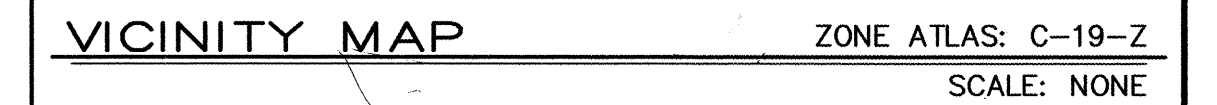


SCANNED BY
MESA REPRO



NOTICE TO CONTRACTORS

- THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- CAUTION:**
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

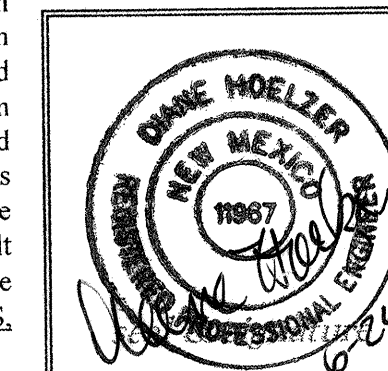
	5	

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS	ENGINEER	DATE	*****		
		DRC CHAIRMAN	<i>[Signature]</i>	10-16-02	APPROVED FOR CONSTRUCTION		
		TRANSPORTATION	<i>[Signature]</i>	10-20-02			
		WATER/WASTEWATER	<i>[Signature]</i>	10/10/02			
		HYDROLOGY	<i>[Signature]</i>	10/21/02			
		CIP			<i>[Signature]</i>	11/12/02	
		CONSTR. MGMT.					
		CONSTR. COORD.	<i>[Signature]</i>	10-16-02	CITY ENGINEER DATE		
CITY PROJECT NO.				SHEET OF			
694281				1 11			

SHEET NO.	SHEET
1	TITLE SHEET
2	PLAT
3	GRADING & DRAINAGE PLAN
4	SITE DEVELOPMENT PLAN
5-6	PAVING IMPROVEMENTS
7-8	UTILITY IMPROVEMENTS
9	WATER DETAIL SHEET
10-11	TRAFFIC CONTROL PLANS

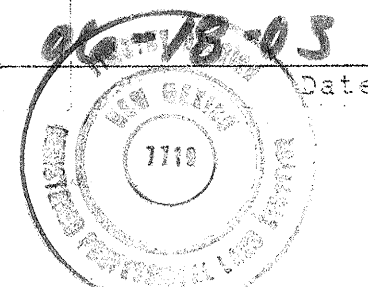
1	2	3	4	5	6	7	8	9	10	11	12	13	14	1
2	6		6	9	4	2	.	8	1		0	1	0	3

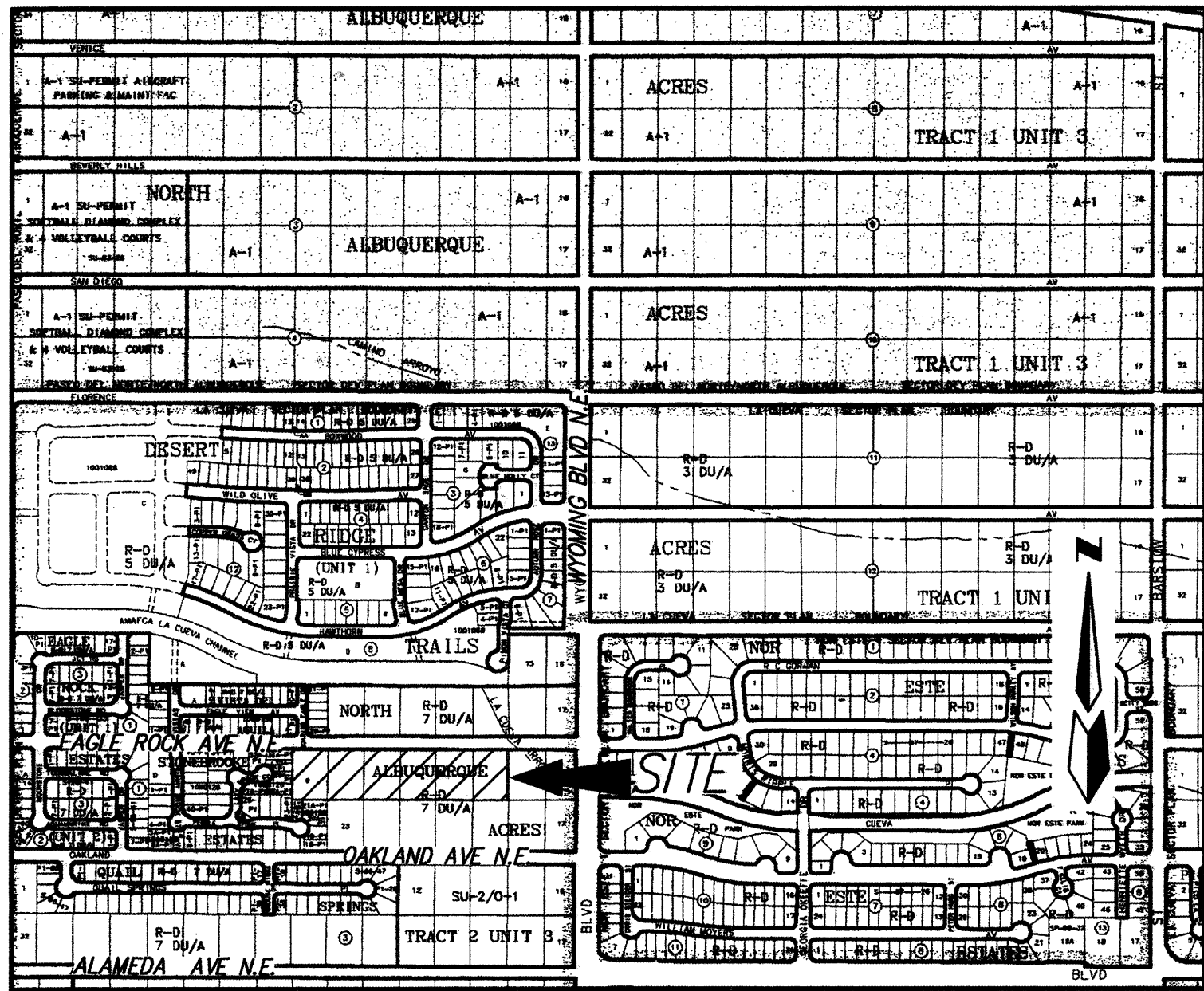
I, Diane Hoelzer, NMPE 11967, of the firm Mark Goodwin & Associates, PA, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the project has been followed. I have not been excepted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc. NMPS 7719.

DRB NO. **1001903**

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the 'as-built' information shown on these drawings was obtained from field construction and 'as-built' surveys performed by me or under my supervision. I am not a party to the 'as-built' information shown on these drawings was added by me or under my supervision, and that this 'as-built' information is true and correct to the best of my knowledge and belief." Aldrich Land Surveying is not responsible for the accuracy of the data, measurements, calculations, engineering, or intent of the record drawings.

Timothy Aldrich, P.S. No. 7719





ZONE ATLAS MAP # C-19-Z
SCALE: NONE

C-19-Z

DESCRIPTION

A tract of land situate, within the Elena Gallegos Grant, projected Section 18, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 9 thru 14, BLOCK 2, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 and being more particularly described as follows:

BEGINNING at the southeast corner of the herein described tract, said point being common with the southwest corner of LOT 15, BLOCK 2, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 from whence the Albuquerque Control Survey Monument "1-B19" bears N 23°53'06" E, 895.50 feet;

THENCE N 89°37'07" W, 989.22 feet along a line common with the north line of LOTS 19 THRU 23, TRACT 2, UNIT 3, BLOCK 2, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 and LOTS 21A-P1 AND 22A-P1, STONEBROOKE ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 15, 2000 in Book 2000C, Page 159 to the southwest corner, said point being common with the northwest corner of said LOT 22A-P1;

THENCE N 00°15'00" E, 263.62 feet along a line common with the east line of LOTS 28A-P1 AND 29A-P1, STONEBROOKE ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 18, 2000 in Book 2000C, Page 157 and LOTS 30A-P1 AND 31A-P1, STONEBROOKE ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 27, 2000 in Book 2000C, Page 195 to the northwest corner, said point being on the centerline of Eagle Rock Avenue N.E.;

THENCE along said centerline S 89°36'37" E, 988.72 feet to the northeast corner;

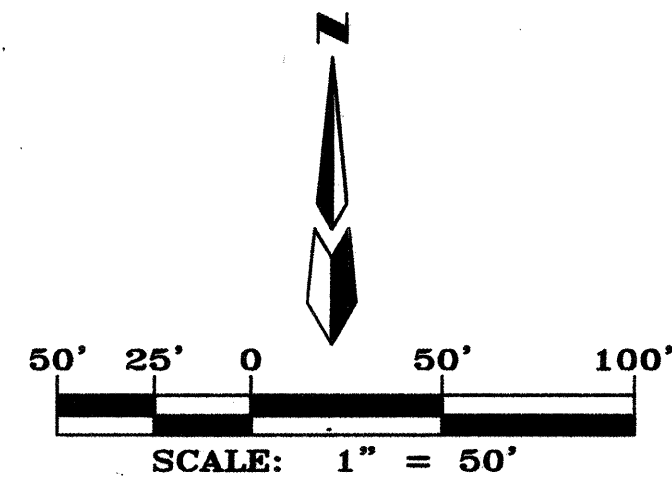
THENCE leaving said centerline S 00°08'26" W, 263.48 feet along a line common with the west line of said LOT 15 to the point of beginning and containing 5.9834 acres more or less.

LEGEND

1-P1 LOT NUMBER

▲ CENTER LINE MONUMENT

ROW RIGHT-OF-WAY



CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CH-BEARING	CHORD
C1	75.00	117.81	90°00'00"	75.00	S44°36'37"E	106.07
C2	75.00	117.81	90°00'00"	75.00	N45°23'23"E	106.07
C3	20.00	31.42	90°00'00"	20.00	S45°23'23"W	28.28
C4	52.00	47.21	52°01'12"	25.37	S25°37'14"E	45.61
C5	52.00	34.47	37°58'48"	17.89	S70°37'14"E	33.84
C6	20.00	31.42	90°00'00"	20.00	N44°36'37"W	28.28
C7	52.00	47.21	52°01'12"	25.37	N26°23'59"E	45.61
C8	52.00	34.47	37°58'48"	17.89	N71°23'59"E	33.84
C9	20.00	31.42	90°00'00"	20.00	S45°23'23"W	28.28
C10	98.00	51.76	30°15'32"	26.50	N15°31'09"E	51.16
C11	98.00	35.39	20°41'25"	17.89	N40°59'37"E	35.20
C12	98.00	37.00	21°37'45"	18.72	N62°09'12"E	36.78
C13	98.00	29.80	17°25'18"	15.02	N81°40'44"E	29.68
C14	98.00	21.37	12°29'33"	10.73	S83°21'51"E	21.33
C15	98.00	37.00	21°37'58"	18.72	S66°18'05"E	36.78
C16	98.00	44.15	25°48'52"	22.46	S42°34'40"E	43.78
C17	98.00	51.42	30°13'36"	26.31	S14°36'26"E	50.83
C18	20.00	31.41	89°59'35"	20.00	N44°36'25"W	28.28
C19	98.00	153.94	90°00'00"	98.00	N45°23'23"E	138.59
C20	52.00	81.68	90°00'00"	52.00	N45°23'23"E	73.54
C21	52.00	81.68	90°00'00"	52.00	S44°36'37"E	73.54
C22	98.00	153.94	90°00'00"	98.00	S44°36'37"E	138.59

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N38°39'41"W	20.00'
L2	S34°30'34"W	20.00'

PRELIMINARY PLAT FOR
DESERT LANE SUBDIVISION
WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 18
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2002

SUBDIVISION DATA

GROSS ACREAGE 5.9834 AC
ZONE ATLAS NO. C-19-Z
NO. OF LOTS CREATED 37 LOTS
NO. OF TRACTS CREATED 4 TRACT
AREA DEDICATED TO CITY 1.7155 AC
DATE OF SURVEY MAY 2002
ZONING R-D

NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ○ SHALL BE MARKED BY A #5 REBAR W/CAP STAMPED PS#11993
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS ▲, WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED:
"CITY OF ALBUQUERQUE, CENTERLINE MONUMENTATION"
"DO NOT DISTURB"
PS#11993"
- BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- ALL DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
- 100 Year Flood Zone Designation: ZONE X, Panel 129 of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, New Mexico, dated September 20, 1996. (NOTE: Panel 129 has been modified by letter effective September 11, 1998).
- TRACTS A, B, C, D ARE DEEDED TO THE HOMEOWNERS ASSOCIATION AND TO BE MAINTAINED BY SAID OWNERS FOR LANDSCAPING PURPOSES.

APPROVED FOR MONUMENTATION AND STREET NAMES

[Signature] 8/1/02
City Surveyor, City of Albuquerque, N.M. Date

Owner: D. R. HORTON, INC

[Signature] 7/31/02
J. Mark Ferguson Division President DATE

PURPOSE OF PLAT

- SUBDIVIDE FIVE LOTS INTO 37 RESIDENTIAL LOTS.
- DEDICATE RIGHT-OF-WAY AS SHOWN
- GRANT NEW EASEMENTS AS SHOWN
- VACATED EASEMENTS AS SHOWN

OWNERS

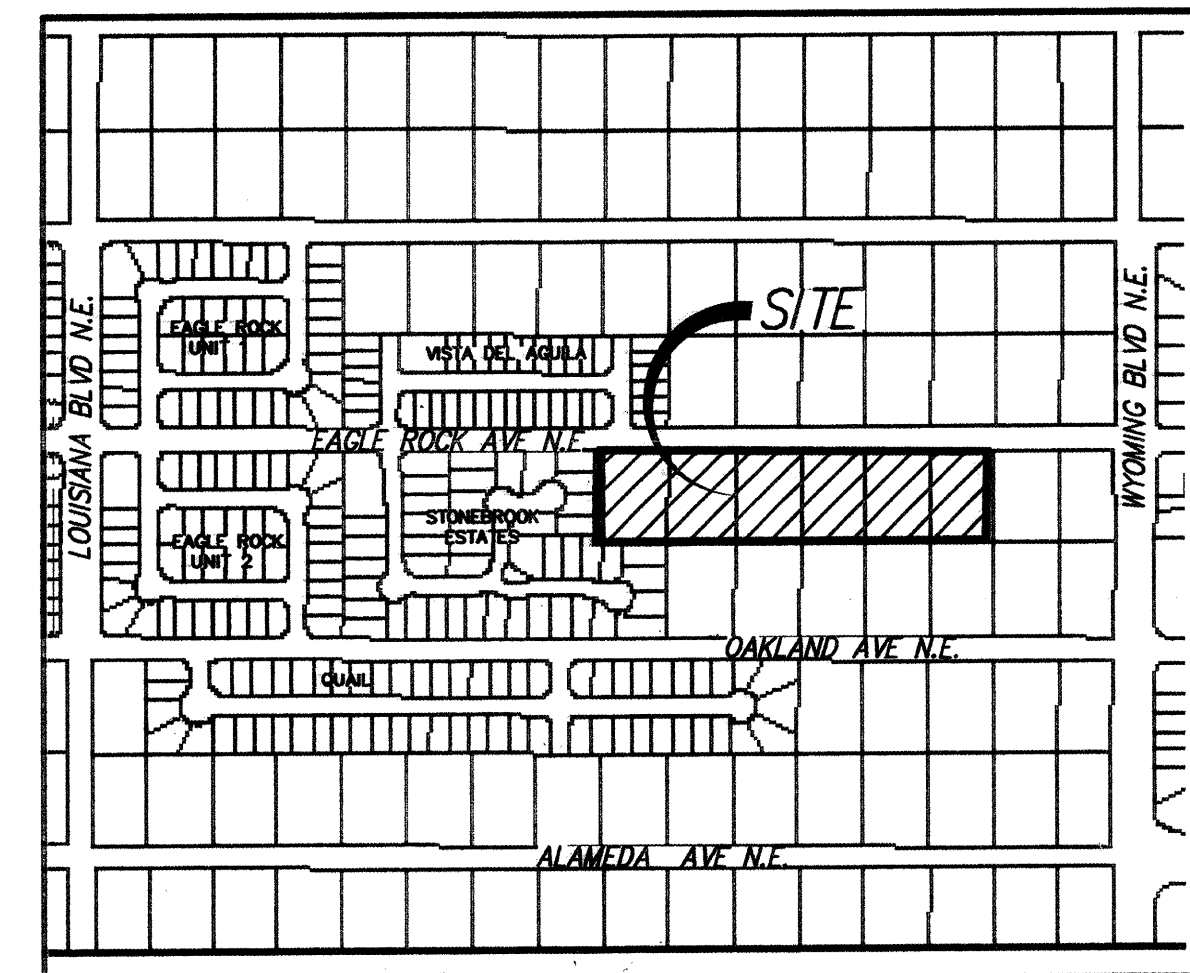
D. R. HORTON, INC
J. MARK FERGUSON, DIVISION PRESIDENT
4400 Alameda NE, Suite B
ALBUQUERQUE, N.M. 87113
(505) 797-4245

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90806
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

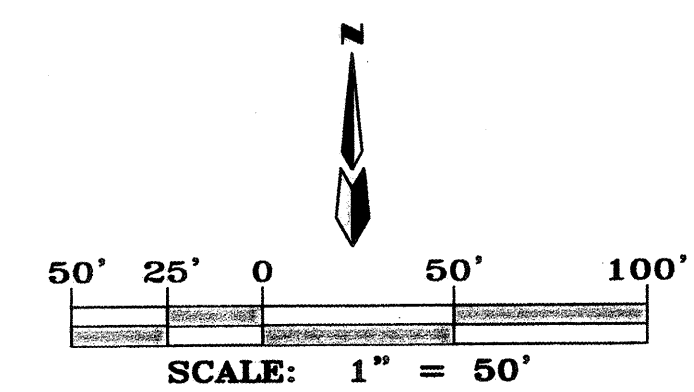
SURVEYOR

ALDRICH LAND SURVEY
P.O. BOX 30701
ALBUQUERQUE, N.M. 87190-0701
(505) 884-1990



VICINITY MAP ZONE MAP: C-19-Z

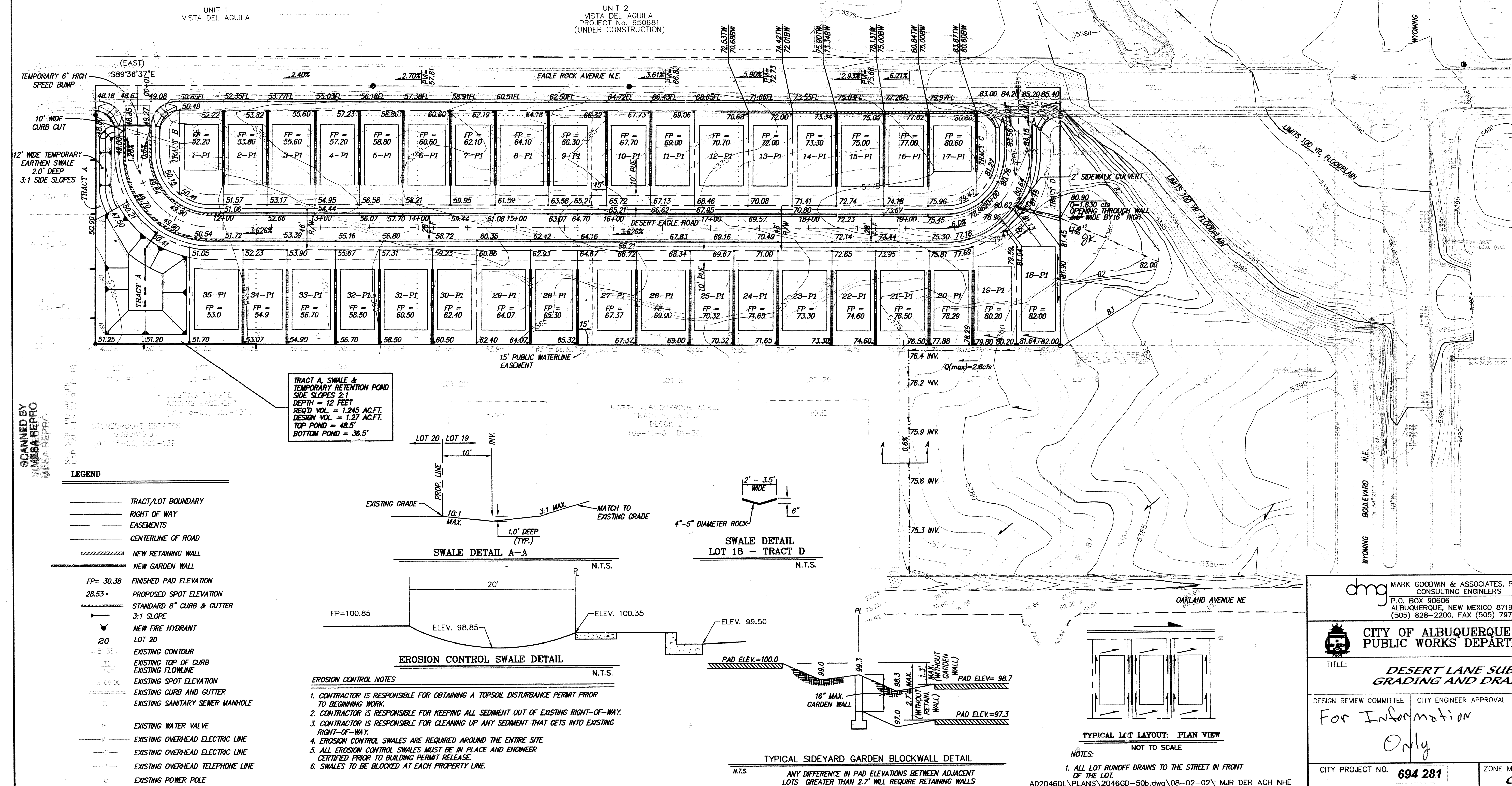
NOTES



Brady L. Bingham 8-7-02
CITY HYDROLOGY APPROVAL DATE

John P. Calby 8-7-02
A.M.A.F.C.A. APPROVAL DATE

Adrian 8-5-02
ADIL RIZVI
(LOT 19, TRACT 2, UNIT 3, BLOCK 2,
NORTH ALBUQUERQUE ACRES)



AS BUILT INFORMATION				BENCH MARKS				SURVEY INFORMATION				ENGINEER'S SEAL			
CONTRACTOR	DATE	INSPECTOR	DATE	STATION	DATE	NO.	BY	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
WORK BY	8-7-02	INSPECTED BY	8-7-02	1-B20	8-7-02										
ACCEPTANCE BY		ACCEPTANCE BY		ALBUQUERQUE											
VERIFICATION BY		VERIFICATION BY		LOUISIANA BLVD. AND LOS ANGELES DR. 60 EAST ON LOS ANGELES											
COMMISSIONED BY		COMMISSIONED BY		DR. 1.0 MILE TO BARSTON ST.; THEN NORTH ON BARSTON ST. 1.0											
RECORDED BY		RECORDED BY		MILE TO MODESTO AVE. THE STA. IS LOCATED IN THE N.E. QUADRANT											
NO.		NO.		STATION MARK IS A STANDARD ACS BRASS TABLET, STAMPED											
				1-B20: X = 410237.96; Y = 1524102.46; C-G = .99864740											
				DELTA ALPHA = 010237.96; CENTRAL ZONE (NAD 1927)											
				ELEVATION = 4744.910' (SD 1927)											

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 30606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

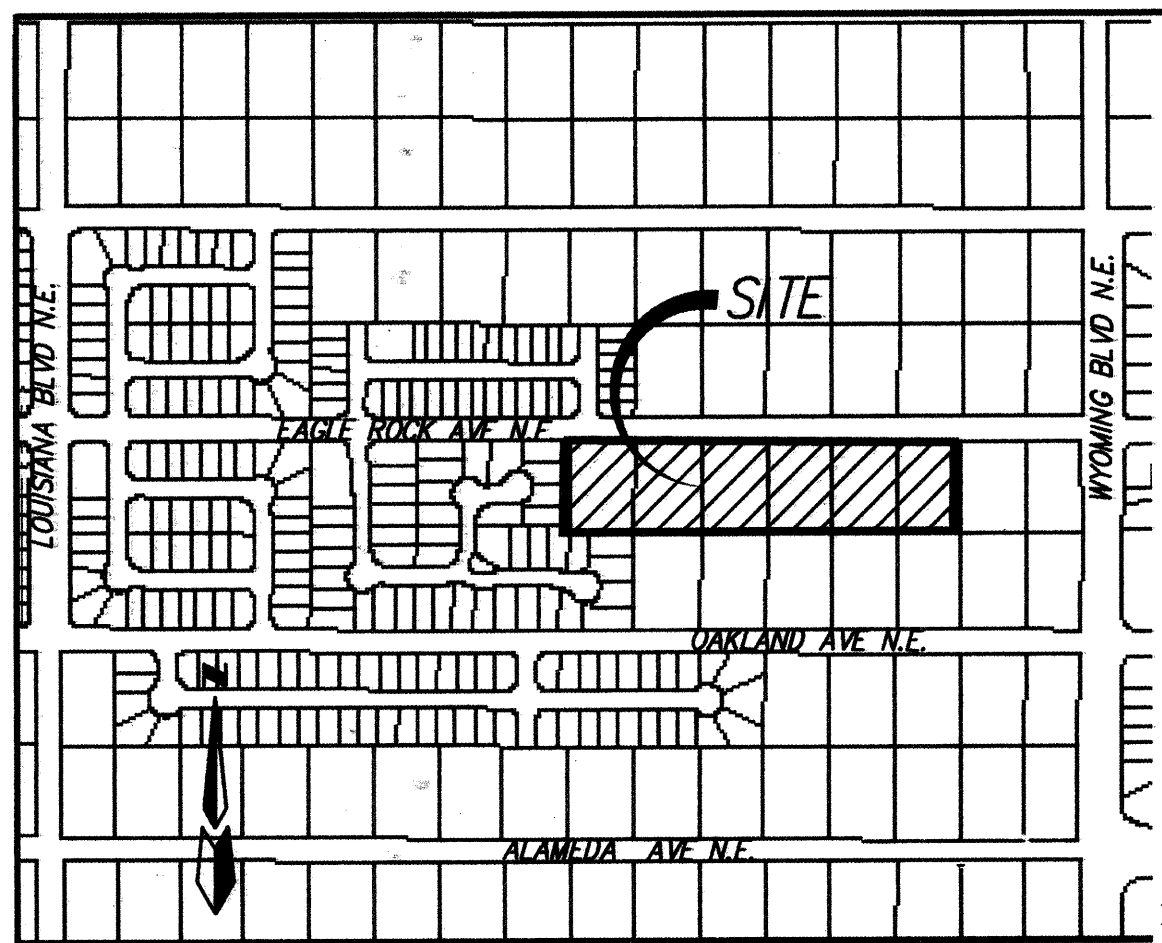
**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

TITLE: **DESERT LANE SUBDIVISION
GRADING AND DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL

For Information Only

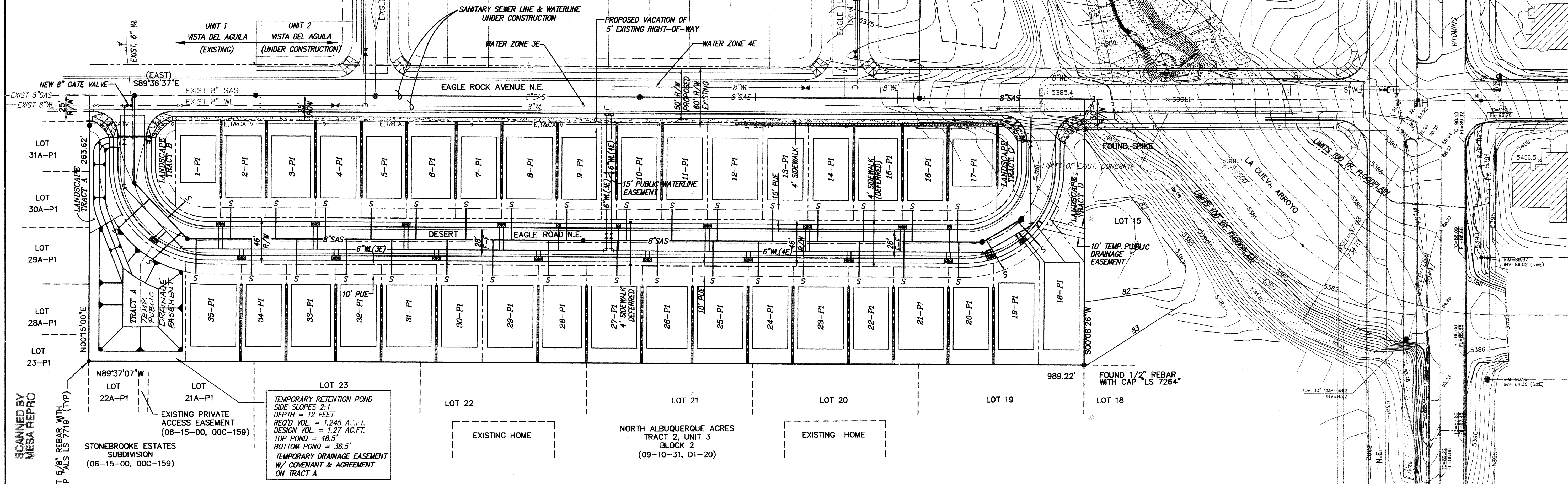
CITY PROJECT NO. **694 281** ZONE MAP NO. **C-19-Z** SHEET **3** OF **11**



VICINITY MAP ZONE MAP: C-19-Z

LEGAL DESCRIPTION

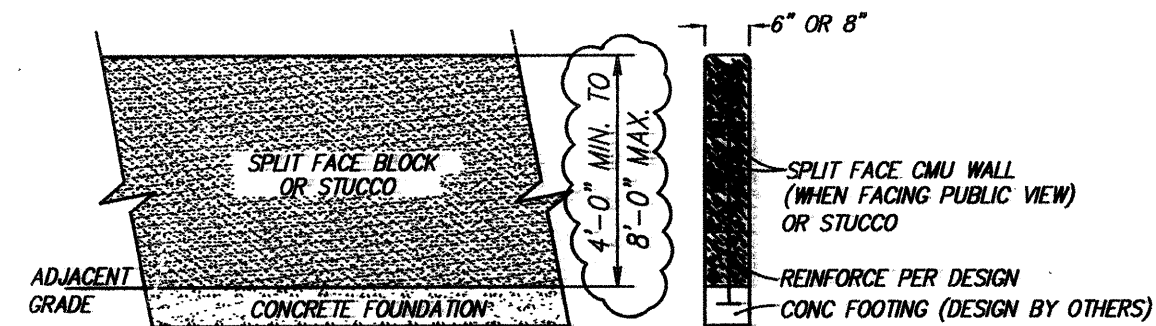
LOTS 9 THRU 14, BLOCK 2, TRACT 2, UNIT 3 NORTH ALBUQUERQUE ACRES



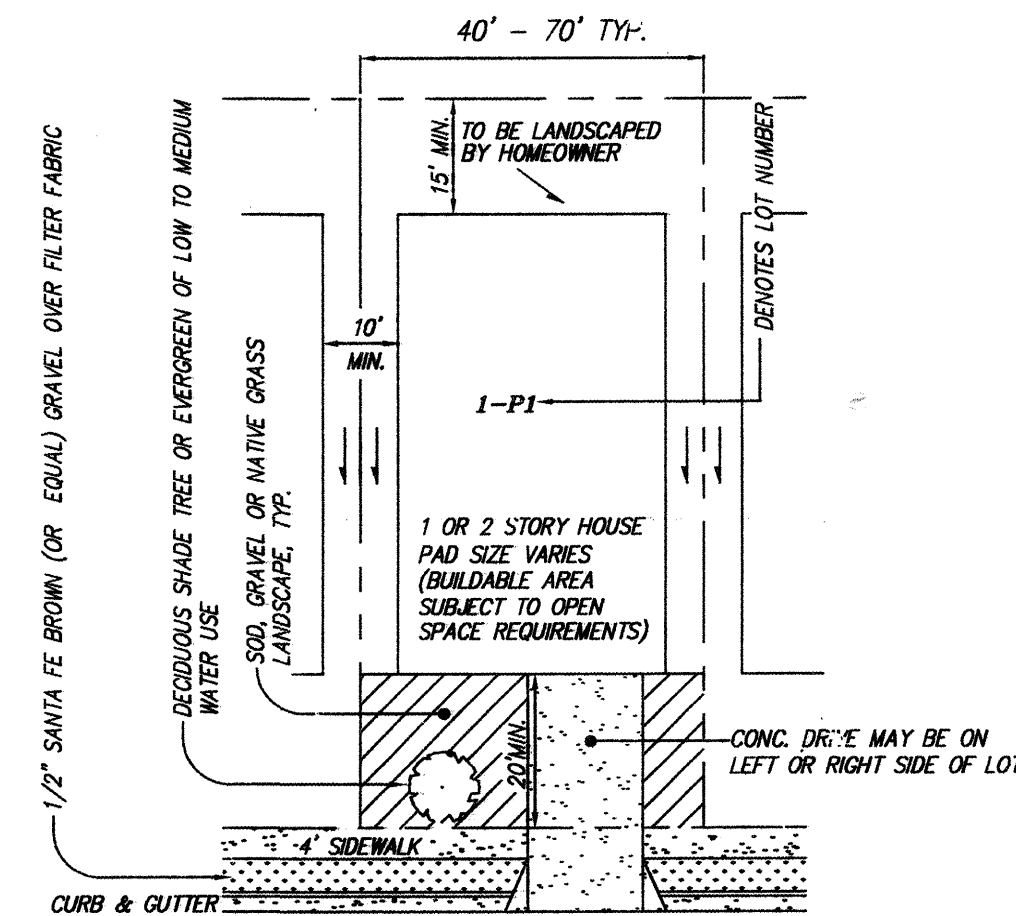
SCANNED BY
MESA REPRO

SUBDIVISION DATA

GROSS ACREAGE 5.9835 AC
ZONE ATLAS NO. C-19-Z
NO. OF LOTS CREATED 37 LOTS
NO. OF TRACTS CREATED 4 TRACT
AREA DEDICATED TO CITY 1.14735 AC
ZONING 7 DU/A
DATE OF SURVEY JULY 2002



SITE PERIMETER AND REARYARD WALL
NOT TO SCALE



TYPICAL LOT LAYOUT & LANDSCAPE PLAN
NOT TO SCALE

PROJECT NO.
APPLICATION NO.

APPROVED AND ACCEPTED BY:

Planning Department

City Engineer
Michael Danik

8-07-02

Transportation Development

Roger A. Green

8-7-02

Utility Development

Christina Sanders

8/7/02

Parks and Recreation

LEGEND

- | | | | |
|-----|-------------------------------------|-----|-----------------------------------|
| --- | EXISTING EDGE OF PAVEMENT | --- | ASPHALT PATH/TRAIL (WIDTH VARIES) |
| --- | EXISTING 8" WL | --- | NEW SIDEYARD WALL |
| --- | EXISTING 8" SAS | --- | NEW SANITARY SEWER SERVICE |
| --- | NEW 8" SAS | --- | NEW WATER METER BOX |
| --- | NEW SANITARY SEWER LINE AND MANHOLE | --- | NEW PROPERTY LINE |
| --- | NEW RETAINING WALL | --- | NEW EASEMENT LINE |
| --- | NEW CURB AND GUTTER | --- | PROPERTY LINE TO BE ELIMINATED |
| --- | EXISTING CURB AND GUTTER | --- | FUTURE SANITARY SEWER LINE |
| --- | EXISTING PROPERTY LINE | --- | FUTURE WATERLINE |
| --- | NEW FIRE HYDRANT | --- | |

GENERAL NOTES:

1. DEVELOPMENT DENSITY:
Gross site area is 5.98 acres.
Site is zoned R-D with maximum density of 7 du/ac.
Density limitation allows for a maximum of 37 units over entire site.
2. MINIMUM BUILDING SETBACK:
There is a five foot (5') internal sideyard set back to property line.
Front yard setback is 15' and backyard is 15'.
Minimum driveway length is 20'.
Minimum distance between buildings is 10'.
3. BUILDING HEIGHT:
Structure shall not exceed 26 feet in height.
4. PARK DEVELOPMENT:
The developer will pay cash in lieu of park dedication and for a park.
5. OPEN SPACE:
Total remaining Open Space requirements are met
via the Provision of Detached Open Space per the
Provisions of Section 14-16-3-B(4)(3) of the City Zoning Code.
6. WATER AND SEWER:
Prior to development, City of Albuquerque Water and Sanitary Sewer
Service to the site must be verified and coordinated with the Utility
Development Section, City of Albuquerque Public Works Department.
7. PARKING:
Off-street parking is provided on each site in accordance with Section
14-16-3-1 of the zoning code for lots with the "P" designation.
8. ACCESS:
Site ingress/egress is provided entirely by public streets.
9. BUILDINGS:
Buildings will be traditional or southwest style with pitched roofs and
Siding will be stucco and may include stone or wood trim accents.
The exterior stucco finish will consist of colors in shades of
earthen tones.
10. LANDSCAPING:
Both individual and community landscaping shall comply with the Water
Conservation Landscaping and Water Waste Ordinance. Perimeter landscaping
shall be in accordance with the Street Tree Ordinance and trees planted
will be in accordance with the list of deciduous and evergreen trees listed in
the City of Albuquerque Guide to Xeriscaping.
11. PERIMETER WALL:
The subdivision perimeter garden wall will be constructed of CMU and will
be covered by either stucco or consist of a Split-Faced texture. The
maximum wall height will be 8.0 feet, and minimum of 4.0 feet.
12. THE LANDSCAPE AREAS WITHIN/AND ABUTTING THE
PUBLIC RIGHTS-OF-WAY:
as shown on the approved Site Development/Utility Plan, shall be for the
benefit of the Homeowners within Desert Lane Subdivision, and shall be
maintained by the Desert Lane Homeowners Association.

DESERT LANE

SITE DEVELOPMENT / UTILITY PLAN

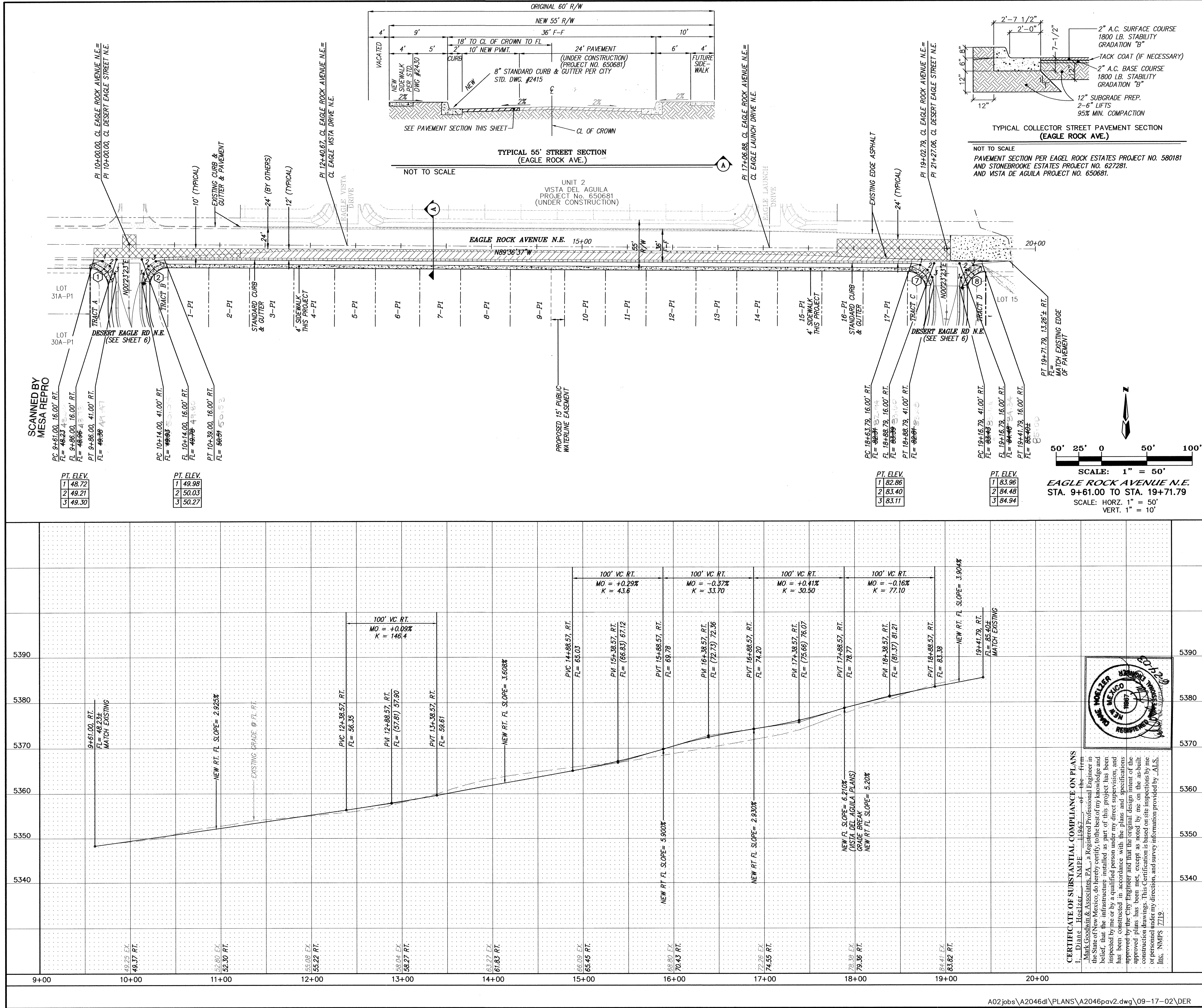


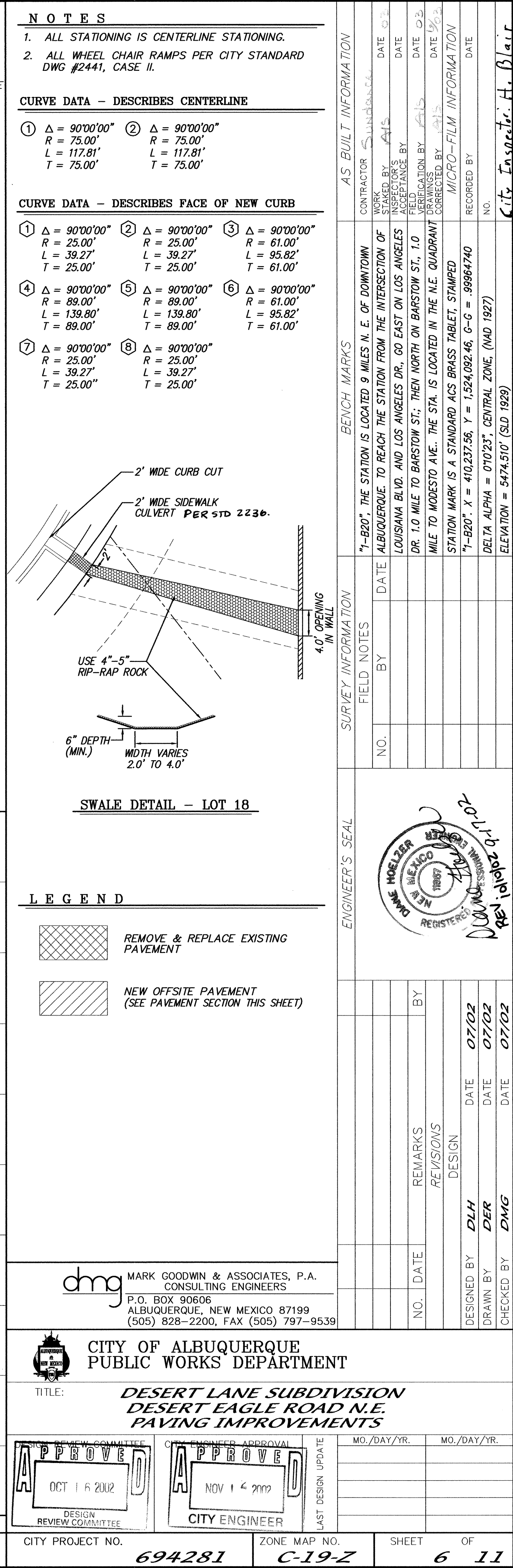
MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

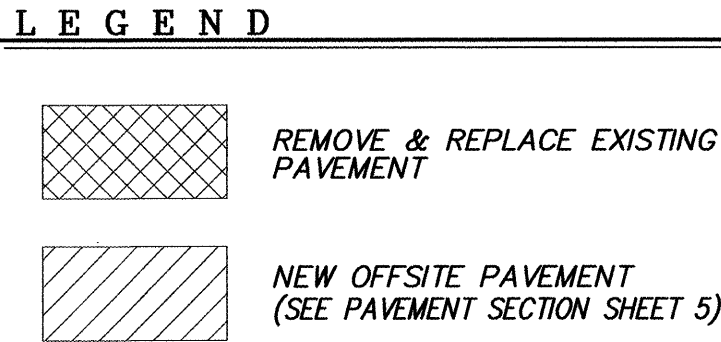
Desert Lane Subdivision Project No. 694281

A02046\SITEPLAN.DWG\07-31-02\ M.J.R. ACH RDO

Designed: DLH	Drawn: M.J.R.	Checked: DMG	Sheet 4 of 11
Scale: 1" = 50'	Date: 08-01-02	Job: A02046	

[illegible]





1. ALL STATIONING IS CENTERLINE STATIONING.
2. 3" MIN. COVER OVER TOP OF WATERLINES.
3. SEE SHEET 9 OF 11 FOR WATER VALVE BOX DETAIL, WATER RING AND COVER FOR VALVE BOX DETAIL AND WATER METER DETAIL.
4. THE 8" GATE VALVE IN EAGLE ROCK AVENUE SHALL BE INSTALLED BETWEEN 6" LINE IN SOARING EAGLE DRIVE AND THE 6" LINE IN DESERT EAGLE ROAD AS SHOWN:

RESTRAINED JOINT LENGTH FOR BENDS, VALVES, DEAD ENDS (FT.)				
PIPE SIZE	90°	45°	22.5°	VALVE
6"	17'	7'	3'	46'
8"	22'	9'	4'	60'

LENGTH OF RESTRAINED PIPE ON EACH SIDE OF
THE BEND. RESTRAIN BRANCH AT FITTING ONLY
MINIMUM ATTACHED PIPE LENGTH, RUN SIDE
OF TEE: 10.00 FEET.

RESTRAINED JOINT LENGTHS FOR REDUCERS (FT.)		
PIPE SIZE	LARGE SIDE	SMALL SIDE
8" X 6"	25'	33'

RESTRAINED JOINT LENGTH FOR TEES (FT.)		
PIPE SIZE	RUN	BRANCH
6"x6"x6"	10'	2'
8"x8"x8"	13'	3'
8"x8"x6"	7'	5'

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9538



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **DESERT LANE SUBDI
DESERT EAGLE ROA
UTILITY IMPROVEM**

DESIGN REVIEW COMMITTEE

APPROVED
NOV 12 2002
CITY ENGINEER

CITY PROJECT NO.	ZONE MAP NO.
------------------	--------------

694281	C-19
--------	------

CONTRACTOR	Sundance	
WORK STARTED BY	ALS	DATE 03
ACCEPTANCE BY		DATE
FIELD VERIFICATION BY	ALS	DATE 03
CORRECTED BY	ALS	DATE 06
MICRO-FILM INFORMATION		
RECORDED BY		DATE
NO.		

NO.	FIELD NOTES	DATE	BY	SECTION
	"1-B20". THE STATION IS LOCATED 9 MILES N. E. OF DOWNTOWN ALBUQUERQUE. TO REACH THE STATION FROM THE INTERSECTION OF LOUISIANA BLVD. AND LOS ANGELES DR. GO EAST ON LOS ANGELES DR. 1.0 MILE TO BARSTOW ST.; THEN NORTH ON BARSTOW ST., 1.0 MILE TO MODESTO AVE. THE STA. IS LOCATED IN THE N.E. QUADRANT OF THE INTERSECTION OF BARSTOW ST. AND MODESTO AVE.			
	"1-B20". X = 410,237.56; Y = 1,524,092.46; G-G = 399664740			
	DELTA ALPHA = 010°23'; CENTRAL ZONE, (NAD 1927) ELEVATION = 5474.510' (SLD 1929)			

[illegible]

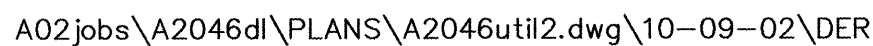
DISCUSSION

MO./DAT./TR.	MO./DAT./TR.

	SHEET	OF
--	-------	----

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLAN
 I, Diane Hoelzler, NMPE 1967 of the firm
Mark Goodwin & Associates, PA, a Registered Professional Engineer in
 the State of New Mexico, do hereby certify, to the best of my knowledge and
 belief, that the infrastructure installed as part of this project has been
 inspected by me or by a qualified person under my direct supervision, and
 has been constructed in accordance with the plans and specifications
 approved by the City Engineer and that the original design intent of the
 approved plans has been met, except as noted by me on the as-built
 construction drawings. This Certification is based on site inspections by me
 or personnel under my direction, and survey information provided by ALS.
Inc. NMPE 7719

A02jobs\A2046dl\PLANS\A2046util.dwg\10-09-02\DER



1. ALL STATIONING IS CENTERLINE STATIONING.
2. 3' MIN. COVER OVER TOP OF WATERLINES.
3. SEE SHEET 9 OF 11 FOR WATER VALVE BOX DETAIL, WATER RING AND COVER FOR VALVE BOX DETAIL AND WATER METER DETAIL.

REMOVE & REPLACE EXISTING PAVEMENT

**NEW OFFSITE PAVEMENT
(SEE PAVEMENT SECTION SHEET 5)**

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS
 I, David Hoelzer, NPE # 1196 of the firm
Mark Gossard & Associates, P.A., a Registered Professional Engineer in
 the State of New Mexico, do hereby certify, to the best of my knowledge and
 belief, that the infrastructure installed as part of this project has been
 inspected by me or by a qualified person under my direct supervision, and
 that it has been constructed in accordance with the plans and specifications
 approved by the City Engineer and that the original design intent of the
 project has been maintained. This certificate is noted by me as the as-built
 condition of the project and is not to be used for any other purpose or for
 any other construction drawings. This Certification is based on the inspection by MS
 or persons under my direct supervision, and such information provided by MS.
 NPE # 7219.

RESTRAINED JOINT LENGTH FOR BENDS, VALVES, DEAD ENDS (FT.)					
PIPE SIZE	90°	45°	22.5°	11.25°	VALVE
8"	22'	9'	4'	2'	60'

LENGTH OF RESTRAINED PIPE ON EACH SIDE OF THE BEND. RESTRAIN BRANCH AT FITTING ONLY MINIMUM ATTACHED PIPE LENGTH, RUN SIDE OF TEE: 10.00 FEET.

RESTRAINED JOINT LENGTH FOR TEES (FT.)		
PIPE SIZE	RUN	BRANCH
8"x8"x8"	13'	3'
8"x8"x6"	7'	5'

 MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

**TITLE: *DESERT LANE SUBDIVISION
EAGLE ROCK AVENUE N.E.
UTILITY IMPROVEMENTS***

DESIGN REVIEW COMMITTEE

APPROVED

OCT 16 2002

**DESIGN
REVIEW COMMITTEE**

CITY ENGINEER APPROVAL

A P P R O V E

NOV 12 2002

CITY ENGINEER

CITY PROJECT NO.

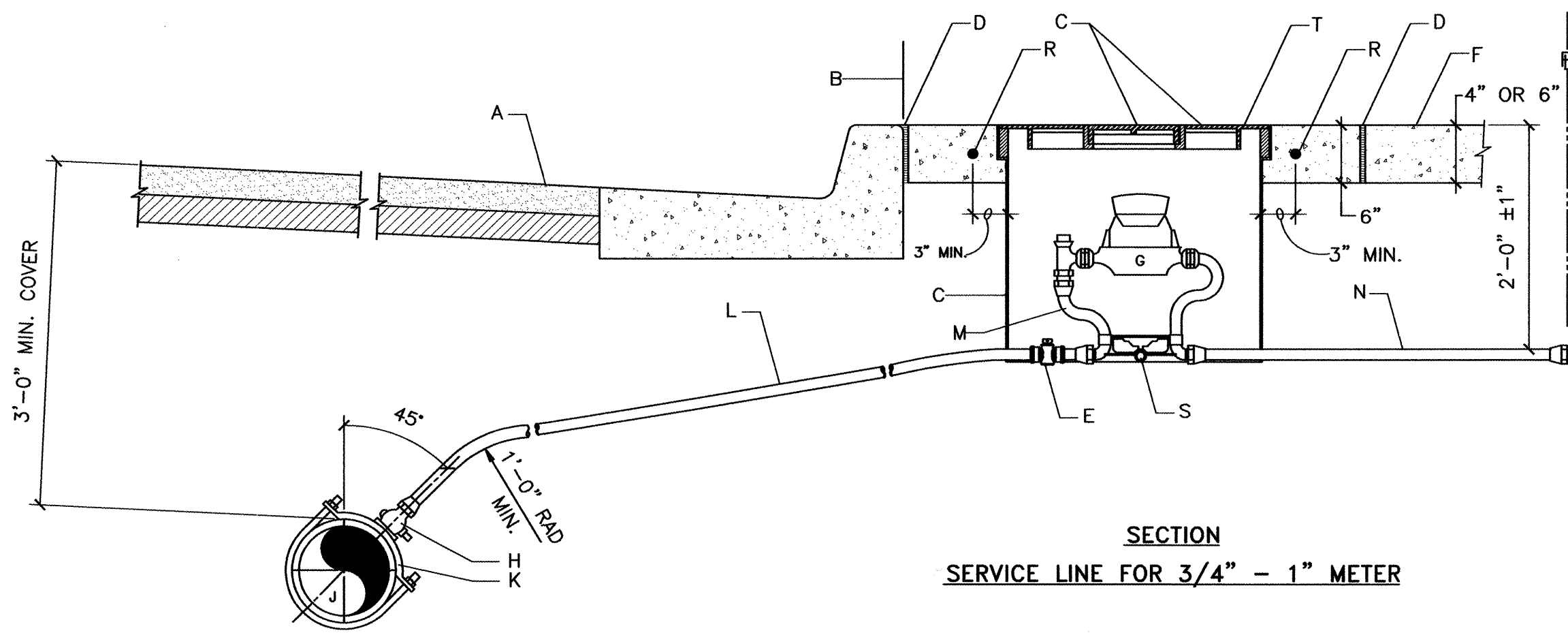
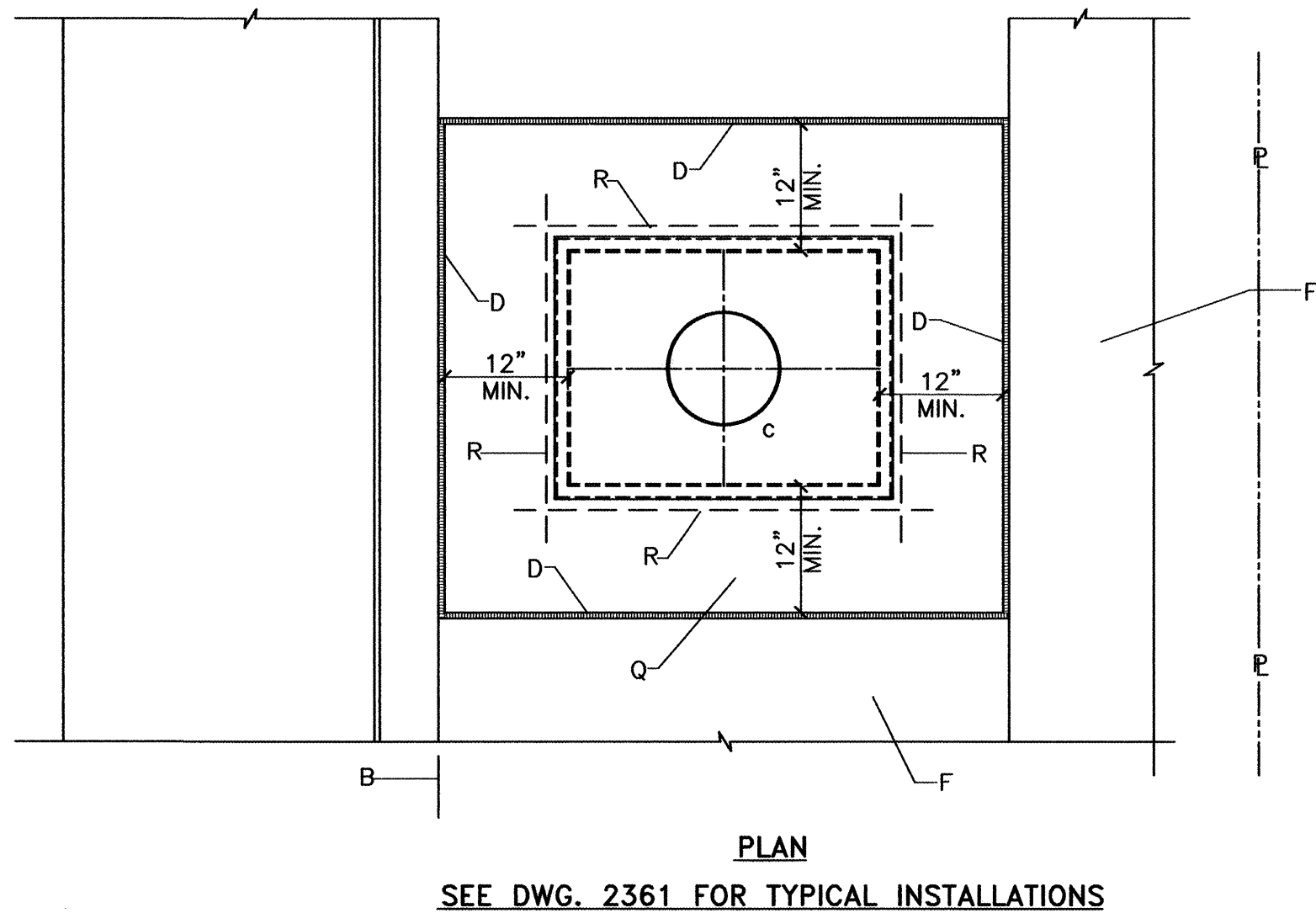
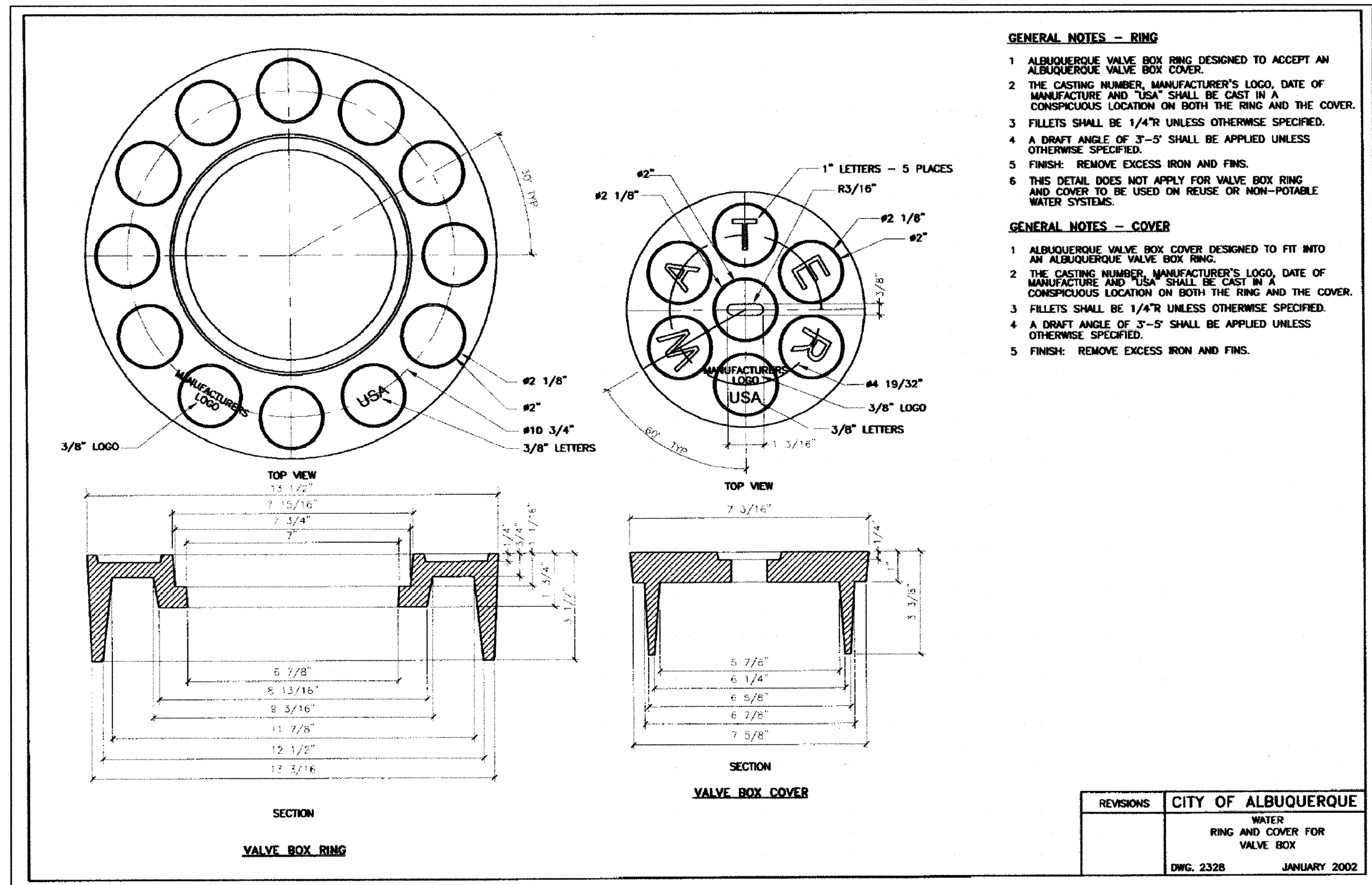
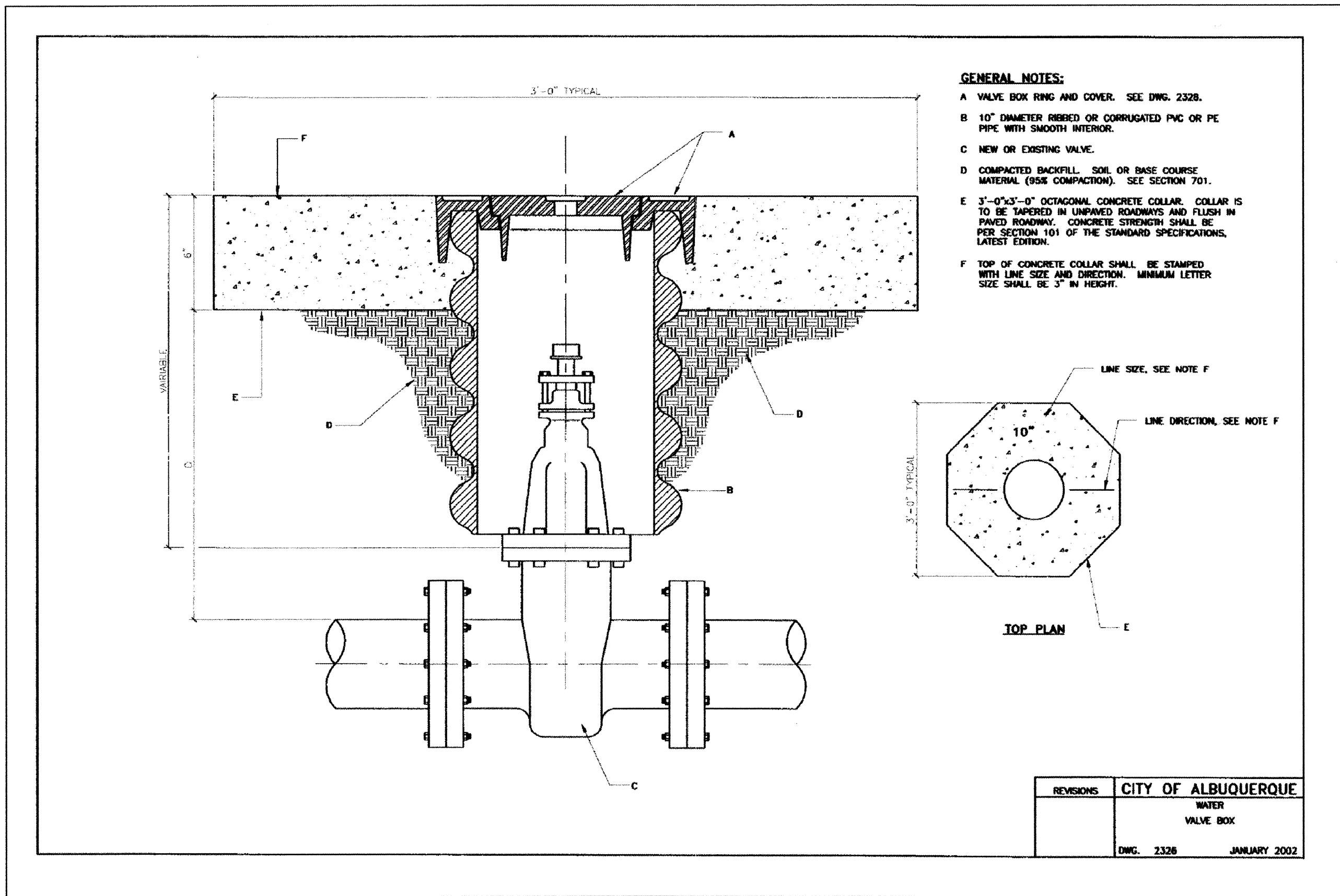
694281

ZONE MAP NO

C-19-

	SHEET
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8 11



GENERAL NOTES:

- THE METER SHALL BE SET UTILIZING A COPPER-SETTER. COPPER-SETTER HEIGHT 10" FOR 1" METER. 7" FOR 3/4" METER.
- THE VALVE AND METER REGISTER BOX SHALL BE LOCATED UNDER THE LID OPENING. WHERE TWO METERS ARE TO BE INSTALLED IN A SINGLE METER BOX, THE METER REGISTERS SHALL BE WITHIN READING RANGE OF THE LID OPENING.
- METER BOX LOCATION TO CONFORM TO DWG. 2361.
- WHEN CONTRACTOR DOES NOT INSTALL METER, CONTRACTOR SHALL PROVIDE REMOVABLE PLUGS FOR END OF COPPER-SETTER.
- EXISTING CONCRETE TO BE SAWCUT.

CONSTRUCTION NOTES:

- STREET SURFACE.
- BACK OF CURB.
- CAST IRON METER BOX, COVER AND LID. SEE DWG. 2368 OR 2369.
- 1/2" EXPANSION JOINT.
- CURB STOP, LOCATE INSIDE METER BOX.
- SIDEWALK OR DRIVEPAD.
- METER. TOP OF METER TO BE 12"-18" BELOW COVER.
- CORP STOP.
- MAIN WATER LINE.
- TAPPING SADDLE.
- COPPER SERVICE LINE.
- COPPER SETTER.
- TAILPIECE TO PROPERTY LINE WITH INSTA-TITE I.P.T. CAPPED FITTING.
- CONCRETE PAD REQUIRED IN ALL AREAS.
- #4 REBAR CONTINUOUS ALL AROUND METER BOX.
- STABILIZER BAR. 12" LONG X 1/2" DIAMETER GALVANIZED STEEL PIPE.
- METER BOX LID SHALL BE FLUSH WITH SURROUNDING SIDEWALK.

dmg MARK GOODWIN & ASSOCIATES, P.A.
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(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **DESERT LANE SUBDIVISION**
WATER DETAILS

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
C.O.A. STANDARD	C.O.A. STANDARD			

CITY PROJECT NO. **694281** ZONE MAP NO. **C-19-Z** SHEET **9** OF **11**

SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	DATE	NO.	DATE	CONTRACTOR	DATE
				BY	DATE
				INSPECTOR'S ACCEPTANCE BY	DATE
				VERIFICATION BY	DATE
				DRAWING BY	DATE
				STAMPED	DATE
				RECORDED BY	DATE
				NO.	DATE

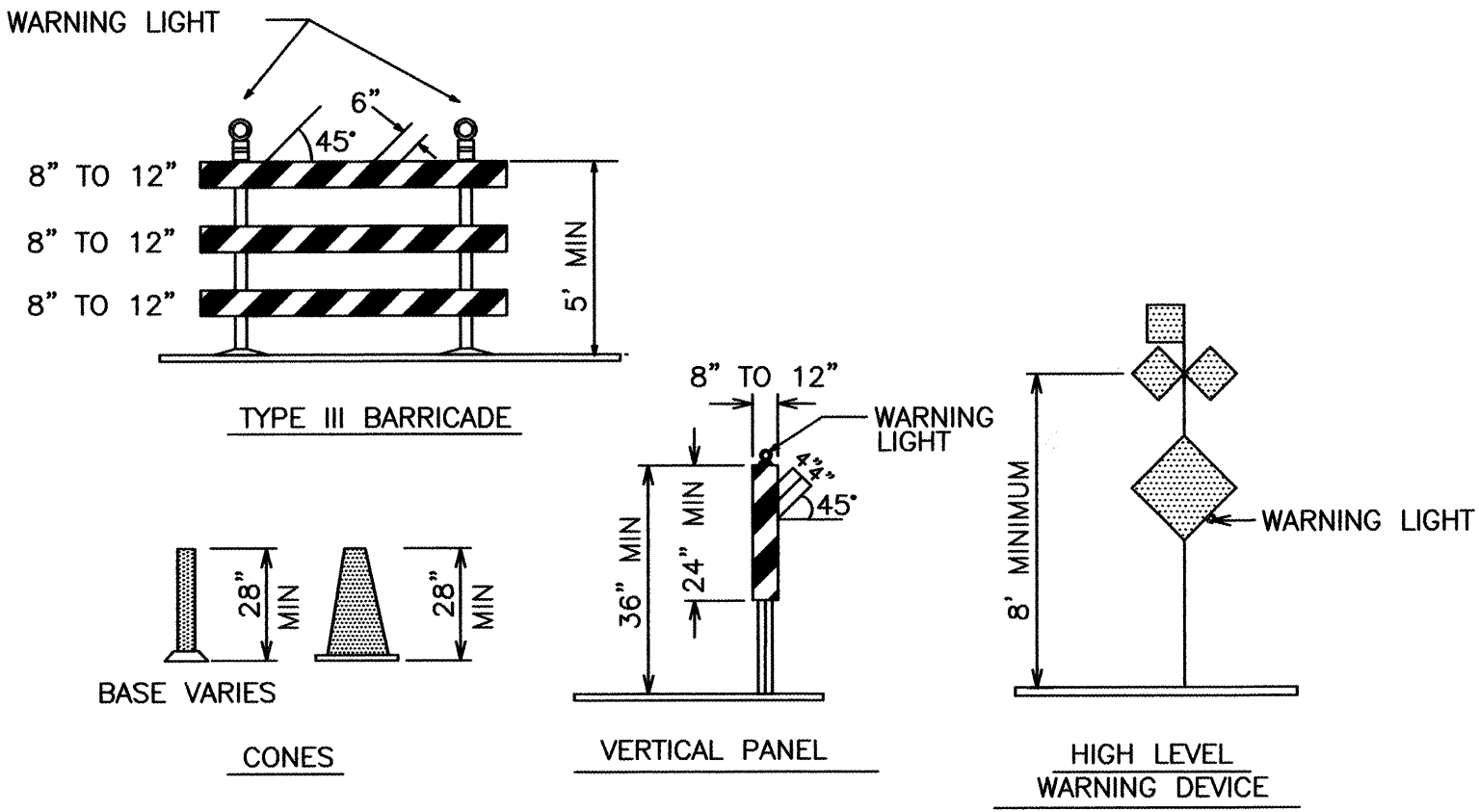
C.O.A. STANDARD

DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE

DESIGNED BY **DLH** DATE **08/02**
DRAWN BY **DER** DATE **08/02**
CHECKED BY **DMG** DATE **08/02**

CONSTRUCTION TRAFFIC CONTROL GENERAL NOTES

1. CONTRACTOR MUST OBTAIN FROM CONSTRUCTION COORDINATION AN EXCAVATION/BARRICADING PERMIT BEFORE ENGAGING IN ANY CONSTRUCTION, MAINTENANCE OR REPAIR WORK IN ANY OF THE CITY OF ALBUQUERQUE'S RIGHTS-OF-WAY. EMERGENCY WORK THAT WOULD PRESERVE LIFE OR PROPERTY IS EXCLUDED WITH THE UNDERSTANDING, THAT A PERMIT SHALL BE OBTAINED WITHIN 24 TO 48 HOURS.
2. CONTRACTOR SHALL AT THE TIME OF PERMIT REQUEST, SUBMIT FOR APPROVAL BY CONSTRUCTION COORDINATION, A TRAFFIC CONTROL PLAN DETAILING ALL EXISTING TOPOGRAPHY SUCH AS LANE WIDTHS, DRIVEWAYS, AND BUSINESS/RESIDENTIAL ACCESSES. THE TRAFFIC CONTROL PLAN SHALL INCLUDE ALL PHASES OF WORK AND SCHEDULES INVOLVED IN THE CONSTRUCTION PROJECT. ANY SEPERATE PHASES OF A CONSTRUCTION PROJECT SHALL BE GIVEN AN INDIVIDUAL PERMIT EACH. BLANKET PERMITS WILL NOT BE ISSUED.
3. THESE TYPICAL TRAFFIC CONTROL PLANS DO NOT REFLECT THE EXISTING TOPOGRAPHY SUCH AS DRIVEWAYS, LANE WIDTHS, AND BUSINESS/RESIDENTIAL ACCESSES. EVERY LOCATION THAT REQUIRES CONSTRUCTION TRAFFIC CONTROL SHALL HAVE A DETAILED TRAFFIC CONTROL PLAN SHOWING ALL EXISTING TOPOGRAPHY.
4. CONSTRUCTION SHALL NOT BEGIN UNLESS A TRAFFIC CONTROL PLAN HAS BEEN APPROVED AND VERIFIED BY CONSTRUCTION COORDINATION.
5. CONSTRUCTION COORDINATION SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY TRAFFIC CONTROL CHANGES NEEDED BY CONTRACTOR, THAT WERE NOT PREVIOUSLY APPROVED. THESE TRAFFIC CONTROL CHANGES SHALL BE REQUESTED IN WRITING ACCOMPANIED WITH A TRAFFIC CONTROL PLAN REFLECTING SUCH CHANGES.
6. ALL CONSTRUCTION TRAFFIC CONTROL DEVICES SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL, SERVICE AND MAINTAIN ALL TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL DEVICES SHALL NOT BE REMOVED OR ALTERED IN ANY WAY WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION, PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.
7. THE CONSTRUCTION TRAFFIC CONTROL INITIAL SET-UP SHALL BE BY AN AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA) CERTIFIED WORKSITE TRAFFIC SUPERVISOR. THE MAINTENANCE AND SERVICING SHALL ALSO BE DONE BY AN ATSSA CERTIFIED WORKSITE TRAFFIC SUPERVISOR OR EQUIVALENT.
8. CONTRACTOR IS RESPONSIBLE TO MAINTAIN AND SERVICE ALL TRAFFIC CONTROL DEVICES 24 HOURS A DAY, 7 DAYS A WEEK THROUGHOUT LENGTH OF PROJECT. CONTRACTOR IS RESPONSIBLE THAT ALL TRAFFIC CONTROL DEVICES COMPLY WITH THE MUTCD, LATEST EDITION.
9. ALL ADVANCE WARNING SIGNS SHALL BE DOUBLE INDICATED WHENEVER THERE ARE MULTI-LANE TRAFFIC IN ANY ONE GIVEN DIRECTION AND THERE IS SUFFICIENT MEDIAN SPACE.
10. ALL BARRICADES IN ALL TAPERS AND TANGENTS SHALL BE PLACED APART, A DISTANCE MEASURED IN FEET, EQUAL TO THAT OF THE POSTED SPEED LIMIT. NO EXCEPTIONS UNLESS APPROVED BY CONSTRUCTION COORDINATION PER MUTCD SECTION 6A-4.
11. ALL WORK IN ARTERIAL ROADWAYS SHALL BE ON A CONTINUOUS 24 HOUR PER DAY BASIS UNTIL COMPLETED.
12. CONTRACTOR IS RESPONSIBLE TO PROVIDE CONSTRUCTION COORDINATION, A WEEKLY LOG OF DAILY INSPECTIONS OF BARRICADE AND MAINTENANCE SCHEDULES ON PROJECTS THAT ARE OVER ONE WEEK DURATION.
13. EQUIPMENT OR MATERIALS SHALL NOT BE STORED WITHIN 15 FEET OF A TRAVELED TRAFFIC LANE DURING NON-WORKING HOURS WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION.
14. CONTRACTOR SHALL PROVIDE AND MAINTAIN A SAFE AND ADEQUATE MEANS OF CHANNELIZING PEDESTRIAN TRAFFIC AROUND AND THROUGH THE CONSTRUCTION AREA.
15. CONTRACTOR IS RESPONSIBLE FOR OBLITERATION OF ANY CONFLICTING STRIPING AND RESPONSIBLE FOR ALL TEMPORARY STRIPING.
16. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES, BUSINESSES AND/OR RESIDENTS AT ALL TIMES.
17. CONTRACTOR SHALL PROVIDE ACCESS SIGNS FOR BUSINESSES LOCATED WITHIN THE CONSTRUCTION AREA UNDER THE SUPERVISION OF CONSTRUCTION COORDINATION. EACH ACCESS SIGN SHALL HAVE 5 INCH, WHITE OPAQUE LETTERING ON BLUE REFLECTORIZED BACKGROUND. ACCESS SIGNS SHALL BE CONSIDERED INCIDENTAL TO THE BID AND NOT PART OF THE CONTRACT UNLESS OTHERWISE STATED. NO MORE THAN 3 BUSINESSES SHALL BE LISTED ON A ACCESS SIGN. SHOPPING CENTERS AND MALLS SHALL BE LISTED AS SUCH.
18. ALL ADVANCE WARNING SIGNS SHALL MEET THE MINIMUM REFLECTIVE INTENSITY REQUIREMENTS SET FORTH BY THE CITY OF ALBUQUERQUE. CONSTRUCTION COORDINATION SHALL DETERMINE ALL REQUIREMENTS AND APPROVE OR DISAPPROVE ANY ADVANCE WARNING SIGN PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.
19. 48 HOURS PRIOR TO OCCUPYING OR CLOSING OF A RIGHT-OF-WAY, CONTRACTOR SHALL NOTIFY: POLICE, FIRE DEPARTMENT, SCHOOLS, HOSPITALS, TRANSIT AUTHORITY, BUSINESSES AND/OR RESIDENTS THAT WILL BE AFFECTED BY THE CONSTRUCTION.
20. ANY FIELD ADJUSTMENTS SHALL BE APPROVED BY CONSTRUCTION COORDINATION.
21. EXCAVATIONS SHALL BE PLATED, TEMPORARILY PATCHED OR RESURFACED PRIOR TO OPENING OF TRAFFIC. A MINIMUM OF 11 FEET SHALL BE PROVIDED FOR TRAFFIC IN ANY GIVEN DIRECTION. CONTRACTOR IS RESPONSIBLE FOR ANY WORK INVOLVED IN SATISFYING THESE REQUIREMENTS.
22. CONTRACTOR SHALL AT ALL TIMES COMPLY WITH THE FOLLOWING:
1. STANDARDS AND REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
2. THE CITY OF ALBUQUERQUE TRAFFIC CODE, LATEST EDITION.
3. SECTION 19 OF THE CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTION, AS WELL AS OTHER SECTIONS.
23. FAILURE TO COMPLY WITH ANY OF THE ABOVE MENTIONED, WILL BE ADEQUATE CAUSE TO CEASE ALL WORK ON ANY CONSTRUCTION PROJECT. WORK WILL NOT RESUME UNTIL ALL REQUIREMENTS ARE ADDRESSED AND APPROVED BY CONSTRUCTION COORDINATION.
24. ALL TRAFFIC CONTROL DEVICES SHALL BE KEPT IN NEW-CLEAN CONDITION, WASHING OF EQUIPMENT IS INCIDENTAL TO IT'S PLACEMENT AND MAINTENANCE.
25. TRAFFIC CONTROL STANDARDS APPLY ONLY WHERE THE CONSTRUCTION TRAFFIC CONTROL PLANS ARE NOT SPECIFIC.
26. ADVANCE WARNING SIGNS SHALL BE 36"x36" MIN. WITH SUPER ENGINEERING GRADE SHEETING OR BETTER. MOUNTING HEIGHT AT TOP OF SIGN SHALL BE THE SAME AS FOR A 48" SIGN AS INDICATED IN THE M.U.T.C.D.
27. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORKSITE. ALL GRAFFITI SHALL BE PROMPTLY REMOVED FROM ALL EQUIPMENT, BOTH PERMANENT AND TEMPORARY.



LEGEND

- WORK AREA
- BARRICADE - TYPE I, TYPE II, OR BARREL
- BARRICADE - TYPE III
- VERTICAL PANEL
- WARNING SIGN
- DISTANCE BETWEEN SIGNS - A DISTANCE MEASURED IN FEET EQUAL TO A VALUE OF TEN TIMES THE SPEED LIMIT OF THE STREET
- FLAGMAN POSITION
- SPACING BETWEEN BARRICADES - A DISTANCE MEASURED IN FEET EQUAL TO THE STREET LIMIT OF THE STREET
- TAPER LENGTH - SEE CHART BELOW

THE TANGENT LENGTH IS EQUAL TO THE TAPER LENGTH FOR A GIVEN STREET.

TAPER REQUIREMENT

SPEED LIMIT (MPH)	TAPER LENGTH(L) (FEET)			MINIMUM NUMBER OF DEVICES FOR TAPER	MAXIMUM DEVICE SPACING IN FEET	
	10' LANE	11' LANE	12' LANE		ALONG TAPER	AFTER TAPER
20	70	75	80	5	20	20
25	105	115	125	6	25	25
30	150	165	180	7	30	30
35	205	225	245	8	35	35
40	270	295	320	9	40	40
45	450	495	540	13	45	45
50	500	550	600	13	50	50
55	550	605	660	13	55	55

RECOMMENDED SIGN SPACING(D) FOR ADVANCE WARNING SIGN SERIES

SPEED MILES PER HOUR	MINIMUM DISTANCE IN FEET BETWEEN SIGNS	FROM LAST SIGN TO TAPER
0-20	10 X SPEED LIMIT	10 X SPEED LIMIT
25-30	10 X SPEED LIMIT	10 X SPEED LIMIT
30-35	10 X SPEED LIMIT	10 X SPEED LIMIT
40-45	10 X SPEED LIMIT	10 X SPEED LIMIT
50-60	10 X SPEED LIMIT	10 X SPEED LIMIT

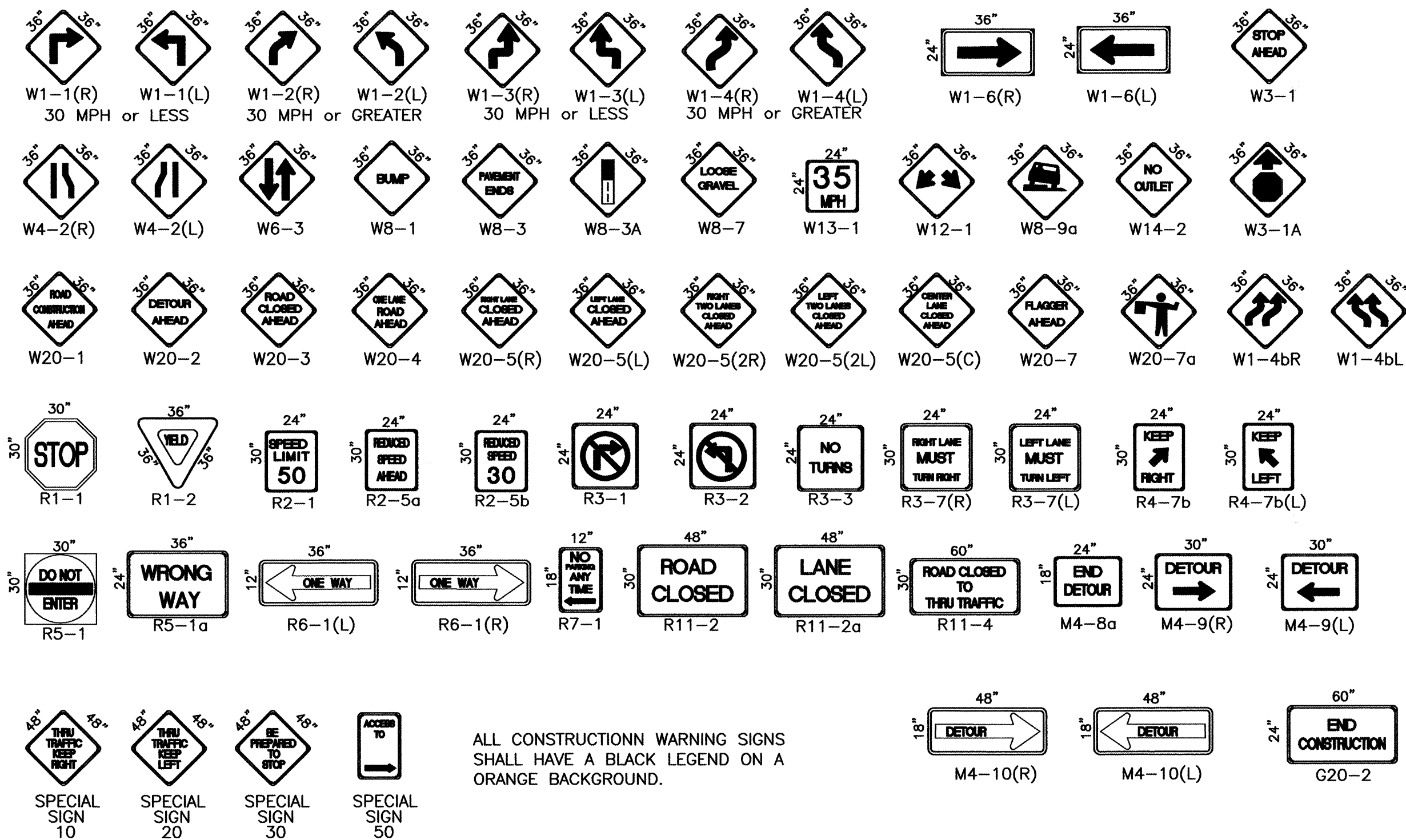
TAPER CRITERIA

TYPE OF TAPER	TAPER LENGTH
UPSTREAM TAPER:	
MERGING TAPER	L MINIMUM
SHIFTING TAPER	1/2 L MINIMUM
SHOULDER TAPER	1/2 L MINIMUM
TWO-WAY TRAFFIC TAPER	100 FEET MAXIMUM
DOWNSTREAM TAPERS	100 FEET PER LANE

TAPER LENGTH COMPUTATION

SPEED LIMIT	
40 MPH OR LESS	$L = \frac{WS^2}{60}$
40 MPH OR GREATER	$L = W \times S$
L = TAPER LENGTH W = WIDTH OF OFFSET IN FEET S = POSTED SPEED OR OFF-PEAK 85-PERCENTILE SPEED IN MPH	

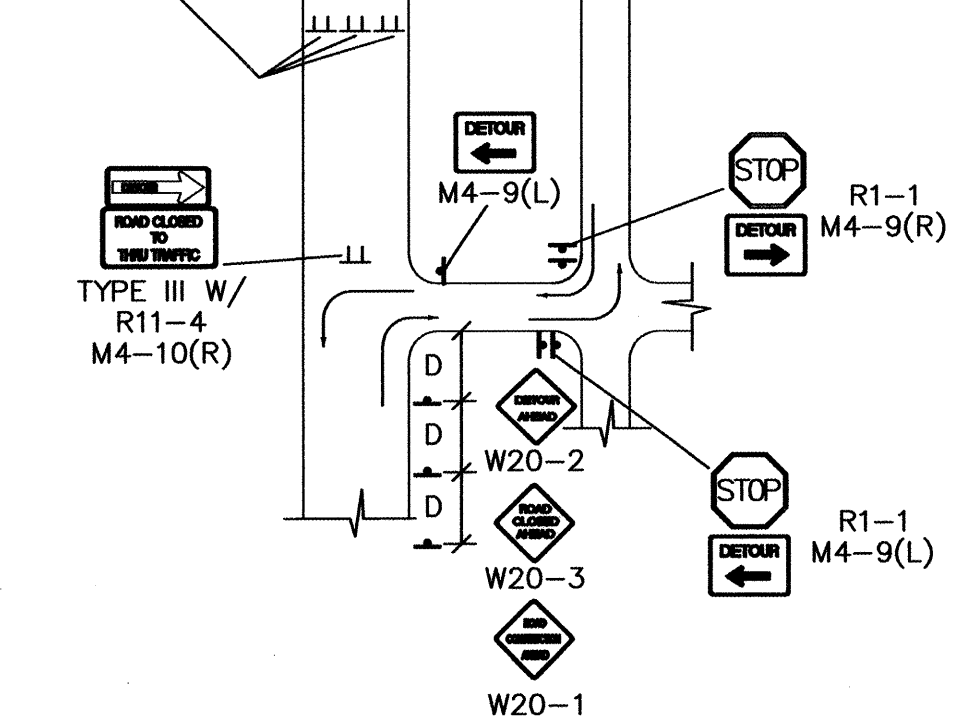
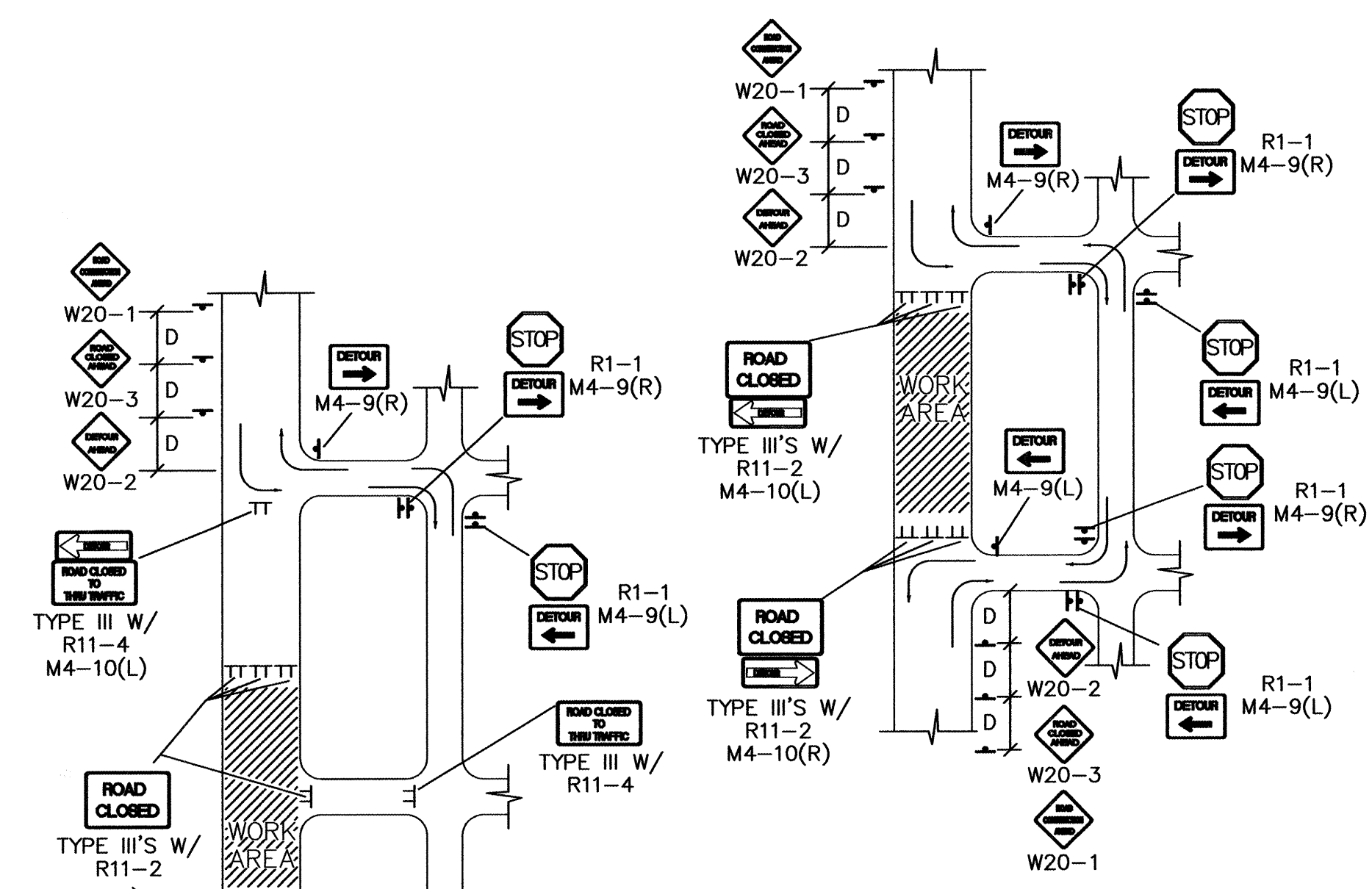
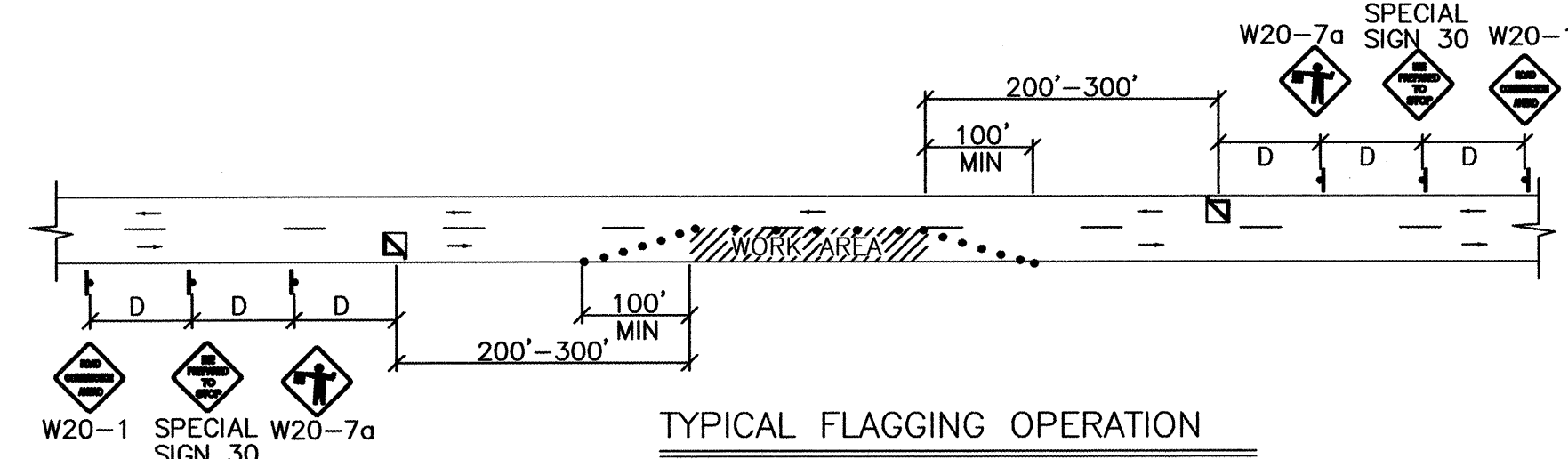
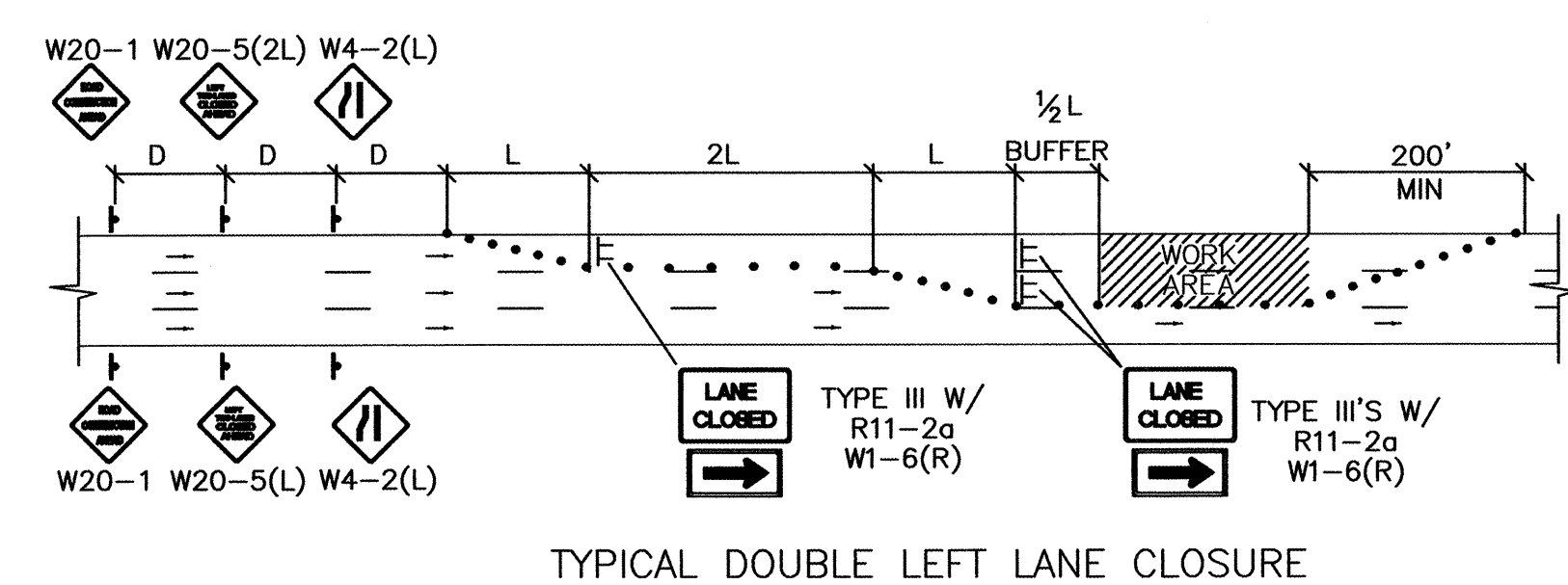
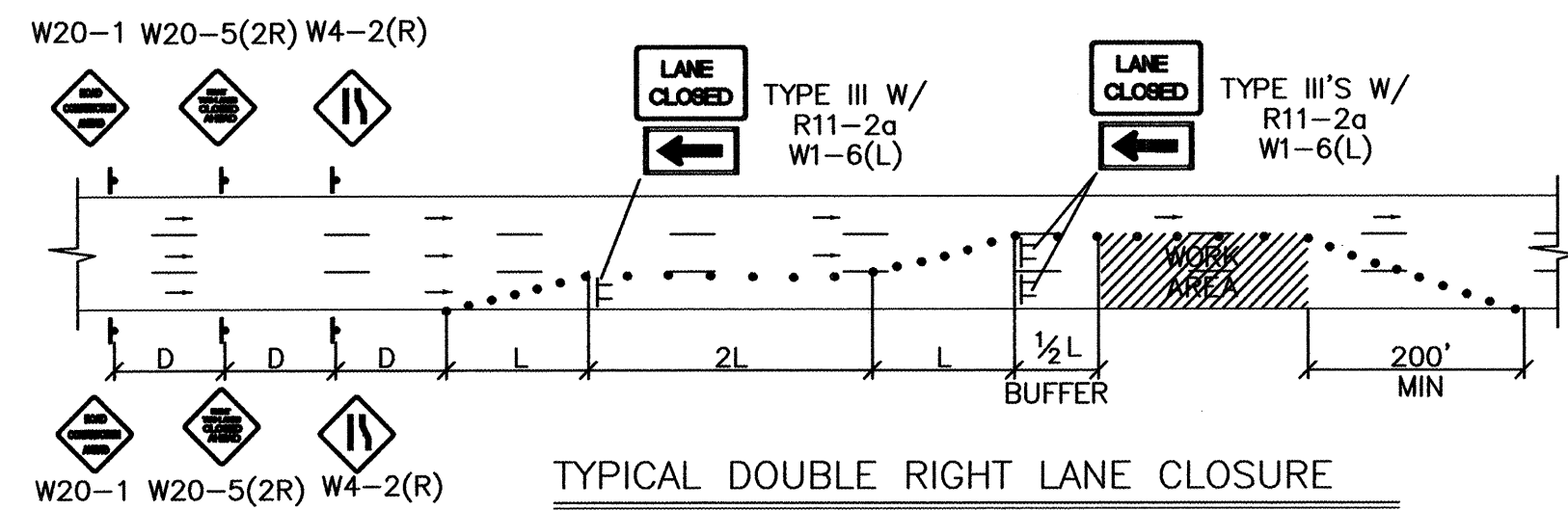
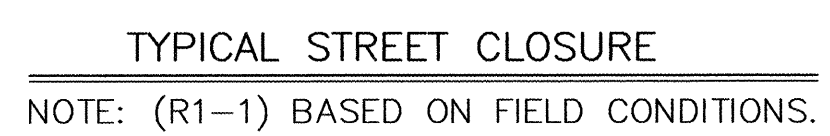
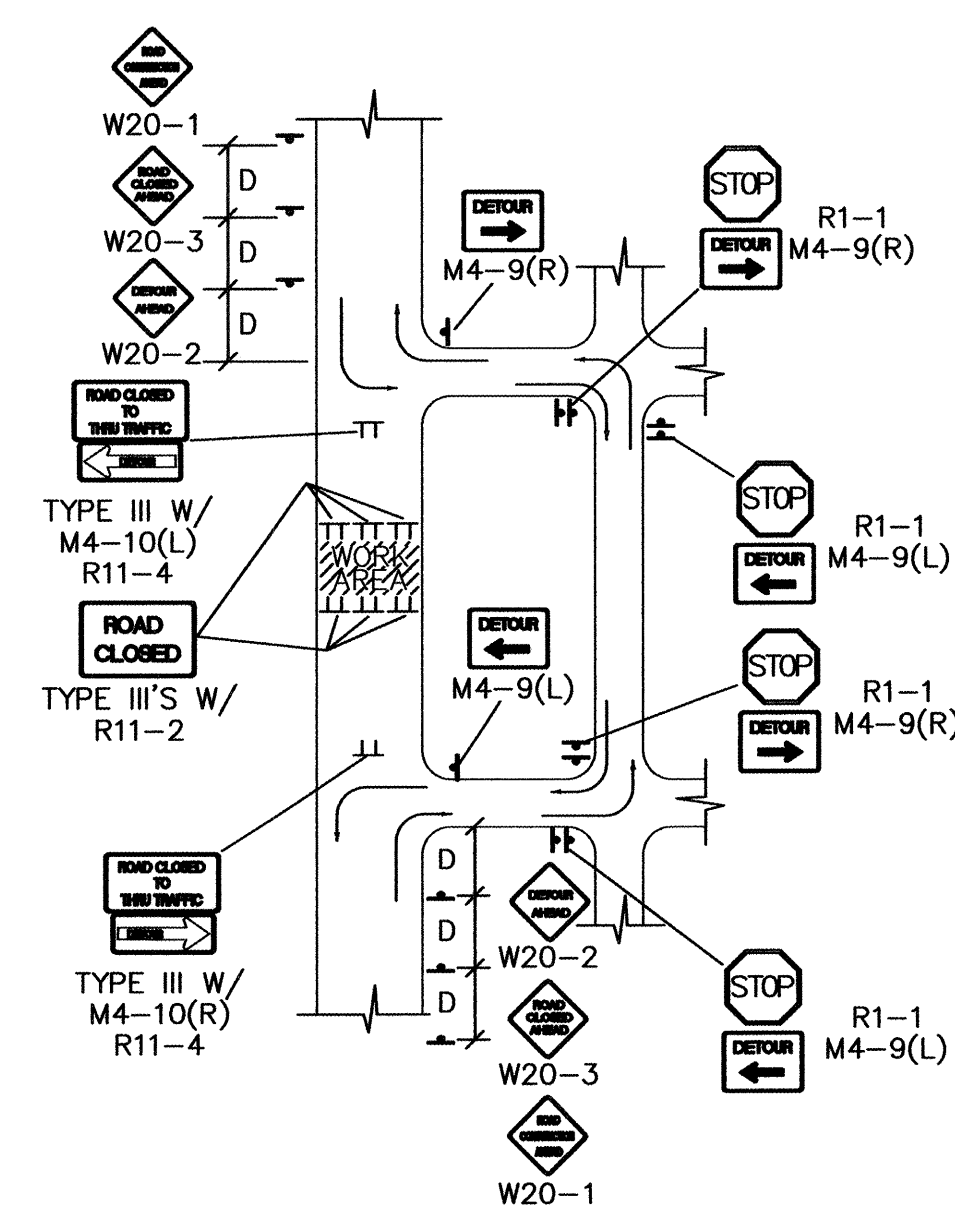
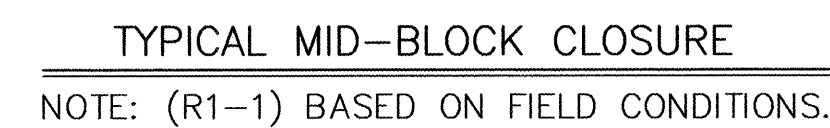
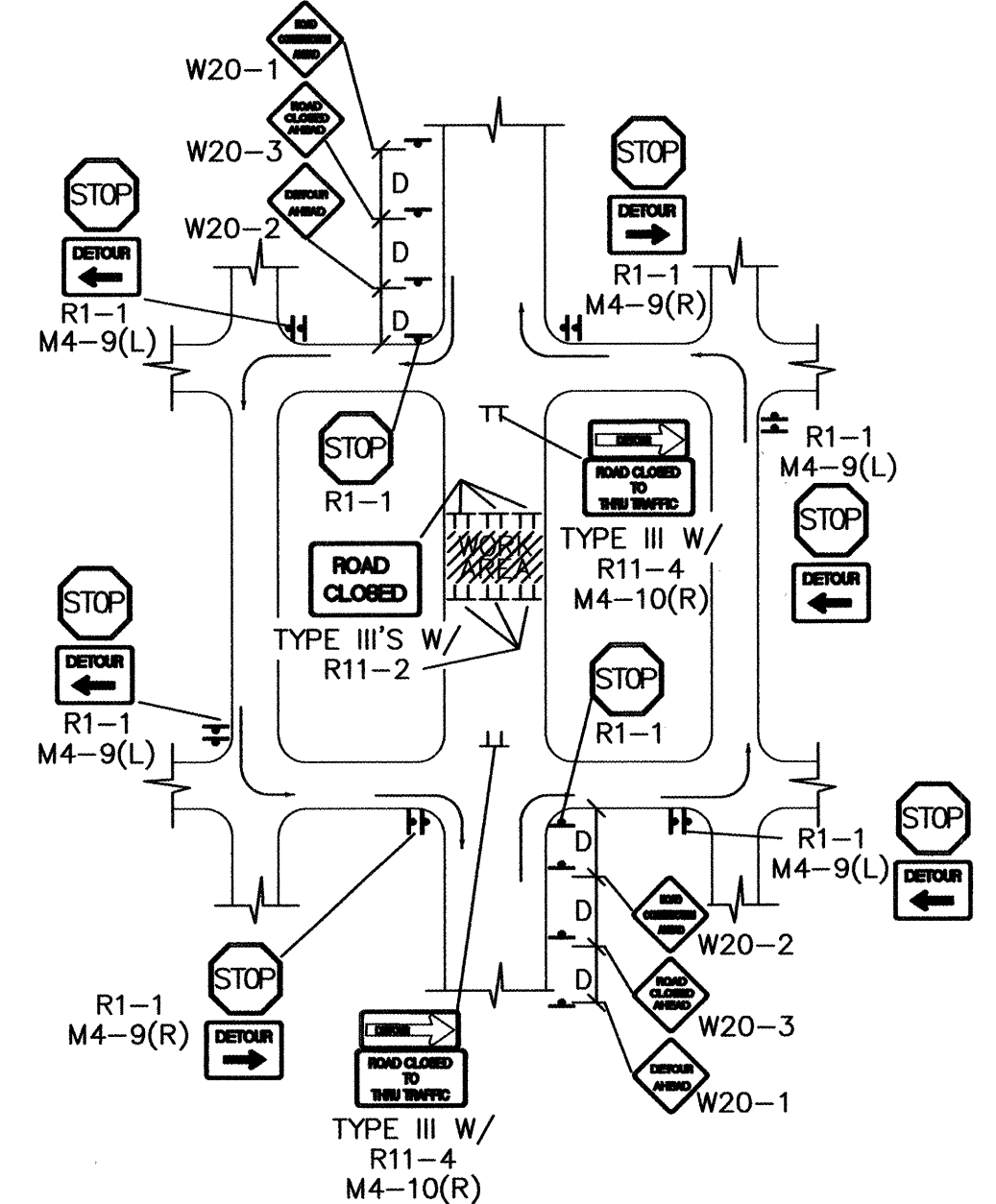
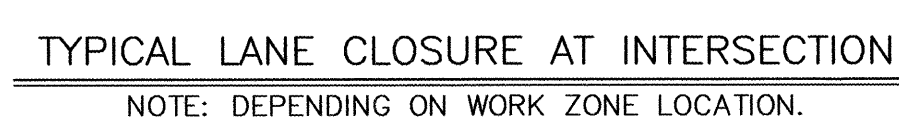
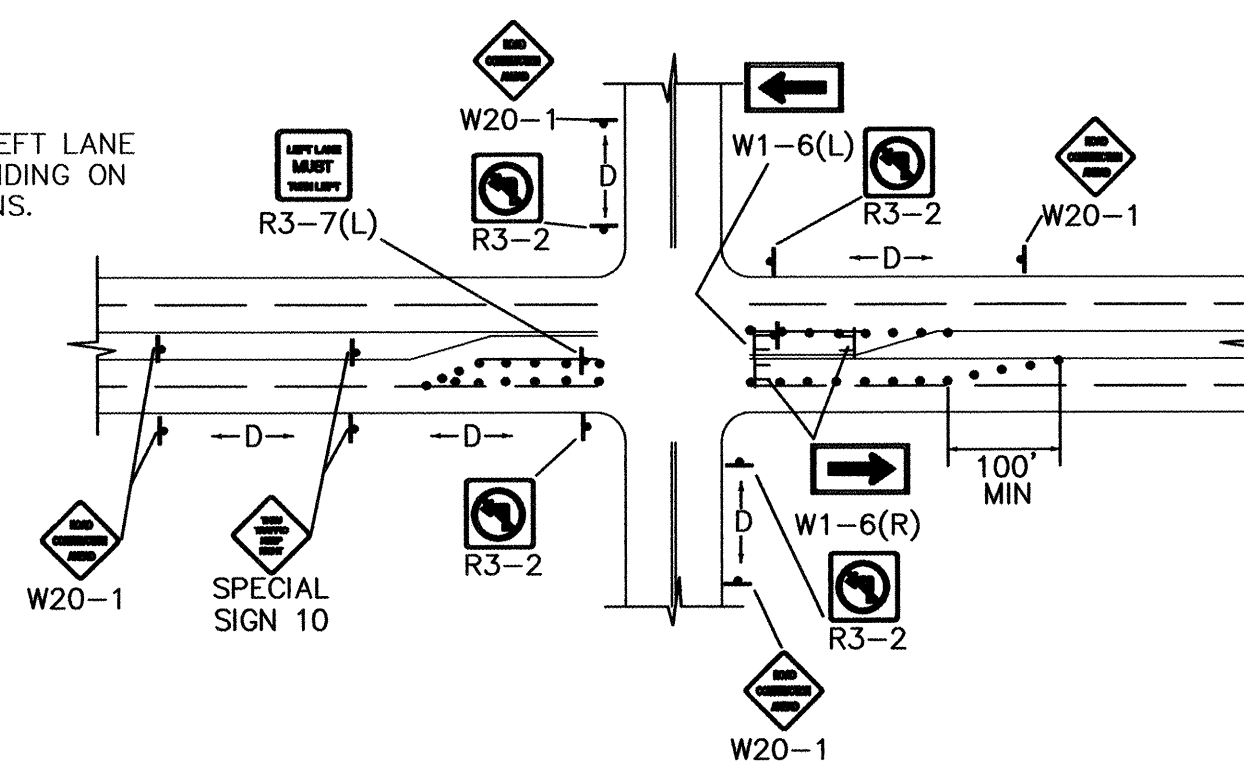
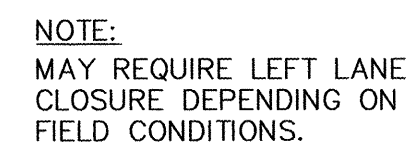
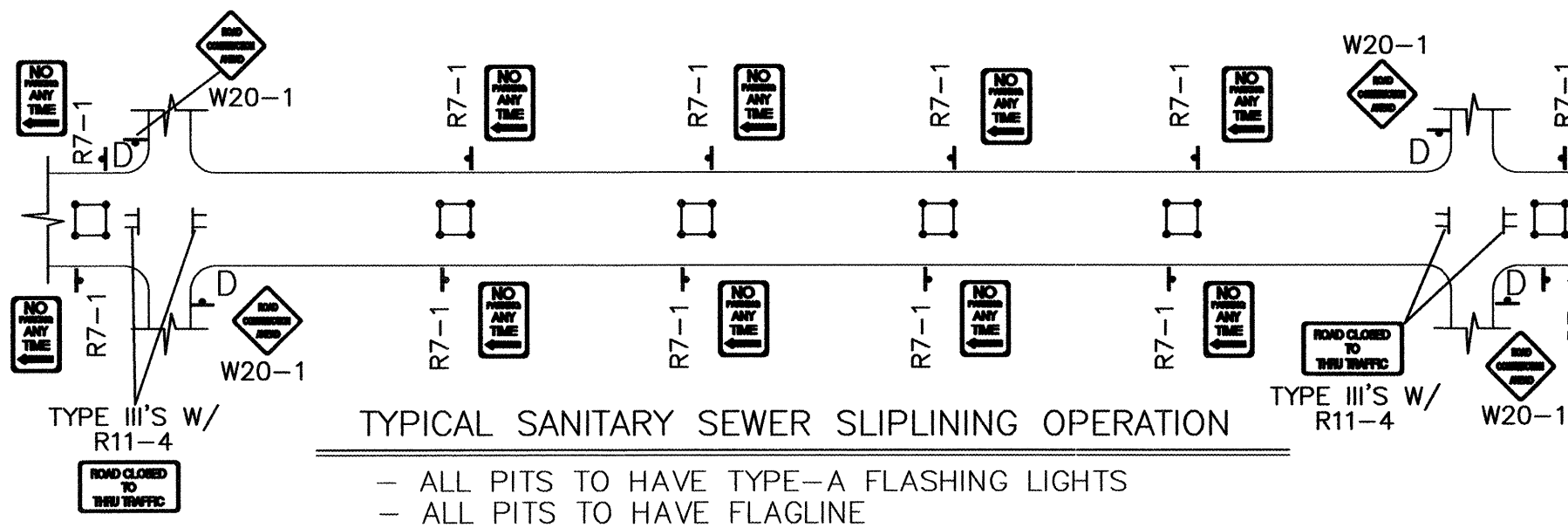
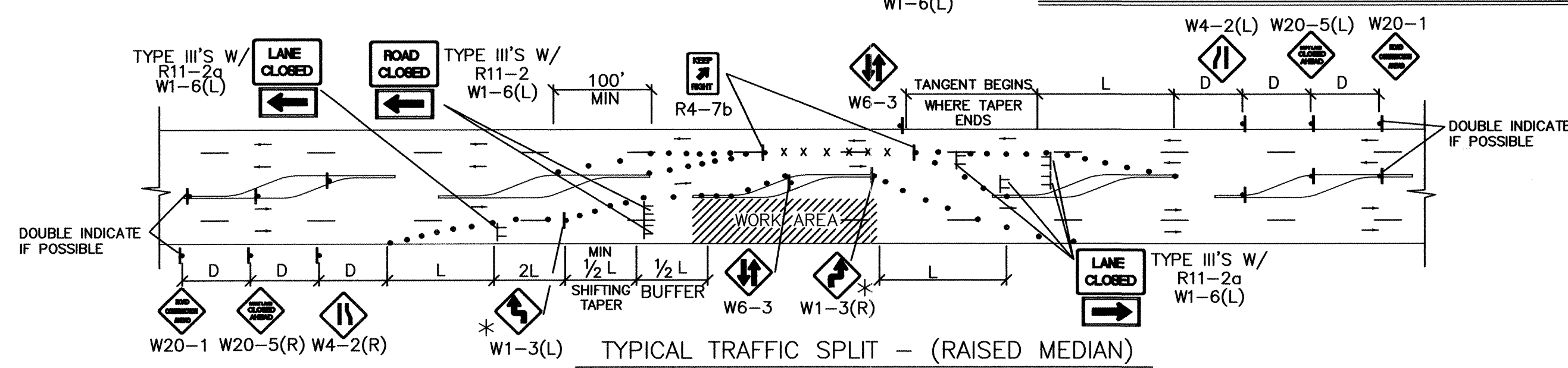
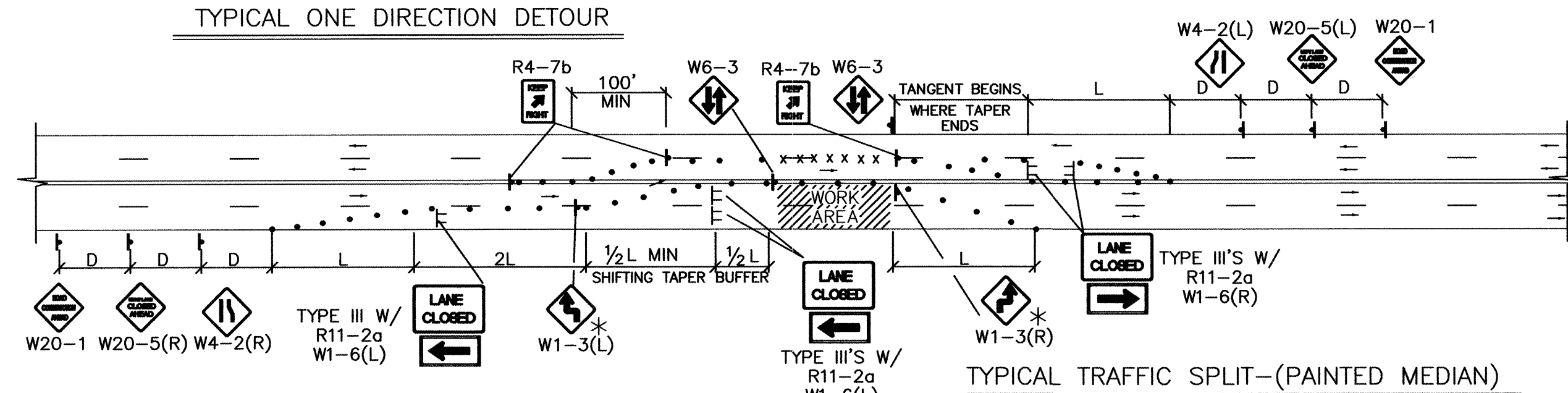
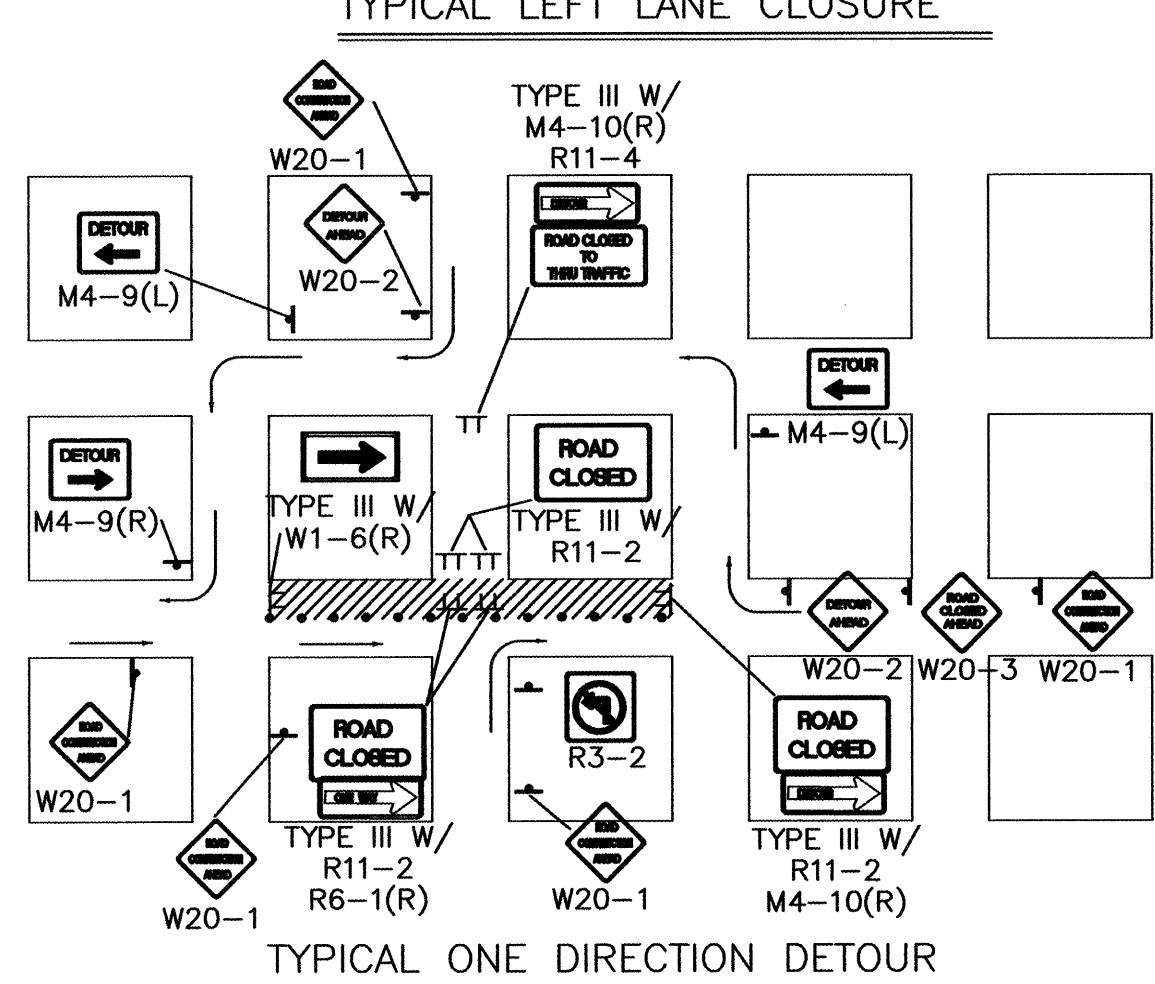
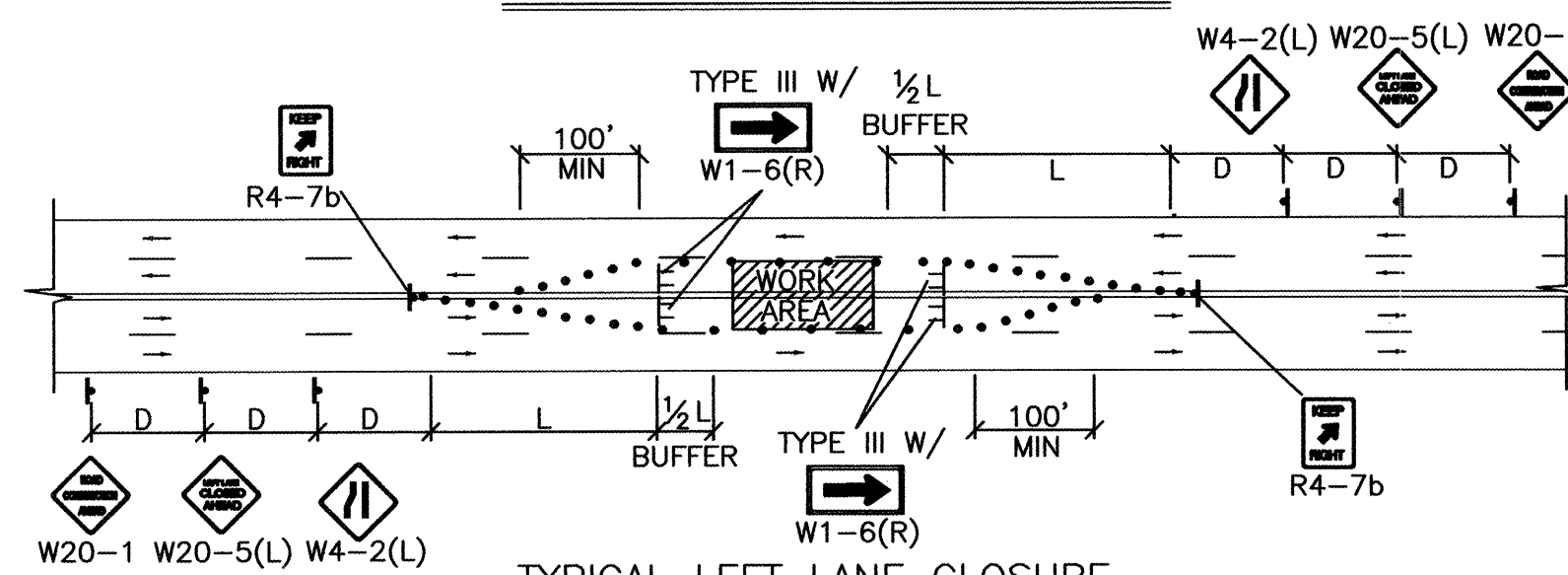
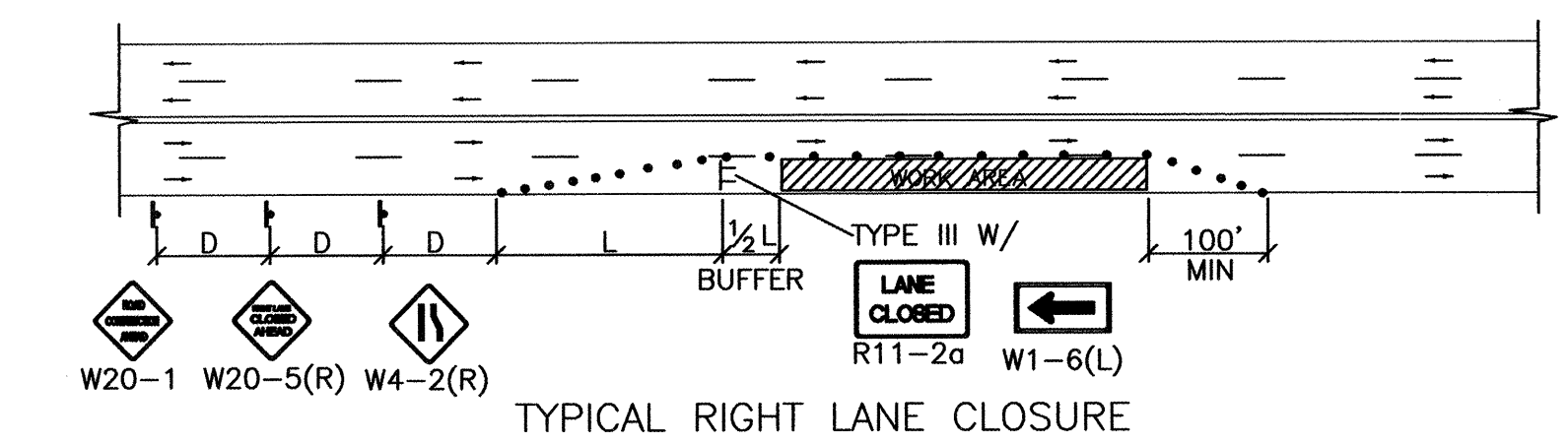
SIGN FACE DETAILS



ALL CONSTRUCTION WARNING SIGNS SHALL HAVE A BLACK LEGEND ON A ORANGE BACKGROUND.

C.O.A. STANDARD

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP			
TITLE: DESERT LANE SUBDIVISION SIGNING AND CONSTRUCTION TRAFFIC CONTROL STANDARDS			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	
C.O.A. STANDARD	C.O.A. STANDARD	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO. 694281	ZONE MAP NO. C-19-Z	SHEET	OF 10 11



GENERAL NOTE:

ALL CONSTRUCTION WARNING
SIGNS SHALL HAVE A BLACK
LEGEND ON A ORANGE
BACKGROUND

⚠ ALL ADVANCE WARNING SIGNS SHALL BE A MINIMUM OF 36" THIRTY SIX INCHES BY 36" THIRTY SIX INCHES IN SIZE AND SHALL HAVE ONE WARNING LIGHT.

[illegible]