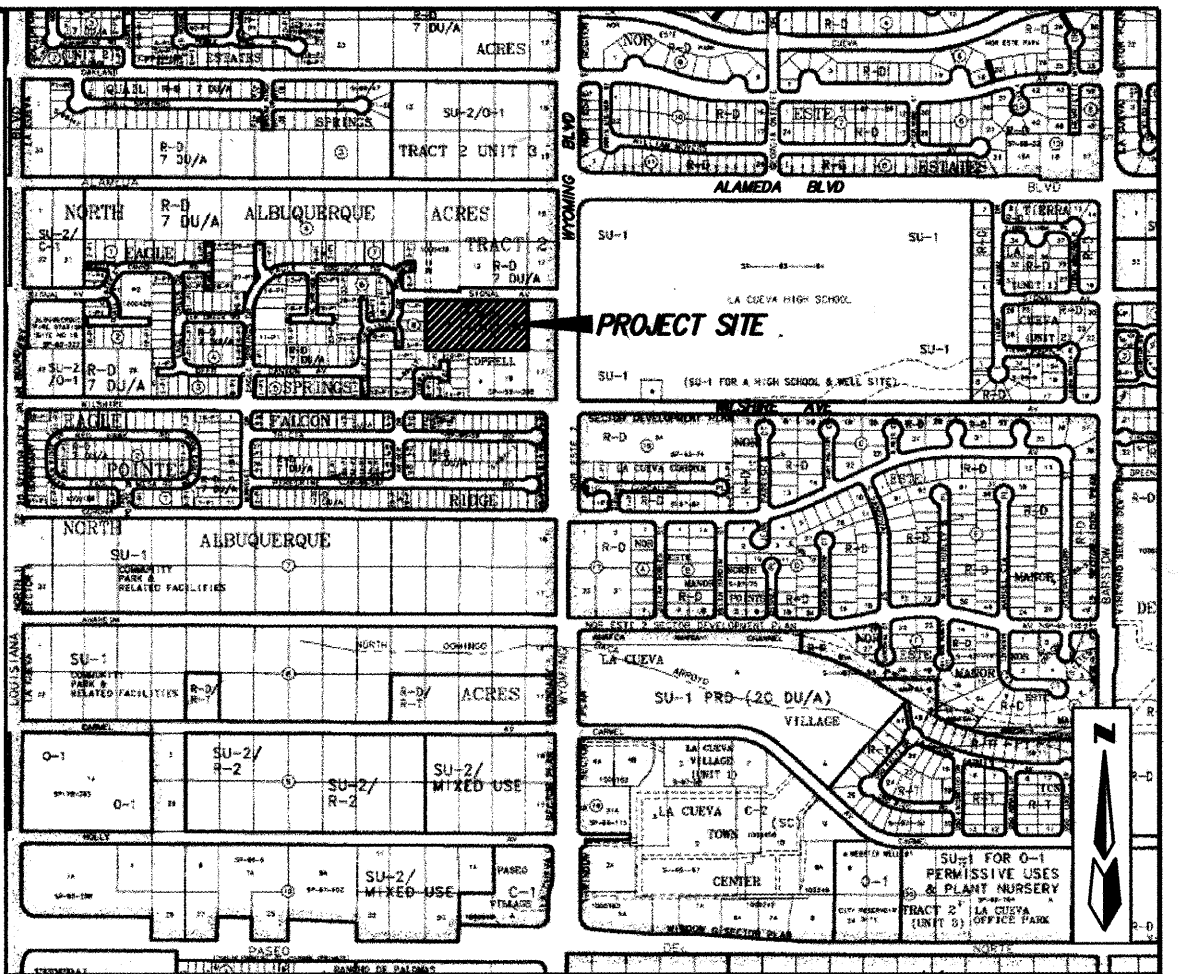


SCANNED BY
MESA REPRO

CONSTRUCTION PLANS FOR *DESERT RIDGE @ LA CUEVA* ALBUQUERQUE, NEW MEXICO



VICINITY MAP ZONE ATLAS: C-19-Z
SCALE: NONE

GENERAL NOTES

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #6.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. FIVE (5) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
6. ALL WORK AFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
7. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
8. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT TO COVER THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS. CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAVE BEEN RECORDED.
10. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
11. CONTRACTOR SHALL COORDINATE WITH THE CITY OF ALBUQUERQUE WATER SYSTEMS DIVISION (857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER OR SEWER UTILITIES. EXISTING VALVES TO BE OPERATED BY CITY PERSONNEL ONLY. CONTRACTOR SHALL CONTACT THE WATER SYSTEMS DIVISION SEVEN (7) WORKING DAYS PRIOR TO NEEDING VALVES TURNED ON OR OFF.
12. FOR STORM DRAIN CONSTRUCTION, RCP JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE BY CITY.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE ENGINEER.
- ☒ SIDEWALK AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☒ IF CURB IS DEPRESSIONED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P. O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9538

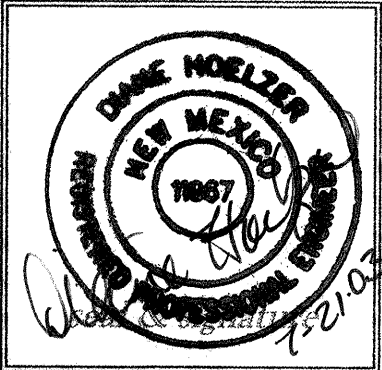
INDEX TO DRAWINGS

SHEET NO.	SHEET
1	TITLE SHEET
2-3	PLAT
4	GRADING & DRAINAGE PLAN
5	MASTER PAVING PLAN
6-7	PAVING IMPROVEMENTS
8	MASTER UTILITY PLAN
9-10	UTILITY IMPROVEMENTS
11	WATER DETAIL SHEET
12-13	TRAFFIC CONTROL PLANS

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY OF ALBUQUERQUE
DATE: 11/10/03

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Diane Hoelzer, NMPE 11967, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 7719.

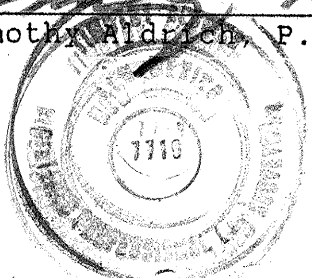


DRB NO. **1001935**

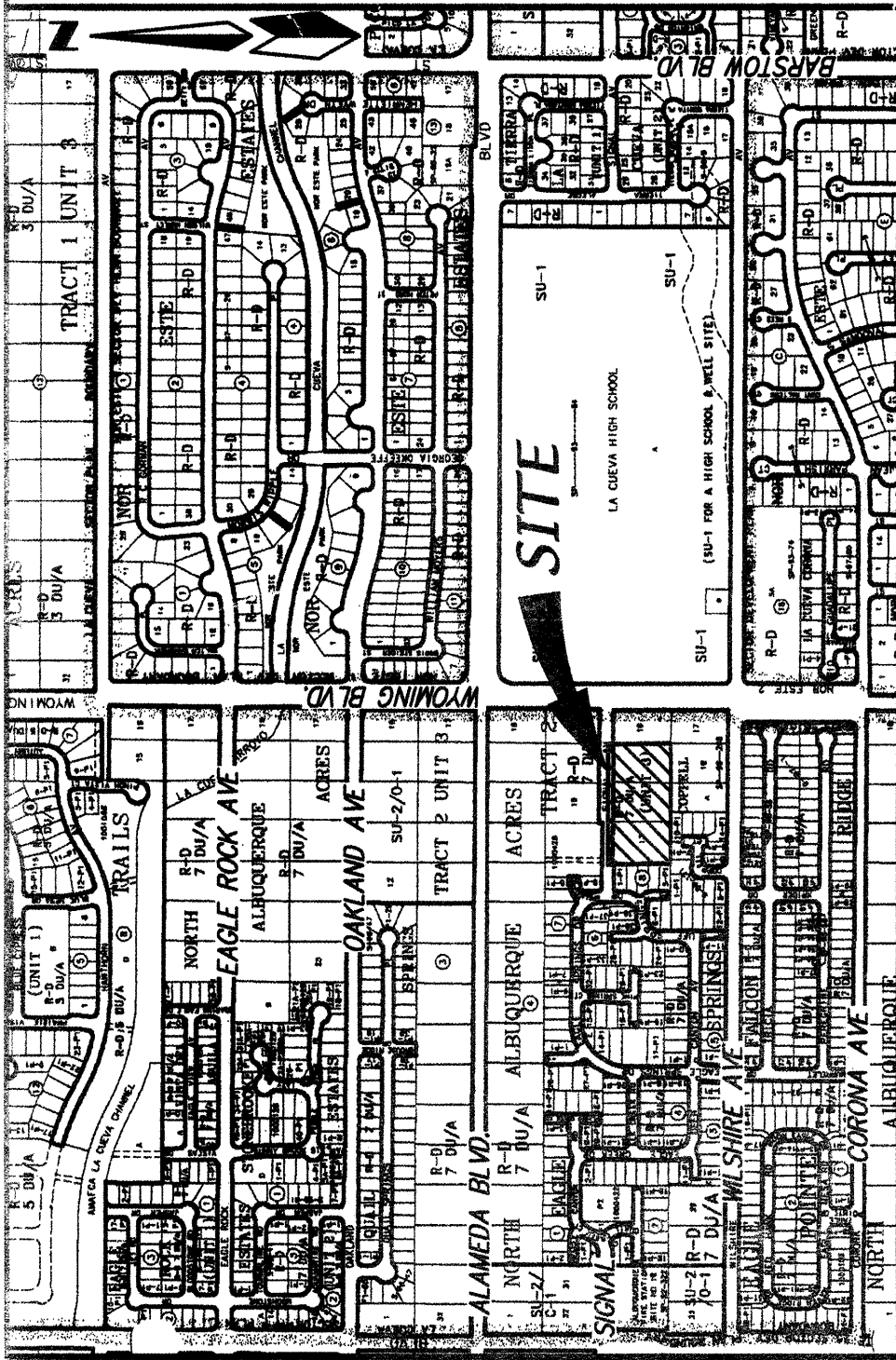
SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the 'as-built' information shown on these drawings was obtained from field construction and 'as-built' surveys performed by me or under my supervision, that the 'as-built' information shown on these drawings was added by me or under my supervision, and that this 'as-built' information is true and correct to the best of my knowledge and belief." Aldrich Land Surveying is not responsible for any of the design concepts, calculations, engineering, or intent of the record drawings.

Timothy Aldrich, P.S. No. 7719 Date 07-01-03



REV.	8, 9, 10	DATE	1/30/2003	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE	APPROVALS		ENGINEER	DATE	APPROVED FOR CONSTRUCTION		
	DRC CHAIRMAN		<u>Mark Goodwin</u>	<u>12-9-02</u>	<u>Timothy Aldrich</u> 1/01/03 CITY ENGINEER DATE		
	TRANSPORTATION		<u>Mark Goodwin</u>	<u>12/02/02</u>			
	WATER/WASTEWATER		<u>Mark Goodwin</u>	<u>12/05/02</u>			
	HYDROLOGY		<u>Mark Goodwin</u>	<u>12/05/02</u>			
	CIP		<u>Mark Goodwin</u>	<u>12/05/02</u>			
CONSTR. MGMT.		<u>Mark Goodwin</u>	<u>12-15-02</u>	SHEET OF			
CONSTR. COORD.		<u>Mark Goodwin</u>	<u>12-15-02</u>	1 13			
CITY PROJECT NO.		697181					



LOCATION MAP
ZONE ATLAS C-19-Z
SCALE: NONE

SUBDIVISION DATA

Plat Case No's: Project 1001935
Case #:
Gross acreage: 3.0041 AC
Zone Atlas No.: C-19-Z
No. of existing Tracts/Lots: 3 LOTS
No. of Tracts/Lots created: 16 LOTS
No. of Tracts/Lots eliminated: 3 LOTS
Miles of full width streets created: 0.08
Area dedicated to the City of Albuquerque: 0.8525 AC
Date of Survey: MAY 2002
Utility Control Location System Log Number: 2002252859

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all new streets and public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby dedicate Signal Avenue to the City of Albuquerque in fee simple and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

RANDALL HOMES, LLC
BY: *Randall Schmilke*, Managing Partner
Randall Schmilke/Managing Partner
DATE: September 24, 2002

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO
This instrument was acknowledged before me on September 24, 2002
By Randall Schmilke, Managing Partner of Randall Homes, LLC A New Mexico Limited Liability Company on behalf of said Company.

Randall Schmilke
NOTARY PUBLIC
My commission expires: 12/14/05
NOTARY PUBLIC STATE OF NEW MEXICO

LEGAL DESCRIPTION

A tract of land within the Elena Gallegos Grant, projected Section 18, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 13 THROUGH 15, BLOCK 5, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 and containing 3.0041 acres more or less.

NOTES (SEE SHEET 2)

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plats of record entitled:

PLAT G: "NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3" (9-10-31, D1-20)

PLAT OF "COPPELL SUBDIVISION" (11-23-99, 99C-321)

PLAT OF "COPPELL SUBDIVISION" (12-30-99, 99C-348)

all being records of Bernalillo County, New Mexico.

PURPOSE OF PLAT

1. Subdivide a three (3) Lots into 16 residential Lots.
2. Grant easements as shown hereon.
3. Dedicate Right-of-way as shown hereon.
4. Vacate easements as shown hereon.

PLAT FOR
DESERT RIDGE AT LA CUEVA
SUBDIVISION
WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 18
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2002

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinances, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1984.

Subdivision Case No. _____

Planning Director, City of Albuquerque, N.M. _____ Date _____

City Engineer, City of Albuquerque, N.M. _____ Date _____

Albuquerque Metropolitan Arroyo Flood Control Authority _____ Date _____

Transportation Development, City of Albuquerque, N.M. _____ Date _____

Utility Development Division, City of Albuquerque, N.M. _____ Date _____

Parks and Recreation _____ Date _____

City Surveyor, City of Albuquerque, N.M. _____ Date 10-10-02

Property Management, City of Albuquerque, N.M. _____ Date _____

PNM Gas _____ Date 10-10-02

PNM Electric _____ Date 10-10-02

Qwest Telecommunications _____ Date 10-15-02

Comcast Cable _____ Date 10/10/02

SURVEYOR'S CERTIFICATION

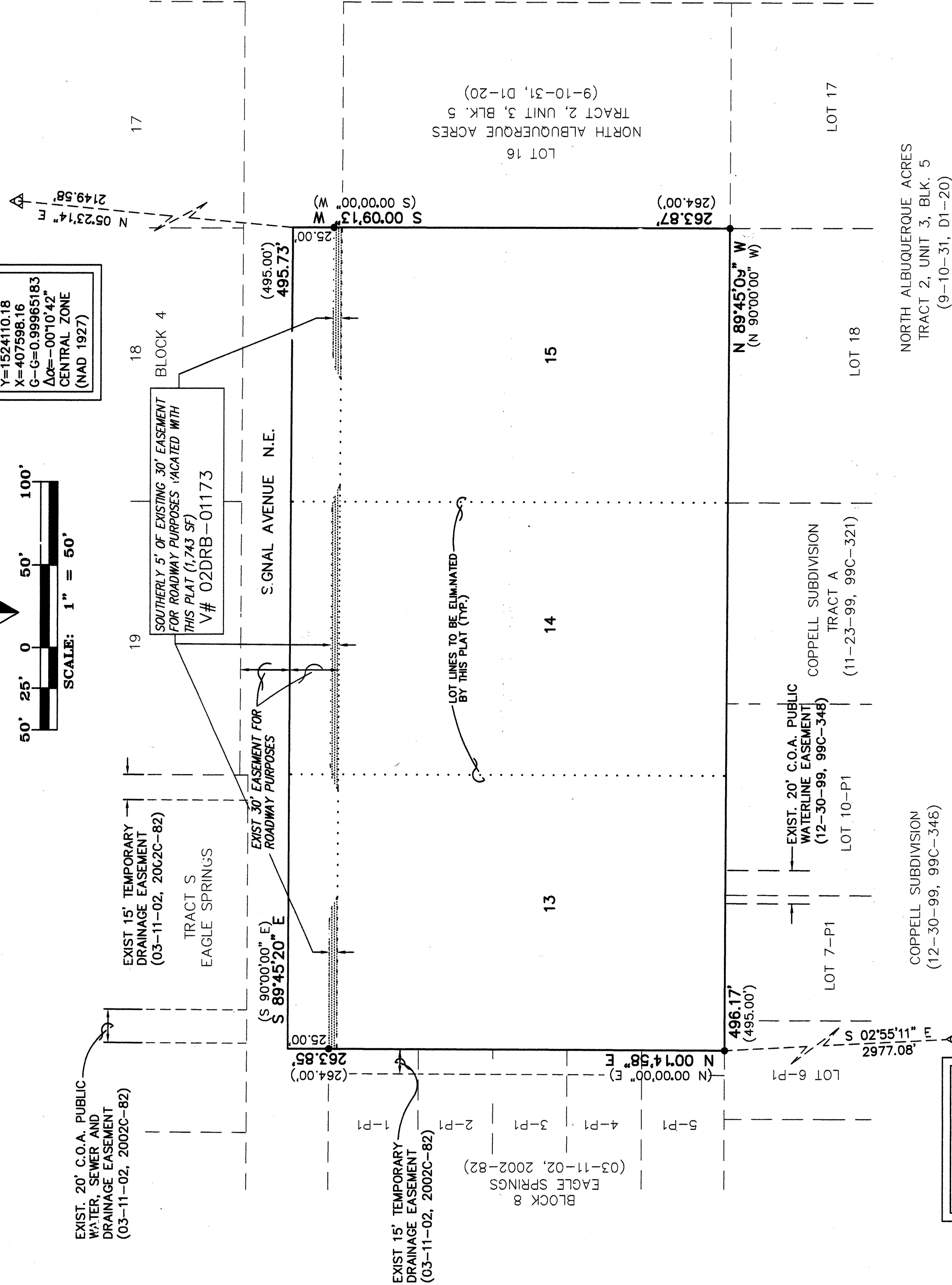
"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich P.S. No. 7719
Date 10-01-02

Dwg: BASE.dwg
Scale: AS SHOWN
Drawn: STEPHEN
Date: 09/24/02
Checked: ALS
Job: A02057
Sheet of 3

PLAT FOR
DESERT RIDGE AT LA CUEVA
SUBDIVISION

WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 18
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2002



PROPERTY CORNERS
• SET 5/8" REBAR WITH CAP
"ALS LS 7719" (TYP.)

Timothy Aldrich
10-05-02

WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 18
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2002

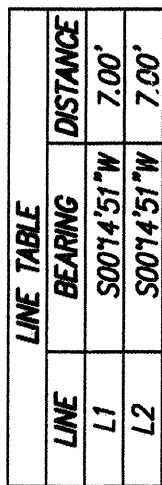
PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of :

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other electrical equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. The PNM Gas Services Division for installation, maintenance and services of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.

included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pole, deck, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown herein. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

- SET 5/8" REBAR WITH CAP
"ALS LS 7719" (TYP.)



CURVE	RADIUS	LENGTH	CURVE DATA			CH-BEARING	CHORD
			DELTA	TANGENT	CHORD		
C1	25.00	39.27	9030.00"	25.00	M44.5520"W	35.36	
C2	25.00	39.27	9030.00"	25.00	M45.1407"W	35.36	
C3	25.00	39.27	9030.00"	25.00	M44.5240"W	35.36	
C4	25.00	39.27	9030.00"	25.00	S45.7140"W	35.36	
C5	25.00	20.87	7498.18"	11.08	S29.6894"W	20.27	
C6	45.00	28.65	3628.34"	14.83	S29.6492"W	28.17	
C7	45.00	79.59	10120.53"	54.71	S38.7433"E	69.62	
C8	45.00	79.60	10120.53"	54.93	S38.7442"E	69.62	
C9	45.00	28.65	3628.36"	14.83	S21.6001"W	28.17	
C10	25.00	20.87	7498.18"	11.08	S21.6001"W	20.27	
C11	25.00	20.87	7498.18"	11.08	S29.5501"W	20.27	
C12	45.00	28.64	3627.34"	14.82	S29.5501"W	28.16	
C13	45.00	79.61	10121.54"	54.94	S38.7433"E	69.62	
C14	45.00	79.61	10121.54"	78.61	S38.7433"E	69.63	
C15	25.00	20.87	7498.24"	11.08	N29.5202"E	20.27	
C16	45.00	28.64	3627.48"	14.82	N29.5202"E	28.16	
C17	45.00	216.49	27539.43"	40.77	S89.4520"E	60.43	
C18	45.00	216.49	27539.43"	40.77	S89.4520"E	60.43	

EXIST. 20' C.O.A. PUBLIC
WATER, SEWER AND
DRAINAGE EASEMENT
(03-11-02, 2002C-82)

Desert Ridge

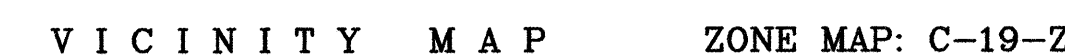
@ La Cueva (Project No. 697181) Sh.

Desert Ridge

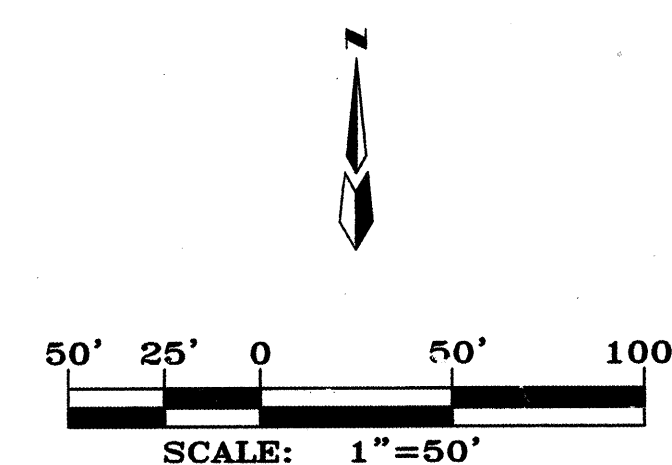
@ La Cueva (Project No. 697181) Sht. 3 of 13

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. EROSION CONTROL BERMS ARE REQUIRED AROUND THE ENTIRE SITE.
5. ALL EROSION CONTROL BERMS MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.



===== 5615 =====	EXISTING CONTOUR (MAJOR)
===== 5616 =====	EXISTING CONTOUR (MINOR)
$\frac{TC}{FL_{\text{ave}}} \times 00.0$	EXISTING SPOT ELEVATION
=====	EXISTING CONCRETE CURB
	EXISTING CONCRETE SIDEWALK
=====	EXISTING WALL OR HEAD WALL
=====	EXISTING WATER VALE
RIM=50.73 INV=42.41 (E&W)	EXISTING SANITARY SEWER MANHOLE
	EXISTING FIRE HYDRANT
•	EXISTING UG TELEPHONE MARKER
◎	EXISTING GAS MARKER
=====	NEW CURB & GUTTER
=====	NEW SIDEWALK
=====	NEW RIGHT-OF-WAY
=====	NEW CENTERLINE
=====	NEW LOT LINES
=====	NEW EASEMENTS
	PROPOSED SWALE
	PROPOSED RETAINING WALL
=====	PROPOSED GARDEN WALL
• 72.44TW	PROPOSED TOP OF WALL ELEVATION
• 83.44BW	PROPOSED BOTTOM OF WALL ELEVATION
• 83.44	PROPOSED SPOT ELEVATION
FP = 85.60	PROPOSED FINISHED PAD ELEVATION



ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	DATE	REMARKS REVISIONS	FIELD NOTES		CONTRACTOR	DATE	
			NO.	BY			
					MGS STATION "HEAVEN" IS LOCATED 8 MI. NE OF DOWNTOWN ALBUQUERQUE. TO REACH STATION FROM INTERSECTION OF CENTRAL AV. & WYOMING BLVD., GO NORTH ON WYOMING 7.0 MILES TO PASO DEL NORTE. GO WEST ON PASO DEL NORTE 0.15 MILE TO STATION ON THE LEFT. STATION IS STANDARD USC&GS BRASS TABLET STAMPED "HEAVEN 1969". SET IN TOP OF CONCRETE POST FLUSH WITH THE GROUND. X=407,051.31 Y=1,518,737.03 (NAD 1927). ELEV. = 5378.782 (SLD 1929)	Hydro Systems	03
DESIGNED BY	DLH	DATE	06/02		WORK STARTED BY	AIS	DATE
DRAWN BY	ACH	DATE	06/02		INSPECTOR'S VERIFICATION BY	DMG	DATE
					DESIGN CHECKED BY	AIS	DATE
					SUBMITTED BY	AIS	DATE
					RECORDED BY		DATE
					NO.		

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200. FAX (505) 797-9539

 CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

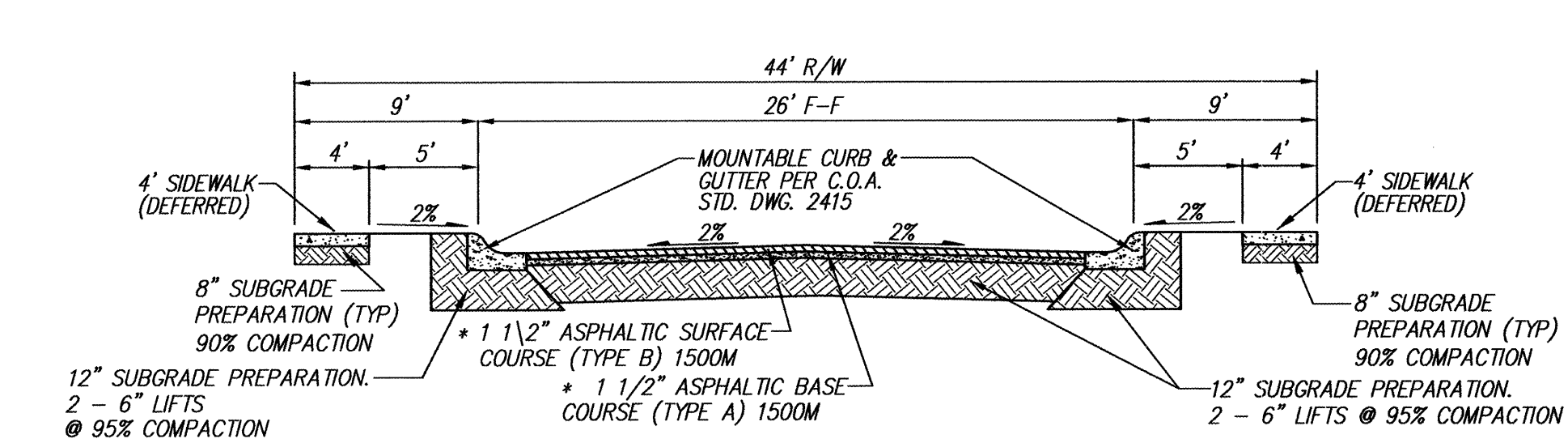
TITLE: **DESERT RIDGE @ LA CUEVA
GRADING & DRAINAGE**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	DATE
-------------------------	------------------------	------

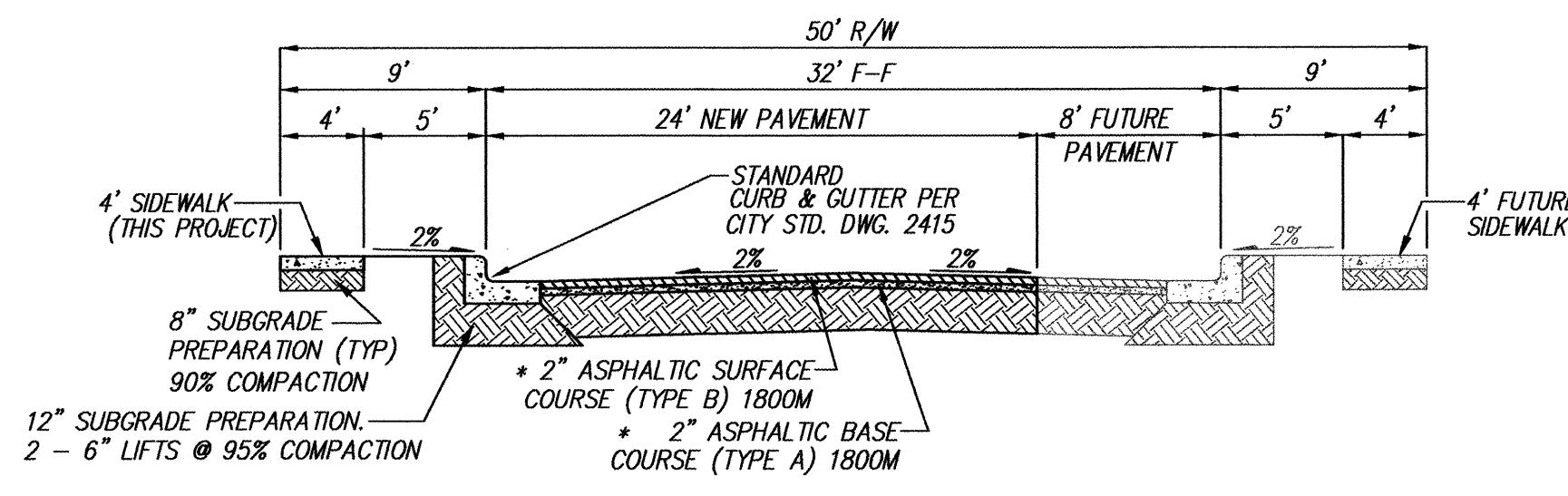
FOR INFORMATION
ONLY

CITY PROJECT NO.	697181	ZONE MAP NO.	C-1
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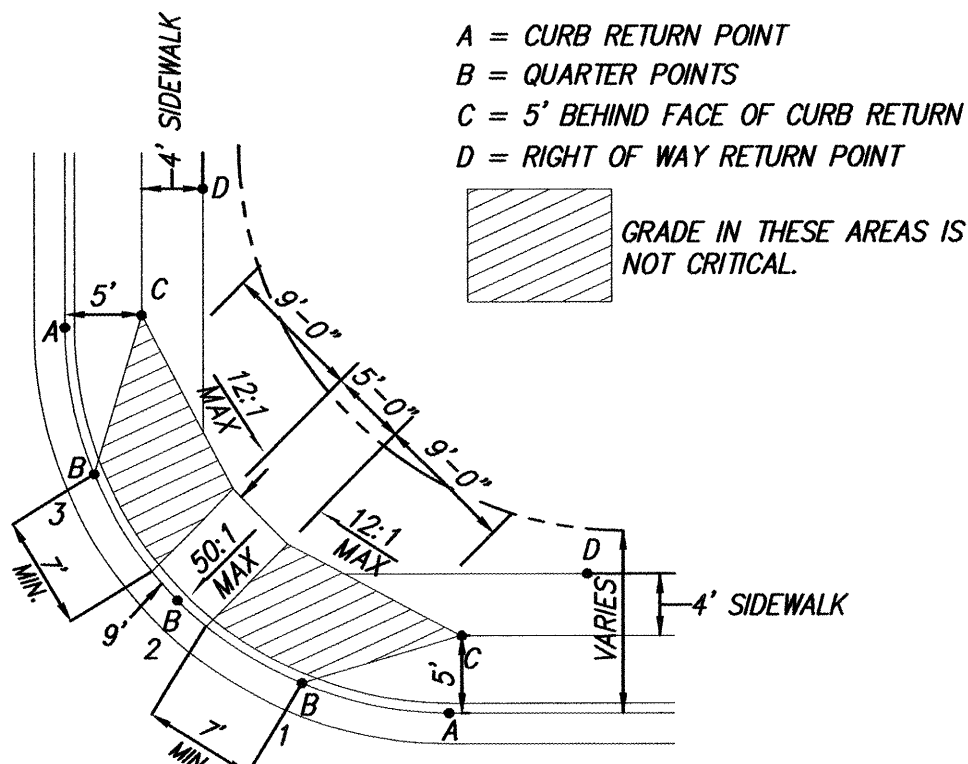
SCANNED BY
MESA REPRO



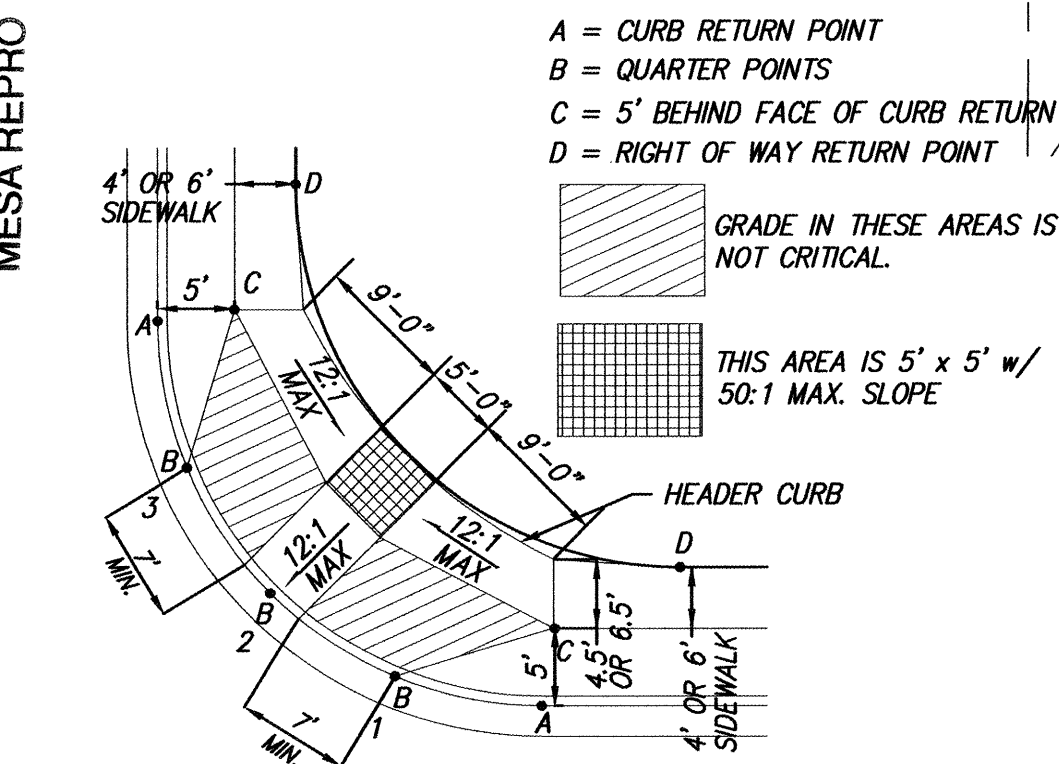
TYPICAL 26' RESIDENTIAL STREET SECTION
N.T.S. (SEE NOTE 8)



TYPICAL 32' STREET SECTION (SIGNAL AVE N.E.)
N.T.S. (SEE NOTE 8)

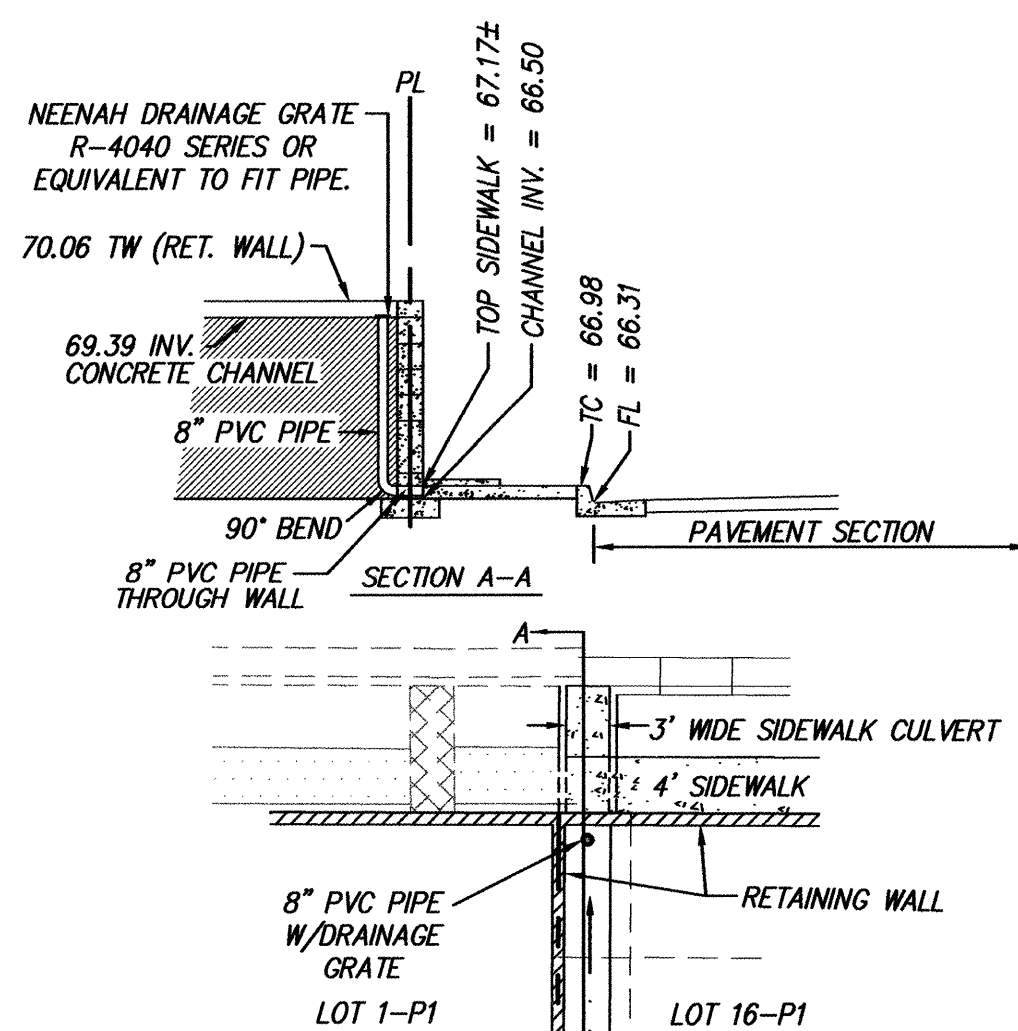


NON-ARTERIAL WHEEL CHAIR RAMP DETAIL CASE I
N.T.S. (PER C.O.A. STD. DETAIL #2441)

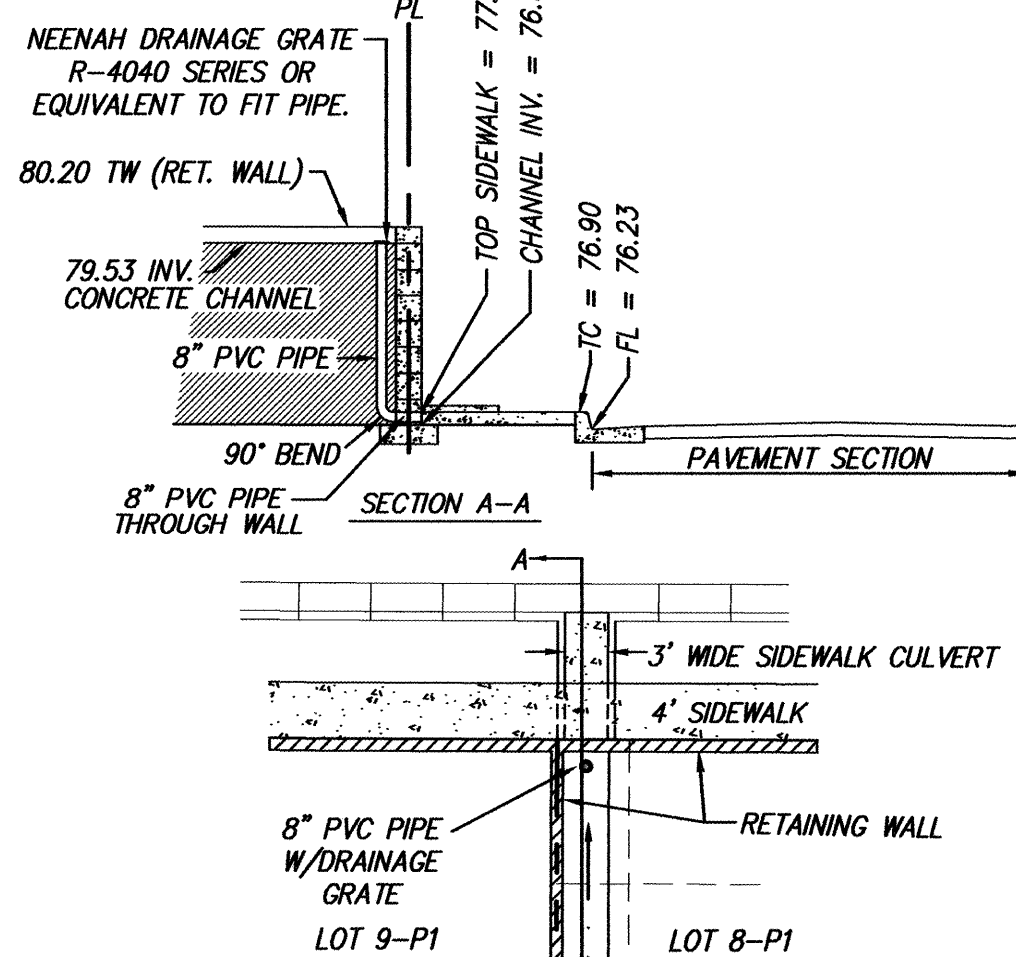


NON-ARTERIAL WHEEL CHAIR RAMP DETAIL CASE II
N.T.S. (PER C.O.A. STD. DETAIL #2441)

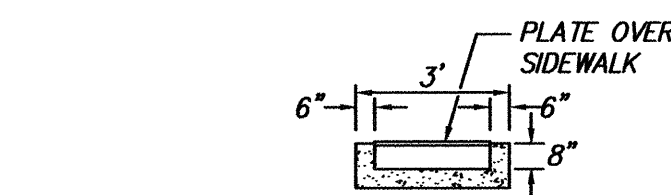
NOTE: ALL WHEELCHAIR RAMPS PER DETAIL ON THIS SHEET. USE CASE I UNLESS A 50:1 SLOPE CANNOT BE ACHIEVED AT RAMP, THEN CONSTRUCT CASE II WITH 5x5' PAD.



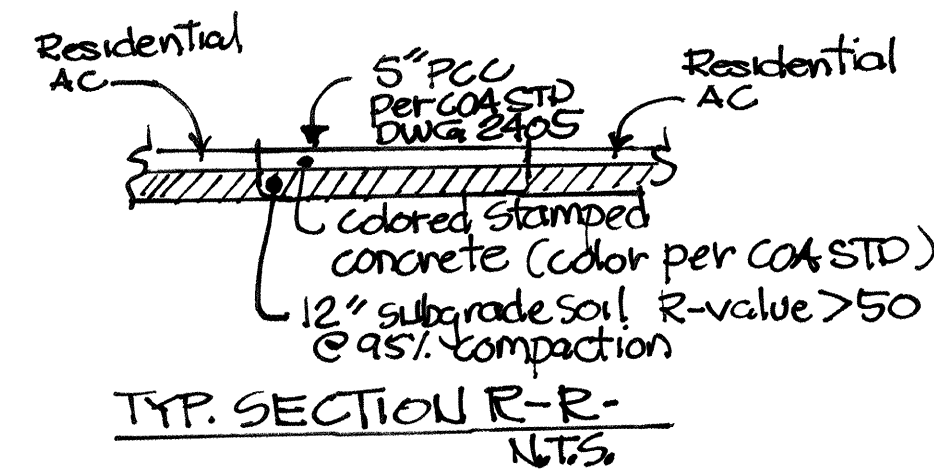
SIDEWALK CULVERT PER STD. DETAIL 2236
N.T.S.



SIDEWALK CULVERT DETAIL 2
N.T.S.



TYPICAL SIDEWALK CULVERT DETAIL (per COA STD DWG 2236)
N.T.S.



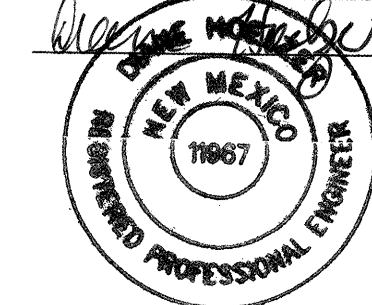
NOTES

- ALL SIDEWALKS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2430.
- ALL 6\" VALLEY GUTTERS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2420.
- ALL 4\" INTERIOR SIDEWALKS ARE DEFERRED.
- ALL HANDICAP RAMPS ARE PER DETAILS ON THIS SHEET, UNLESS OTHERWISE NOTED.
- TRANSITION FROM MOUNTABLE CURB TO STANDARD CURB SHALL BE 10 FEET.
- TRANSITION SECTION FROM FULL CROWN TO NO CROWN TO BE A MINIMUM OF 50 FEET PER C.O.A. STD DETAIL #2401.
- TRANSITION FROM MOUNTABLE CURB TO STANDARD CURB AT INTERSECTIONS SHALL OCCUR THROUGH THE H.C. RAMP PER C.O.A. STANDARD DRAWING 2418.
- SOIL NOT HAVING THE MINIMUM R-VALUE OF 50 FOR STREETS SHALL BE REMOVED TO A DEPTH OF 2 FEET AND REPLACED, BY THE CONTRACTOR, WITH SUITABLE MATERIAL, OR A PAVEMENT SECTION SHALL BE DESIGNED BY THE CONSULTANT ACCOMMODATING THE EXISTING R-VALUE PER C.O.A. STANDARD SPECIFICATIONS.
- ALL MEDIAN CURB & GUTTER PER COA STD. DWG. 2415.

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING CONCRETE/SIDEWALK
- EXISTING STORM DRAIN INLET
- PROPOSED STANDARD CURB & GUTTER
- PROPOSED MOUNTABLE CURB & GUTTER
- PROPOSED DEPRESSED MOUNTABLE CURB & GUTTER
- PROPOSED LOT LINE
- PROPOSED/EXISTING EASEMENT LINE
- PROPOSED CENTERLINE
- PROPOSED CROWN TRANSITION
- PROPOSED CONCRETE SIDEWALK (THIS PROJECT)
- PROPOSED CONCRETE SIDEWALK (DEFERRED)
- PROPOSED STREET LIGHT
- PROPOSED WHEEL CHAIR RAMP
- PROPOSED NEW OFFSITE PAVEMENT
- REMOVE & REPLACE PAVEMENT
- PROPOSED NEW TEMPORARY PAVEMENT PER COA STD DWG 2415.

I, Diane Hoeltzer, NMPE 11967, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 7719

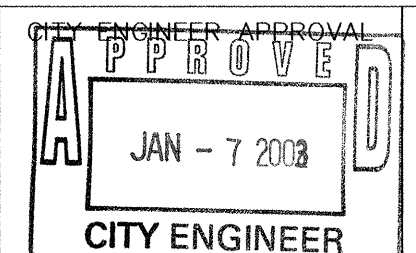
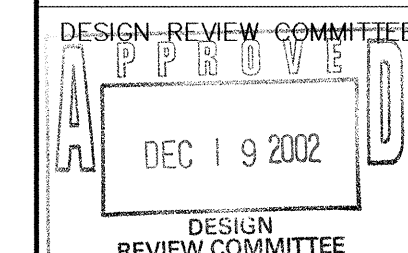


MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

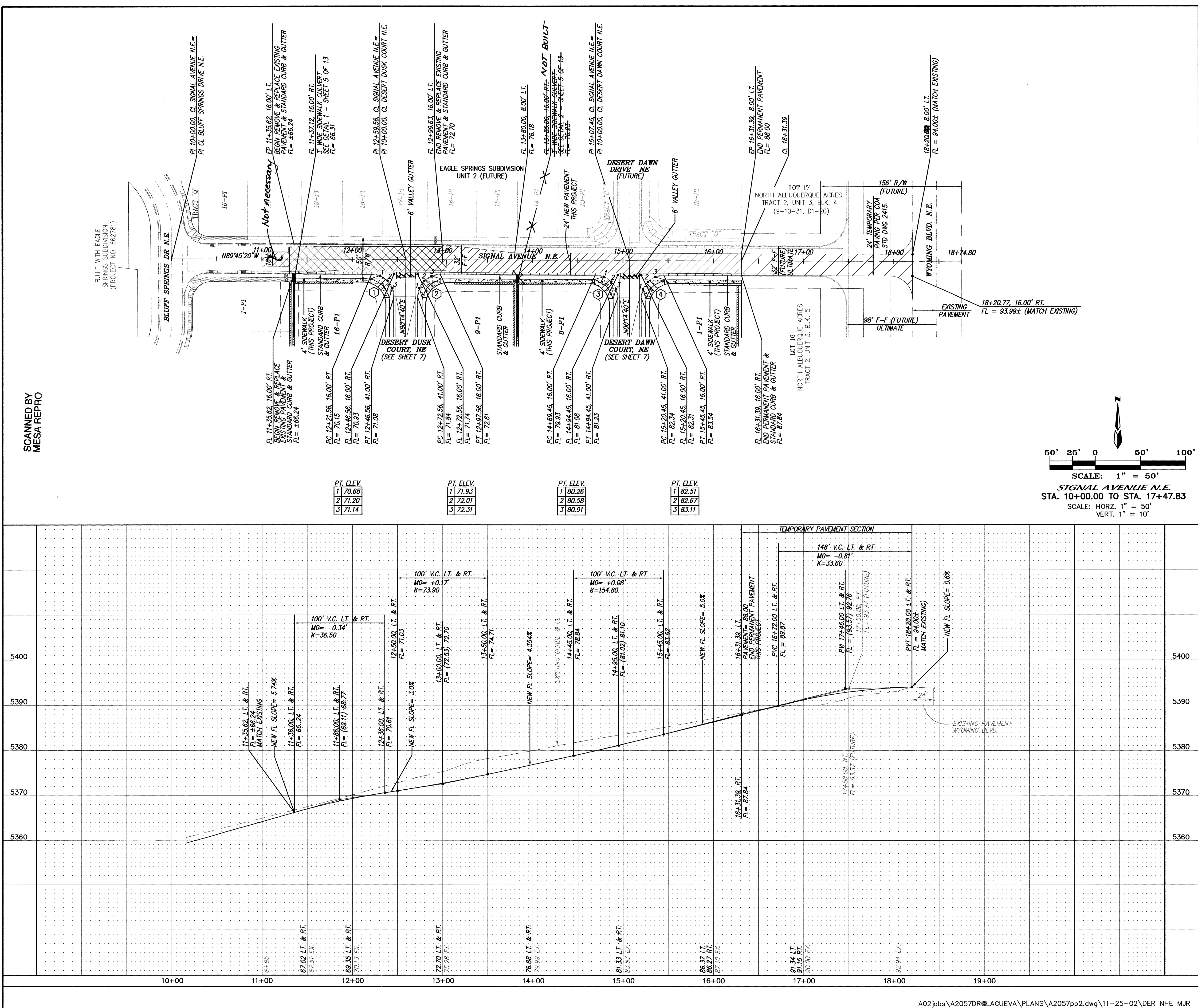
TITLE: **DESERT RIDGE @ LA CUEVA
MASTER PAVING PLAN**



CITY PROJECT NO. **697181**

ZONE MAP NO. **C-19-Z**

SHEET **5** OF **13**



NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.

CURVE DATA - DESCRIBES FACE OF NEW CURB

① $\Delta = 90^\circ 00' 00''$
 $R = 25.00'$
 $L = 39.27'$
 $T = 25.00'$

② $\Delta = 90^\circ 00' 00''$
 $R = 25.00'$
 $L = 39.27'$
 $T = 25.00'$

③ $\Delta = 90^\circ 00' 00''$
 $R = 25.00'$
 $L = 39.27'$
 $T = 25.00'$

④ $\Delta = 90^\circ 00' 00''$
 $R = 25.00'$
 $L = 39.27'$
 $T = 25.00'$

CONTRACTOR INFORMATION

CONTRACTOR: **Hydro Systems**
DATE: **03/03**

INSPECTOR'S INFORMATION

INSPECTOR: **DMG**
DATE: **03/03**

REVISIONS

NO. DATE REVISIONS
1 03/03 11-20-03

DESIGNED BY: DLH
DRAWN BY: DER
CHECKED BY: DMG

DATE: 09/02
DATE: 09/02
DATE: 09/02

ENGINEER'S SEAL

1. Diane Hoelzer, NMPE 11967, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 7719.

REGISTERED PROFESSIONAL ENGINEER
Diane Hoelzer
11-20-03

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

**TITLE: DESERT RIDGE @ LA CUEVA
SIGNAL AVENUE N.E.
OFF-SITE PAVING IMPROVEMENTS**

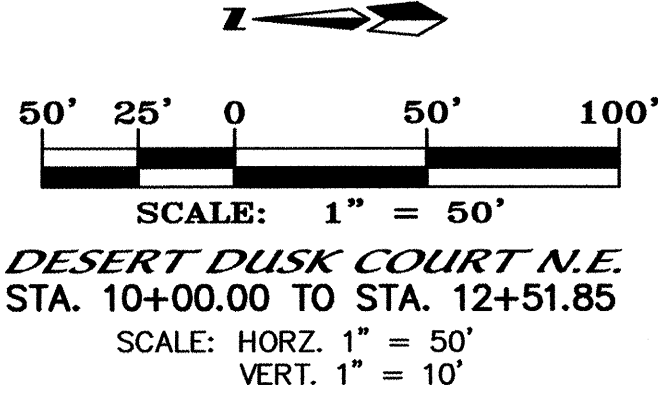
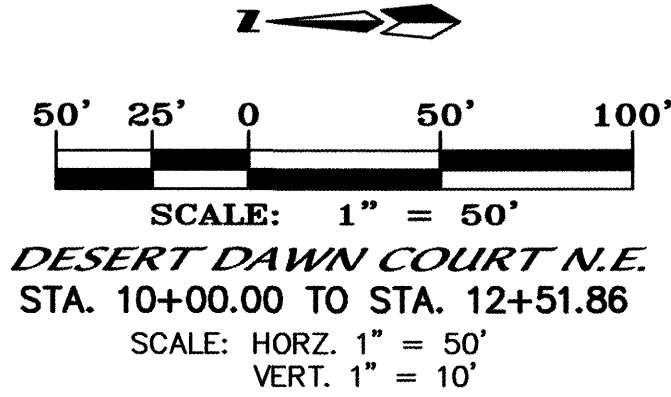
DESIGN REVIEW COMMITTEE
APPROVED
DEC 19 2002

CITY ENGINEER
APPROVED
JAN - 7 2003

LAST DESIGN UPDATE:

MO./DAY/YR.
MO./DAY/YR.

CITY PROJECT NO. 697181
ZONE MAP NO. C-19-Z
SHEET 6 OF 13



10+16.00 RT
FL = 70.93

10+16.00 LT
FL = 71.74

NEW FL SLOPE RT = 0.6%

NEW FL SLOPE LT = 0.48%

EXISTING GRADE @ CL.

[illegible]

7-21-03

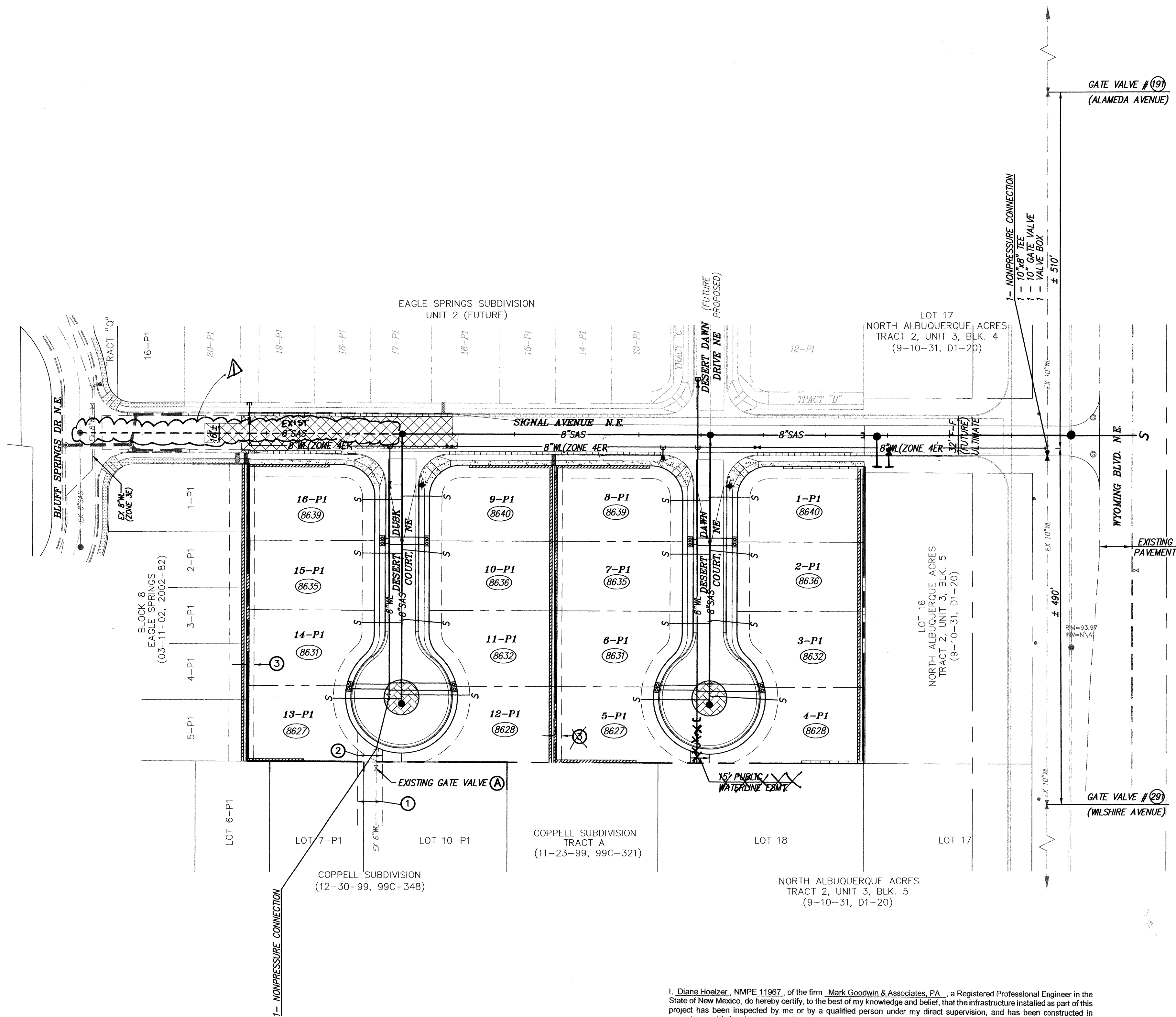
A circular professional engineer seal for the State of New Mexico. The outer ring contains the text "REGISTERED PROFESSIONAL ENGINEER" at the bottom and "NEW MEXICO" at the top. Inside this ring is a smaller circle with the number "11867" in the center. The seal is stamped over a document that includes a date stamp "7-21-03" and some handwritten notes.

CITY ENGINEER APPROVAL
APPROVED
JAN - 7 2003
CITY ENGINEER

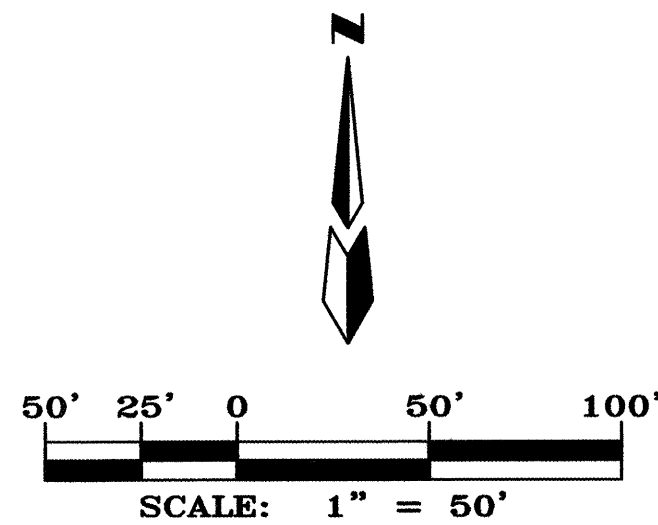
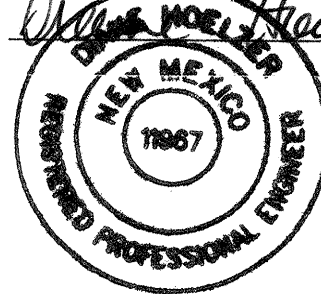
CITY PROJECT NO.	ZONE MAP NO.	SHEET OF
697181	C-19-Z	7 13

[illegible]

SCANNED BY
MESA REPRO



I, Diane Hoelzer, NMPE 11967, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 7719



VALVE SHUT-OFF PLAN

- CONTRACTOR WILL CONTACT WATER SYSTEMS AT 857-8200 7 DAYS PRIOR TO NECESSARY SHUT-OFF.
- VALVES SHALL ONLY BE OPERATED BY CITY WATER EMPLOYEES. SEE THIS SHEET FOR VALVE NUMBERS AND LOCATIONS.
- NON PRESSURE CONNECTION AT WYOMING BOULEVARD NE AND SIGNAL AVENUE NE., SHUTTING OFF G.V. # 191 AND # 291.
- NON PRESSURE CONNECTION AT SOUTH END OF DESERT DUSK COURT NE. MAKE SURE GATE VALVE #A IS SHUT OFF.

EASEMENTS

- EXIST. 20' C.O.A. PUBLIC WATERLINE EASEMENT. (12-30-99, 99C-348)
- NEW 20' C.O.A. PUBLIC WATERLINE EASEMENT.
- NEW 5' PRIVATE DRAINAGE EASEMENT TO BE MAINTAINED BY LOT OWNER.

All water + sanitary sewer lines
built with PVC pipe

LEGEND

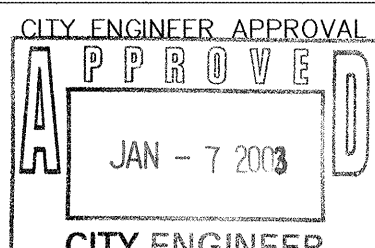
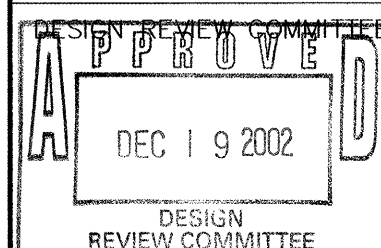
- EXISTING CURB & GUTTER
- EXISTING CONCRETE/SIDEWALK
- PROPOSED/EXISTING EASEMENT LINE
- EXISTING STORM DRAIN INLET
- EXISTING STORM DRAIN LINE
- EXISTING STORM DRAIN MAN HOLE
- EXISTING SANITARY SEWER LINE
- EXISTING SANITARY SEWER MAN HOLE
- EXISTING WATER LINE
- EXISTING WATER GATE VALVE
- EXISTING FIRE HYDRANT
- EXISTING CAP
- EXISTING GAS LINE MARKER
- EXISTING TELEPHONE LINE MARKER
- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MAN HOLE
- PROPOSED WATER LINE
- PROPOSED SINGLE WATER METER
- PROPOSED DOUBLE WATER METER
- PROPOSED WATER GATE VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED CAP
- PROPOSED STREET ADDRESS
- PROPOSED STREET LIGHT
- REMOVE & REPLACE PAVEMENT

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **DESERT RIDGE @ LA CUEVA
MASTER UTILITY PLAN**



LAST DESIGN UPDATE

MO./DAY/YR.

MO./DAY/YR.

CITY PROJECT NO.

ZONE MAP NO.

SHEET

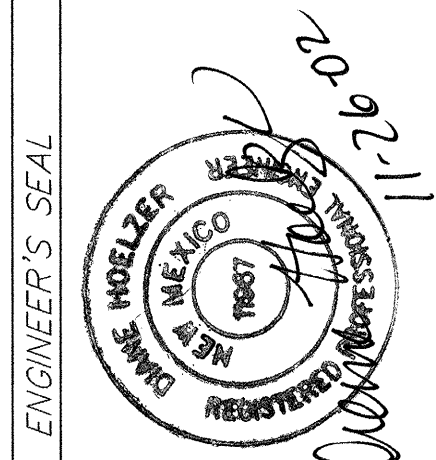
OF

A02jobs\A2057DR@LACUEVA\plans\A2057mu.dwg\11-25-02\DER NHE.MJR

697181

C-19-Z

8 13



DESIGN BY **DLH** DATE **09/02**
DRAWN BY **DER** DATE **09/02**
CHECKED BY **DMG** DATE **09/02**

REVISIONS
DATE
BY

REVISIONS
DATE
BY

FIELD NOTES

NO.

BY

DATE

ENGINEER'S SEAL

AS BUILT INFORMATION

CONTRACTOR

DATE

DATE

DATE

DATE

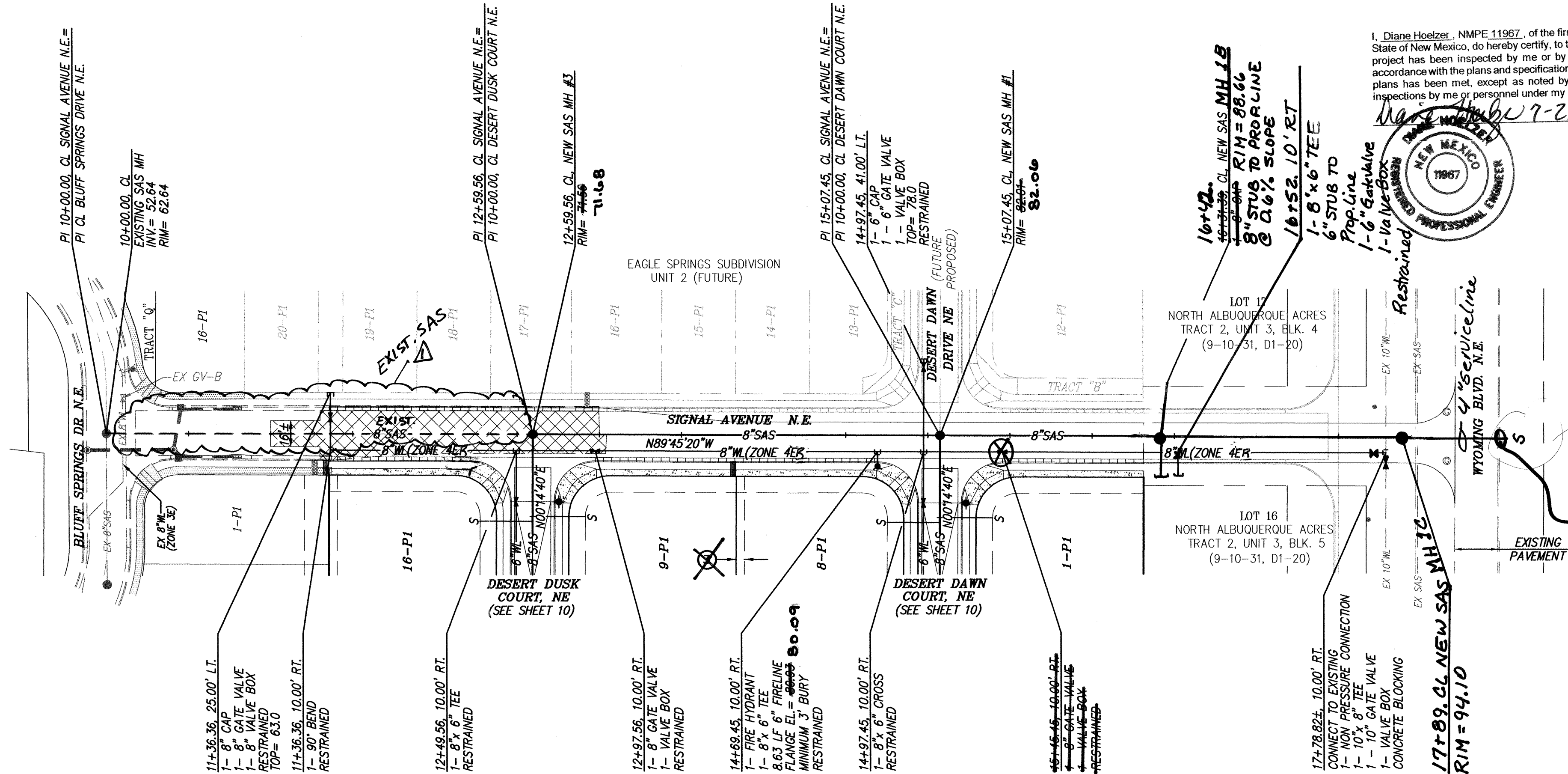
DATE

DATE

DATE

DATE

SCANNED BY
MESA REPRO

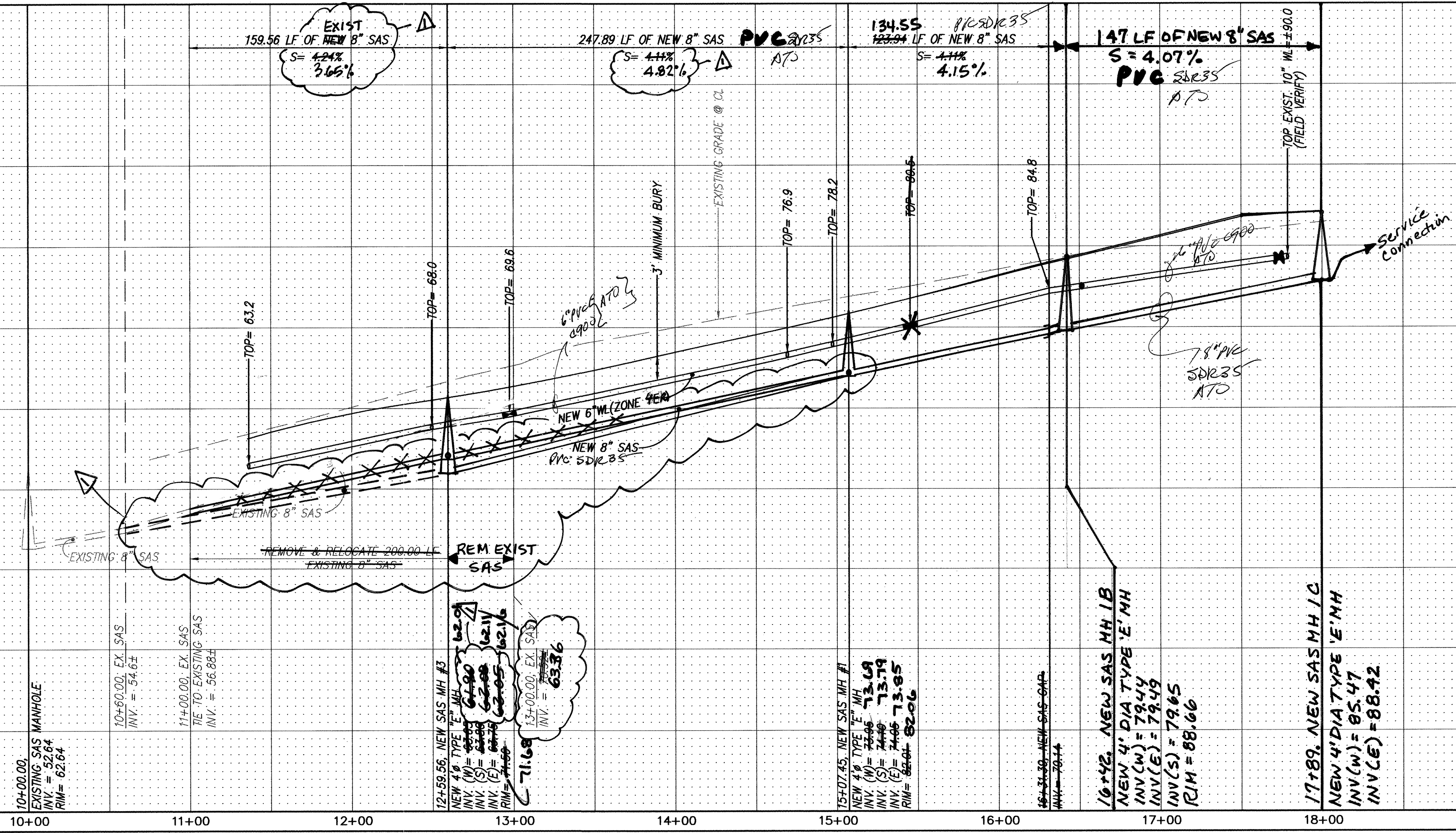
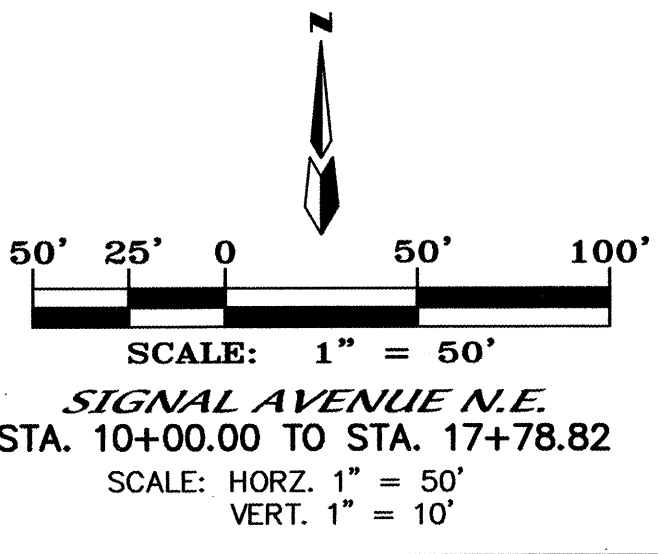


I, Diane Hoelzer, NMPE 11967, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 7719

7-21-03



check distance to
+ 10' vertical
EXISTING 4" SAS
LATERAL FROM
LA CUEVA BASE BALL
PARK.



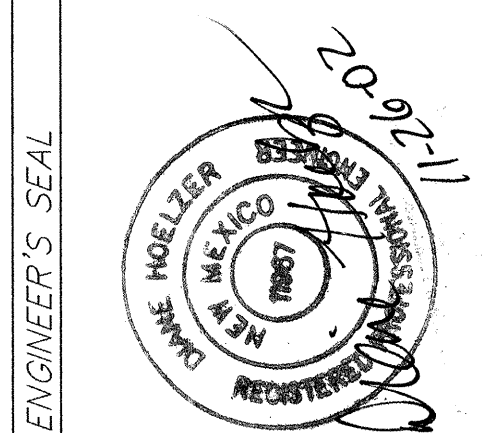
NOTES

- ALL STATIONING IS CENTERLINE STATIONING.
- SEE SHEET 11 FOR WATER METER AND WATER VALVE DETAILS.

EASEMENTS

- ③ NEW 5" PRIVATE DRAINAGE EASEMENT TO BE MAINTAINED BY LOT OWNERS.

AS BUILT INFORMATION			
CONTRACTOR	WORK	DATE	DATE
INSPECTOR'S	DATE	DATE	DATE
FIELD	DATE	DATE	DATE
CORRECTED BY	DATE	DATE	DATE
RECORDED BY	DATE	DATE	DATE
NO.	DATE	DATE	DATE



REVISIONS			
NO.	DATE	REVISIONS	DATE
1	09/02	DESIGN	09/02
2	09/02	DER	09/02
3	09/02	DWG	09/02

RESTRAINED JOINT LENGTH FOR BENDS, VALVES, DEAD ENDS (FT.)					
PIPE SIZE	90°	45°	22.5°	11.25°	VALVE
6"	17'	7'	3'	2'	46'
8"	22'	9'	4'	2'	60'

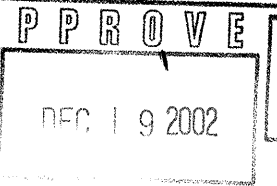
RESTRAINED JOINT LENGTH FOR TEES (FT.)		
PIPE SIZE	RUN	BRANCH
8"x8"x6"	7'	5'
6"x6"x6"	10'	2'

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
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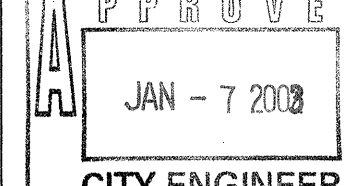


CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
TITLE: DESERT RIDGE @ LA CUEVA
SIGNAL AVENUE N.E.
OFF-SITE UTILITY IMPROVEMENTS

DESIGN REVIEW COMMITTEE



CITY ENGINEER APPROVAL



LAST DESIGN UPDATE

CITY PROJECT NO.

697181

ZONE MAP NO.

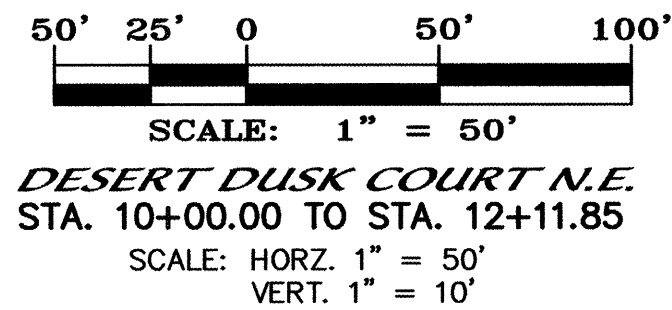
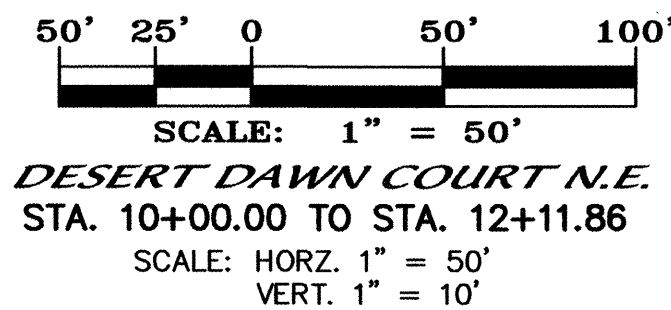
C-19-Z

SHEET

OF

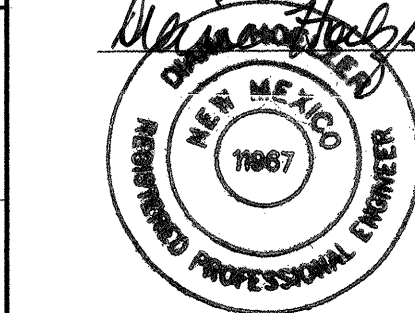
9

13



SANITARY SEWER SERVICES			
LOT	STATION AT PUE	INV. ELEV. AT PUE	LENGTH AT PUE
1-P1	10+50.00	76.28	32.00'
2-P1	10+96.00	76.56	32.00'
3-P1	11+52.00	76.90	32.00'
4-P1	12+14.00	77.26	55.00'
5-P1	12+13.00	77.52	55.00'
6-P1	11+52.00	77.45	32.00'
7-P1	10+96.00	77.39	32.00'
8-P1	10+53.00	77.35	32.00'
9-P1	10+50.00	66.13	32.00'
10-P1	10+96.00	66.41	32.00'
11-P1	11+52.00	66.75	32.00'
12-P1	12+13.00	67.11	55.00'
13-P1	12+13.00	67.52	55.00'
14-P1	11+52.00	67.28	32.00'
15-P1	10+96.00	67.06	32.00'
16-P1	10+53.00	66.89	32.00'

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RESTRAINED JOINT LENGTH FOR BENDS, VALVES, DEAD ENDS (FT.)					
PIPE SIZE	90°	45°	22.5°	11.25°	VALVE
6"	17'	7'	3'	2'	46"
8"	22'	9'	4'	2'	60"

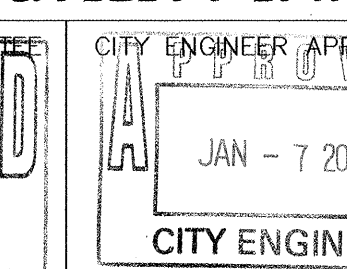
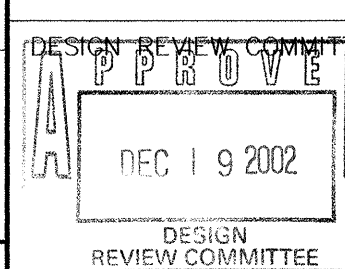
LENGTH OF RESTRAINED PIPE ON EACH SIDE OF THE BEND. RESTRAIN BRANCH AT FITTING ONLY MINIMUM ATTACHED PIPE LENGTH, RUN SIDE OF TEE: 10.00 FEET.

RESTRAINED JOINT LENGTH FOR TEES (FT.)		
PIPE SIZE	RUN	BRANCH
8"x8"x6"	7'	5'
6"x6"x6"	10'	2'

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
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(505) 828-2200, FAX (505) 797-9535

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

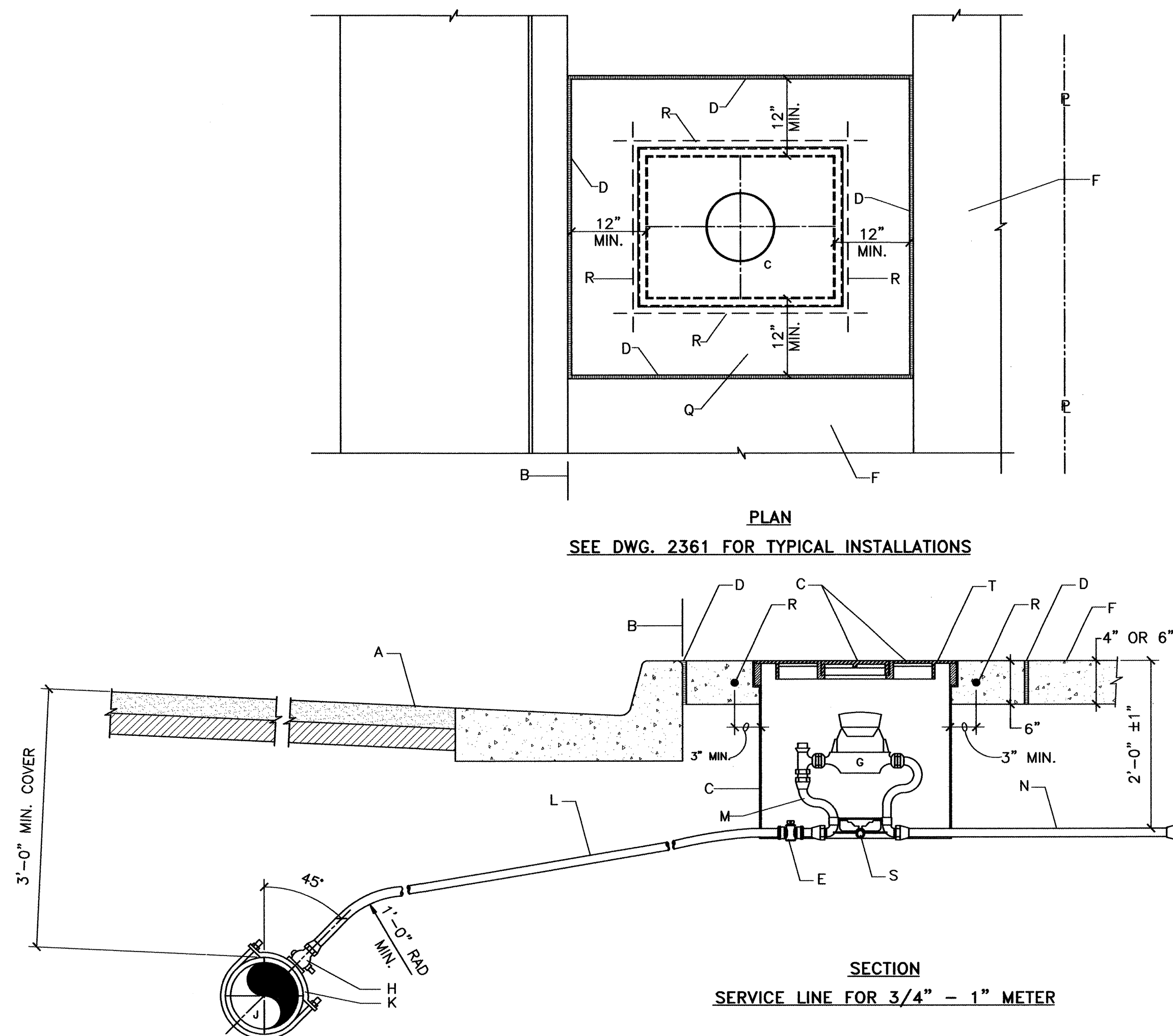
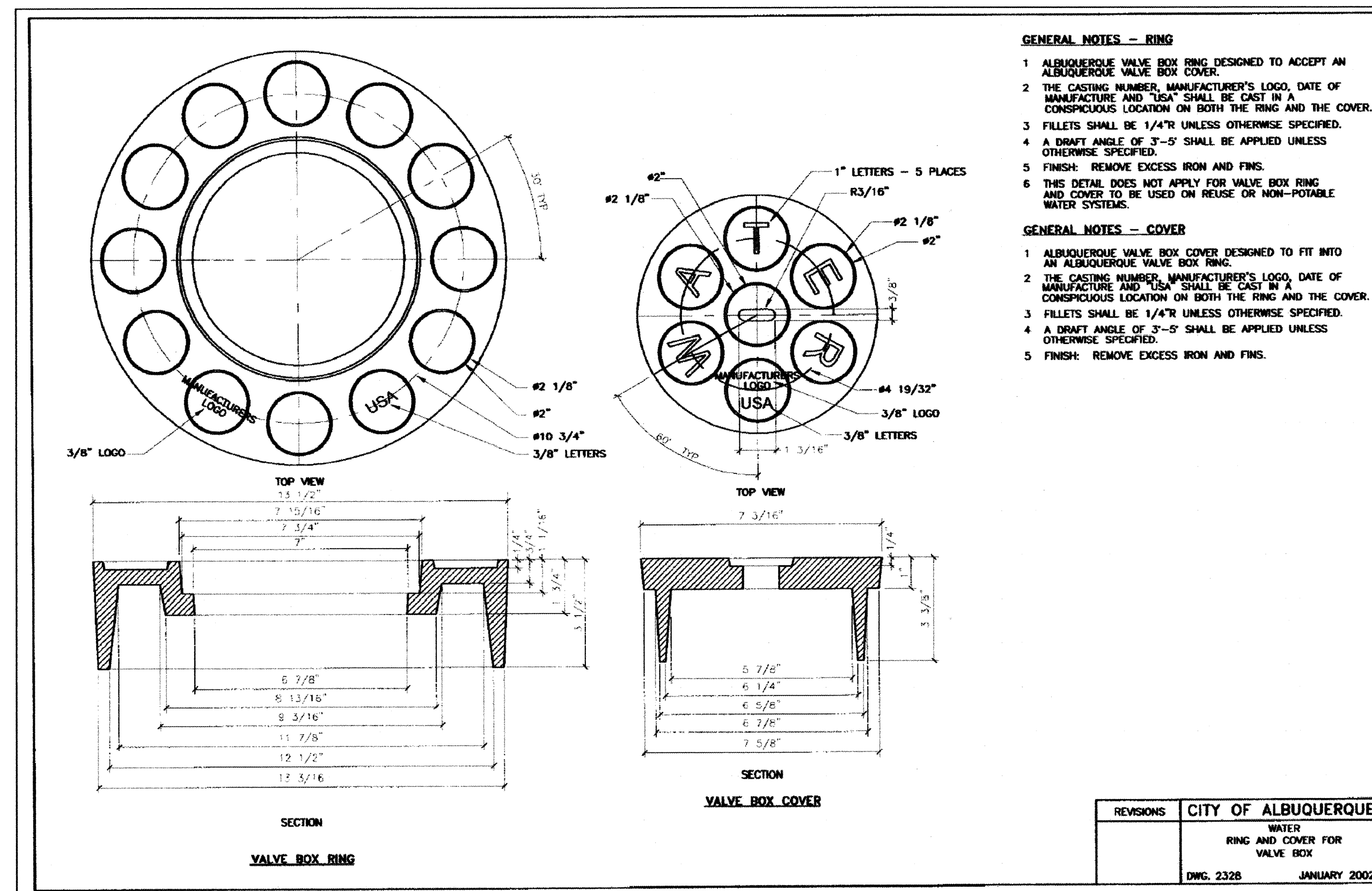
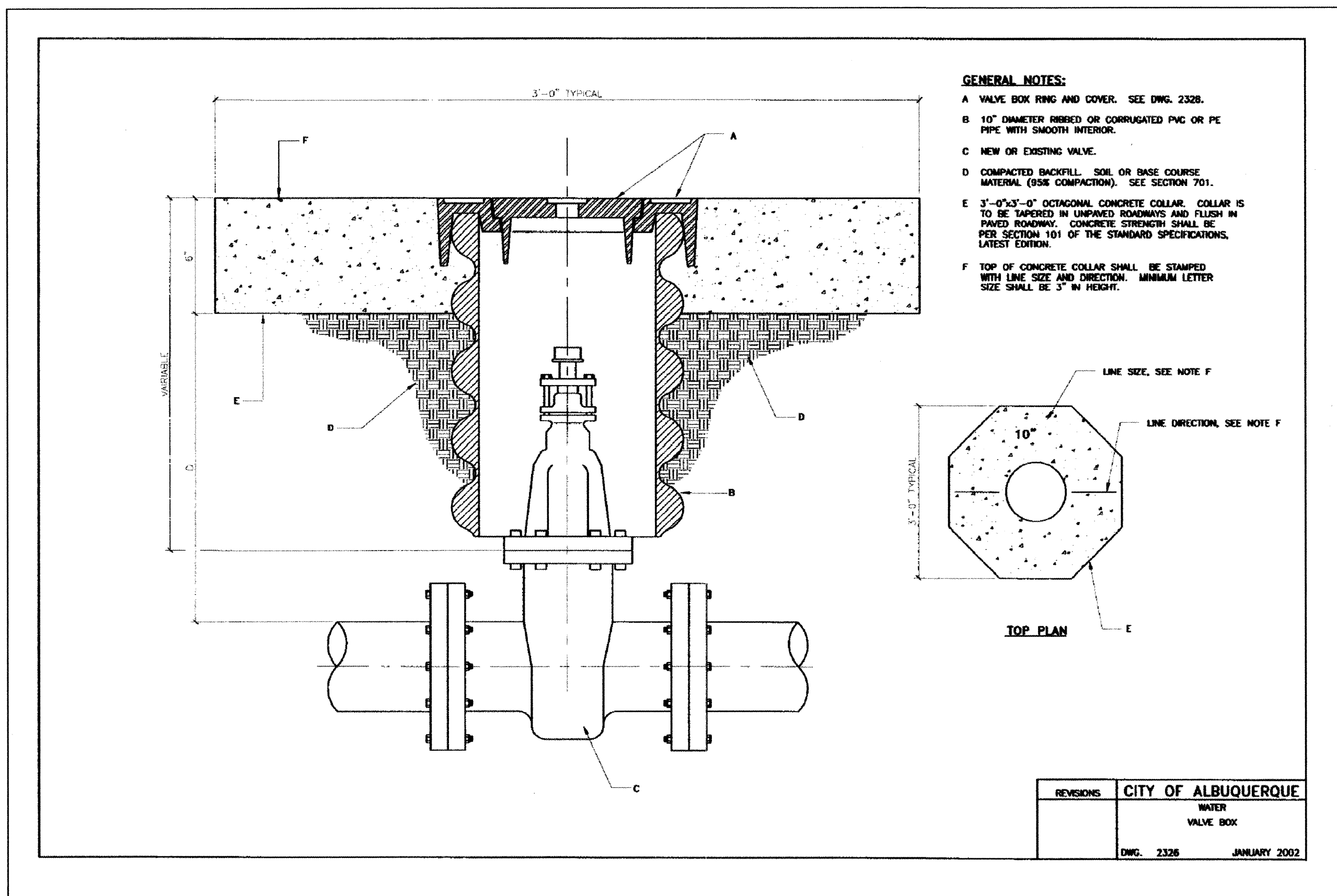
**TITLE: *DESERT RIDGE @ LA CUEVA
DESERT DAWN CT NE/DESERT DUSK CT NE
UTILITY IMPROVEMENTS***



	MO./DAY/YR.	MO./DAY/YR.

NO.	SHEET	OF
-----	-------	----

SCANNED BY
MESA REPRO



dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539



**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

TITLE: **DESERT RIDGE @ LA CUEVA
WATER DETAILS**

DESIGN REVIEW COMMITTEE: **C.O.A. STANDARD**
CITY ENGINEER APPROVAL: **C.O.A. STANDARD**

CITY PROJECT NO. **697181**

ZONE MAP NO. **C-19-Z**

SHEET **11** OF **13**

AS BUILT INFORMATION			
CONTRACTOR	Hydro Systems	DATE	03
STAKED BY	AB	DATE	03
INSPECTOR'S		DATE	
FIELD		DATE	
ADJUSTED BY		DATE	
VERIFICATION BY	AIS	DATE	03
CORRECTED BY	AIS	DATE	03
MICRO-FILM INFORMATION			
RECORDED BY		DATE	
NO.			

SURVEY INFORMATION			
FIELD NOTES	BY	DATE	
		NO.	

BENCH MARKS

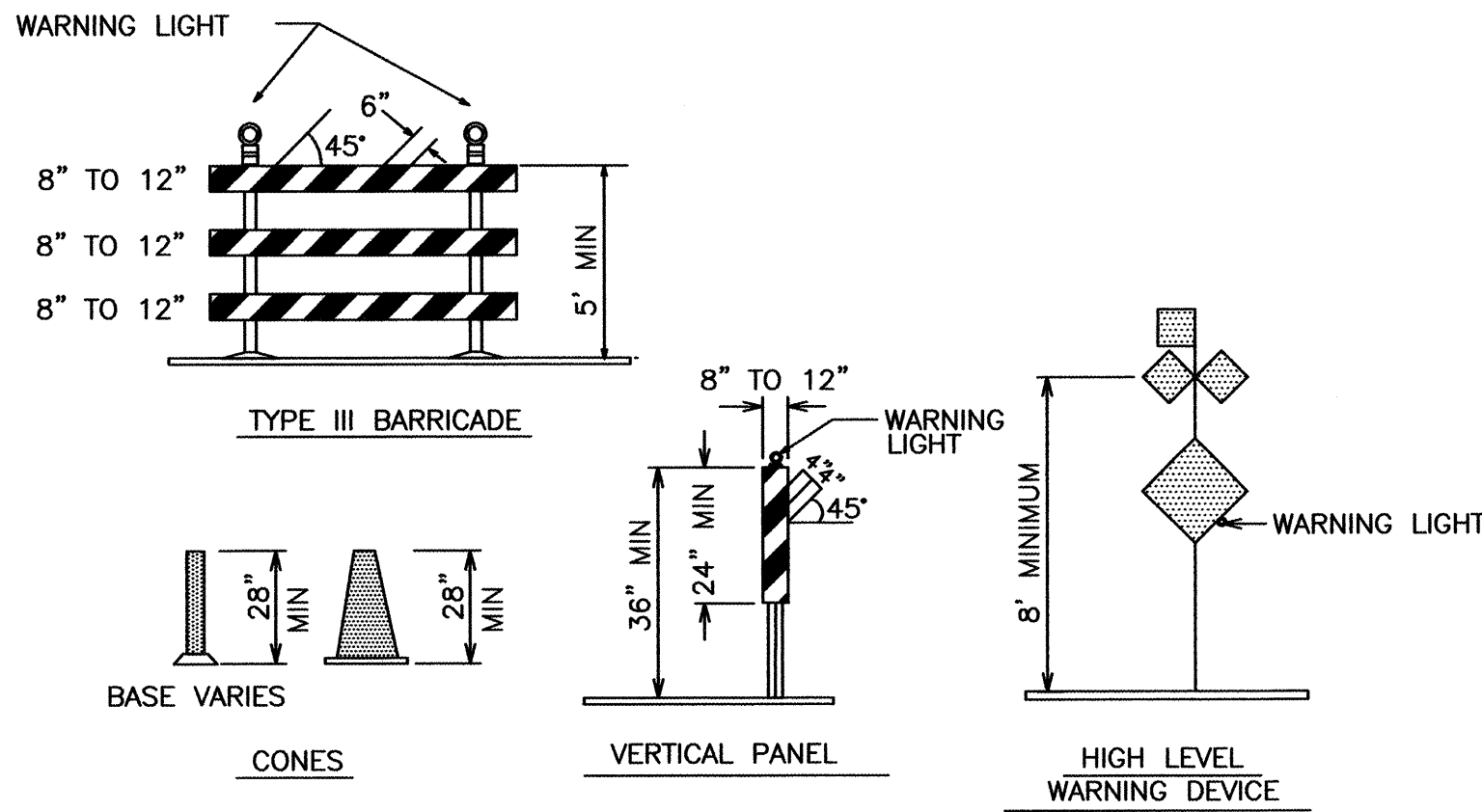
ENGINEER'S SEAL

C.O.A. STANDARD

NO.	DATE	REMARKS	BY
		DESIGN	
	09/02	DATE	DLH
	09/02	DATE	DER
	09/02	DATE	DMG

CONSTRUCTION TRAFFIC CONTROL GENERAL NOTES

1. CONTRACTOR MUST OBTAIN FROM CONSTRUCTION COORDINATION AN EXCAVATION/BARRICADING PERMIT BEFORE ENGAGING IN ANY CONSTRUCTION, MAINTENANCE OR REPAIR WORK IN ANY OF THE CITY OF ALBUQUERQUE'S RIGHTS-OF-WAY. EMERGENCY WORK THAT WOULD PRESERVE LIFE OR PROPERTY IS EXCLUDED WITH THE UNDERSTANDING, THAT A PERMIT SHALL BE OBTAINED WITHIN 24 TO 48 HOURS.
2. CONTRACTOR SHALL AT THE TIME OF PERMIT REQUEST, SUBMIT FOR APPROVAL BY CONSTRUCTION COORDINATION, A TRAFFIC CONTROL PLAN DETAILING ALL EXISTING TOPOGRAPHY SUCH AS LANE WIDTHS, DRIVEWAYS, AND BUSINESS/RESIDENTIAL ACCESSES. THE TRAFFIC CONTROL PLAN SHALL INCLUDE ALL PHASES OF WORK AND SCHEDULES INVOLVED IN THE CONSTRUCTION PROJECT. ANY SEPERATE PHASES OF A CONSTRUCTION PROJECT SHALL BE GIVEN AN INDIVIDUAL PERMIT EACH. BLANKET PERMITS WILL NOT BE ISSUED.
3. THESE TYPICAL TRAFFIC CONTROL PLANS DO NOT REFLECT THE EXISTING TOPOGRAPHY SUCH AS DRIVEWAYS, LANE WIDTHS, AND BUSINESS/RESIDENTIAL ACCESSES. EVERY LOCATION THAT REQUIRES CONSTRUCTION TRAFFIC CONTROL SHALL HAVE A DETAILED TRAFFIC CONTROL PLAN SHOWING ALL EXISTING TOPOGRAPHY.
4. CONSTRUCTION SHALL NOT BEGIN UNLESS A TRAFFIC CONTROL PLAN HAS BEEN APPROVED AND VERIFIED BY CONSTRUCTION COORDINATION.
5. CONSTRUCTION COORDINATION SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY TRAFFIC CONTROL CHANGES NEEDED BY CONTRACTOR, THAT WERE NOT PREVIOUSLY APPROVED. THESE TRAFFIC CONTROL CHANGES SHALL BE REQUESTED IN WRITING ACCOMPANIED WITH A TRAFFIC CONTROL PLAN REFLECTING SUCH CHANGES.
6. ALL CONSTRUCTION TRAFFIC CONTROL DEVICES SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL, SERVICE AND MAINTAIN ALL TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL DEVICES SHALL NOT BE REMOVED OR ALTERED IN ANY WAY WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION, PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.
7. THE CONSTRUCTION TRAFFIC CONTROL INITIAL SET-UP SHALL BE BY AN AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA) CERTIFIED WORKSITE TRAFFIC SUPERVISOR. THE MAINTENANCE AND SERVICING SHALL ALSO BE DONE BY AN ATSSA CERTIFIED WORKSITE TRAFFIC SUPERVISOR OR EQUIVALENT.
8. CONTRACTOR IS RESPONSIBLE TO MAINTAIN AND SERVICE ALL TRAFFIC CONTROL DEVICES 24 HOURS A DAY, 7 DAYS A WEEK THROUGHOUT LENGTH OF PROJECT. CONTRACTOR IS RESPONSIBLE THAT ALL TRAFFIC CONTROL DEVICES COMPLY WITH THE MUTCD, LATEST EDITION.
9. ALL ADVANCE WARNING SIGNS SHALL BE DOUBLE INDICATED WHENEVER THERE ARE MULTI-LANE TRAFFIC IN ANY ONE GIVEN DIRECTION AND THERE IS SUFFICIENT MEDIAN SPACE.
10. ALL BARRICADES IN ALL TAPERS AND TANGENTS SHALL BE PLACED APART, A DISTANCE MEASURED IN FEET, EQUAL TO THAT OF THE POSTED SPEED LIMIT. NO EXCEPTIONS UNLESS APPROVED BY CONSTRUCTION COORDINATION PER MUTCD SECTION 6A-4.
11. ALL WORK IN ARTERIAL ROADWAYS SHALL BE ON A CONTINUOUS 24 HOUR PER DAY BASIS UNTIL COMPLETED.
12. CONTRACTOR IS RESPONSIBLE TO PROVIDE CONSTRUCTION COORDINATION, A WEEKLY LOG OF DAILY INSPECTIONS OF BARRICADE AND MAINTENANCE SCHEDULES ON PROJECTS THAT ARE OVER ONE WEEK DURATION.
13. EQUIPMENT OR MATERIALS SHALL NOT BE STORED WITHIN 15 FEET OF A TRAVELED TRAFFIC LANE DURING NON-WORKING HOURS WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION.
14. CONTRACTOR SHALL PROVIDE AND MAINTAIN A SAFE AND ADEQUATE MEANS OF CHANNELIZING PEDESTRIAN TRAFFIC AROUND AND THROUGH THE CONSTRUCTION AREA.
15. CONTRACTOR IS RESPONSIBLE FOR OBLITERATION OF ANY CONFLICTING STRIPING AND RESPONSIBLE FOR ALL TEMPORARY STRIPING.
16. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES, BUSINESSES AND/OR RESIDENTS AT ALL TIMES.
17. CONTRACTOR SHALL PROVIDE ACCESS SIGNS FOR BUSINESSES LOCATED WITHIN THE CONSTRUCTION AREA UNDER THE SUPERVISION OF CONSTRUCTION COORDINATION. EACH ACCESS SIGN SHALL HAVE 5 INCH, WHITE OPAQUE LETTERING ON BLUE REFLECTORIZED BACKGROUND. ACCESS SIGNS SHALL BE CONSIDERED INCIDENTAL TO THE BID AND NOT PART OF THE CONTRACT UNLESS OTHERWISE STATED. NO MORE THAN 3 BUSINESSES SHALL BE LISTED ON A ACCESS SIGN. SHOPPING CENTERS AND MALLS SHALL BE LISTED AS SUCH.
18. ALL ADVANCE WARNING SIGNS SHALL MEET THE MINIMUM REFLECTIVE INTENSITY REQUIREMENTS SET FORTH BY THE CITY OF ALBUQUERQUE. CONSTRUCTION COORDINATION SHALL DETERMINE ALL REQUIREMENTS AND APPROVE OR DISAPPROVE ANY ADVANCE WARNING SIGN PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.
19. 48 HOURS PRIOR TO OCCUPYING OR CLOSING OF A RIGHT-OF-WAY, CONTRACTOR SHALL NOTIFY: POLICE, FIRE DEPARTMENT, SCHOOLS, HOSPITALS, TRANSIT AUTHORITY, BUSINESSES AND/OR RESIDENTS THAT WILL BE AFFECTED BY THE CONSTRUCTION.
20. ANY FIELD ADJUSTMENTS SHALL BE APPROVED BY CONSTRUCTION COORDINATION.
21. EXCAVATIONS SHALL BE PLATED, TEMPORARILY PATCHED OR RESURFACED PRIOR TO OPENING OF TRAFFIC. A MINIMUM OF 11 FEET SHALL BE PROVIDED FOR TRAFFIC IN ANY GIVEN DIRECTION. CONTRACTOR IS RESPONSIBLE FOR ANY WORK INVOLVED IN SATISFYING THESE REQUIREMENTS.
22. CONTRACTOR SHALL AT ALL TIMES COMPLY WITH THE FOLLOWING:
1. STANDARDS AND REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 2. THE CITY OF ALBUQUERQUE TRAFFIC CODE, LATEST EDITION.
 3. SECTION 19 OF THE CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTION, AS WELL AS OTHER SECTIONS.
23. FAILURE TO COMPLY WITH ANY OF THE ABOVE MENTIONED, WILL BE ADEQUATE CAUSE TO CEASE ALL WORK ON ANY CONSTRUCTION PROJECT. WORK WILL NOT RESUME UNTIL ALL REQUIREMENTS ARE ADDRESSED AND APPROVED BY CONSTRUCTION COORDINATION.
24. ALL TRAFFIC CONTROL DEVICES SHALL BE KEPT IN NEW-CLEAN CONDITION, WASHING OF EQUIPMENT IS INCIDENTAL TO IT'S PLACEMENT AND MAINTENANCE.
25. TRAFFIC CONTROL STANDARDS APPLY ONLY WHERE THE CONSTRUCTION TRAFFIC CONTROL PLANS ARE NOT SPECIFIC.
26. ADVANCE WARNING SIGNS SHALL BE 36"x36" MIN. WITH SUPER ENGINEERING GRADE SHEETING OR BETTER. MOUNTING HEIGHT AT TOP OF SIGN SHALL BE THE SAME AS FOR A 48" SIGN AS INDICATED IN THE M.U.T.C.D.
27. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORKSITE. ALL GRAFFITI SHALL BE PROMPTLY REMOVED FROM ALL EQUIPMENT, BOTH PERMANENT AND TEMPORARY.



LEGEND

- WORK AREA
BARRICADE - TYPE I, TYPE II, OR BARREL
BARRICADE - TYPE III
VERTICAL PANEL
WARNING SIGN
DISTANCE BETWEEN SIGNS - A DISTANCE MEASURED IN FEET EQUAL TO A VALUE OF TEN TIMES THE SPEED LIMIT OF THE STREET
FLAGMAN POSITION
SPACING BETWEEN BARRICADES - A DISTANCE MEASURED IN FEET EQUAL TO THE STREET LIMIT OF THE STREET
TAPER LENGTH - SEE CHART BELOW

THE TANGENT LENGTH IS EQUAL TO THE TAPER LENGTH FOR A GIVEN STREET.

TAPER REQUIREMENT

SPEED LIMIT (MPH)	TAPER LENGTH(L) (FEET)			MINIMUM NUMBER OF DEVICES FOR TAPER	MAXIMUM DEVICE SPACING IN FEET	
	10' LANE	11' LANE	12' LANE		ALONG TAPER	AFTER TAPER
20	70	75	80	5	20	20
25	105	115	125	6	25	25
30	150	165	180	7	30	30
35	205	225	245	8	35	35
40	270	295	320	9	40	40
45	450	495	540	13	45	45
50	500	550	600	13	50	50
55	550	605	660	13	55	55

RECOMMENDED SIGN SPACING(D) FOR ADVANCE WARNING SIGN SERIES

SPEED MILES PER HOUR	MINIMUM DISTANCE IN FEET BETWEEN SIGNS	FROM LAST SIGN TO TAPER
0-20	10 X SPEED LIMIT	10 X SPEED LIMIT
25-30	10 X SPEED LIMIT	10 X SPEED LIMIT
30-35	10 X SPEED LIMIT	10 X SPEED LIMIT
40-45	10 X SPEED LIMIT	10 X SPEED LIMIT
50-60	10 X SPEED LIMIT	10 X SPEED LIMIT

TAPER CRITERIA

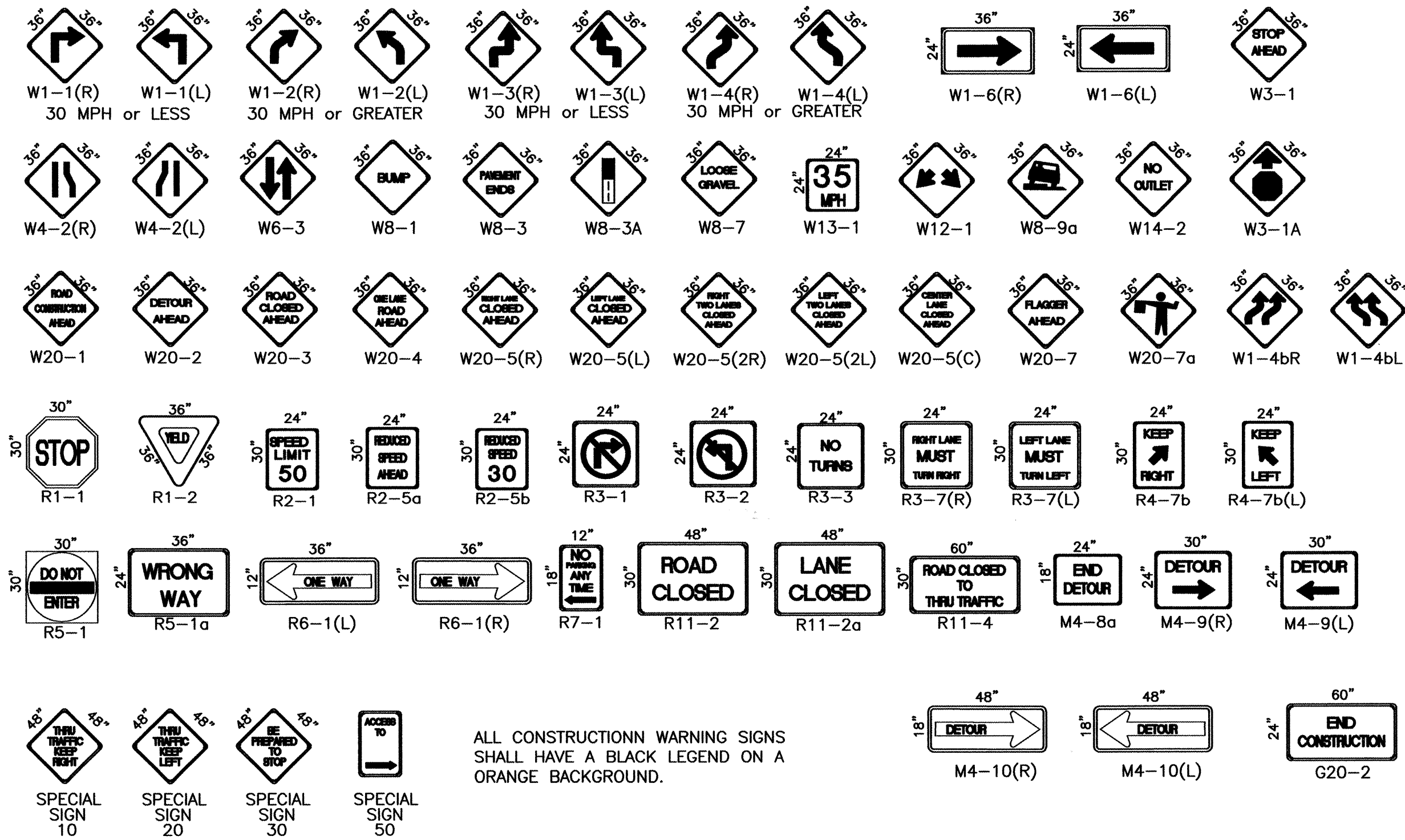
TYPE OF TAPER	TAPER LENGTH
UPSTREAM TAPER:	
MERGING TAPER	L MINIMUM
SHIFTING TAPER	1/2 L MINIMUM
SHOULDER TAPER	1/2 L MINIMUM
TWO-WAY TRAFFIC TAPER	100 FEET MAXIMUM
DOWNSTREAM TAPERS	100 FEET PER LANE

TAPER LENGTH COMPUTATION

SPEED LIMIT	
40 MPH OR LESS	$L = \frac{WS^2}{60}$
40 MPH OR GREATER	$L = W \times S$

L = TAPER LENGTH
W = WIDTH OF OFFSET IN FEET
S = POSTED SPEED OR OFF-PEAK 85-PERCENTILE SPEED IN MPH

SIGN FACE DETAILS



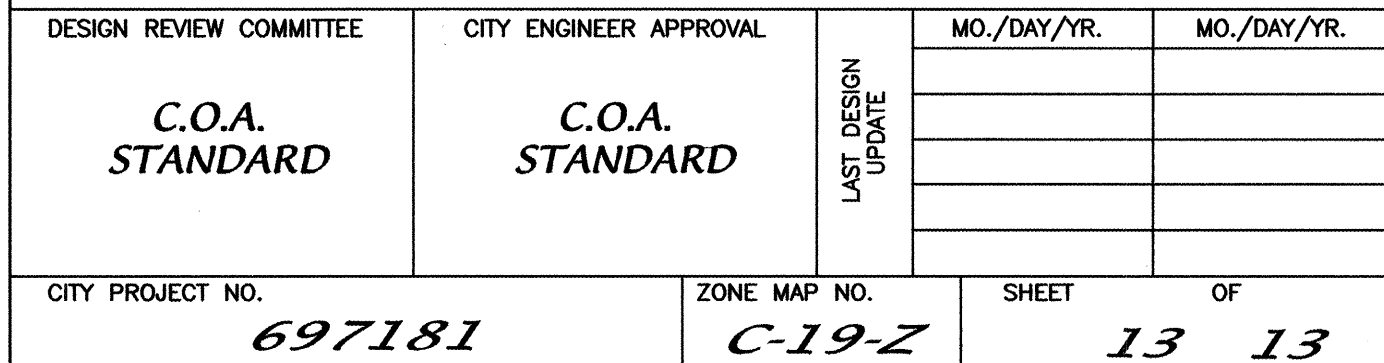
ALL CONSTRUCTION WARNING SIGNS SHALL HAVE A BLACK LEGEND ON A ORANGE BACKGROUND.

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **DESERT RIDGE @ LA CUEVA
SIGNING AND CONSTRUCTION TRAFFIC
CONTROL STANDARDS**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
C.O.A. STANDARD	C.O.A. STANDARD		
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
697181	C-19-Z	12	13

SCANNED BY
MESA REPRO





FIRE MARSHALL