

SCANNED
BY PLD

PLANS FOR CONSTRUCTION OF

NEW LIFE HOMES - 3

ALBUQUERQUE, NEW MEXICO

AUGUST, 2004

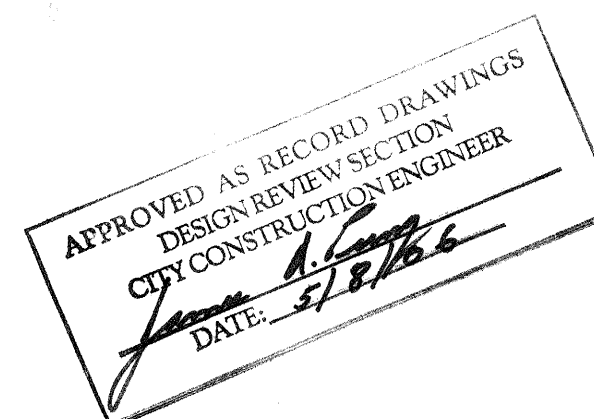
INDEX TO DRAWINGS

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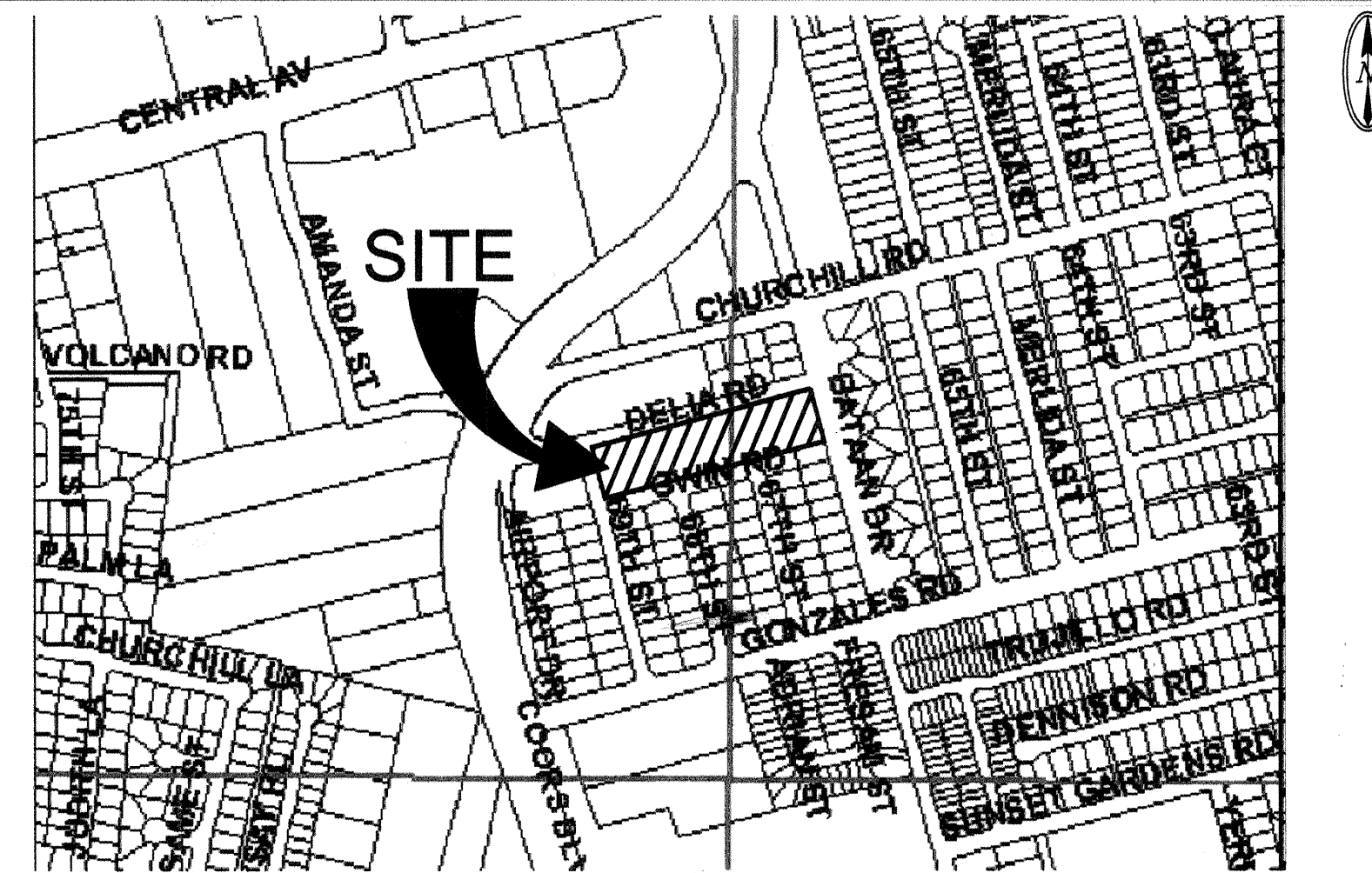
Sheet C.3 - For water serv
for

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

Mike Chosack of the firm of *QUICK DRAW ENGINEERING, LLC*
a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information.



DRB 1002421



VICINITY MAP: K-10

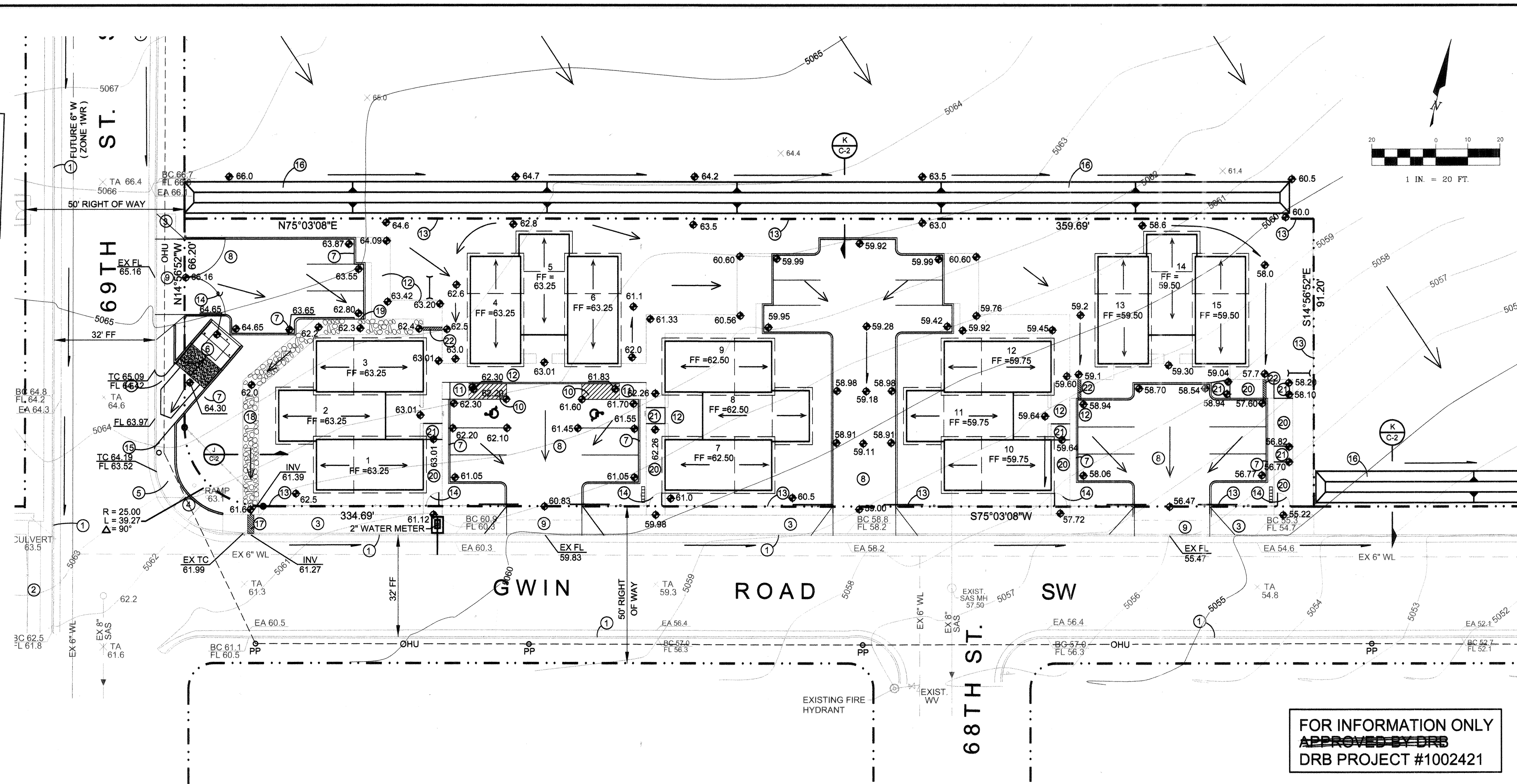
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GENERAL NOTES:

- CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2003 EDITION AS AMENDED THROUGH UPDATE 7, WILL BE REFERRED TO HEREIN AS THE "STANDARD SPECIFICATIONS." ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS
- THREE WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) AND DETERMINE LOCATION OF EXISTING UTILITIES.
- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR THE SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITHOUT DELAY.
- ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) WORKING DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. THE CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MARKER IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE STANDARD SPECIFICATIONS.
- ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES 24 HOUR CONSTRUCTION.
- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED BY THE CONTRACTOR WITH HOT THERMOPLASTIC REFLECTORIZED PAVEMENT MARKING. ALL NEW STRIPING SHALL BE HOT THERMOPLASTIC REFLECTORIZED PAVEMENT MARKING.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENTS, PAVEMENT MARKINGS, CURB AND GUTTER, DRIVEPADS, WHEELCHAIR RAMPS AND SIDEWALKS DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE PER THE STANDARD SPECIFICATIONS AT HIS OWN EXPENSE.
- EXISTING UTILITY LINES AND PIPELINES SHOWN ON THESE DRAWINGS ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. UTILITIES MAY EXIST WHERE NONE ARE SHOWN. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES AND PIPELINES. THE CONTRACTOR IS FULLY RESPONSIBLE FOR DAMAGE CAUSED BY FAILURE TO LOCATE AND PRESERVE EXISTING UTILITY LINES AND PIPELINES.
- THE CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE OWNERS FOR THE PREPARATION OF "RECORD DRAWINGS." THE CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
- ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY OR EASEMENTS MUST BE DONE FROM APPROVED WORK ORDER DOCUMENTS FROM THE CITY AND PREPARED BY BRASHER AND LORENZ, INC.
- THE CONTRACTOR SHALL DETERMINE IN ADVANCE OF HIS CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR IS TO SUPPORT AND MAINTAIN THE INTEGRITY OF ALL UNDERGROUND TELEPHONE, ELECTRIC CABLES AND CABLE TELEVISION UTILITIES AT NO ADDITIONAL COST THE OWNER. CABLE IS TO BE SUPPORTED EVERY 15 FEET (MINIMUM). CONTRACTOR SHALL COORDINATE WITH AND MAKE NECESSARY PAYMENT (IF ANY) TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES OR SUPPORT OF CABLES BY THE UTILITY OWNER.

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEER'S STAMP & SIGNATURE	APPROVALS	ENGINEER	DATE	APPROVED FOR CONSTRUCTION			
	DRC Chair	<i>John A. Lopez</i>	9-3-04	<i>John A. Lopez</i> 12-07-04 City Engineer Date			
	Transportation	<i>John A. Lopez</i>	9/3/04				
	Water/Wastewater	<i>John A. Lopez</i>	9/03/04				
	Hydrology	<i>Bradley J. Boyer</i>	9/3/04				
	CIP	<i>John A. Lopez</i>	9-3-04				
Constr. Mgmt.							
Constr. Coord.							
City Project No.				700182		Zone Map No.	Sheet of
						K - 10	1 6

SCANNED BY PLW



GRADING & DRAINAGE PLAN

PURPOSE AND SCOPE

PURSUANT TO THE ESTABLISHED DRAINAGE ORDINANCE OF THE CITY OF ALBUQUERQUE AND THE DEVELOPMENT PROCESS MANUAL, THIS GRADING AND DRAINAGE PLAN OUTLINES THE DRAINAGE MANAGEMENT CRITERIA FOR CONTROLLING DEVELOPED RUNOFF FROM THE PROJECT SITE. THE PROJECT CONSISTS OF THE CONSTRUCTION OF A 15-UNIT MULTI-FAMILY DEVELOPMENT ON THE 0.74 ACRE SITE. PROPOSED SITE IMPROVEMENTS INCLUDE PAVING, UTILITY, LANDSCAPING, GRADING AND DRAINAGE IMPROVEMENTS. THIS PLAN IS PRESENTED TO SUPPORT BUILDING PERMIT APPLICATION AND PROVIDE THE DETAIL NECESSARY FOR CONSTRUCTION OF THE RECOMMENDED IMPROVEMENTS.

EXISTING CONDITIONS

THE PROJECT SITE IS PRESENTLY UNDEVELOPED. THE SITE CONTAINS APPROXIMATELY 0.74 ACRES AND IS DESCRIBED AS TRACT 111-B, TOWN OF ATRISCO GRANT, UNIT 6. THE SITE IS BOUNDED BY 69TH STREET ON THE WEST, TRACT 111-C ON THE NORTH AND EAST, AND GWIN ROAD ON THE SOUTH. THE PROPERTY HAS BEEN DISTURBED BY OFF-ROAD VEHICLES AND RANDOM TRASH DUMPING. VERY LITTLE NATIVE VEGETATION IS PRESENT. GWIN RD AND 69TH ST. ARE IMPROVED PUBLIC ROADWAYS. PRESENTLY ALL EXCESS RUNOFF DRAINS SOUTH AND EAST TO GWIN ROAD. FLOWS DRAIN TO EXISTING PUBLIC STORM DRAINAGE IMPROVEMENTS LOCATED IN GONZALES ROAD.

AS SHOWN BY THE FIRM PANEL FOR THIS AREA, THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE PLAN, THE PROPERTY IS TO BE DEVELOPED AS A 15-UNIT MULTI-FAMILY COMPLEX, WITH ASSOCIATED ACCESS, DRAINAGE, GRADING, UTILITY AND LANDSCAPING IMPROVEMENTS.

ALL DRAINAGE FLOWS WILL BE MANAGED BY ON-SITE SWALES, CONVEYING RUNOFF TO GWIN ROAD. THE PLAN SHOWS THE CONTOURS AND ELEVATIONS REQUIRED TO PROPERLY GRADE AND CONSTRUCT THE RECOMMENDED IMPROVEMENTS. FLOW ARROWS ARE GIVEN TO DEMONSTRATE THE DIRECTION OF DRAINAGE FLOWS, AND PROJECT HYDROLOGY IS GIVEN FOR BOTH EXISTING AND DEVELOPED CONDITIONS.

TEMPORARY BERMS WILL DIRECT OFFSITE FLOWS TO A TEMPORARY SEDIMENTATION POND AS PROPOSED BY PHASE ONE OF THE APPROVED CONCEPTUAL GRADING AND DRAINAGE PLAN (K10/D41A), ENGINEER'S STAMP DATED 4-29-03. SEE SHEET C-2 FOR BERM LOCATIONS.

ALL ONSITE AND OFFSITE FLOWS WILL DRAIN TO GWIN ROAD AND BATAAN DRIVE, CONTINUING SOUTH TO EXISTING STORM DRAINAGE IMPROVEMENTS LOCATED IN GONZALES ROAD. DUE TO THE INFILL NATURE OF THIS PROJECT, FREE DISCHARGE OF EXCESS RUNOFF IS APPROPRIATE.

TEMPORARY EROSION CONTROL

TEMPORARY EROSION CONTROL MEASURES WILL BE IMPLEMENTED DURING CONSTRUCTION TO LIMIT THE DISCHARGE OF SEDIMENT FROM THE SITE TO ADJACENT PROPERTIES. SINCE THE PROJECT PROPOSES TO DISTURB LESS THAN 1.0 ACRE, A STORM WATER POLLUTION PREVENTION PLAN IS NOT REQUIRED.

CALCULATIONS

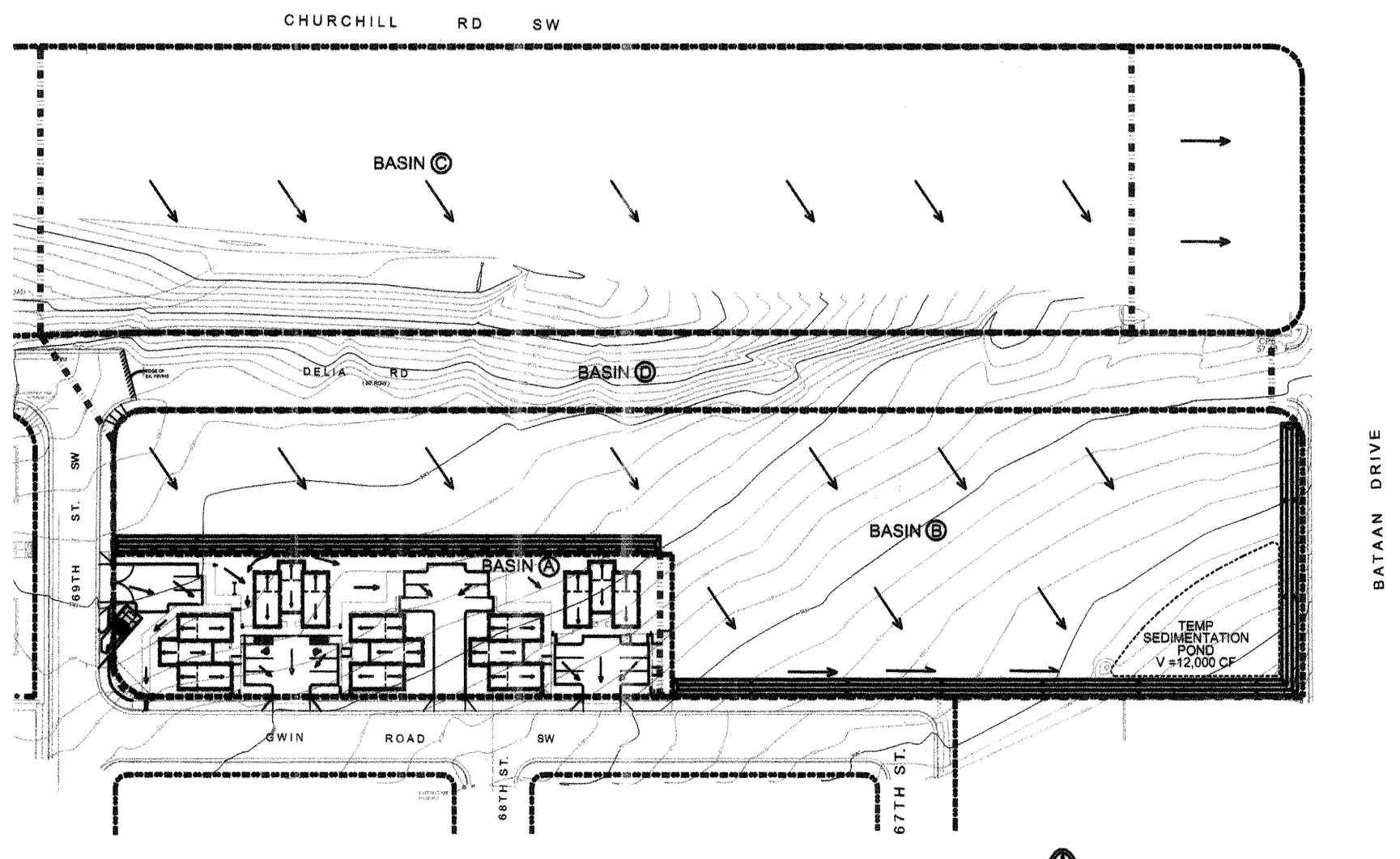
THE CALCULATIONS SHOWN HEREON DEFINE THE 100-YEAR/6 HOUR DESIGN STORM IMPACTING THE SITE AND CONTRIBUTING OFF-SITE DRAINAGE BASINS UNDER EXISTING AND DEVELOPED CONDITIONS. THE AHYMO METHOD OF ESTIMATING PEAK RUNOFF IS PRESENTED AS OUTLINED IN THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, SECTION 22.2, PART 'A', UPDATED JULY 1997.

DRAINAGE PLAN NOTES

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
- BLI recommends that a pre-construction meeting be held with the landscaping contractor to discuss the finish grading of the site.
- A grading and drainage certification is required to obtain certificate of occupancy.
- ALL WORK IN THE RIGHT OF WAY TO BE CONSTRUCTED PER CITY PROJECT NO 700182.**

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY
NOTICE TO CONTRACTOR

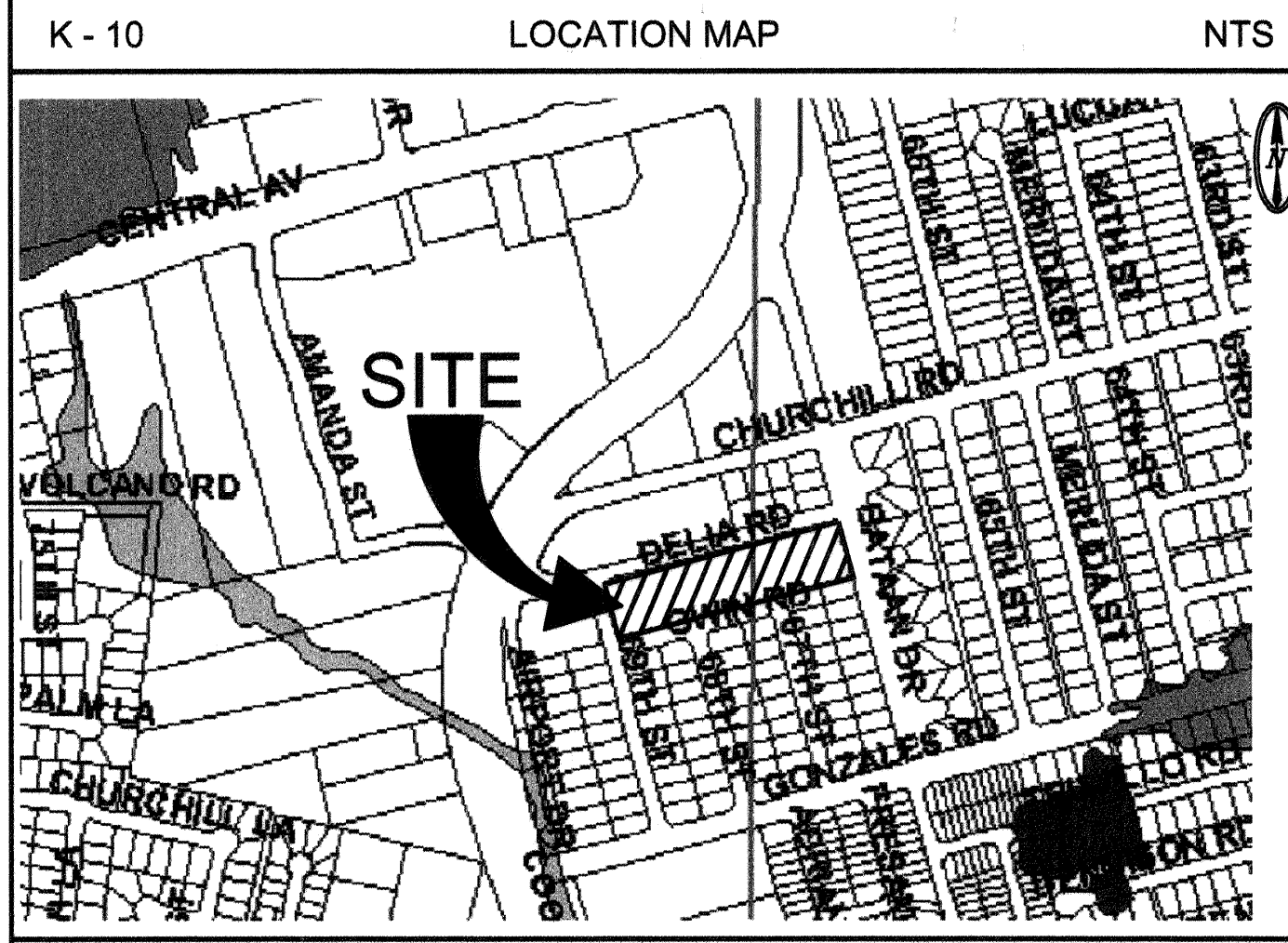
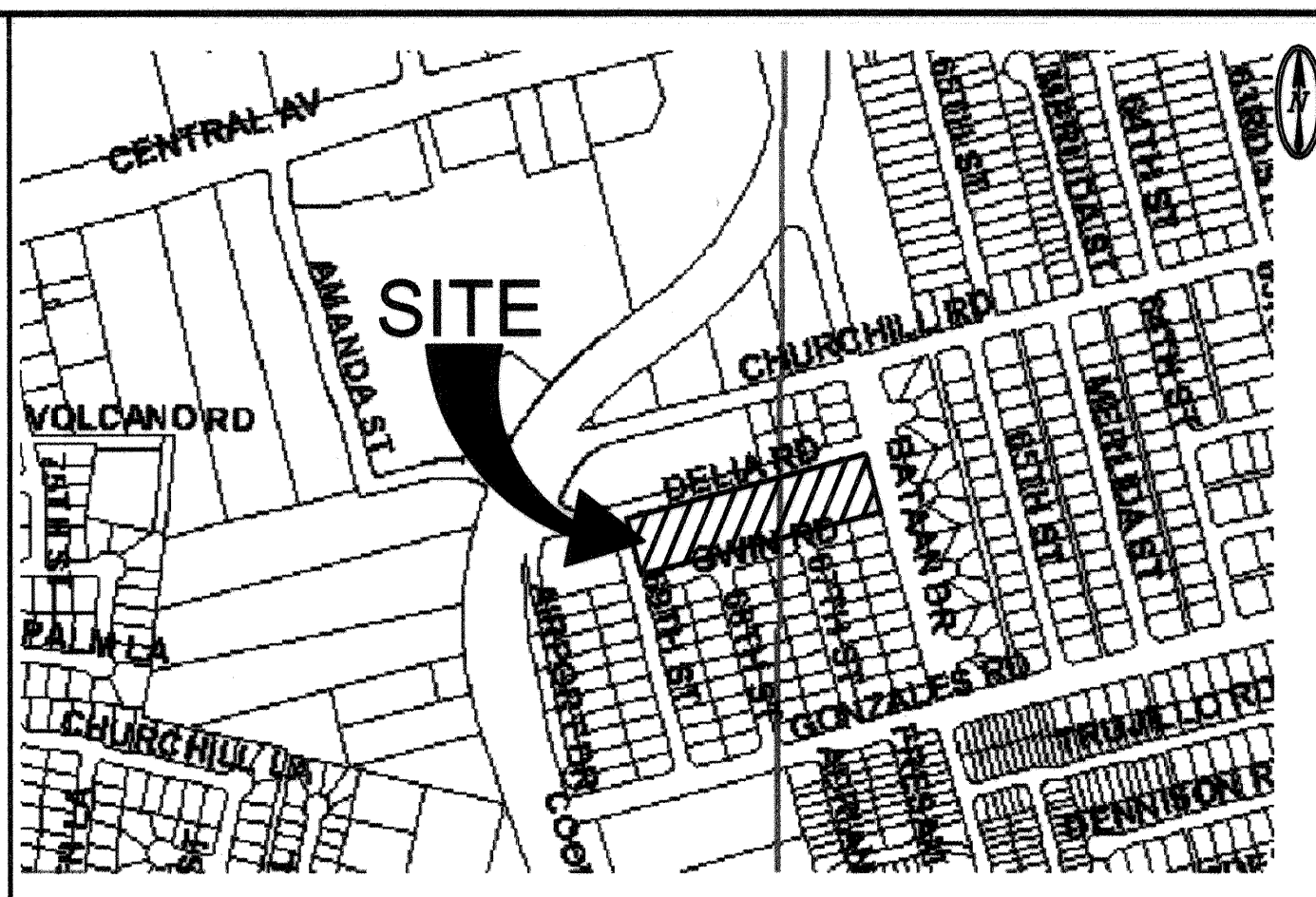
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN A CITY RIGHT OF WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 'CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION', UPDATE NOVEMBER 7, 2003.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTION. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- ALL FACILITIES CONSTRUCTED WITHIN CITY RIGHT-OF-WAY MUST BE INSPECTED AND ACCEPTED PRIOR TO CERTIFICATE OF OCCUPANCY APPROVED.



DRAINAGE BASIN MAP

SCALE: 1" = 100'

PROJECT HYDROLOGY									
NEW LIFE HOMES 3									
ZONE:	1								
P ₂ HOUR:	2.20"								
P ₁₀ DAY	3.67"								
UNDEVELOPED:									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
A SITE	0.74	0.00	0.00	0.74	0.00	0.99	2.12	0.0611	
B	2.43	0.00	0.00	2.43	0.00	0.99	6.97	0.2005	
C	2.93	0.00	0.00	2.93	0.00	0.99	8.41	0.2417	
D	0.90	0.00	0.00	0.90	0.00	0.99	2.58	0.1935	
DEVELOPED (PROPOSED):									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
A SITE	0.74	0.00	0.12	0.13	0.49	1.59	2.76	0.0980	
B	2.43	0.00	0.49	0.49	1.43	1.51	8.75	0.3058	
C	2.50	0.00	0.50	0.50	1.50	1.51	9.02	0.3146	
D	0.90	0.00	0.00	0.00	0.90	1.51	3.93	0.2948	



FIRM PANEL 35001C0329D

NTS

LEGEND

- 02.5' X EXISTING SPOT ELEVATION
- 01.5' PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- DRAINAGE SWALE
- EXISTING OVERHANG
- PROPOSED STRUCTURE
- PROPOSED CONCRETE
- EXISTING ASPHALT TO BE REMOVED AND REPLACED
- EXISTING CHAIN LINK FENCE
- PROPOSED POST AND CABLE FENCE
- EXISTING BOLLARD
- EXISTING STREET LIGHT
- EXISTING COLUMN
- BASIN DIVIDE

KEYED NOTES

- EXISTING STANDARD CURB & GUTTER
- EXISTING SIDEWALK
- NEW 6" SIDEWALK
- EXISTING ACCESSIBLE RAMP
- NEW ACCESSIBLE RAMP PER COA STD DWG 2426
- NEW REFUSE ENCLOSURE. SEE SITE PLAN
- NEW 6" CONCRETE CURB.
- ASPHALT PAVING
- REMOVE & DISPOSE EXISTING STD C & G AND SIDEWALK. CONSTRUCT NEW DRIVE PAD PER COA STD DWG 2425
- NEW ACCESSIBLE PARKING AND LOADING AREA. PER ADA CODE
- NEW CURB ACCESS RAMP SEE SITE PLAN
- NEW SIDEWALK, TYPICAL
- NEW IRON FENCE
- NEW IRON GATE
- CONSTRUCT CONCRETE FILLET AND VALLEY GUTTER PER COA DWG. 2420
- BUILD TRAINER BERM PER DETAILS M-C2 AND K-C2
- CONSTRUCT SIDEWALK CULVERT PER COA STD DWG 2236.
- 50-40 PERMIT REQUIRED**
- CONSTRUCT ROCK CHANNEL PER DETAIL SHEET C-2
- CONSTRUCT 3-FOOT CURB CUT AT ROCK CHANNEL
- CONSTRUCT RAMP WITH SLOPE 12:1 OR FLATTER AND MAX. LENGTH 30-FT
- CONSTRUCT 6 x 6 LANDING WITH SLOPE 2% OR FLATTER
- CONSTRUCT PRIVATE SIDEWALK CULVERT PER COA STD DWG 2236

REVISIONS

NO.	DESCRIPTION	DATE

BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro Blvd. NE, Bldg. 1, Suite 1200
Albuquerque, New Mexico 87110
Phone: (505) 266-0066 Fax: (505) 266-6188



514 CENTRAL SW
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505/766-6968
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GARRETT SMITH LTD
DESIGN, ARCHITECTURE & DEVELOPMENT

NEW LIFE HOMES - 3
ALBUQUERQUE NEW MEXICO

GRADING & DRAINAGE PLAN

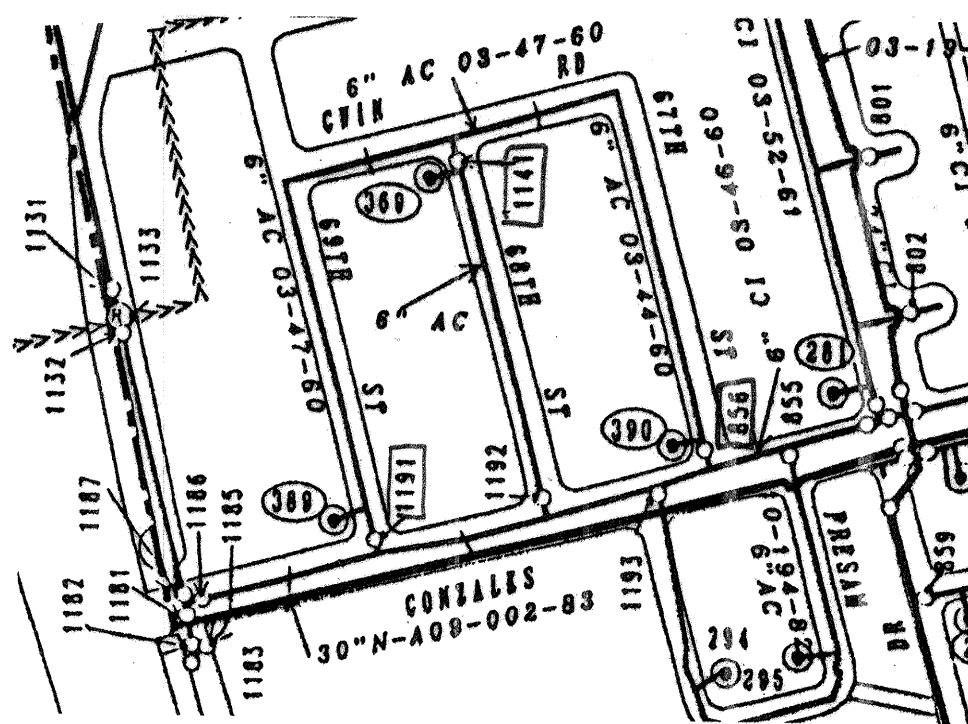
SCALE: 1" = 20'

DATE: 08-17-2004

SHT: 3 OF 6

700182

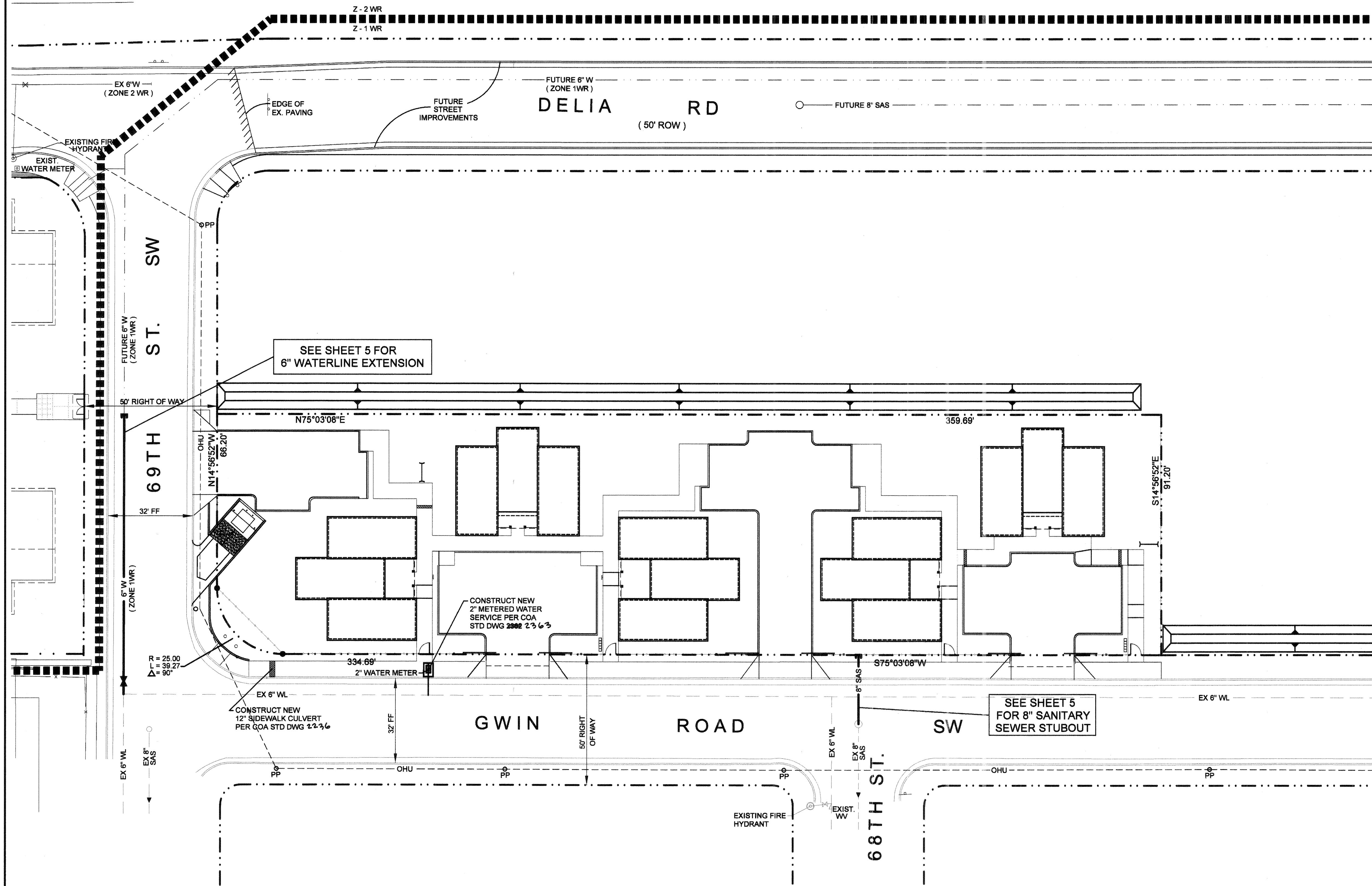
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WATER SHUT OFF PLAN

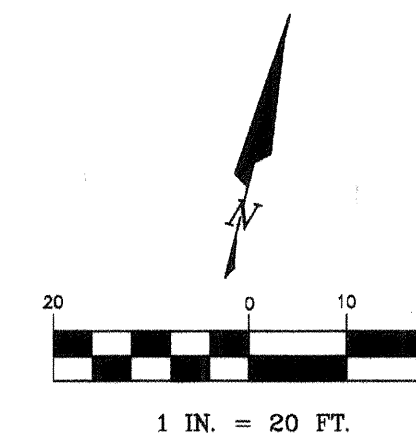
WATER SHUT-OFF PLAN

1. VALVES, HYDRANTS, AND APPURTENANCES OF THE CITY WATER SYSTEM SHALL BE OPERATED BY CITY PERSONNEL ONLY.
2. THE CONTRACTOR SHALL PROVIDE THE CITY 7 WORKING DAYS ADVANCE NOTICE OF NEED FOR SYSTEM SHUTDOWN. CALL 857-8200
3. SYSTEM SHUTDOWN SHALL BE ACCOMPLISHED BY CLOSING VALVE 1191 AT THE INTERSECTION OF GONZALES ROAD AND 69TH. ST., VALVE 1141 AT THE INTERSECTION OF GWIN RD. AND 68TH. ST. AND VALVE 856 AT THE INTERSECTION OF GONZALES RD. AND 67TH. ST.
4. ANTICIPATED SHUTDOWN DURATION IS 8 HOURS.



LEGEND

ITEM	EXISTING	PROPOSED
WATERLINE	6\" W	6\" W
SANITARY SEWER	8\" SAS	8\" SAS
STORM SEWER	36\" STS	36\" STS
FIRE HYDRANT VALVE		
METERED WATER SERVICE		
MANHOLE		
CURB AND GUTTER		
HEADER CURB		
DROP INLET		
OVERHEAD ELEC WITH POWER POLE	OHE	OHE
UNDERGROUND ELEC, GAS, TEL, TV	UGT	UGT
CURB ELEVATIONS	x 16.7	16.7
SPOT ELEV.		
SEWER SERVICE		
RIGHT OF WAY		
EASEMENT		
POWER POLE (GUYED)	PP	PP
CENTERLINE		
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
WATER PRESSURE ZONE BOUNDARY		



AS-BUILT INFORMATION

CONTRACTOR	DATE
MARK	DATE
STAKED BY	DATE
FIELD ADJUSTANCE BY	DATE
REVISION BY	DATE
CORRECTED BY	DATE

MICRO-FILM INFORMATION

DATE
DATE
DATE
DATE

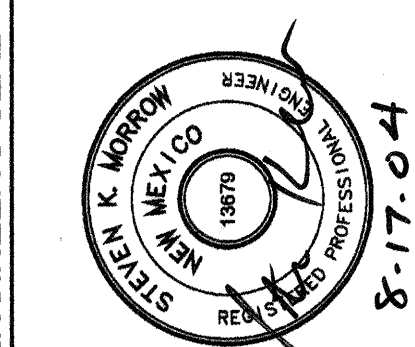
BENCHMARKS

THE STATION IS LOCATED 58' NORTHWEST OF CENTERLINE OF COORS BLVD. AND IS 5.3' EAST OF CENTERLINE OF AIRPORT DR., EXTENDED AND IS 13.5' SOUTHWEST OF A BARBED WIRE FENCE. THE STATION IS AN ACS 3 1/4\" ALUM. CAP SET FLUSH IN THE TOP OF CURB AND IS STAMPED "8-K10, 1989\" ELEVATION -5082.145 DATUM NGVD 1929

SURVEY INFORMATION

FIELD NOTES	DATE
BY	
NO.	

ENGINEER'S SEAL

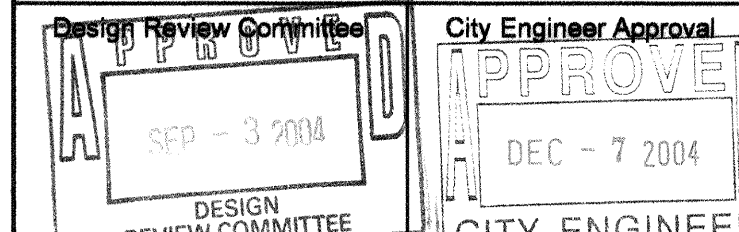


REVISIONS

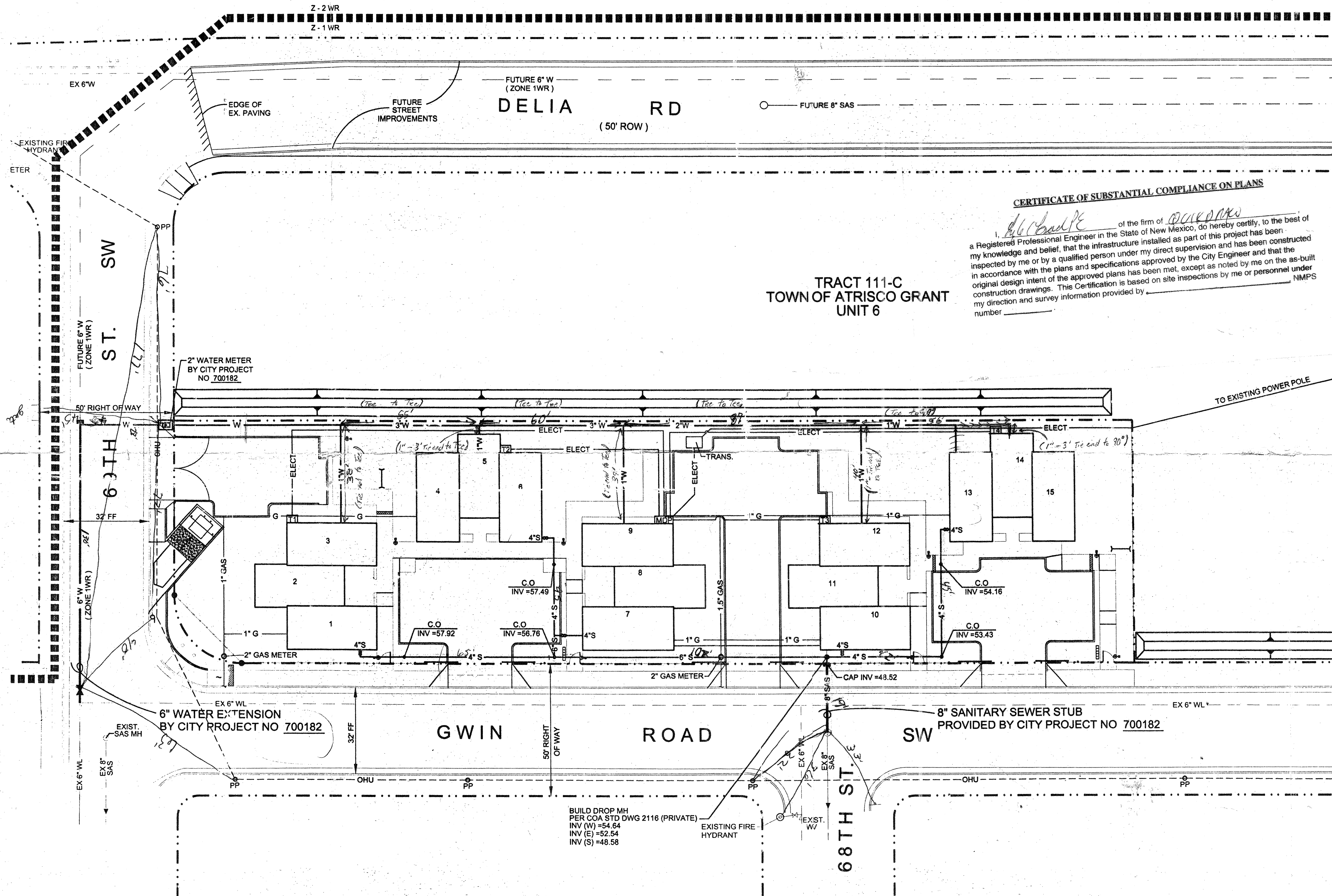
NO.	DATE	REVISIONS
DESIGNED BY	S. K. M.	DATE 08/17/2004
DRAWN BY	R. M.	DATE 08/17/2004
CHECKED BY	S. K. M.	DATE 08/17/2004

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
TITLE: **NEW LIFE HOMES - 3**
OVERALL WATER AND SEWER PLAN

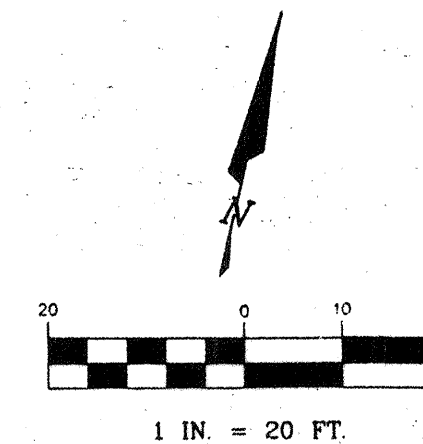


SCANNED
BY PLW



LEGEND

ITEM	EXISTING	PROPOSED
WATERLINE	6" W	6" W
SANITARY SEWER	8" SAS	8" SAS
STORM SEWER	36" STS	36" STS
FIRE HYDRANT VALVE		
METERED WATER SERVICE		
MANHOLE		
CURB AND GUTTER		
HEADER CURB		
DROP INLET		
OVERHEAD ELEC. WITH POWER POLE		
UNDERGROUND ELEC. GAS, TEL, TV		
CURB ELEVATIONS		
SPOT ELEV.		
SEWER SERVICE		
RIGHT OF WAY		
EASEMENT		
POWER POLE (GUYNED)		
CENTERLINE		
TOP OF ASPHALT ELEV.		
WATER PRESSURE ZONE BOUNDARY		
SAS CLEANOUT		
2" GAS METER		



GENERAL UTILITY PLAN NOTES:

- LOCATIONS OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE, BASED IN RECORD INFORMATION. CONTRACTOR SHALL FIELD-VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION.
- SIZES, MATERIAL, AND POINTS OF CONNECTIONS OF ON-SITE SERVICE LINES FOR WATER, SEWER, AND GAS ARE APPROXIMATE. EXACT LOCATIONS WILL BE DETERMINED BY THE BUILDING MECHANICAL CONTRACTOR.
- WATER SERVICE LINES TO THE IRRIGATION SYSTEMS AS SHOWN ARE SCHEMATIC, AND WILL BE DETERMINED BY THE LANDSCAPING CONTRACTOR.
- THE 6" WATERLINE, AND 8" SANITARY SEWER STUBOUT TO BE CONSTRUCTED BY CITY PROJECT NO. 700182.
- 2" METERED WATER SEWER TO BE COORDINATED AND INSTALLED BY CUSTOMER SERVICES PHONE: 768-2800.

PROPERTY ADDRESS

GWIN ST NW

LEGAL DESCRIPTION

TRACT 111-B
TOWN OF ATRISCO GRANT
UNIT 6

PROJECT BENCHMARK

BENCHMARK: ACS 3 1/4" ALUM. CAP
DISK 8-K10
ELEVATION = 5082.14

SURVEY

SITE MAPPING BY
BRASHER & LORENZ INC.

REVISIONS

BRASHER & LORENZ
CONSULTING ENGINEERS
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FAX / 243-4508

GARRETT SMITH LTD
DESIGN, ARCHITECTURE & DEVELOPMENT

NEW LIFE HOMES - 3
ALBUQUERQUE, NEW MEXICO
UTILITY PLAN

SCALE:

1" = 20'

DATE:

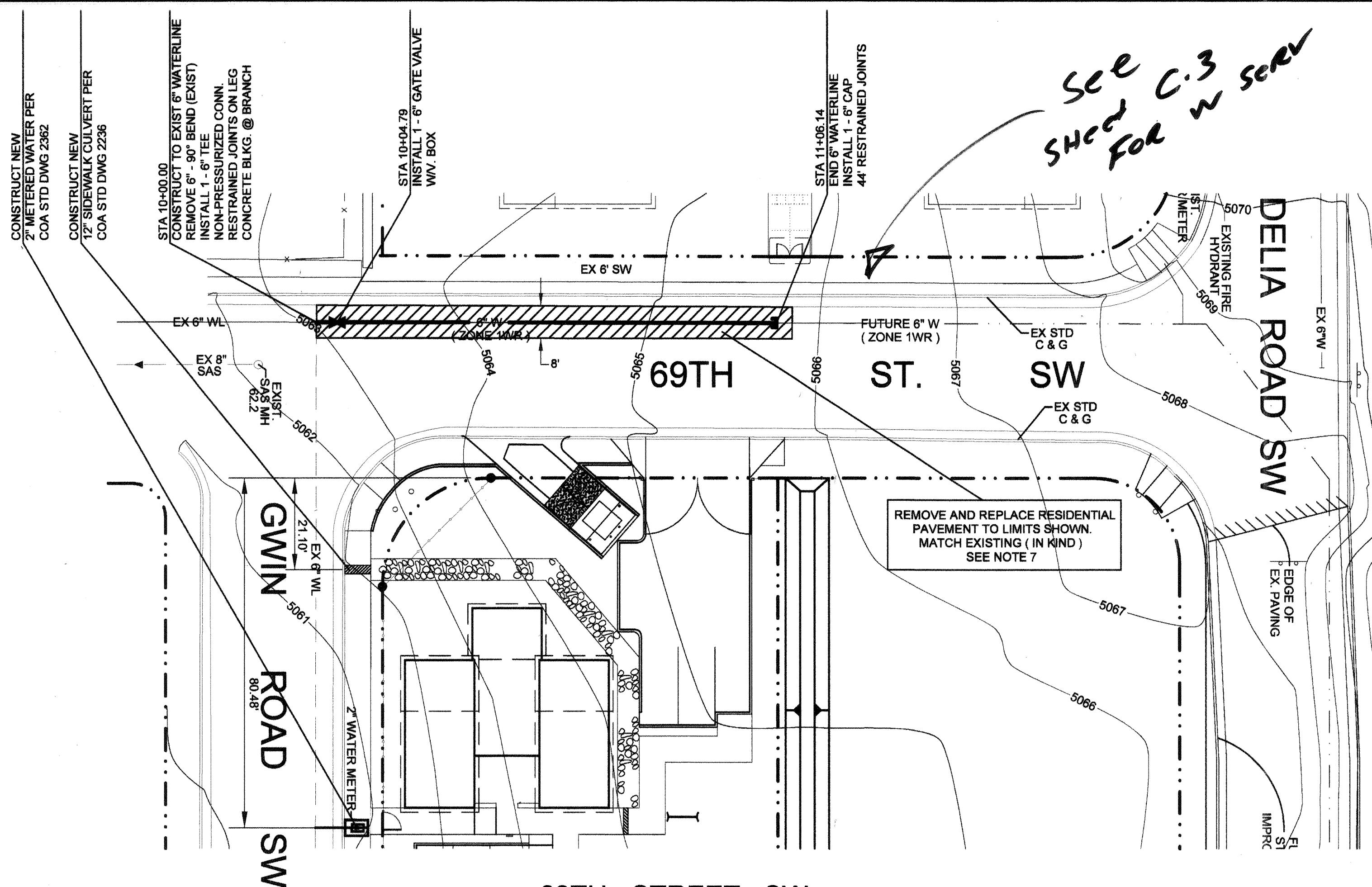
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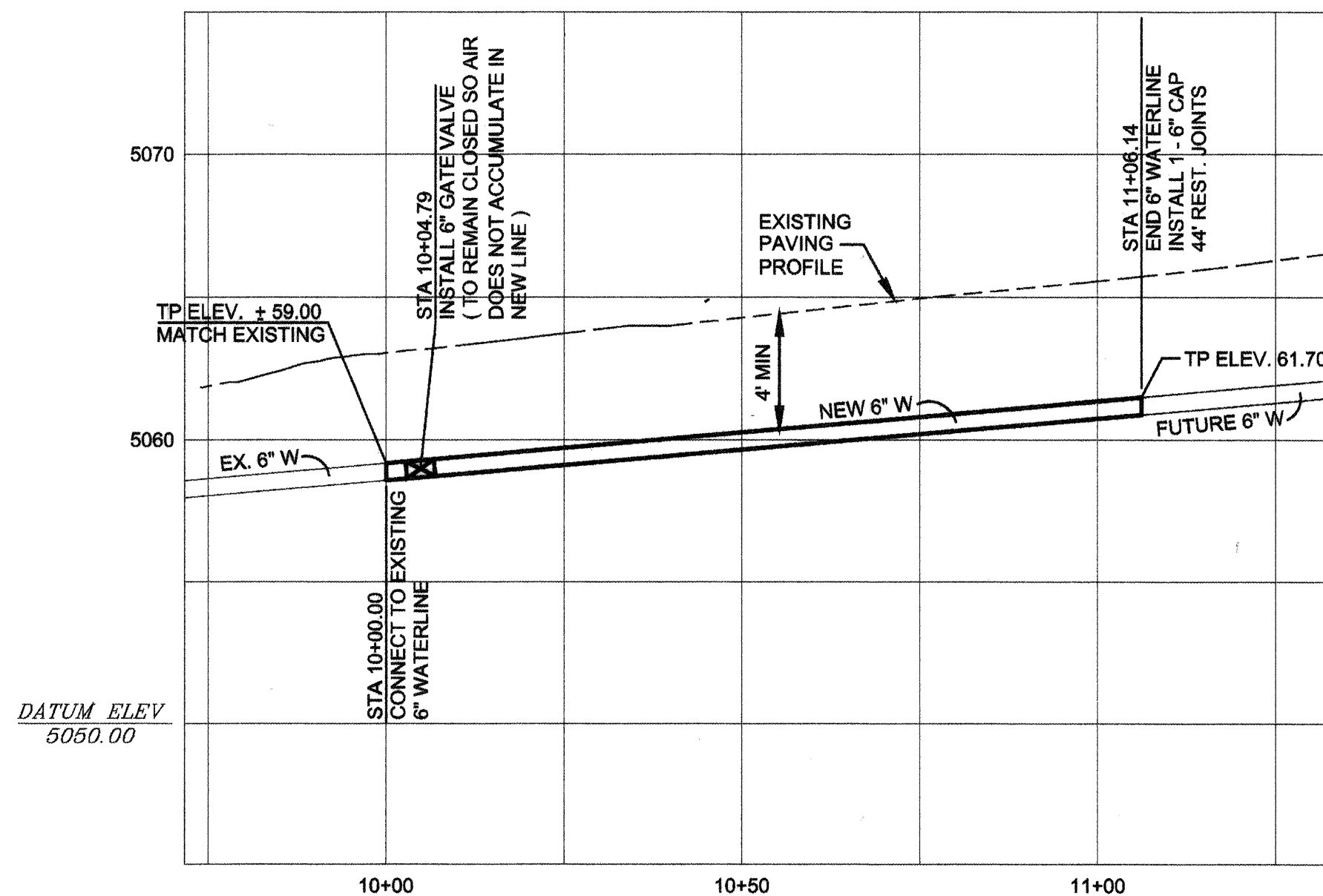
C-3

Submitted by: [Signature]
Date: 11-02-2004
By: [Signature]
Scale: 1" = 20'

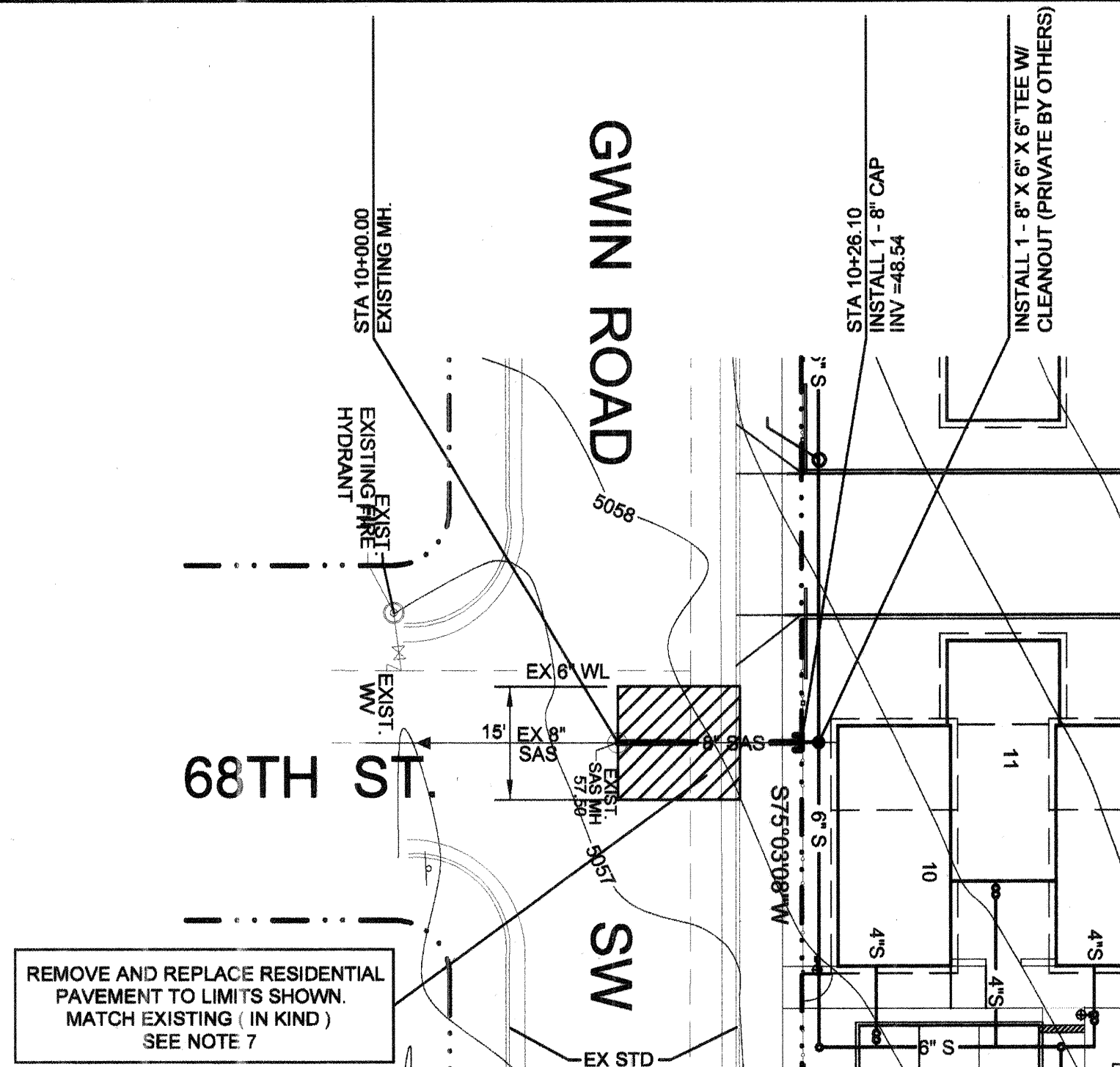
SCANNED
BY PLW



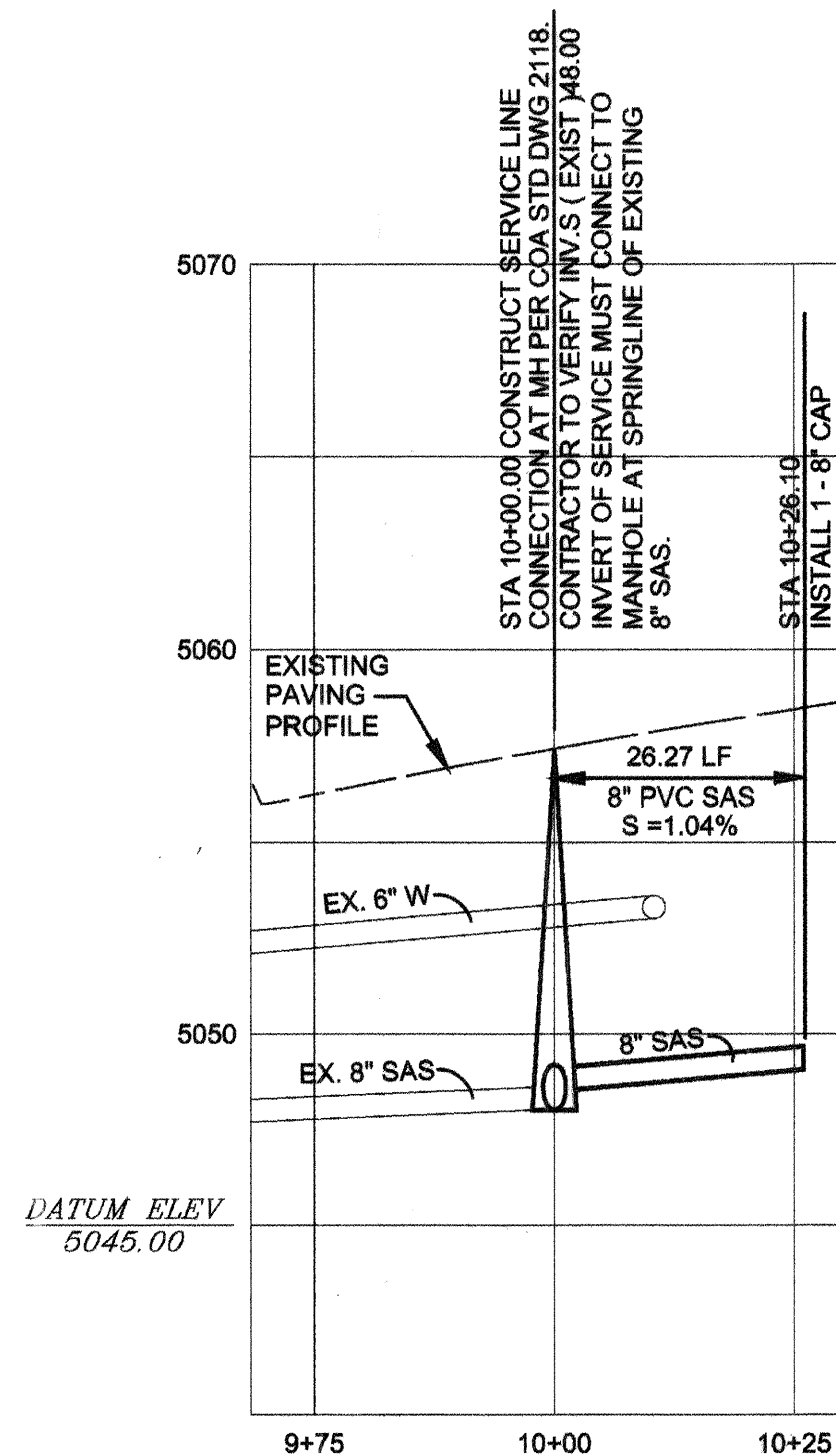
69TH STREET SW
6" WATER EXTENSION 1" = 20' (H)
1" = 5' (V)



See
Sheet C-3
For W Serv



68TH STREET SW
8" SANITARY SEWER SERVICE 1" = 20' (H)
1" = 5' (V)



LEGEND

ITEM	EXISTING	PROPOSED
WATERLINE	6" W	6" W
SANITARY SEWER	8" SAS	8" SAS
STORM SEWER	36" STS	36" STS
FIRE HYDRANT		
VALVE		
METERED WATER SERVICE		
MANHOLE		
CURB AND GUTTER		
HEADER CURB		
DROP INLET		
OVERHEAD ELEC WITH POWER POLE	OHE	OHE
UNDERGROUND ELEC, GAS, TEL, TV	UGT	UGT
CURB ELEVATIONS	x 16.7	x 16.7
SPOT ELEV.		
SEWER SERVICE		
RIGHT OF WAY		
EASEMENT		
POWER POLE (GUYPED)	PP	PP
CENTERLINE		
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
ASPHALT, C&G REM & REPL.		

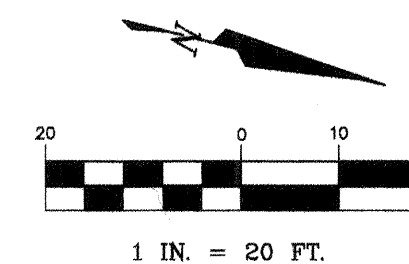
NOTES

- ALL STATIONING IS BASED ON CENTERLINE OR R.O.W. UNLESS NOTED OTHERWISE
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ALL RESIDENTIAL PAVEMENT WORK SHALL BE PER STD DWG 2465.
- ALL CONCRETE CURB & GUTTER WORK SHALL BE PER STD DWG 2415 A.
- ALL SIDEWALK WORK SHALL BE PER STD DWG 2430.
- ALL STREET PAVEMENT CUTS FOR UTILITY TRENCHING SHALL BE MADE PERPENDICULAR TO THE STREET CENTERLINE
- FOR WATER VALVE BOX - DETAILS SEE SHEET 6
- FOR WATER SERVICE CITY STD DWGS 2361, 2363, 2367 - DETAILS SEE SHEET 6
- ALL FIRE HYDRANTS SHALL BE CONSTRUCTED PER STD DWG 2340.
- ALL GATE VALVES SHALL BE CONSTRUCTED PER STD DWGS 2326, 2328 AND 2461.

RESTRAINED JOINTS LENGTH

- TEE BRANCH - EACH RUN PIPE SHALL BE MINIMUM 10' W/O JOINTS
- DISTANCE SHOWN IS IN EACH DIRECTION FOR VALVES AND BENDS
- ALL DEAD END CAPS SHALL BE BLOCKED

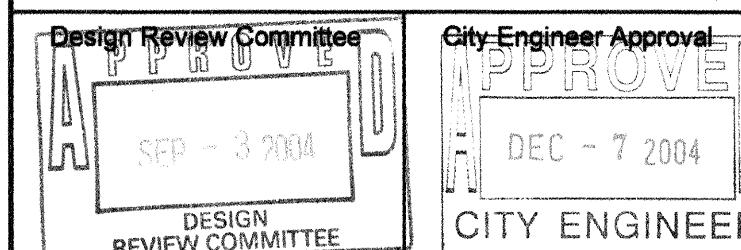
SIZE	90°	45°	22-1/2°	11 1/4°	TEE	VALVE
4"	21'	9'	5'	3'	21'	52'
6"	26'	11'	6'	3'	37'	74'
8"	31'	13'	7'	4'	54'	97'
10"	34'	15'	7'	4'	69'	107'
12"	54'	23'	11'	6'	85'	120'



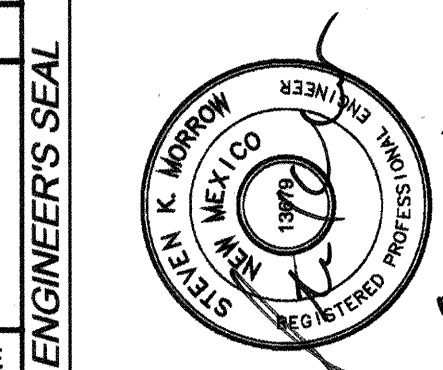
BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro Blvd. NE Bldg. 1, Suite 1200
Albuquerque, New Mexico 87110
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **NEW LIFE HOMES - 3**
68TH ST. AND 69TH ST.
WATER & SANITARY SEWER PLAN AND PROFILE



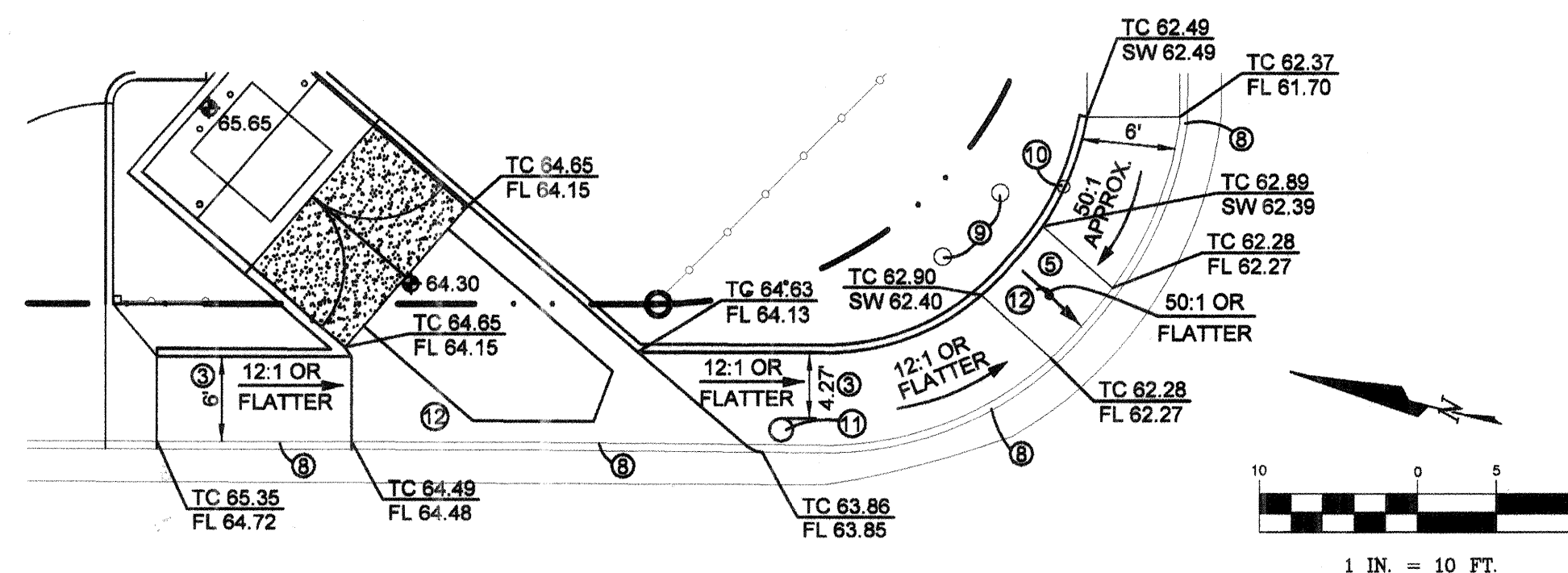
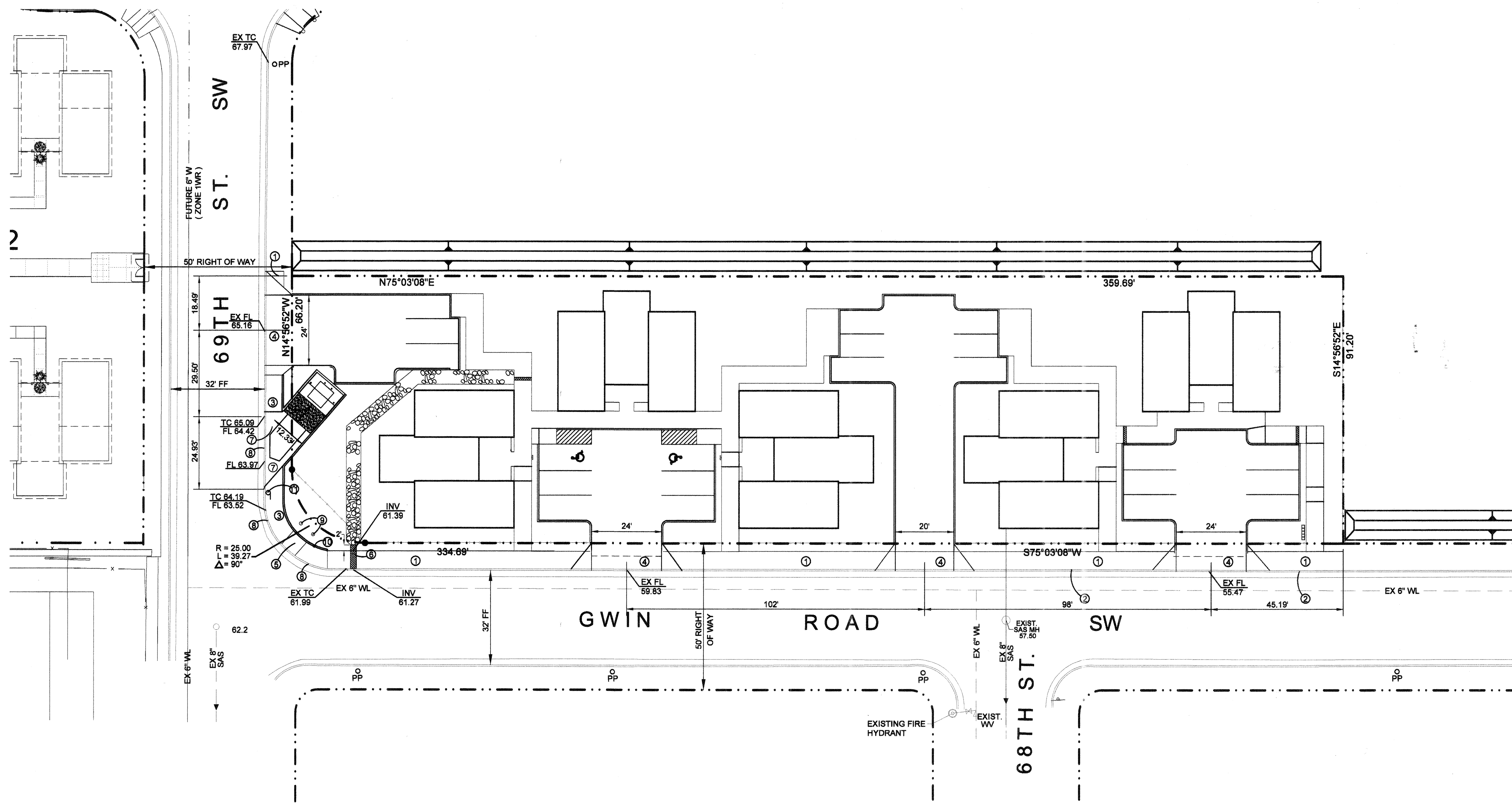
City Project No. 700182 Zone Map No. K - 10 Sheet 5 of 6



NO.	DATE	REMARKS
1	08/17/2004	DESIGN
2	08/17/2004	REVISIONS
3	08/17/2004	DESIGN

NO.	DATE	REMARKS
1	08/17/2004	DESIGN
2	08/17/2004	REVISIONS
3	08/17/2004	DESIGN

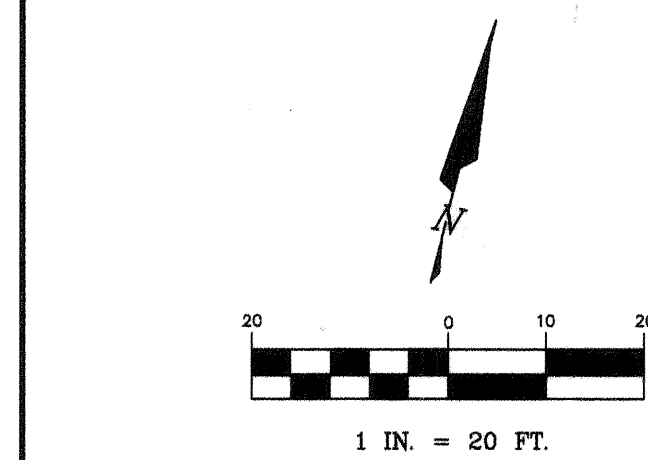
SCANNED BY PLU



LEGEND		
ITEM	EXISTING	PROPOSED
WATERLINE	6" W	6" W
SANITARY SEWER	8" SAS	8" SAS
STORM SEWER	36" STS	36" STS
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VALVE		
METERED WATER SERVICE		
MANHOLE		
CURB AND GUTTER		
HEADER CURB		
DROP INLET		
OVERHEAD ELEC. WITH POWER POLE	OHE	OHE
UNDERGROUND ELEC. GAS, TEL, TV	UGT	UGT
CURB ELEVATIONS	× 16.7	× 16.7
SPOT ELEV.		
SEWER SERVICE		
RIGHT OF WAY		
EASEMENT		
POWER POLE (GUYED)	PP	PP
CENTERLINE		
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
ASPHALT, C&G REM & REPL.		
PROPERTY LINE		

KEYED NOTES

- CONSTRUCT 6" SIDEWALK PER COA STD DWG 2430
- EXISTING STD CURB AND GUTTER TO REMAIN
- CONSTRUCT NEW UNI-DIRECTIONAL WHEELCHAIR RAMP PER CITY STD DWG 2426
- CONSTRUCT NEW DRIVEPAD PER COA STD DWG 2425 (ALTERNATE FOR ADA COMPLIANCE SIDEWALK AT BACK OF CURB). BUILD GUTTER PER COA STD DWG 2415A "GUTTER AT DRIVEPAD" USING 8" OPTION FOR ADA COMPLIANCE COMPLIANCE SIDEWALK AT BACK OF CURB. REMOVE EXISTING CURB AND GUTTER AS NECESSARY.
- EXISTING WHEELCHAIR RAMP TO BE REMOVED AND REPLACED WITH ADA COMPLIANT RAMP PER COA STD DWG 2441 CASE I ("MINIMAL ROW FOR SIDEWALK AT BACK OF CURB") BUILD GUTTER PER COA STD DWG 2415A GUTTER AT (WHEEL CHAIR CURB ACCESS RAMP)
- CONSTRUCT NEW 12" SIDEWALK CULVERT PER COA STD DWG 2236
- CONSTRUCT NEW FILLET AND VALLEY GUTTER PER COA STD DWG 2420.
- REMOVE EXISTING STANDARD CURB & GUTTER
- EXISTING BOLLARDS TO BE REMOVED.
- EXISTING STOP SIGN TO BE RELOCATED 1 FOOT NORTH AT BACK OH HEAD CURB
- EXISTING POWER POLE TO REMAIN
- 5' X 5' LANDING WITH MAX. CROSS SLOPE 50:1.
- 5' X 5' LANDING WITH MAX. CROSS



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CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
TITLE: NEW LIFE HOMES - 3 SIDEWALK & DRIVEWAY PLAN	
Design Review Committee APPROVE SEP - 3 2004 DESIGN REVIEW COMMITTEE	City Engineer Approval APPROVE DEC - 7 2004 CITY ENGINEER
City Project No. 700182	Zone Map No. K - 10
Sheet 6	of 6

AS-BUILT INFORMATION	
CONTRACTOR WORK STAMPED BY DATE 12/05/05	DATE 12/05/05
BENCHMARKS	
THE STATION IS LOCATED 58' NORTHWEST OF CENTERLINE OF COORS BLVD., AND IS 5.3' EAST OF CENTERLINE OF AIRPORT DR. EXTENDED AND IS 13.5' SOUTHWEST OF A BARBED WIRE FENCE. THE STATION IS AN ACS 3 1/4" ALUM. CAP SET FLUSH IN THE TOP OF CURB AND IS STAMPED "8-K10, 1889" ELEVATION = 5082.145	
DATUM NGVD 1929	
SURVEY INFORMATION	
FIELD NOTES	DATE
BY	
NO.	
ENGINEER'S SEAL	
REMARKS	BY
DESIGN	
REVISIONS	
NO.	DATE
DESIGNED BY S. K. M.	DATE 08/17/2004
DRAWN BY R. M.	DATE 08/17/2004
CHECKED BY S. K. M.	DATE 08/17/2004