

CONSTRUCTION PLANS
FOR
LEGACY NAA
APARTMENTS PHASE II
INFRASTRUCTURE
IMPROVEMENTS
ALBUQUERQUE, NEW MEXICO
JANUARY 2019

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS
I, HUGH W. FLOYD, NMPE 16633, OF THE FIRM RESPEC, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THE INFRASTRUCTURE INSTALLED AS SHOWN ON THESE DRAWINGS HAS BEEN INSPECTED BY ME OR BY A QUALIFIED PERSON UNDER MY DIRECT SUPERVISION AND HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THAT THE ORIGINAL DESIGN INTENT OF THE APPROVED PLANS HAS BEEN MET, EXCEPT AS NOTED BY ME ON THE AS-BUILT CONSTRUCTION DRAWINGS. THIS CERTIFICATION IS BASED ON SITE INSPECTIONS BY ME OR PERSONNEL UNDER MY DIRECTION AND SURVEY INFORMATION PROVIDED BY THE CONTRACTOR, FRANKLIN'S EARTHMOVING INC., AND THE SURVEYOR, BRIAN MARTINEZ, NMPS 18374.



DATE: APRIL 27, 2020

CONSTRUCTION NOTES:

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH LATEST UPDATE.

2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH.

3. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINE, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

4. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. CONTRACTOR MUST REFER TO SECTION 19 OF THE STANDARD SPECIFICATION FOR TRAFFIC CONTROL.

5. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF CITY SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT CITY SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT CITY SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE SPECIFICATIONS.

6. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 250-1990, (ALBUQUERQUE AREA) 1-800-321-ALERT (2537) (STATEWIDE) FOR LOCATION OF EXISTING PUBLIC UTILITIES.

7. SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.

8. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.

9. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.

10. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE AND NMDOT.

11. TACK COAT REQUIREMENTS SHALL BE DETERMINED DURING CONSTRUCTION BY THE PROJECT ENGINEER.

12. BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE OR PER COA STANDARD DRAWING 2465, WHICHEVER IS MORE STRINGENT.

13. ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

14. ALL CITY STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED STRIPING BY CONTRACTOR TO EXISTING LOCATION OR AS INDICATED BY THIS PLAN SET. FINAL STRIPING TO BE COORDINATED WITH C.O.A. TRAFFIC OPERATIONS. FOR NMDOT STRIPING, SIGNING, AND TRAFFIC CONTROL REQUIREMENTS, SEE SHEETS 9 AND 10 OF THIS PLAN SET.

15. ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY MAY REQUIRE TWENTY-FOUR HOUR CONSTRUCTION.

16. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUT-OFF REQUESTS MUST BE MADE ONLINE AT http://www.abqwa.org/Water_Shut_off_and_Turn_on_Procedures.aspx

17. WHEN APPLICABLE, CONTRACTOR SHALL, ON BEHALF OF THE OWNER AND OPERATORS, SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.

18. ALL FILL SHALL BE CLEAN, FREE FROM VEGETATION, DEBRIS, AND OTHER DELETERIOUS MATERIALS, AND SHALL NOT BE CONTAMINATED WITH HYDROCARBONS OR OTHER CHEMICAL CONTAMINANTS.

19. IF CULTURAL RESOURCES, SUCH AS HISTORIC OR PREHISTORIC ARTIFACTS OR HUMAN REMAINS ARE DISCOVERED DURING EXCAVATION OR CONSTRUCTION, WORK SHALL CEASE AND THE ENGINEER SHALL NOTIFY LOCAL AUTHORITIES. IF HUMAN REMAINS ARE DETERMINED BY THE OFFICE OF THE MEDICAL EXAMINER NOT TO BE RECENT, THE ENGINEER SHALL NOTIFY THE STATE HISTORIC PRESERVATION OFFICER (SHPO) AT 827-6320.

20. TWO WEEKS PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY ABORIDE TRANSIT DEPARTMENT TO DISCUSS THE IMPACT OF TRAFFIC CONTROL PLAN ON BUS ROUTE AND ANY OTHER TRANSIT INFRASTRUCTURE BEING IMPACTED. CONTACT PERSON FOR ABORIDE: DOUG GOFF (505) 724-3139 OR (505) 331-0253, EMAILS: dgoff@abq.gov

21. CONTRACTOR SHALL REPLACE ANY PAVEMENT, CURB, SIDEWALK AND OTHER INFRASTRUCTURE THAT IS DAMAGED DURING CONSTRUCTION AT HIS EXPENSE.

22. ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING. EXISTING VALVES AND MANHOLES SHALL NOT BE BURIED OR PAVED OVER BUT RIMS SHALL BE ADJUSTED TO MATCH NEW GRADE PER COA STANDARD DRAWINGS 2460 AND 2461.

23. CONTRACTOR SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND ENGINEER FROM ANY ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

APPROVED RECORD DRAWINGS	
City Inspector	Henry Blair
Contractor	TLC Plumbing & Utility
Construction Engineer	Muhammed Adeeb
Date	6/11/2020

SURVEYOR'S CERTIFICATION
I, BRIAN J. MARTINEZ, A DULY QUALIFIED, REGISTERED, PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE "AS-BUILT" INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM FIELD CONSTRUCTION AND "AS-BUILT" SURVEYS PERFORMED BY ME OR UNDER MY SUPERVISION, THAT THE "AS-BUILT" INFORMATION SHOWN ON THESE DRAWINGS WAS ADDED BY ME OR UNDER MY SUPERVISION, AND THAT THIS "AS-BUILT" INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. CARTESIAN SURVEYS IS NOT RESPONSIBLE FOR ANY OF THE DESIGN CONCEPTS, CALCULATIONS, ENGINEERING, OR INTENT OF THE RECORDED DRAWINGS.

Brian J. Martinez, NMPS 18374



VICINITY MAP

C-18-Z

SHEET INDEX

- COVER SHEET
- TOPOGRAPHIC SURVEY
- GRADING PLAN
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- 3 PLAT
- PRIVATE UTILITY PLAN
- 1 UTILITY AND STORM DRAIN PLAN
- 2 UTILITY AND STORM DRAIN PLAN
- 1 DEMOLITION PLAN
- 2 DEMOLITION PLAN
- 1 ROAD CONSTRUCTION
- 2 ROAD CONSTRUCTION
- TRACER WIRE DETAILS
- A SAN PEDRO STRIPING PLAN, 5/2/19.

APPLICANT:
RESPEC, Hugh Floyd, P.E.
5071 JEFFERSON ST NE, SUITE 101
ALBUQUERQUE, NM 87109
(505) 366-4187

DEVELOPER:
LEGACY HOSPITALITY, LLC
6501 EAGLE ROCK AVENUE NE,
SUITE 5-B
ALBUQUERQUE, NM 87113
(505) 243-6000

RELATED CASE: ALAMEDA PUBLIC
SAS EXTENSION CPN 692493
DRB CASE #1011396

ELEVATIONS ARE IN NAVD 88

RESPEC

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER		DATE	
		DRC Chairman		[Signature]		2/10/19	
		Transportation		[Signature]		1/30/19	
		Water/Wastewater		[Signature]		2/11/19	
		Hydrology		[Signature]		1/30/19	
		Parks		[Signature]		[Signature]	
		Const. Mngmt.					
		Const. Coord.					
		NMUJ					
		CITY PROJECT NO.		692492		SHEET 1 OF 8	

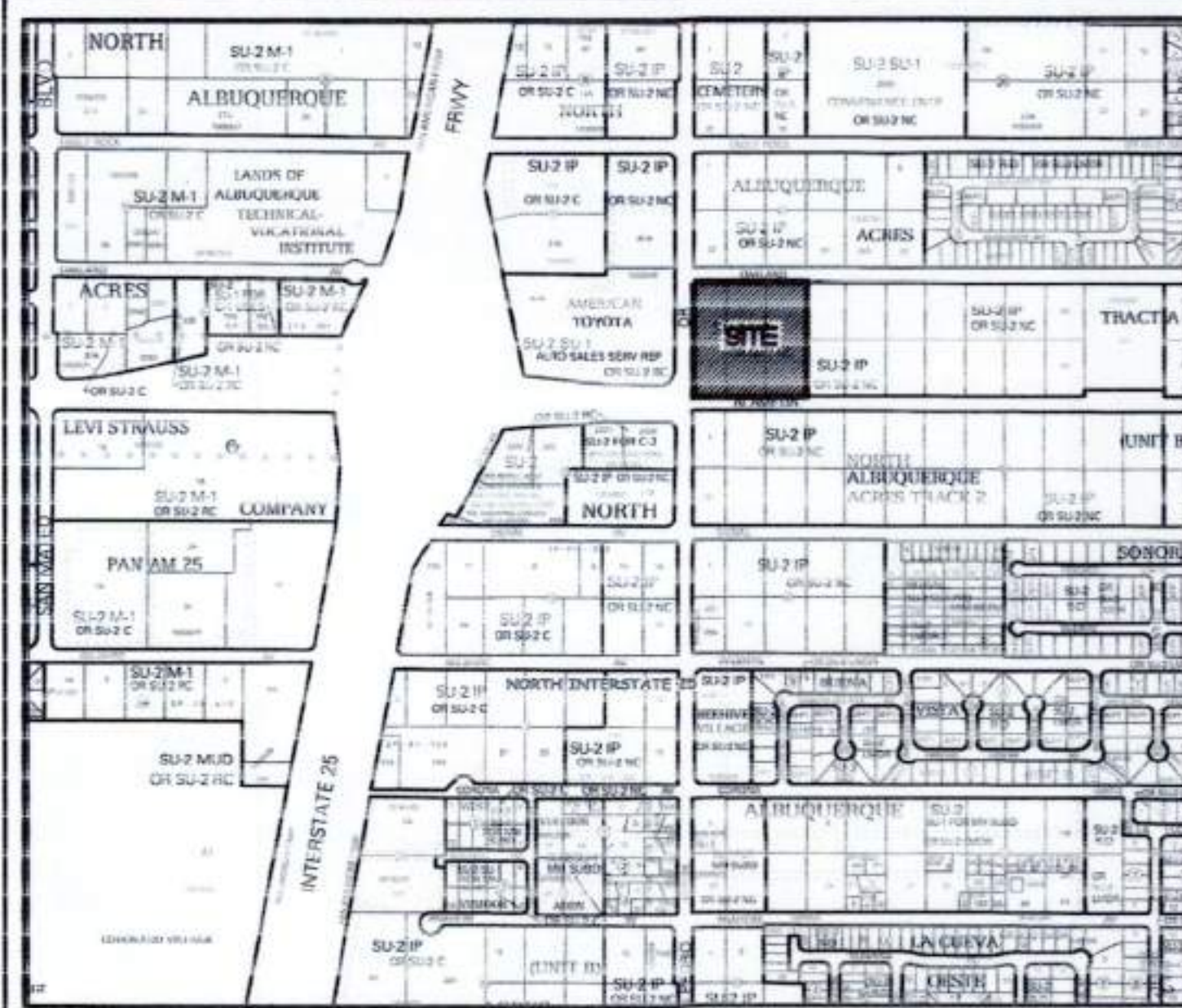



 CITY OF ALBUQUERQUE
 DEPARTMENT OF MUNICIPAL DEVELOPMENT
 ENGINEERING DIVISION

Design Review Committee	City Engineer Approval	Most Design Update _____	Mo./Day/Yr.	Mo./Day/Yr.

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
692492	C-18-Z	2	8

[illegible]



Vicinity Map - Zone Atlas C-18-Z

Notes

1. FIELD SURVEY PERFORMED IN AUGUST 2015.
2. ALL DISTANCES ARE GROUND DISTANCES: US SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES MODIFIED NEW MEXICO STATE PLANE COORDINATES (NAD 83-GROUND) USING GROUND TO GRID FACTOR OF 0.9996648025.
4. LOT LINES TO BE ELIMINATED SHOWN HEREON AS

Documents

1. TITLE COMMITMENT PROVIDED BY FIRST AMERICAN TITLE, HAVING FILE NO. 2289453-AL01 AND AN EFFECTIVE DATE OF NOVEMBER 28, 2017.
2. PLAT OF RECORD FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON APRIL 24, 1936 IN BOOK D, PAGE 130.
3. CITY OF ALBUQUERQUE RIGHT-OF-WAY MAP HAVING PROJECT #7663.91

Free Consent & Dedication

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF DO HEREBY GRANT THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THEIR RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

3/16/18
ALEEM KASSAM, MANAGING MEMBER
VANDY INVESTMENTS LLC
STATE OF NEW MEXICO
COUNTY OF Sandoval
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON March 16, 2018
BY: ALEEM KASSAM, MANAGING MEMBER, VANDY INVESTMENTS LLC
By: [Signature]
NOTARY PUBLIC
MY COMMISSION EXPIRES 6-11-18

Indexing Information

Section 13, Township 11 North, Range 3 East, N.M.P.M.
as Projected into the Elena Gallegos Grant
Subdivision: North Albuquerque Acres
Owner: Vandy Investments LLC
IPC # 101806427340510332 (Lot 1)
101806428840510331 (Lot 2)
101806430340610330 (Lot 3)
101806430336310303 (Lot 30)
101806428838310302 (Lot 31)
101806427338310301 (Lot 32)

Purpose of Plat

1. SUBDIVIDE AS SHOWN HEREON.
2. GRANT EASEMENTS AS SHOWN HEREON.

Subdivision Data

GROSS ACREAGE 4.4413 ACRES
ZONE ATLAS PAGE NO. C-18-Z
NUMBER OF EXISTING LOTS 6
NUMBER OF LOTS CREATED 1
MILES OF FULL-WIDTH STREETS 0.00 MILES
MILES OF HALF-WIDTH STREETS 0.00 MILES
RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE 0.0 ACRES
DATE OF SURVEY NOVEMBER 2017

Utility Plat Approvals:

PNM Electric Services

Qwest Corp. d/b/a CenturyLink QC

New Mexico Gas Company

Comcast

Legal Description

LOTS NUMBERED ONE (1), TWO (2), THREE (3), THIRTY (30), THIRTY-ONE (31), AND THIRTY-TWO (32), IN BLOCK NUMBERED TWENTY-EIGHT (28), OF TRACT "A", UNIT "B" OF NORTH ALBUQUERQUE ACRES, WITHIN SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, OF N.M.P.M., AS PROJECTED INTO THE ELENA GALLEGOS GRANT, ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 24, 1936, IN PLAT BOOK D, FOLIO 130, LESS THAN AND EXCEPTING THAT PORTION OF LOTS NUMBERED ONE (1), THIRTY (30), THIRTY-ONE (31) AND THIRTY-TWO (32), BLOCK NUMBERED TWENTY-EIGHT (28), OF TRACT "A", UNIT "B" OF NORTH ALBUQUERQUE ACRES, AS THE SAME ARE SHOWN AND DESCRIBED ON THE WARRANTY DEED TO THE CITY OF ALBUQUERQUE FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 27, 2013, AS DOCUMENT NO. 2013108288.

THE REMAINING PORTIONS OF LOTS NUMBERED ONE (1), THIRTY (30), THIRTY-ONE (31), THIRTY-TWO (32) AND ALL OF LOTS NUMBERED TWO (2) AND THREE (3), DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING THE NORTHEAST CORNER OF SAID LOT 3, AND BEING A POINT ON THE SOUTHERLY RIGHT OF WAY OF OAKLAND AVENUE NE, MARKED WITH A PK NAIL WITH CAP "LS 14271", WHENCE A TIE TO ACS MONUMENT "10-C18", BEARING N 23°52'50" W, A DISTANCE OF 1142.43 FEET;

THENCE, FROM SAID POINT OF BEGINNING, LEAVING SAID SOUTHERLY RIGHT OF WAY, S 00°09'02" W, A DISTANCE OF 436.35 FEET TO THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING A POINT ON THE NORTHERLY RIGHT OF WAY OF ALAMEDA BOULEVARD NE, MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, COINCIDING WITH SAID NORTHERLY RIGHT OF WAY, N 89°46'14" W, A DISTANCE OF 405.78 FEET TO AN ANGLE POINT, MARKED WITH A PK NAIL WITH CAP "LS 14271";

THENCE, N 44°48'16" W, A DISTANCE OF 56.60 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY OF SAN PEDRO DRIVE NE, MARKED WITH AN ALUMINUM CAP "LS 11599";

THENCE, COINCIDING WITH SAID EASTERLY RIGHT OF WAY, N 00°09'48" E, A DISTANCE OF 366.17 FEET TO A POINT OF TANGENCY, MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, 47.15 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 30.00, A DELTA OF 90°02'48", AND A CHORD BEARING N 45°11'12" E, A DISTANCE OF 42.44 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY OF OAKLAND AVENUE NE, MARKED WITH A PK NAIL WITH CAP "LS 14271";

THENCE, COINCIDING WITH SAID SOUTHERLY RIGHT OF WAY, S 89°47'24" E, A DISTANCE OF 415.65 FEET TO THE POINT OF BEGINNING, CONTAINING 4.4413 ACRES (193,464 SQ. FT.), MORE OR LESS.

Treasurer's Certificate

THIS IS TO CERTIFY THAT THE TAXES ARE CURRENT AND

PAID ON UPC #:

PROPERTY OWNER OF RECORD

BERNALILLO COUNTY TREASURER'S OFFICE

Plat for
Lot 1-A, Block 28
North Albuquerque Acres
Tract A, Unit B
Being Comprised of
Portions of Lots 1, 30, 31 & 32 and
all of Lots 2 & 3, Block 28, North
Albuquerque Acres, Tract A, Unit B
City of Albuquerque
Bernalillo County, New Mexico
March 2018

Approved and Accepted by:

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.

Project Number:

Application Number:

City Approvals:

James A. Richardson P.S. 3/19/18
City Surveyor

Traffic Engineer

ABCWUA

Parks and Recreation Department

AMAFCA

City Engineer

DRB Chairperson, Planning Department

Real Property Division

Code Enforcement

Surveyor's Certificate

I, WILL PLOTNER JR., A REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF."

Will Plotner Jr. 3/16/18
N.M.R.P.S. No. 14271
CSI-CARTESIAN SURVEYS INC.
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244
Sheet 1 of 3
172194

NOTE: FINAL PLAT WILL BE
RECORDED PRIOR TO
ACCEPTANCE OF PUBLIC
WORK ORDER CLOSEOUT.

FOR INFORMATION ONLY



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION

TITLE: LEGACY NAA APARTMENTS PHASE II
INFRASTRUCTURE IMPROVEMENTS
PLAT

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

CITY PROJECT NO. 692492 ZONE MAP NO. C-18-Z SHEET 4.1 OF 8

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with all accesses to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pole (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owner shall be jointly and severally responsible for obtaining any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

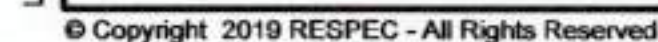
**NOTE: FINAL PLAT WILL BE
RECORDED PRIOR TO
ACCEPTANCE OF PUBLIC
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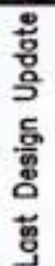
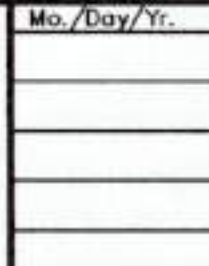
CSI-CARTESIAN SURVEYS INC.
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896 - 3050 Fax (505) 891 - 0244

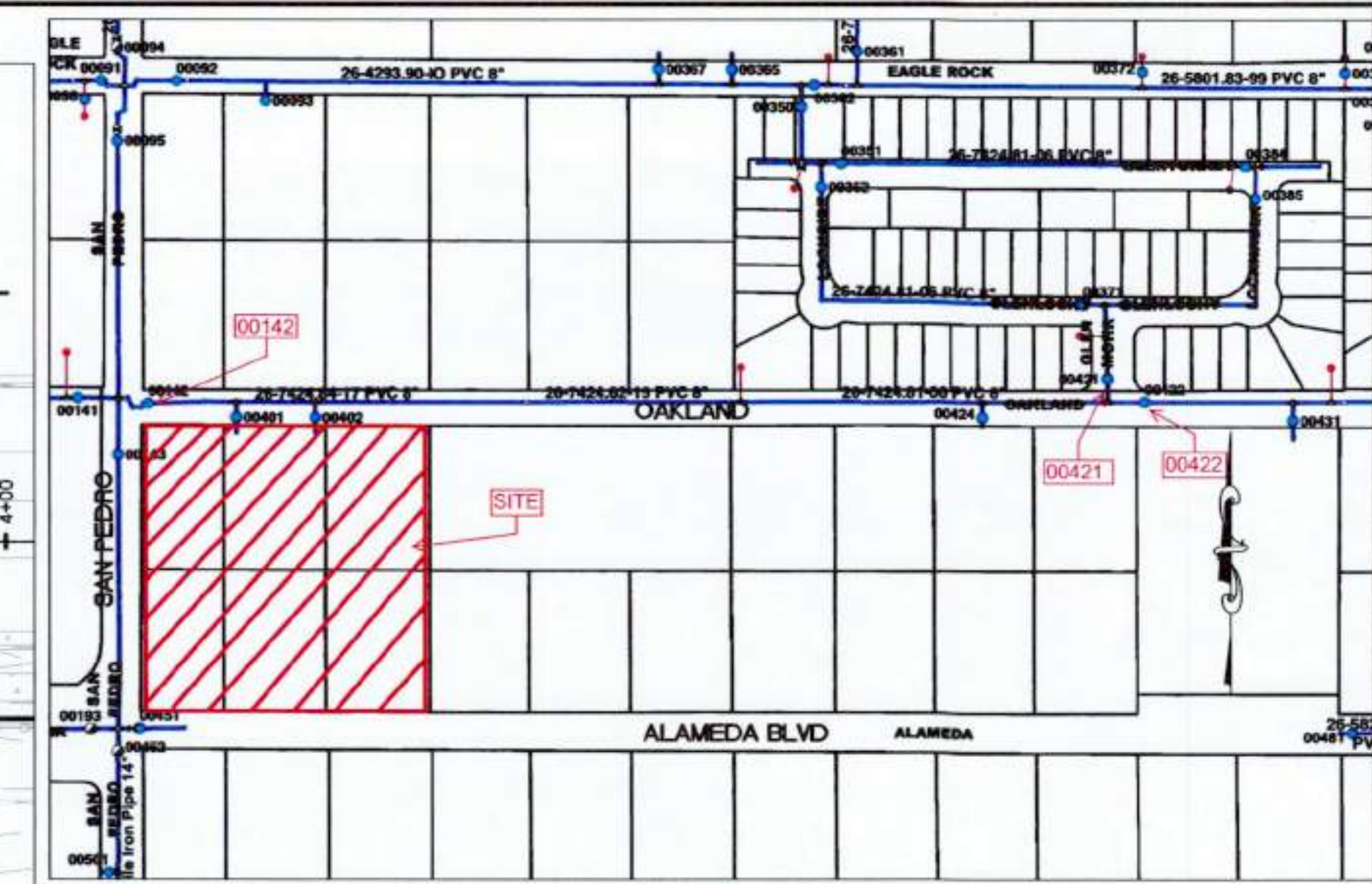
Sheet 3 of 3
172194

FOR INFORMATION ONLY

	RESPEC WATER & NATURAL RESOURCES	5971 JEFFERSON, STE 101 ALBUQUERQUE, NM 87109 PHONE (505) 253-9751	NO.	DATE	DESIGNED BY DRAWN BY
	CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ENGINEERING DIVISION				
TITLE: LEGACY NAA APARTMENTS PHASE II INFRASTRUCTURE IMPROVEMENTS PLAT					
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.	
CITY PROJECT NO. 692492		ZONE MAP NO. C-18-Z		SHEET 4.3 OF	



 RESPEC WATER & NATURAL RESOURCES		5971 JEFFERSON, STE 101 ALBUQUERQUE, NM 87109 PHONE (505) 253-9751		CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ENGINEERING DIVISION		TITLE: LEGACY NAA APARTMENTS PHASE II INFRASTRUCTURE IMPROVEMENTS PRIVATE UTILITY PLAN	
Design Review Committee 		City Engineer Approval 		Last Design Update 		Mo./Day/Yr. 	
CITY PROJECT NO. 692492		ZONE MAP NO. C-18-Z		SHEET 5		OF 9	

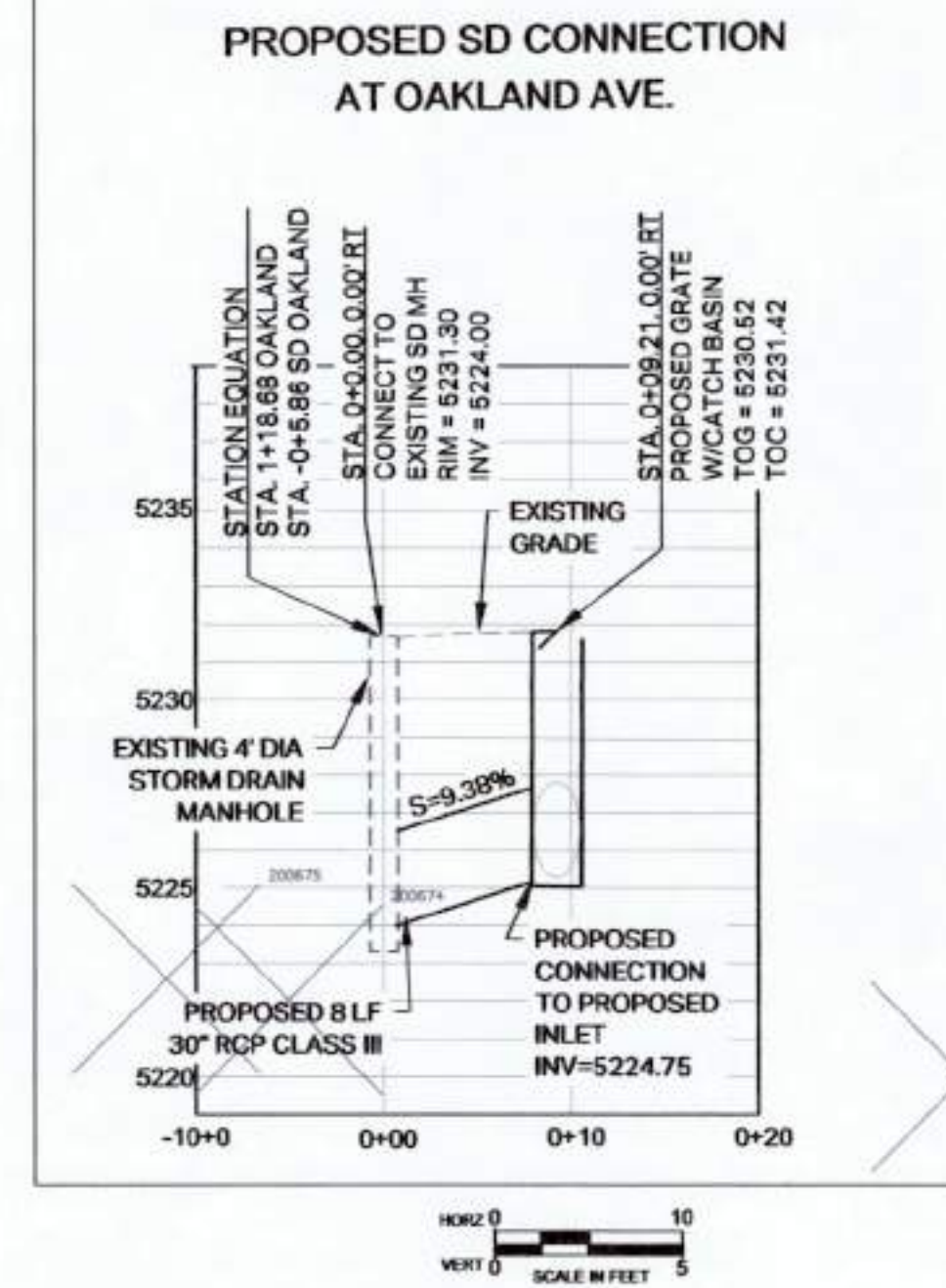


1. WATER VALVES SHALL BE PER COA STD DWG 2326 & 2329
2. WATER METERS SHALL BE PER COA STD DWG 2370
3. SEWER SERVICES SHALL BE PER COA STD DWG 2125
4. SEWER SERVICE CONNECTIONS SHALL BE TEE-WYE PER THE DPM
5. WATER & SEWER SERVICES INCLUDE R&R OF EXISTING PAVEMENT
6. CONNECT TO SERVICE LINE AS PER STD DTL 2301

1. AT ALL PAVEMENT REMOVAL AND REPLACEMENTS, SAW-CUT EDGES SHALL BE STRAIGHT AND CLEAN, AND LONGITUDINAL JOINTS SHALL NOT BE PLACED WITHIN WHEEL PATHS. PATCHES SHALL BE REGULAR AND SQUARE OR RECTANGULAR, WITH FOUR STRAIGHT SIDES. FINISHED PAVEMENT SURFACE SHALL BE FLUSH WITH EXISTING PAVEMENT SURFACE, WITH NO SPILLOVER OF ASPHALT OR TRACK COAT. CARE MUST BE TAKEN TO AVOID DAMAGING THE INTEGRITY OR APPEARANCE OF SURROUNDING PAVEMENTS; IF DAMAGED, THE ENTIRE SURFACE PATCH MUST BE EXPANDED TO COVER DAMAGES.
2. CONTRACTOR WILL ENSURE THE ASPHALT HAS A SMOOTH, UNIFORM EDGE WHEN REMOVING AND REPLACING CURB AND GUTTER. IF THE ASPHALT EDGE IS NOT SMOOTH AND UNIFORM, CONTRACTOR WILL SAW-CUT AND REPLACE A ONE-FOOT STRIP OF ASPHALT ALONG THE FULL SECTION BEING REPLACED; REFER TO COA STANDARD DRAWING #2465 WITH APPROPRIATE PAVING SECTION BASED ON ROADWAY CLASSIFICATION.
3. TRACER WIRE SHALL BE INSTALLED ON ALL PUBLIC WATER AND SANITARY SEWER LINES PER UTILITY IDENTIFICATION TRACE WIRE SECTION 33 05 26.23 SPECIFICATION AND ABCWA STANDARD DRAWINGS #2190, 2191, 2302, 2327 & 2365.
4. SIDEWALK AND CURB AND GUTTER TO BE SAWCUT TO NEAREST JOINT AND REPLACED PER COA STANDARD DRAWING #2415A.
5. REFERENCE AVAILABILITY 180107 FOR WATER AND SANITARY SEWER REQUIREMENTS.
6. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUT-OFF REQUESTS MUST BE MADE ONLINE AT http://www.abcwa.org/Water_Shut_off_and_Turn_on_Procedures.aspx



	ROW
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING STORM DRAIN
	EXISTING SEWER MANHOLE
	EXISTING STORM DRAIN MANHOLE
	EXISTING WATER VALVE
	EXISTING CATCH BASIN
	PROPOSED WATER VALVE
	PROPOSED DEMOLITION



THE CHANGES SHOWN HEREON ARE BASED UPON A FIELD SURVEY CONDUCTED BY ME OR UNDER MY SUPERVISION AND REFLECT THE LOCATIONS (VERTICALLY AND HORIZONTALLY) TO THE BEST OF MY KNOWLEDGE AND BELIEF.

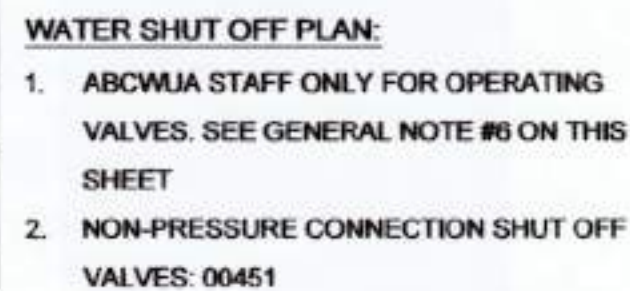


TITLE: LEGACY NAA APARTMENTS PHASE II
INFRASTRUCTURE IMPROVEMENTS
UTILITY AND STORM DRAIN PLAN

APR 17 2019
CITY ENGINEER

ZONE MAP NO.

18



GENERAL NOTES:

- Certification**
THE CHANGES SHOWN HEREON ARE BASED UPON A
FIELD SURVEY CONDUCTED BY ME OR UNDER MY
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(VERTICALLY AND HORIZONTALLY) TO THE BEST OF
MY KNOWLEDGE AND BELIEF.

B. f. m.



TITLE: LEGACY NAA APARTMENTS PHASE II
INFRASTRUCTURE IMPROVEMENTS
UTILITY AND STORM DRAIN PLAN

Design Review Committee

FEB 12 2019
DESIGN
REVIEW COMMITTEE

City Engineer Approval

APR 17 2019
CITY ENGINEER

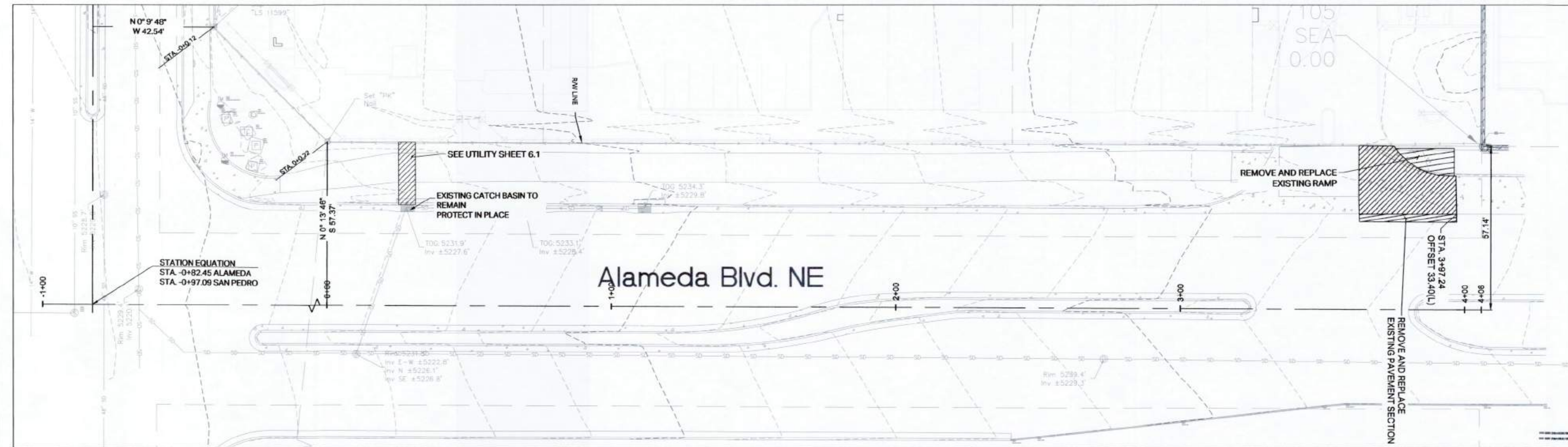
Fast Design Update

Mo./Day/Yr.	Mo./Day/Yr.

CITY PROJECT NO.

	ZONE MAP NO.
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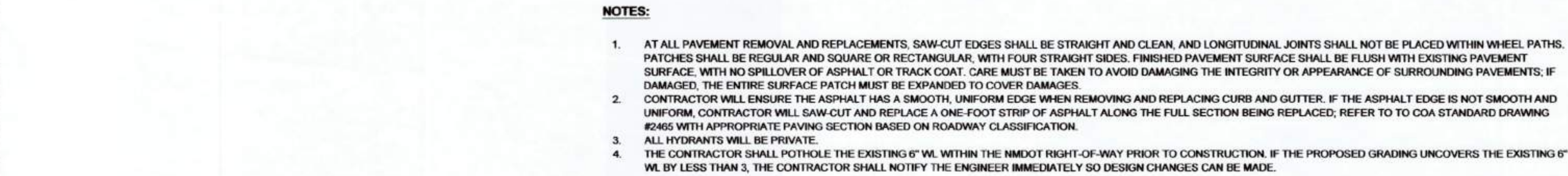
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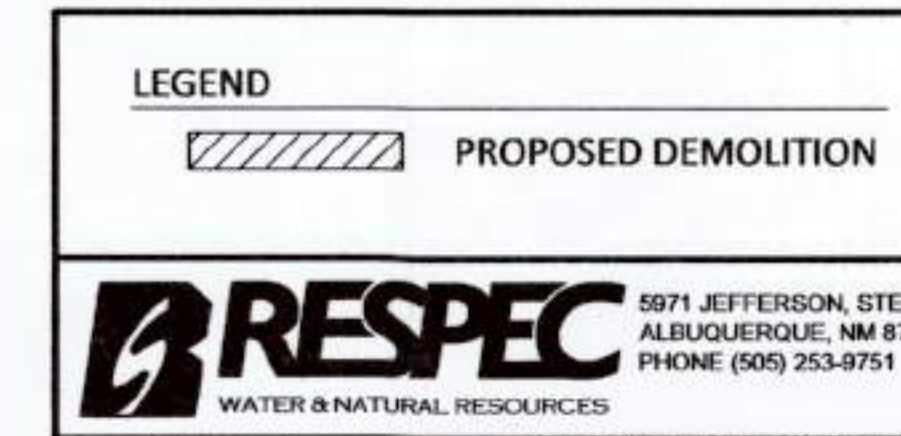
1. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AT ALL TIMES DURING CONSTRUCTION ACTIVITIES.
2. ADJUST EXISTING MANHOLES TO MATCH GRADE IF NEEDED.
3. AT ALL PAVEMENT REMOVAL AND REPLACEMENTS, SAW-CUT EDGES SHALL BE STRAIGHT AND CLEAN. LONGITUDINAL JOINTS SHALL NOT BE PLACED WITHIN WHEEL PATHS. PATCHES SHALL BE REGULAR AND SQUARE OR RECTANGULAR WITH FOUR STRAIGHT SIDES. FINISHED PAVEMENT SURF MUST BE FLUSH WITH EXISTING PAVEMENT SURFACE WITH NO SLOPES OF ASPHALT OR TACK COAT. CARE MUST BE TAKEN TO AVOID DAMAGING THE INTEGRITY OR APPEARANCE OF SURROUNDING PAVEMENTS. IF DAMAGED, THE ENTIRE SURFACE PATCH MUST BE EXPANDED TO COVER DAMAGES.

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
692492	C-18-7	7.1	

[illegible]



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3. ALL HYDRANTS WILL BE PRIVATE.
4. THE CONTRACTOR SHALL POthOLE THE EXISTING 6" WL WITHIN THE NMDOT RIGHT-OF-WAY PRIOR TO CONSTRUCTION. IF THE PROPOSED GRADING UNCOVERS THE EXISTING 6" WL BY LESS THAN 3", THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO DESIGN CHANGES CAN BE MADE.



 CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION

TITLE: LEGACY NAA APARTMENTS PHASE II
INFRASTRUCTURE IMPROVEMENTS
DEMOLITION PLAN - SAN PEDRO DR.

Design Review Committee

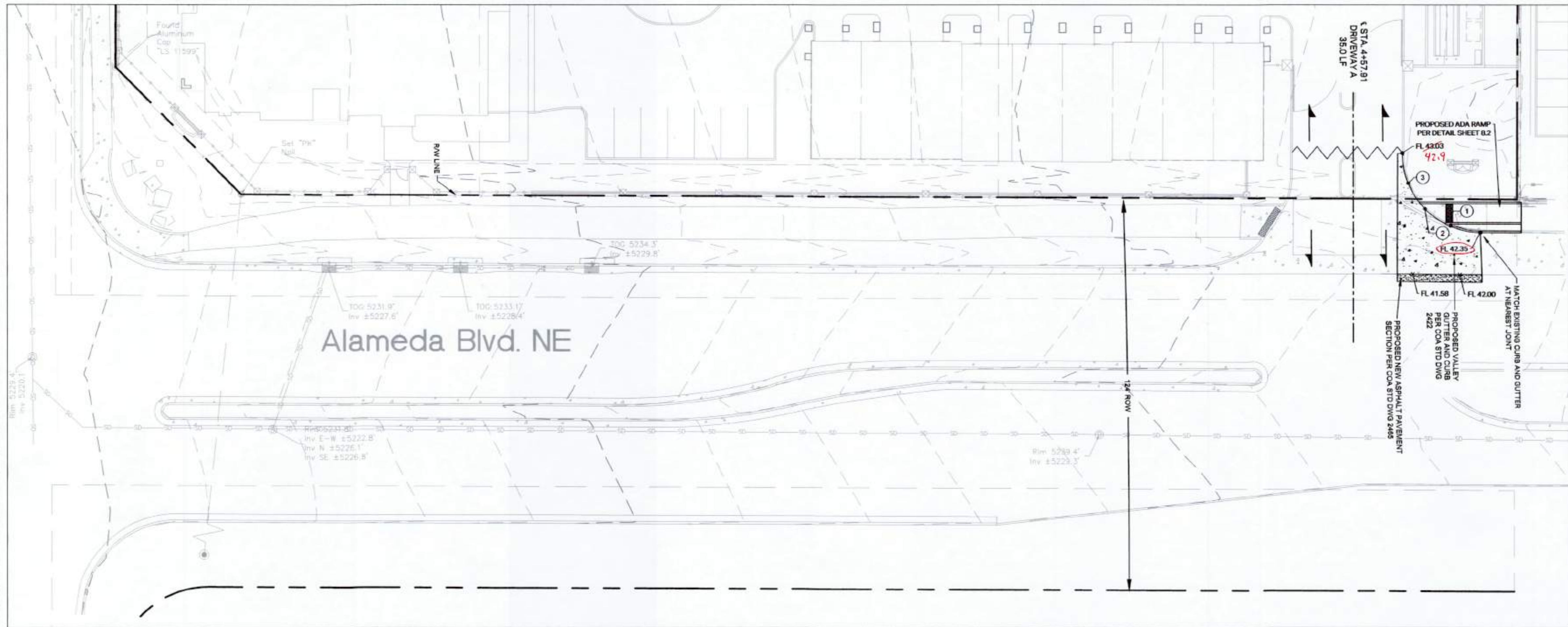
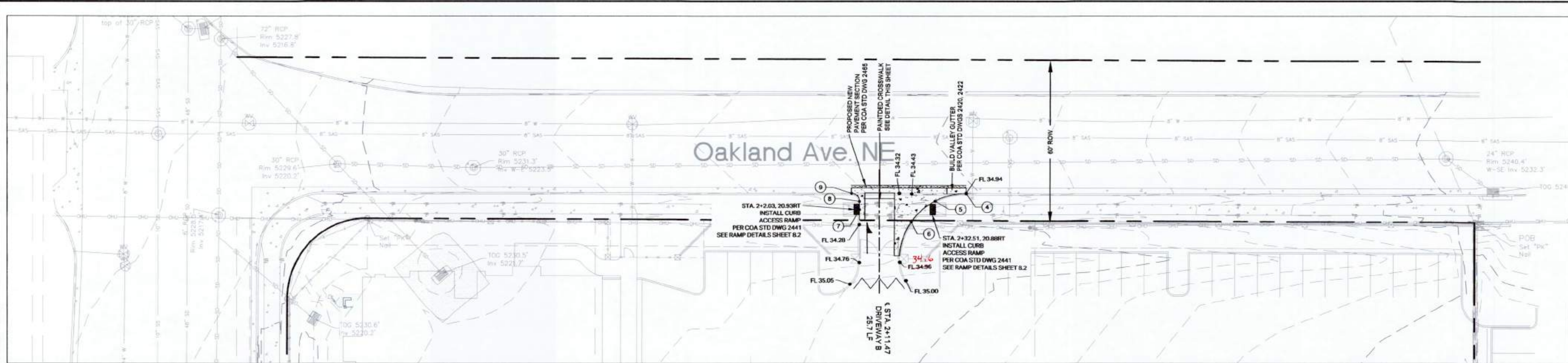
City Engineer Approve

APR 17 2019

CITY ENGINEER

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
692492	C-18-Z	7.2	8

[illegible]



DRIVEWAY A RETURNS				
STATION	OFFSET	TOC	FL	
1 4+88.66	-48.61LT	5243.09	5242.42	42.6
2 4+80.59	-54.04LT	-	5242.42	42.6
3 4+75.20	-62.15LT	5243.40	5242.73	
DRIVEWAY B RETURNS				
STATION	OFFSET	TOC	FL	
4 2+44.11	-14.86RT	5235.61	5234.94	
5 2+32.43	-17.75RT	5235.32	5234.65	
6 2+23.11	-25.21RT	5235.26	5234.59	
7 2+14.04	-21.03RT	-	5234.07	
8 2+14.04	-17.86RT	5234.69	5234.07	
9 2+1.04	-14.93RT	5234.58	5233.88	

GENERAL NOTES:

- ALL EXISTING UTILITIES TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. ANY DAMAGE AND REPAIRS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL ADA CURB RAMPS SHALL HAVE A 8.33% MAXIMUM SLOPE. LANDING AREAS SHALL HAVE A 2.0% MAXIMUM SLOPE IN ALL DIRECTIONS.
- CONTRACTOR SHALL FIELD VERIFY THE EXISTING PUBLIC STREET PAVEMENT SECTIONS PRIOR TO CONSTRUCTION.
- ADJUST MANHOLE AND VALVE COLLARS TO GRADE AS NECESSARY.

Certification
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[Signature]



5971 JEFFERSON, STE 101
ALBUQUERQUE, NM 87109
PHONE (505) 253-9751



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION

**TITLE: LEGACY NAA APARTMENTS PHASE II
INFRASTRUCTURE IMPROVEMENTS
ROAD CONSTRUCTION**

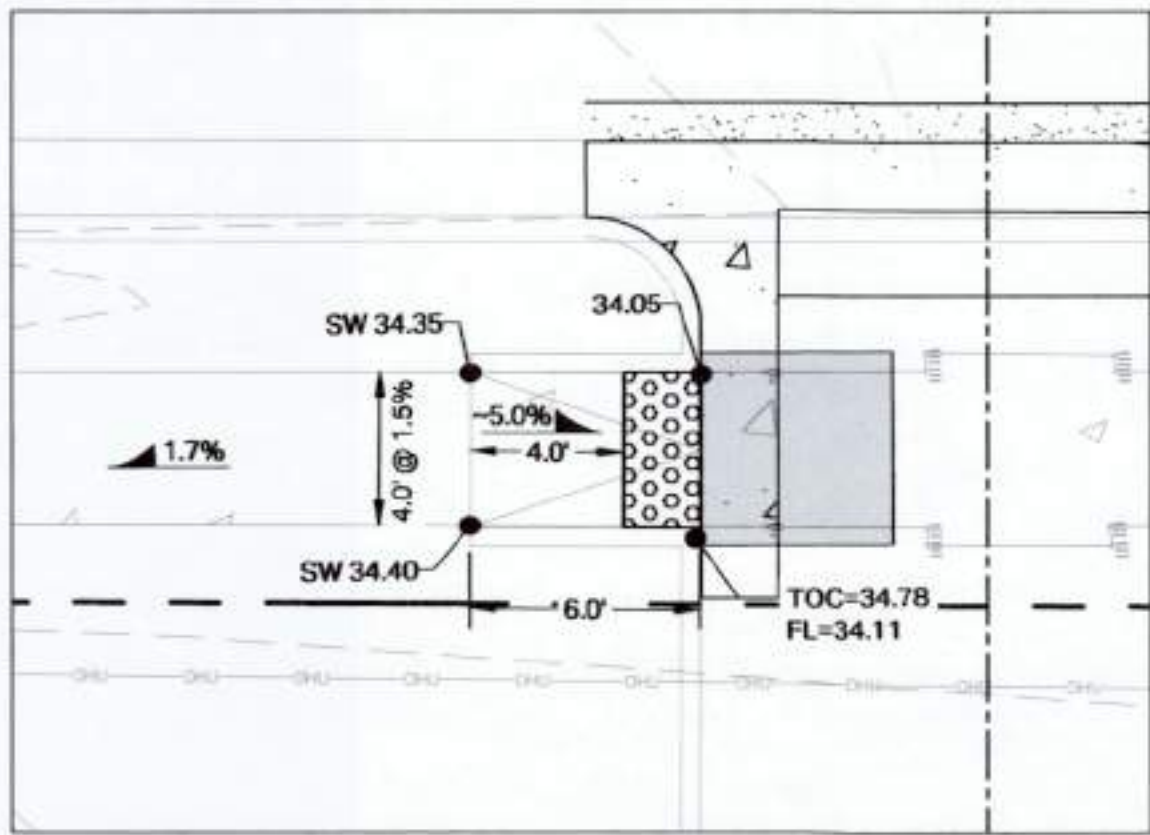
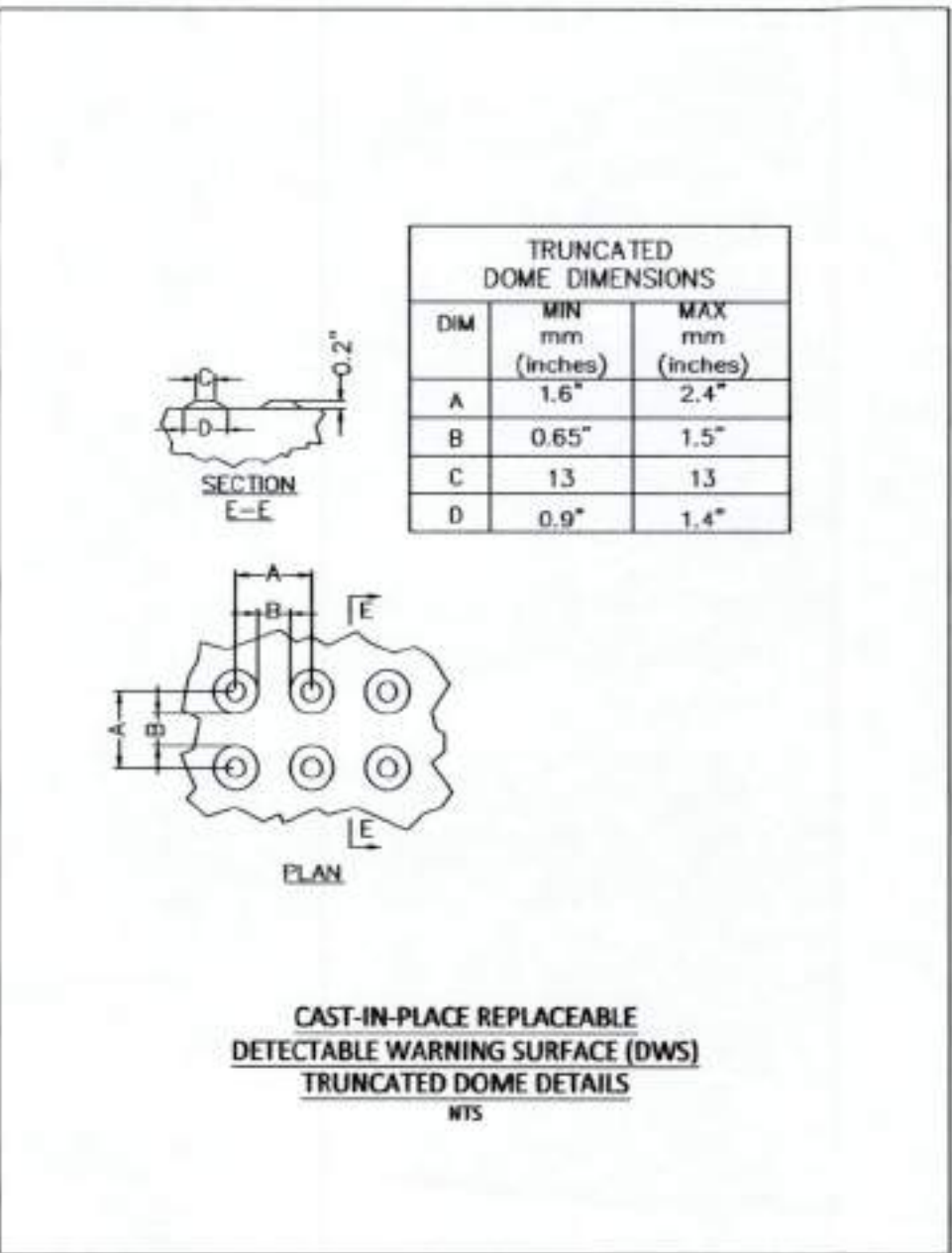
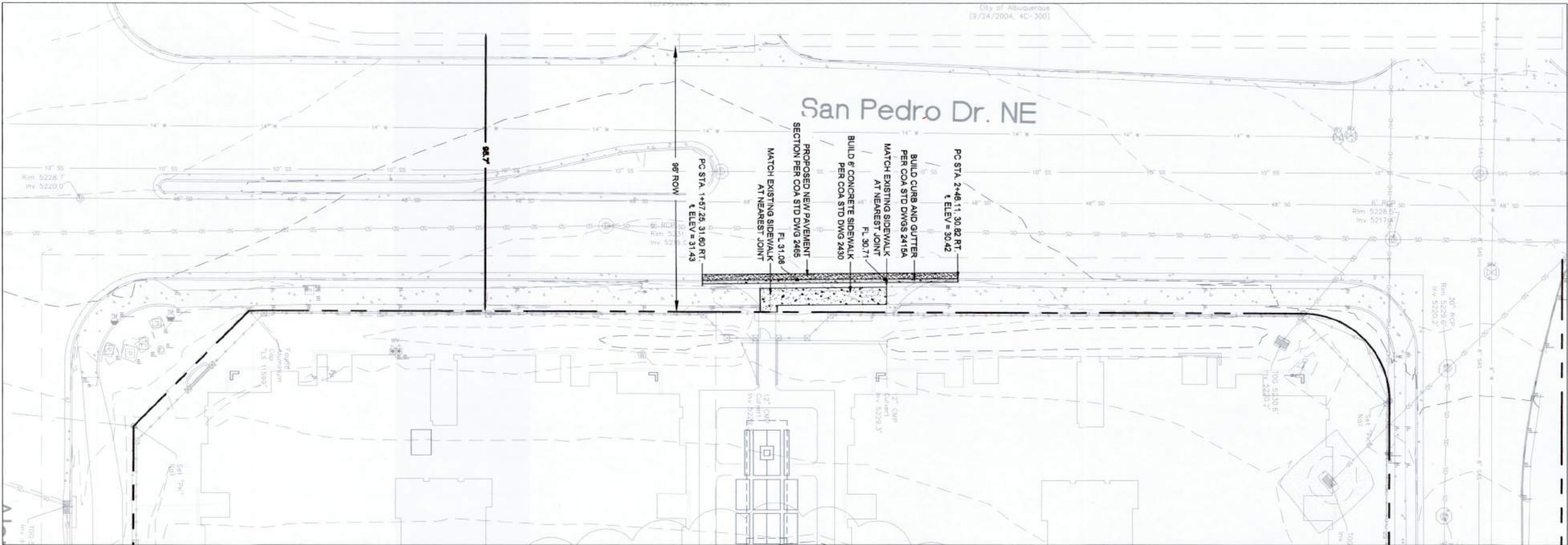


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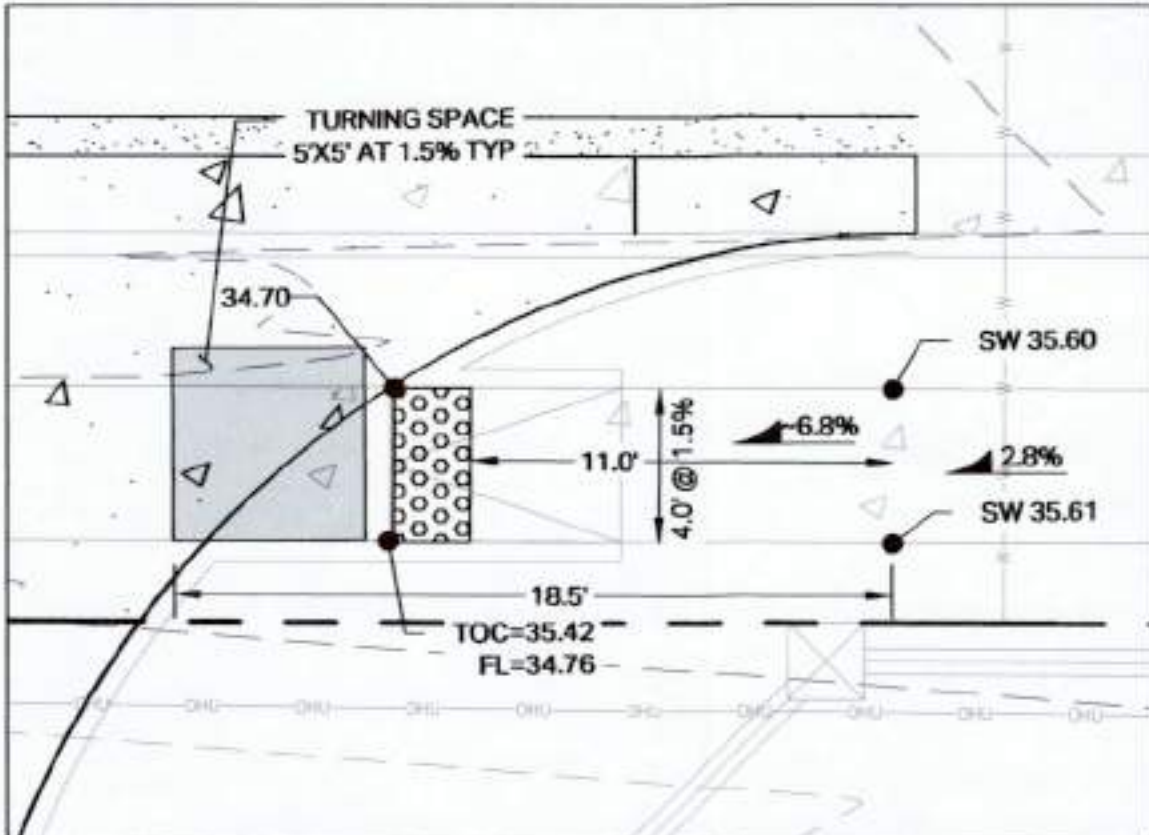
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CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
692492		8.1	8

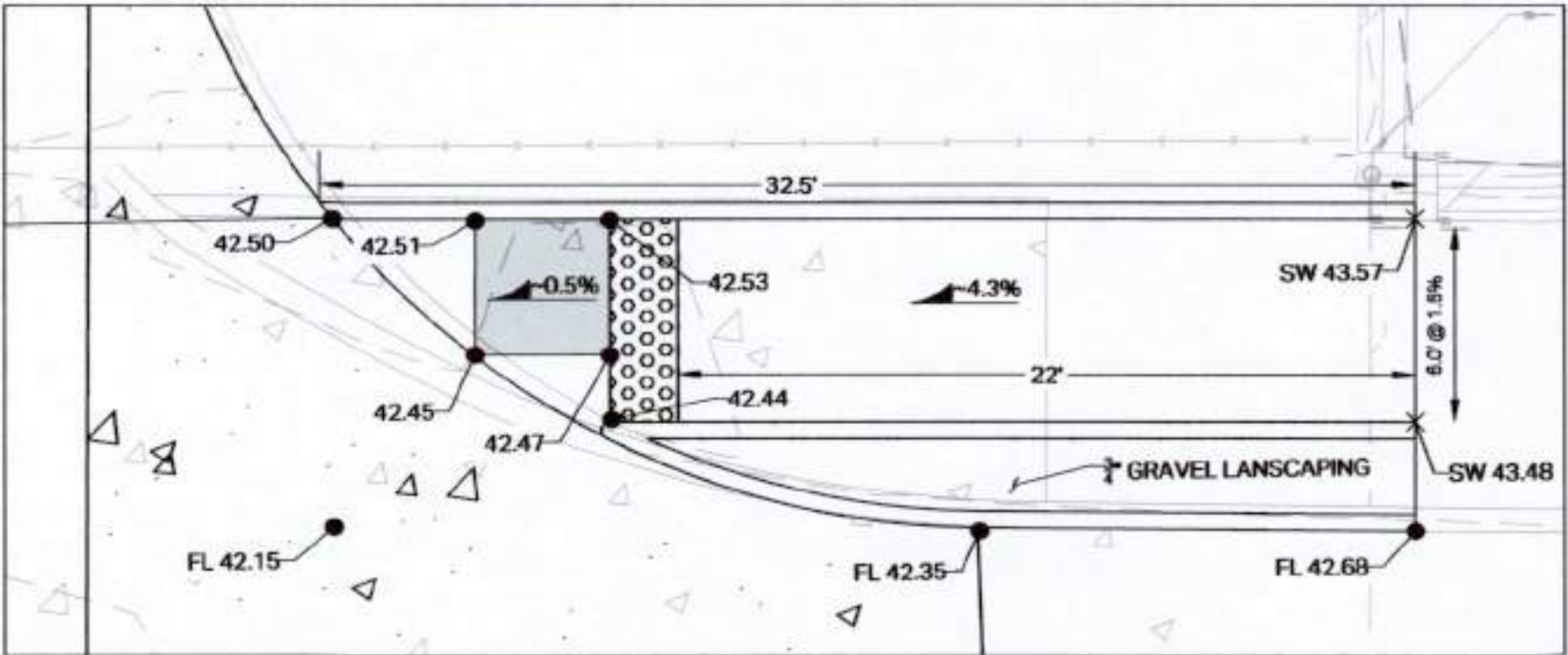
C-18-Z



DRIVEWAY B WEST



DRIVEWAY B EAST



DRIVEWAY A EAST

- GENERAL NOTES:
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CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION

TITLE: LEGACY NAA APARTMENTS PHASE II
INFRASTRUCTURE IMPROVEMENTS
ROAD CONSTRUCTION

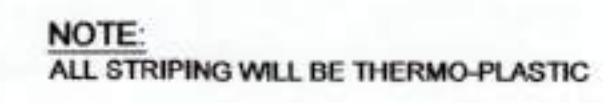
Design Review Committee
FEB 12 2019
DESIGN REVIEW COMMITTEE

City Engineer Approval
APR 17 2019
CITY ENGINEER

Mo./Day/Yr.
Mo./Day/Yr.

CITY PROJECT NO. 692492 ZONE MAP NO. C-18-Z SHEET 8.2 OF 8

FOR INFORMATION ONLY									
RESPEC WATER & NATURAL RESOURCES		5071 JEFFERSON, STE. 101 ALBUQUERQUE, NM 87109 PHONE: (505) 253-8751		NO. DATE		DESIGNED BY		DRAWN BY	
 CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ENGINEERING DIVISION		TITLE: LEGACY NAA APARTMENTS PHASE II INFRASTRUCTURE IMPROVEMENTS TRACER WIRE DETAILS							
Design Review Committee		City Engineer Approval		Last Design Update		Mo./Day/Yr.		Mo./Day/Yr.	
CITY PROJECT NO. 692492		ZONE MAP NO. C-18-Z		SHEET 9		OF 9			



		5971 JEFFERSON, STE 111 ALBUQUERQUE, NM 87109 PHONE (505) 253-8751	
		CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DESIGN ENGINEERING DIVISION	
TITLE: LEGACY NAA APARTMENT INFRASTRUCTURE IMPROVEMENT STRIPING PLAN – SAN PEDRO			
Design Review Committee 		City Engineer Approval 	
CITY PROJECT NO. 692492		ZONE MAP NO. C-18-	