAP NO. E-16-Z	SHEET 5	OF 7



NO.	DATE	REVISIONS
1	5/03	ADDED STORM SEWER STUB TO SOUTH PL., ROUTING STORM SEWER
		REVISIONS
		DESIGN
DESIGNED BY	RRB	DATE 06/02
DRAWN BY	BDG	DATE 07/24/02
DRAWN NAME:	2116CTMUDWG	
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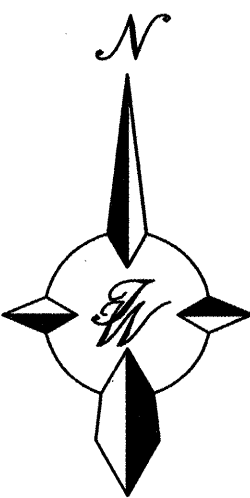
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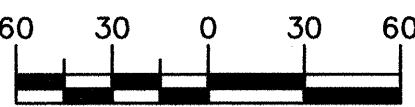
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EROSION CONTROL PLAN, NPDES PERMIT
AND POLLUTION PREVENTION NOTES

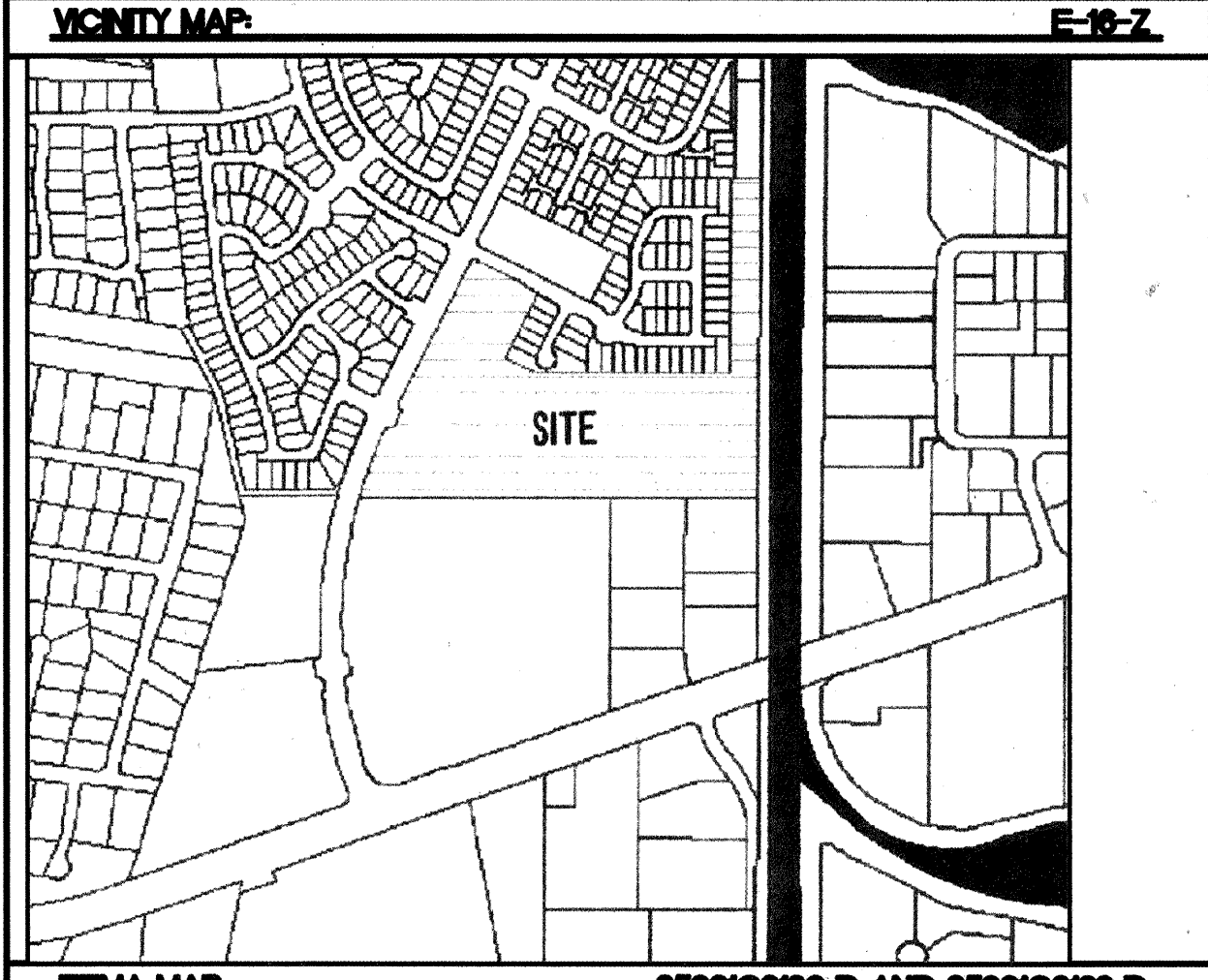
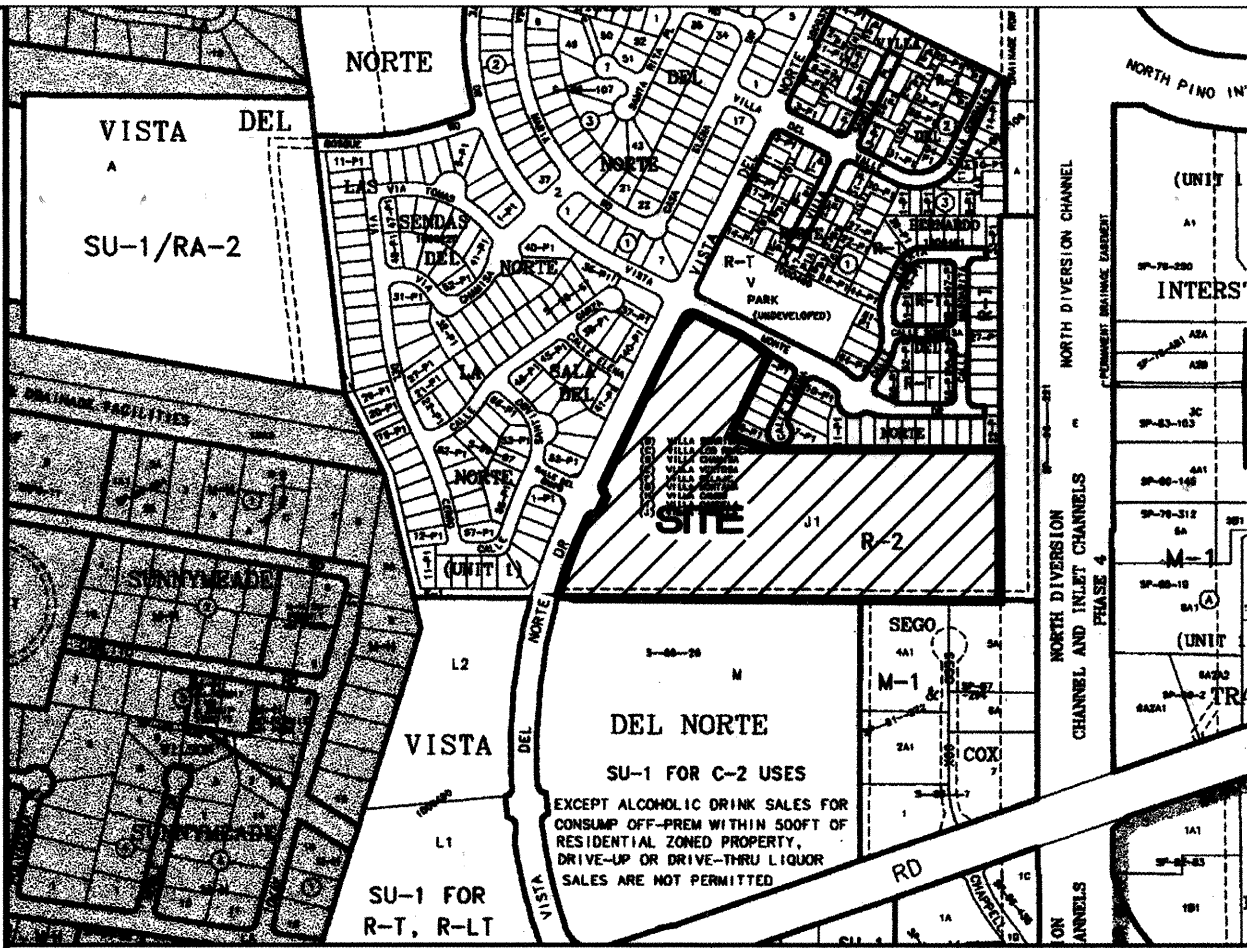
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE



GRAPHIC SCALE



SCALE: 1"=60'



LEGEND

- EXISTING STORM SEWER MANHOLE
- EXISTING STORM SEWER LINE
- PROPOSED STORM SEWER MANHOLE
- EXISTING STORM SEWER LINE
- EXISTING CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- WROUGHT IRON & PILASTER FENCE
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL
- PROPOSED LANDSCAPE RETAINING WALL
- DIRECTION OF FLOW

Note for Reference Only

ROUGH GRADING APPROVAL

ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	RANCHO MIRAGE • VISTA DEL NORTE OVERALL GRADING AND DRAINAGE PLAN TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	DRAWN BY BDG
		DATE 7/23/02 2116GRB2.DWG SHEET # 5A JOB # 21016

CONSTRUCTION TRAFFIC CONTROL GENERAL NOTES

1. CONTRACTOR MUST OBTAIN FROM CONSTRUCTION COORDINATION AN EXCAVATION/BARRICADING PERMIT BEFORE ENGAGING IN ANY CONSTRUCTION, MAINTENANCE OR REPAIR WORK IN ANY OF THE CITY OF ALBUQUERQUE'S RIGHTS-OF-WAY. EMERGENCY WORK THAT WOULD PRESERVE LIFE OR PROPERTY IS EXCLUDED WITH THE UNDERSTANDING, THAT A PERMIT SHALL BE OBTAINED WITHIN 24 TO 48 HOURS.

2. CONTRACTOR SHALL AT THE TIME OF PERMIT REQUEST, SUBMIT FOR APPROVAL BY CONSTRUCTION COORDINATION, A TRAFFIC CONTROL PLAN DETAILING ALL EXISTING TOPOGRAPHY SUCH AS LANE WIDTHS, DRIVEWAYS, AND BUSINESS/RESIDENTIAL ACCESSES. THE TRAFFIC CONTROL PLAN SHALL INCLUDE ALL PHASES OF WORK AND SCHEDULES INVOLVED IN THE CONSTRUCTION PROJECT. ANY SEPARATE PHASES OF A CONSTRUCTION PROJECT SHALL BE GIVEN AN INDIVIDUAL PERMIT EACH. BLANKET PERMITS WILL NOT BE ISSUED.

3. THESE TYPICAL TRAFFIC CONTROL PLANS DO NOT REFLECT THE EXISTING TOPOGRAPHY SUCH AS DRIVEWAYS, LANE WIDTHS, AND BUSINESS/RESIDENTIAL ACCESSES. EVERY LOCATION THAT REQUIRES CONSTRUCTION TRAFFIC CONTROL SHALL HAVE A DETAILED TRAFFIC CONTROL PLAN SHOWING ALL EXISTING TOPOGRAPHY.

4. CONSTRUCTION SHALL NOT BEGIN UNLESS A TRAFFIC CONTROL PLAN HAS BEEN APPROVED AND VERIFIED BY CONSTRUCTION COORDINATION.

5. CONSTRUCTION COORDINATION SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY TRAFFIC CONTROL CHANGES NEEDED BY CONTRACTOR, THAT WERE NOT PREVIOUSLY APPROVED. THESE TRAFFIC CONTROL CHANGES SHALL BE REQUESTED IN WRITING ACCOMPANIED WITH A TRAFFIC CONTROL PLAN REFLECTING SUCH CHANGES.

6. ALL CONSTRUCTION TRAFFIC CONTROL DEVICES SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL, SERVICE AND MAINTAIN ALL TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL DEVICES SHALL NOT BE REMOVED OR ALTERED IN ANY WAY WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION, PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.

7. THE CONSTRUCTION TRAFFIC CONTROL INITIAL SET-UP SHALL BE BY AN AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA) CERTIFIED WORKSITE TRAFFIC SUPERVISOR. THE MAINTENANCE AND SERVICING SHALL ALSO BE DONE BY AN ATSSA CERTIFIED WORKSITE TRAFFIC SUPERVISOR OR EQUIVALENT.

8. CONTRACTOR IS RESPONSIBLE TO MAINTAIN AND SERVICE ALL TRAFFIC CONTROL DEVICES 24 HOURS A DAY, 7 DAYS A WEEK THROUGHOUT LENGTH OF PROJECT. CONTRACTOR IS RESPONSIBLE THAT ALL TRAFFIC CONTROL DEVICES COMPLY WITH THE MUTCD, LATEST EDITION.

9. ALL ADVANCE WARNING SIGNS SHALL BE DOUBLE INDICATED WHENEVER THERE ARE MULTI-LANE TRAFFIC IN ANY ONE GIVEN DIRECTION AND THERE IS SUFFICIENT MEDIAN SPACE.

10. ALL BARRICADES IN ALL TAPERS AND TANGENTS SHALL BE PLACED APART, A DISTANCE MEASURED IN FEET, EQUAL TO THAT OF THE POSTED SPEED LIMIT. NO EXCEPTIONS UNLESS APPROVED BY CONSTRUCTION COORDINATION PER MUTCD SECTION 6A-4.

11. ALL WORK IN ARTERIAL ROADWAYS SHALL BE ON A CONTINUOUS 24 HOUR PER DAY BASIS UNTIL COMPLETED.

12. CONTRACTOR IS RESPONSIBLE TO PROVIDE CONSTRUCTION COORDINATION, A WEEKLY LOG OF DAILY INSPECTIONS OF BARRICADE AND MAINTENANCE SCHEDULES ON PROJECTS THAT ARE OVER ONE WEEK DURATION.

13. EQUIPMENT OR MATERIALS SHALL NOT BE STORED WITHIN 15 FEET OF A TRAVELLED TRAFFIC LANE DURING NON-WORKING HOURS WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION.

14. CONTRACTOR SHALL PROVIDE AND MAINTAIN A SAFE AND ADEQUATE MEANS OF CHANNELIZING PEDESTRIAN TRAFFIC AROUND AND THROUGH THE CONSTRUCTION AREA.

15. CONTRACTOR IS RESPONSIBLE FOR OBLITERATION OF ANY CONFLICTING STRIPING AND RESPONSIBLE FOR ALL TEMPORARY STRIPING.

16. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES, BUSINESSES AND/OR RESIDENTS AT ALL TIMES.

17. CONTRACTOR SHALL PROVIDE ACCESS SIGNS FOR BUSINESSES LOCATED WITHIN THE CONSTRUCTION AREA UNDER THE SUPERVISION OF CONSTRUCTION COORDINATION. EACH ACCESS SIGN SHALL HAVE 5 INCH, WHITE OPAQUE LETTERING ON BLUE REFLECTORIZED BACKGROUND. ACCESS SIGNS SHALL BE CONSIDERED INCIDENTAL TO THE BID AND NOT PART OF THE CONTRACT UNLESS OTHERWISE STATED. NO MORE THAN 3 BUSINESSES SHALL BE LISTED ON A ACCESS SIGN. SHOPPING CENTERS AND MALLS SHALL BE LISTED AS SUCH.

18. ALL ADVANCE WARNING SIGNS SHALL MEET THE MINIMUM REFLECTIVE INTENSITY REQUIREMENTS SET FORTH BY THE CITY OF ALBUQUERQUE. CONSTRUCTION COORDINATION SHALL DETERMINE ALL REQUIREMENTS AND APPROVE OR DISAPPROVE ANY ADVANCE WARNING SIGN PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.

19. 48 HOURS PRIOR TO OCCUPANCY OR CLOSING OF A RIGHT-OF-WAY, CONTRACTOR SHALL NOTIFY: POLICE, FIRE DEPARTMENT, SCHOOLS, HOSPITALS, TRANSIT AUTHORITY, BUSINESSES AND/OR RESIDENTS THAT WILL BE AFFECTED BY THE CONSTRUCTION.

20. ANY FIELD ADJUSTMENTS SHALL BE APPROVED BY CONSTRUCTION COORDINATION.

21. EXCAVATIONS SHALL BE PLATED, TEMPORARILY PATCHED OR RESURFACED PRIOR TO OPENING OF TRAFFIC. A MINIMUM OF 11 FEET SHALL BE PROVIDED FOR TRAFFIC IN ANY GIVEN DIRECTION. CONTRACTOR IS RESPONSIBLE FOR ANY WORK INVOLVED IN SATISFYING THESE REQUIREMENTS.

22. CONTRACTOR SHALL AT ALL TIMES COMPLY WITH THE FOLLOWING:
1. STANDARDS AND REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
2. THE CITY OF ALBUQUERQUE TRAFFIC CODE, LATEST EDITION.
3. SECTION 19 OF THE CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTION, AS WELL AS OTHER SECTIONS.

23. FAILURE TO COMPLY WITH ANY OF THE ABOVE MENTIONED, WILL BE ADEQUATE CAUSE TO CEASE ALL WORK ON ANY CONSTRUCTION PROJECT. WORK WILL NOT RESUME UNTIL ALL REQUIREMENTS ARE ADDRESSED AND APPROVED BY CONSTRUCTION COORDINATION.

24. ALL TRAFFIC CONTROL DEVICES SHALL BE KEPT IN NEW-CLEAN CONDITION. WASHING OF EQUIPMENT IS INCIDENTAL TO IT'S PLACEMENT AND MAINTENANCE.

25. TRAFFIC CONTROL STANDARDS APPLY ONLY WHERE THE CONSTRUCTION TRAFFIC CONTROL PLANS ARE NOT SPECIFIC.

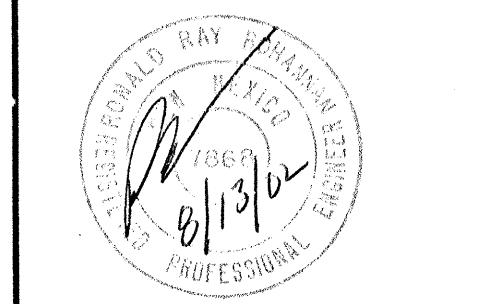
26. ADVANCE WARNING SIGNS SHALL BE 36"x36" MIN. WITH SUPER ENGINEERING GRADE SHEETING OR BETTER. MOUNTING HEIGHT AT TOP OF SIGN SHALL BE THE SAME AS FOR A 48" SIGN AS INDICATED IN THE M.U.T.C.D.

27. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORKSITE. ALL GRAFFITI SHALL BE PROMPTLY REMOVED FROM ALL EQUIPMENT, BOTH PERMANENT AND TEMPORARY.

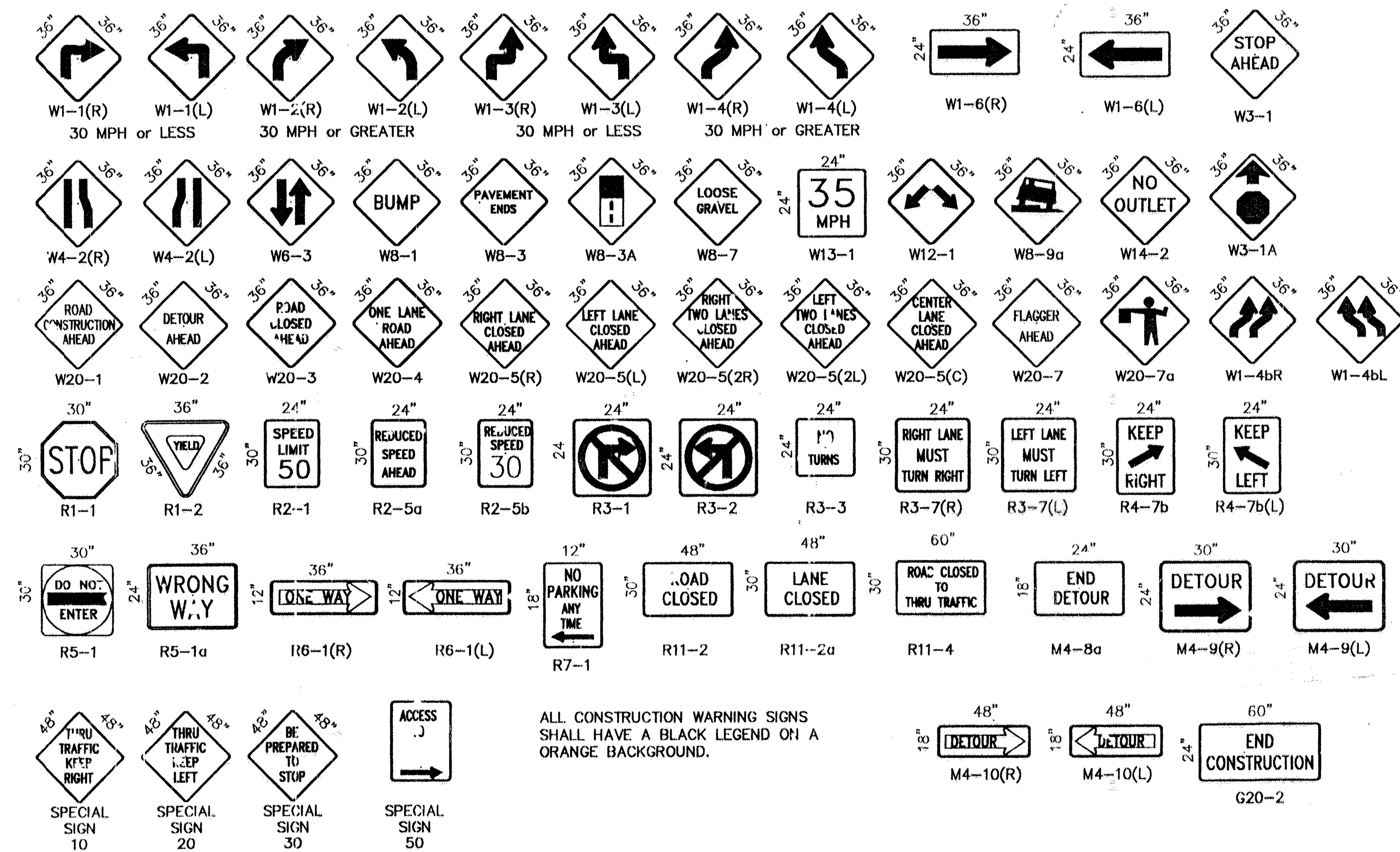
SPECIAL PROJECT TRAFFIC CONTROL NOTES:

1. CONTRACTOR MUST MAINTAIN ACCESS TO ALL EXISTING RESIDENTS AT ALL TIMES. IF NECESSARY, A FLAGGING OPERATION IS NEEDED IN VISTA MONTE DRIVE TO MAINTAIN TRAFFIC ACCESS WHILE PERFORMING THE SAS AND WATER TIE-INS. CONTRACTOR SHALL WORK CONTINUOUSLY AT THIS LOCATION UNTIL TWO-WAY TRAFFIC IS MAINTAINED. FLAGGERS MUST BE PRESENT WHENEVER LESS THAN TWO LANES (ONE EACH DIRECTION) ARE NOT PROVIDED ON VISTA MONTE DRIVE.

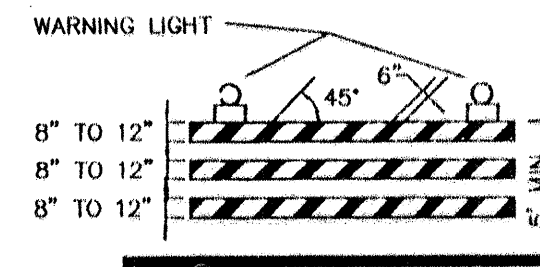
ENGINEER'S STAMP & SIGNATURE



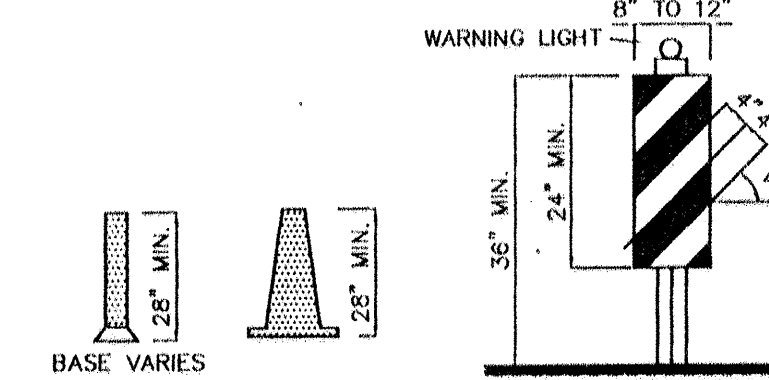
SIGN FACE DETAILS



ALL CONSTRUCTION WARNING SIGNS SHALL HAVE A BLACK LEGEND ON A ORANGE BACKGROUND.



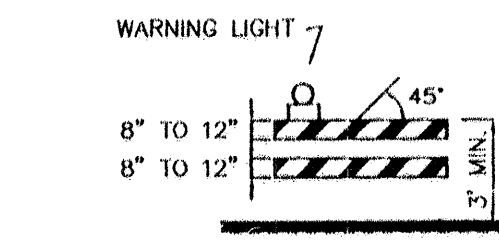
TYPE III BARRICADE



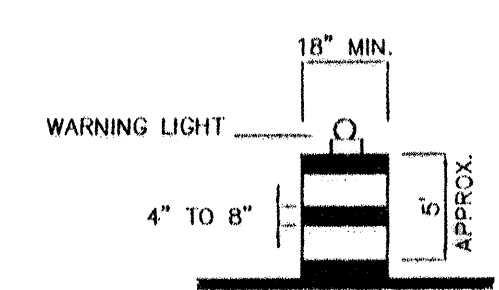
CONES

VERTICAL PANEL

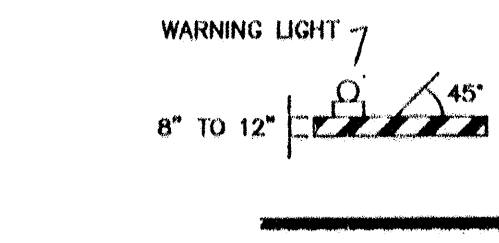
HIGH LEVEL WARNING DEVICE



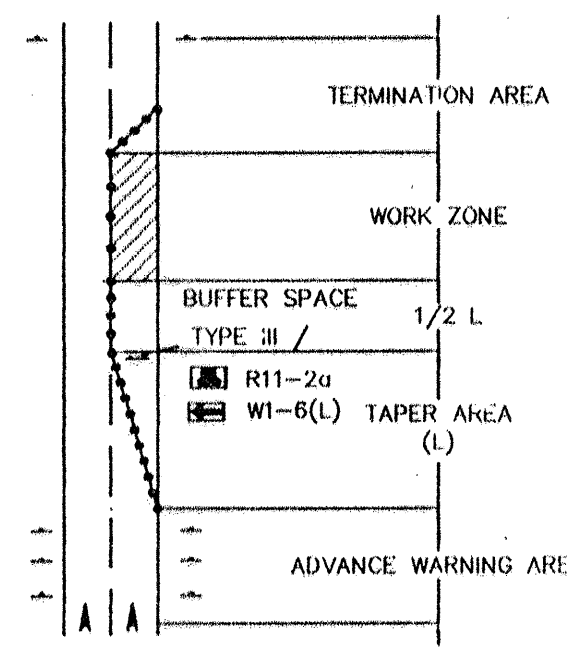
TYPE II BARRICADE COLLAPSIBLE



BARREL



TYPE I BARRICADE COLLAPSIBLE



TRAFFIC CONTROL ELEMENTS

LEGEND

WORK AREA

BARRICADE -- TYPE I, TYPE II, OR BARREL

BARRICADE -- TYPE III

VERTICAL PANEL

WARNING SIGN

DISTANCE BETWEEN SIGNS -- A DISTANCE MEASURED IN FEET EQUAL TO A VALUE OF TEN TIMES THE SPEED LIMIT OF THE STREET

FLAGMAN POSITION

SPACING BETWEEN BARRICADES-- A DISTANCE MEASURED IN FEET EQUAL TO THE SPEED LIMIT OF THE STREET

TAPER LENGTH -- SEE CHART BELOW

THE TANGENT LENGTH IS EQUAL TO THE TAPER LENGTH FOR A GIVEN STREET.

TAPER REQUIREMENTS

SPEED LIMIT (MPH)	TAPER LENGTH (L) (FEET)			MINIMUM NUMBER OF DEVICES FOR TAPER	MAXIMUM DEVICE SPACING IN FEET	
	10' LANE	11' LANE	12' LANE		ALONG TAPER	AFTER TAPER
20	70	75	80	5	20	20
25	105	115	125	6	25	25
30	150	165	180	7	30	30
35	205	225	245	8	35	35
40	270	295	320	9	40	40
45	450	495	540	13	45	45
50	500	550	600	13	50	50
55	550	605	660	13	55	55

RECOMMENDED SIGN SPACING(D) FOR ADVANCE WARNING SIGN SERIES

SPEED LIMIT (MPH)	MINIMUM DISTANCE IN FEET	
	BETWEEN SIGNS	FROM LAST SIGN TO TAPER
0-20	10 X SPEED LIMIT	10 X SPEED LIMIT
25-30	10 X SPEED LIMIT	10 X SPEED LIMIT
30-35	10 X SPEED LIMIT	10 X SPEED LIMIT
40-45	10 X SPEED LIMIT	10 X SPEED LIMIT
50-60	10 X SPEED LIMIT	10 X SPEED LIMIT

TAPER CRITERIA

TYPE OF TAPER	TAPER LENGTH
UPSTREAM TAPER:	
MERGING TAPER	L MINIMUM
SHIFTING TAPER	1/2 L MINIMUM
SHOULDER TAPER	1/2 L MINIMUM
TWO-WAY TRAFFIC TAPER	100 FEET MAXIMUM
DOWNSTREAM TAPERS	100 FEET PER LANE

TAPER LENGTH COMPUTATION

SPEED LIMIT	
40 MPH OR LESS	$L = \frac{WS^2}{60}$
45 MPH OR GREATER	$L = W \times S$
L = TAPER LENGTH	
W = WIDTH OF OFFSET IN FEET	
S = POSTED SPEED OR OFF-PEAK 85-PERCENTILE SPEED IN MPH	

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP			
TITLE: SIGNING AND CONSTRUCTION TRAFFIC CONTROL STANDARDS			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	
COASTD		MO./DAY/YR.	
PROJECT NO.	MAP NO.	SHEET 7 OF 7	

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