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26-7001-83-1a11

SCANNED BY
PLANNING

CONSTRUCTION PLANS FOR NEW LIFE HOMES - 4 ALBUQUERQUE, NEW MEXICO

OCTOBER 2009

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CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Steven K. Morrow, of the firm Brasher and Lorenz, Inc., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by Lenore Armijo NMPS# 15511.

Steven K. Morrow, NMPE 13679

2-24-11
Date



APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY CONSTRUCTION ENGINEER
Paul Olson
DATE: 8-5-2011

07 DRB 70365
PROJECT 1006600

BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro Blvd. NE Bldg. 1, Suite 1300
Albuquerque, New Mexico 87110
Phone: (505) 988-6088 Fax: (505) 988-6188

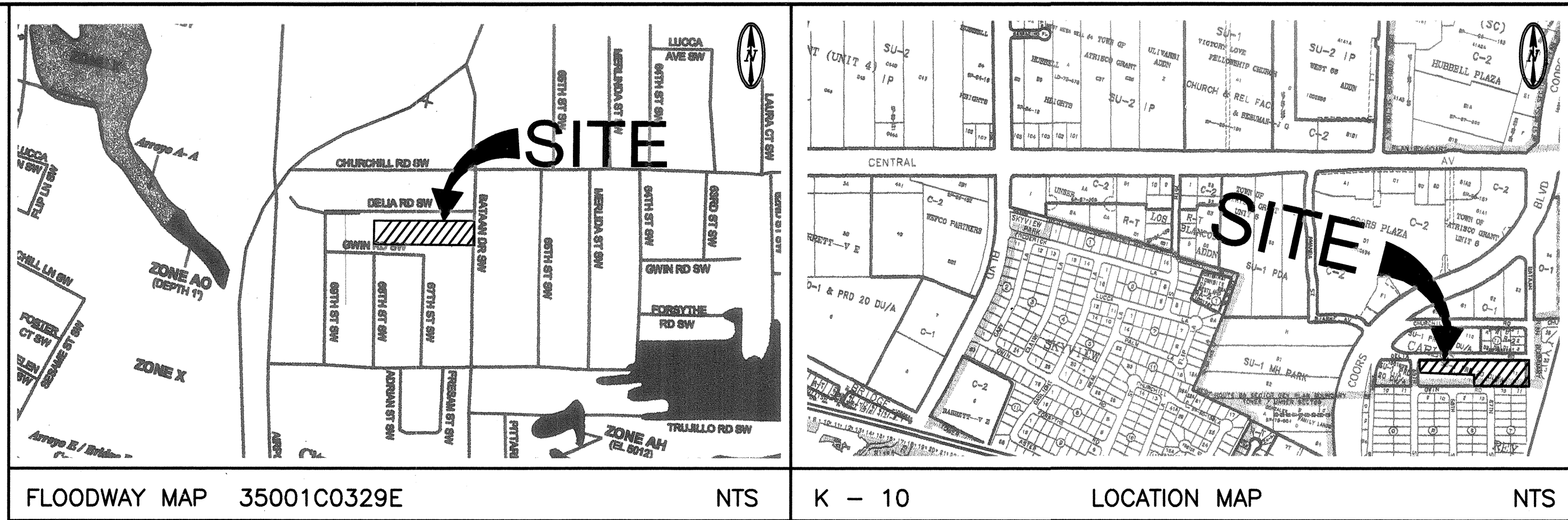


VICINITY MAP: K-10

SCALE: NTS

GENERAL NOTES:

1. CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS AMENDED THROUGH UPDATE 7, INCLUDING AMENDMENT #1, WILL BE REFERRED TO HEREIN AS THE "STANDARD SPECIFICATIONS." ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
2. THREE WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (280-1990) AND DETERMINE LOCATION OF EXISTING UTILITIES.
3. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR THE SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITHOUT DELAY.
4. ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR.
5. THE CONTRACTOR SHALL NOTIFY THE CITY SURVEYOR NOT LESS THAN SEVEN (7) WORKING DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. THE CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MARKER IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
6. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE STANDARD SPECIFICATIONS.
7. ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES 24 HOUR CONSTRUCTION.
8. ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
9. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED BY THE CONTRACTOR WITH HOT THERMOPLASTIC REFLECTORIZED PAVEMENT MARKING. ALL NEW STRIPING SHALL BE HOT THERMOPLASTIC REFLECTORIZED PAVEMENT MARKING.
10. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENTS, PAVEMENT MARKINGS, CURB AND GUTTER, DRIVEPADS, WHEELCHAIR RAMPS AND SIDEWALKS DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE PER THE STANDARD SPECIFICATIONS AT HIS OWN EXPENSE.
11. EXISTING UTILITY LINES AND PIPELINES SHOWN ON THESE DRAWINGS ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. UTILITIES MAY EXIST WHERE NONE ARE SHOWN. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES AND PIPELINES. THE CONTRACTOR IS FULLY RESPONSIBLE FOR DAMAGE CAUSED BY FAILURE TO LOCATE AND PRESERVE EXISTING UTILITY LINES AND PIPELINES.
12. THE CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.
13. THE CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE OWNERS FOR THE PREPARATION OF "RECORD DRAWINGS." THE CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
14. ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY OR EASEMENTS MUST BE DONE FROM APPROVED WORK ORDER DOCUMENTS FROM THE CITY AND PREPARED BY BRASHER AND LORENZ, INC.
15. THE CONTRACTOR SHALL DETERMINE IN ADVANCE OF HIS CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
16. THE CONTRACTOR IS TO SUPPORT AND MAINTAIN THE INTEGRITY OF ALL UNDERGROUND TELEPHONE, ELECTRIC CABLES AND CABLE TELEVISION UTILITIES AT NO ADDITIONAL COST TO THE OWNER. CABLE IS TO BE SUPPORTED EVERY 15 FEET (MINIMUM). CONTRACTOR SHALL COORDINATE WITH AND MAKE NECESSARY PAYMENT (IF ANY) TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES OR SUPPORT OF CABLES BY THE UTILITY OWNER.
17. THE ABCWUA (857-8200) WILL BE NOTIFIED BY THE CONTRACTOR SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK WHICH MAY AFFECT THE EXISTING PUBLIC WATER FACILITIES. REFER TO SECTION 18 OF THE STANDARD SPECIFICATIONS.
18. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
19. ELECTRONIC MARKER BALLS (EMB) WILL BE PLACED ACCORDING TO SECTION 170 OF THE STANDARD SPECIFICATIONS.
20. PRIVATE STREETS REQUIRE STREET NAME SIGNS, STOP SIGNS AND ANY NECESSARY STRIPING (DEVELOPERS RESPONSIBILITY).
21. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL PROJECT HAS BEEN ACCEPTED BY THE COA.



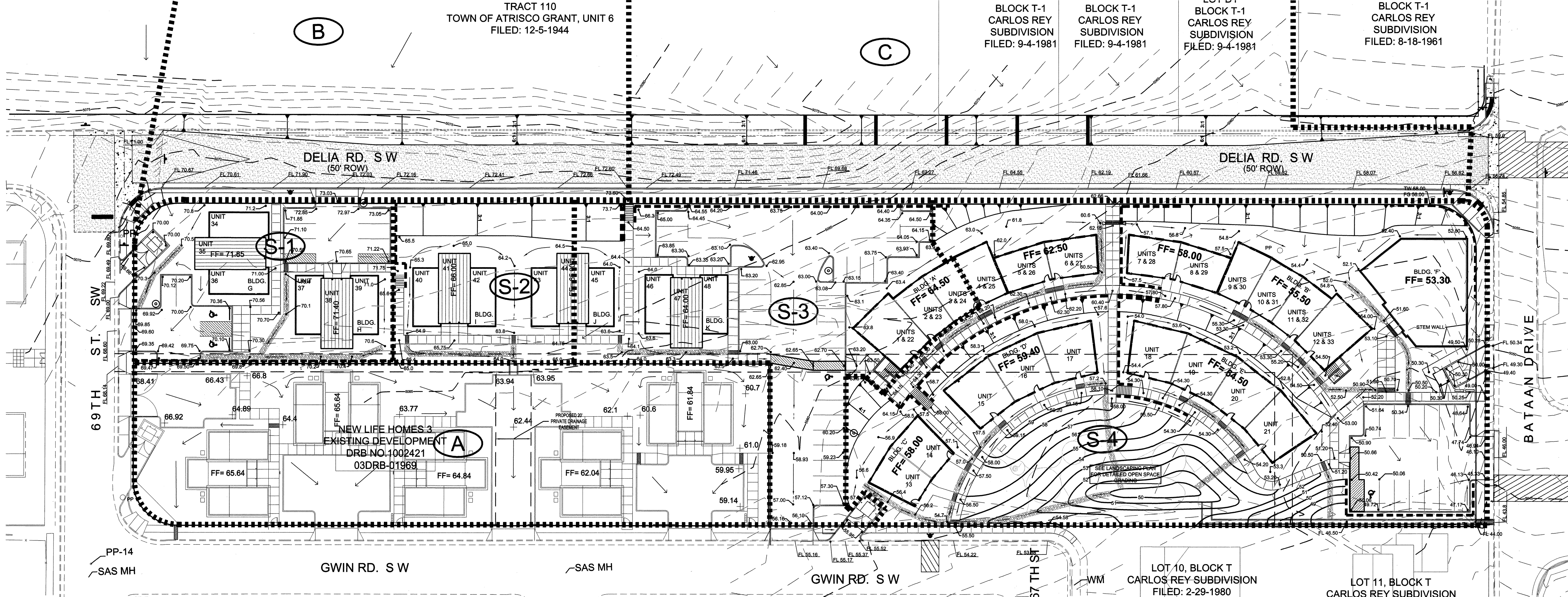
PROPERTY ADDRESS
DELIA RD SW

LEGAL DESCRIPTION
TRACT 111-C
TOWN OF ATRISCO GRANT
UNIT 6

PROJECT BENCHMARK
BENCH MARK: ACS 3 1/4" ALUM. CAP
DISK "S-K10, 1989"
ELEVATION = 5096.432 NAVD 88

SURVEY
SITE MAPPING BY
HARRIS SURVEYING SEPT 2007

- LEGEND**
- 02.5 X EXISTING SPOT ELEVATION
 - 01.5 + PROPOSED SPOT ELEVATION
 - DIRECTION OF FLOW
 - EXISTING STRUCTURE
 - DRAINAGE SWALE
 - - - EXISTING OVERHANG
 - - - PROPOSED STRUCTURE
 - PROPOSED DELIA PAVEMENT
 - EXISTING ASPHALT TO BE REMOVED AND REPLACED
 - x - x EXISTING CHAIN LINK FENCE
 - o - o PROPOSED POST AND CABLE FENCE
 - o EXISTING BOLLARD
 - ☆ EXISTING STREET LIGHT
 - DRAINAGE BASIN DIVIDE
 - - - - - PROPOSED RETAINING WALL



GRADING & DRAINAGE PLAN

PURPOSE AND SCOPE

PURSUANT TO THE ESTABLISHED DRAINAGE ORDINANCE OF THE CITY OF ALBUQUERQUE AND THE DEVELOPMENT PROCESS MANUAL, THIS GRADING AND DRAINAGE PLAN OUTLINES THE DRAINAGE MANAGEMENT CRITERIA FOR CONTROLLING DEVELOPED RUNOFF FROM THE PROJECT SITE. THE PROJECT CONSISTS OF THE CONSTRUCTION OF A 48-UNIT MULTI-FAMILY DEVELOPMENT ON THE 2.4-ACRE SITE. PROPOSED SITE IMPROVEMENTS INCLUDE PAVING, UTILITY, LANDSCAPING, GRADING AND DRAINAGE IMPROVEMENTS. THIS PLAN IS PREPARED TO SUPPORT A BUILDING PERMIT APPLICATION.

EXISTING CONDITIONS

THE PROJECT SITE IS PRESENTLY UNDEVELOPED. THE SITE CONTAINS APPROXIMATELY 2.4-ACRES AND IS DESCRIBED AS TRACT 111-C, TOWN OF ATRISCO GRANT, UNIT 6. THE SITE IS BOUNDED BY 69TH STREET ON THE WEST, BATAAN DRIVE ON THE EAST, DELIA ROAD ON THE NORTH AND GWIN ROAD ON THE SOUTH. THE PROPERTY HAS BEEN DISTURBED BY VEHICLES AND RANDOM TRASH DUMPING. GWIN, 69TH AND BATAAN ROADS ARE IMPROVED PUBLIC ROADWAYS. DELIA ROAD IS UNIMPROVED. PRESENTLY ALL EXCESS RUNOFF DRAINS SOUTH AND EAST TO GWIN ROAD AND BATAAN DRIVE. FLOWS DRAIN TO EXISTING PUBLIC STORM DRAINAGE IMPROVEMENTS LOCATED IN GONZALES ROAD. AN EXISTING 15-UNIT DEVELOPMENT (NEW LIFE HOMES 3) IS LOCATED ADJACENT TO THE SITE. TEMPORARY EROSION CONTROL IMPROVEMENTS ARE PRESENT ON THE SITE CONSTRUCTED TO SUPPORT NEW LIFE HOMES 3.

AS SHOWN BY THE FIRM PANEL FOR THIS AREA, THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE PLAN, THE PROPERTY IS TO BE DEVELOPED AS A 48-UNIT MULTI-FAMILY COMPLEX, WITH ASSOCIATED ACCESS, DRAINAGE, GRADING, UTILITY AND LANDSCAPING IMPROVEMENTS. ALL RUNOFF FROM THE SITE WILL DRAIN TO GWIN ROAD AND BATAAN DRIVE, CONTINUING SOUTH TO EXISTING STORM DRAINAGE IMPROVEMENTS LOCATED IN GONZALES ROAD. DUE TO THE INFILL NATURE OF THIS PROJECT, FREE DISCHARGE OF EXCESS RUNOFF IS APPROPRIATE. NEW LIFE HOMES 4 WILL BE INTEGRATED INTO NEW LIFE HOMES 3, SHARING ACCESS, DRAINAGE AND UTILITY IMPROVEMENTS. ACCESS, DRAINAGE AND UTILITY EASEMENTS WILL BE GRANTED AS REQUIRED. DELIA ROAD WILL BE IMPROVED ALONG THE PROJECT FRONTAGE FROM 69TH STREET TO BATAAN DRIVE.

TEMPORARY EROSION CONTROL

TEMPORARY EROSION CONTROL MEASURES WILL BE IMPLEMENTED DURING CONSTRUCTION TO LIMIT THE DISCHARGE OF SEDIMENT FROM THE SITE TO ADJACENT PROPERTIES. A COMPREHENSIVE STORM WATER POLLUTION PREVENTION PLAN WILL BE PREPARED PRIOR TO CONSTRUCTION.

CALCULATIONS

THE CALCULATIONS SHOWN HEREON DEFINE THE 100-YEAR/6 HOUR DESIGN STORM IMPACTING THE SITE AND CONTRIBUTING OFF-SITE DRAINAGE BASINS UNDER EXISTING AND DEVELOPED CONDITIONS. THE AHYMO METHOD OF ESTIMATING PEAK RUNOFF IS PRESENTED AS OUTLINED IN THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, SECTION 22.2, PART 'A', UPDATED JULY 1997.

**FOR INFORMATION ONLY
NOT IN CONTRACT**

PROJECT HYDROLOGY								
AHYMO								
ZONE:	1							
P ₁₀ HOUR	2.20"							
P ₁₀ DAY	3.67"							
NEW LIFE HOMES 4								
UNDEVELOPED:								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
SITE	2.43	0.00	0.00	2.43	0.00	0.99	7.0	0.200
A	0.74	0.00	0.15	0.15	0.44	1.50	2.6	0.092
B	1.58	0.00	0.00	1.58	0.00	0.99	4.5	0.130
C	1.96	0.00	0.00	1.96	0.00	0.99	5.6	0.162
DEVELOPED (PROPOSED):								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
S-1	0.30	0.00	0.00	0.09	0.21	1.67	1.1	0.041
S-2	0.21	0.00	0.00	0.11	0.10	1.45	0.7	0.025
S-3	0.52	0.00	0.00	0.05	0.47	1.87	2.1	0.081
S-4	1.40	0.00	0.00	0.56	0.84	1.57	5.2	0.184
SITE	2.43	0.00	0.00	0.81	1.62	1.64	9.4	0.332
A	0.74	0.00	0.15	0.15	0.44	1.50	2.6	0.092
B	1.58	0.00	0.00	0.63	0.95	1.57	5.9	0.207
C	1.96	0.00	0.00	0.78	1.18	1.58	7.3	0.258

- DRAINAGE PLAN NOTES**
- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
 - This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
 - Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
 - This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
 - Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the Contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
 - BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
 - The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
 - All spot elevations are top of pavement unless noted otherwise.

ALL ACCESSIBLE IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. FAILURE TO DO SO MAY RESULT IN REJECTION OF CERTIFICATE OF OCCUPANCY.

REVISIONS

BRASHER & LORENZ CONSULTING ENGINEERS
Professional Engineer License No. 10000
Albuquerque, New Mexico 87110
Phone: (505) 884-4888 Fax: (505) 884-4188

GARRETT SMITH LTD
DESIGN, ARCHITECTURE & DEVELOPMENT

NEW LIFE HOMES - 4
ALBUQUERQUE NEW MEXICO

GRADING AND DRAINAGE PLAN

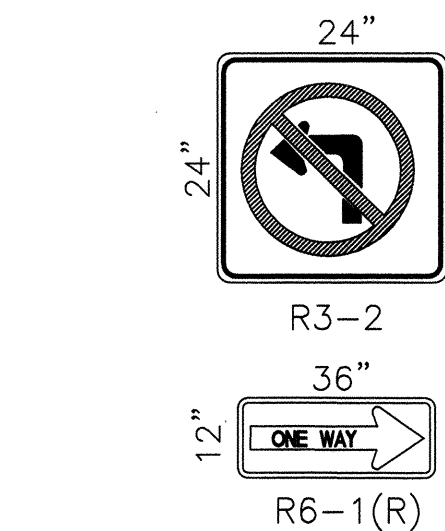
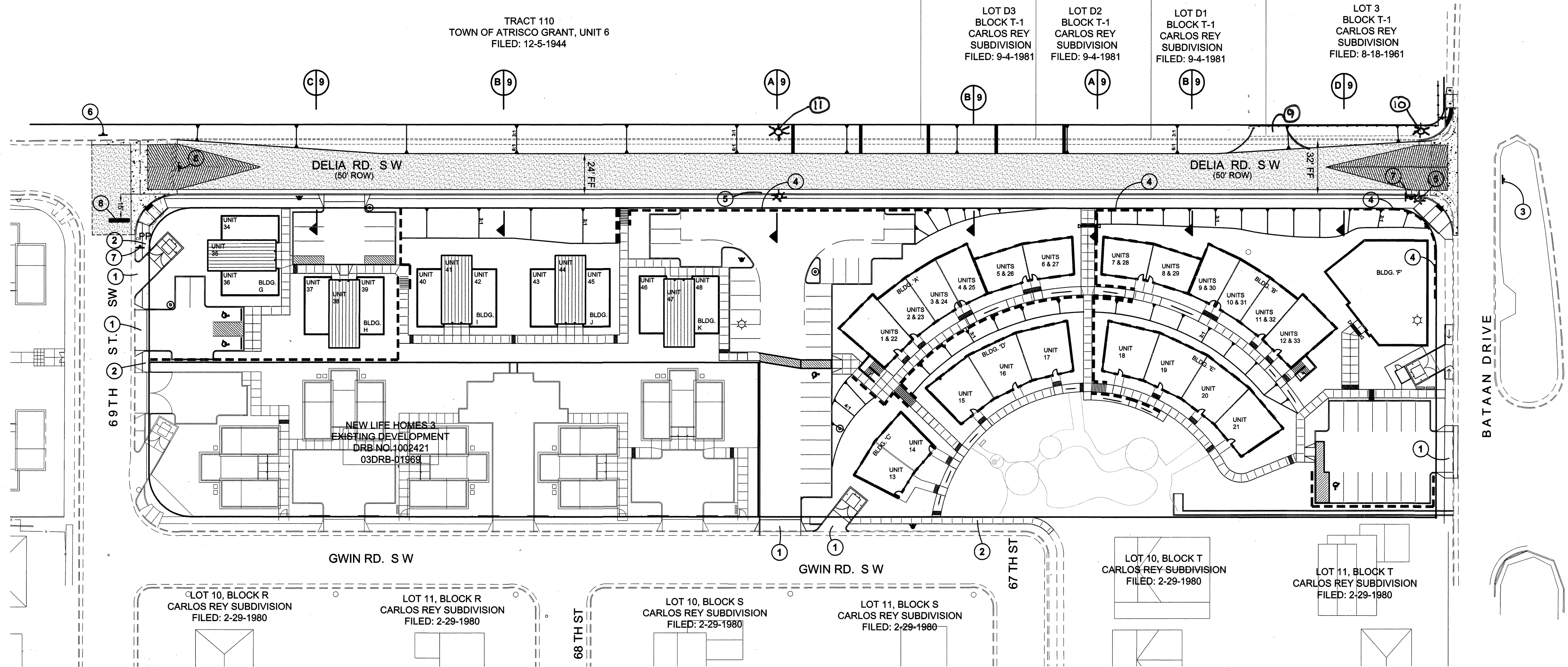
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1" = 30'

PROJECT NO.:
07522

DATE:
10-31-2007

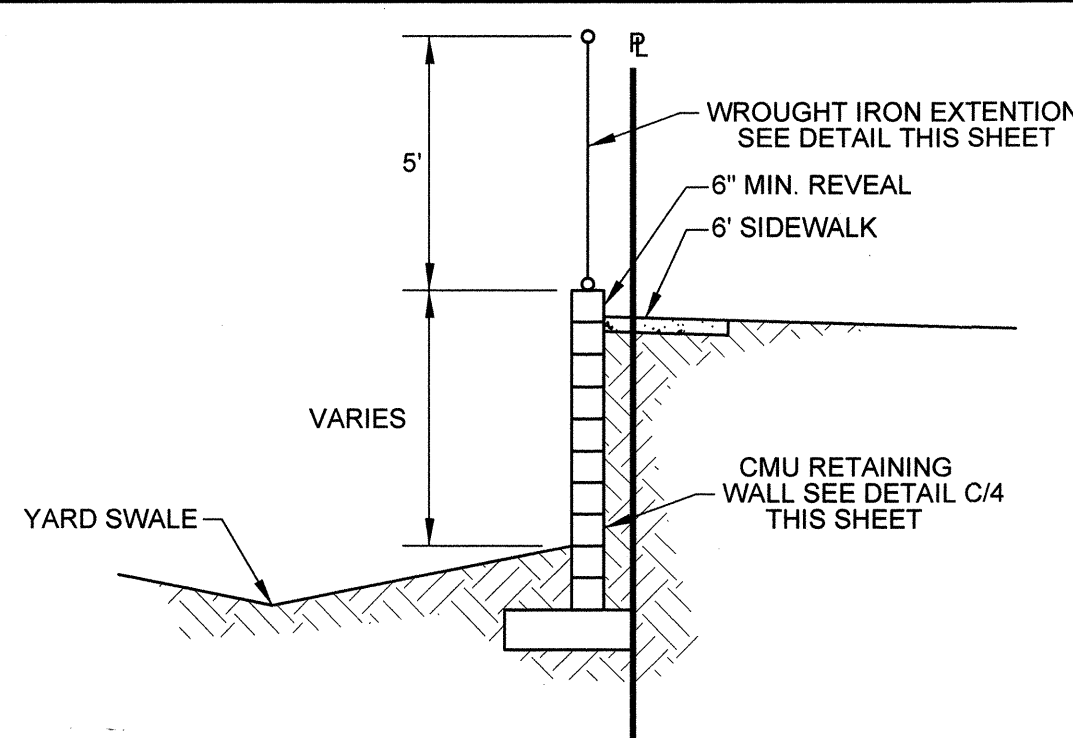
SHT:
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C.P.N.: 700183



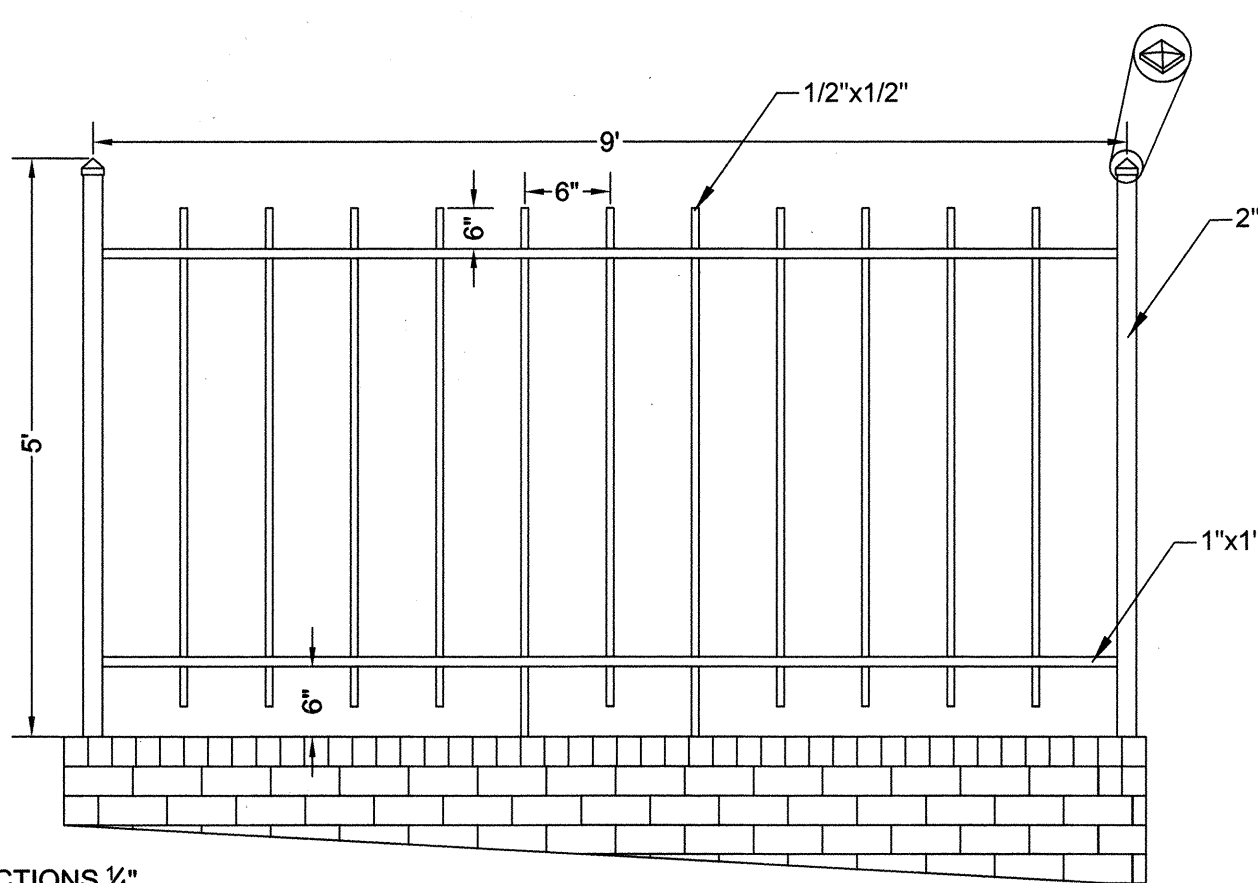
SIGNAGE DETAIL
NTS

A
4



RETAINING WALL SECTION
NTS

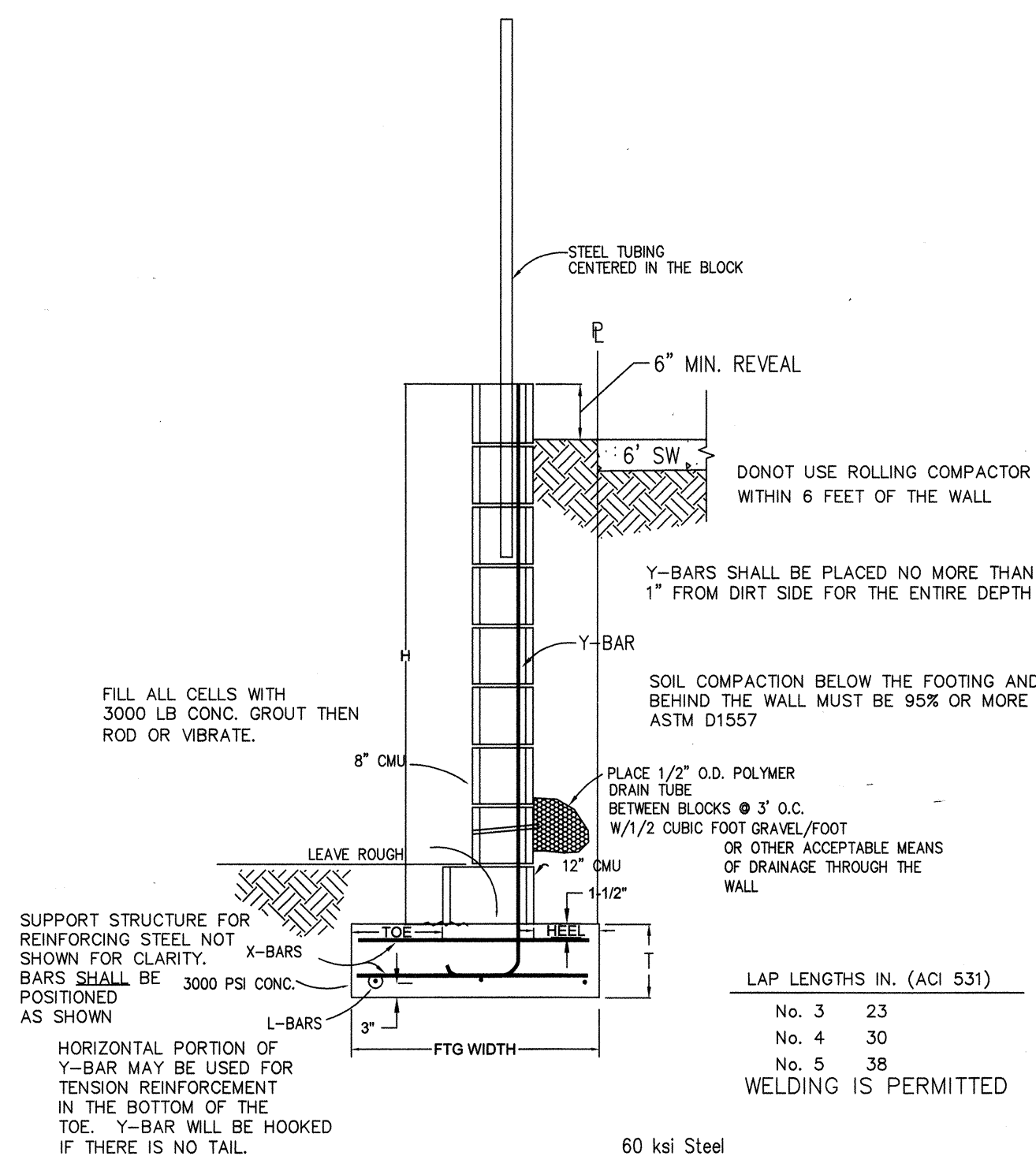
B
4



NOTE:
ALL CONNECTIONS 1/4" FILLET WELDS

WROUGHT IRON FENCE DETAIL
NTS

D
4



RETAINING WALL SECTION
NTS

C
4

NOTE:
PRIVATE RETAINING WALL AND WROUGHT IRON FENCE ARE TO BE CONSTRUCTED BY BUILDING PERMIT. ALL DETAILS ARE SHOWN FOR INFORMATION ONLY AND ARE NOT IN THIS CONTRACT.

COURSE	HEIGHT (ft)	FTG THICK (ft)	KEY (ft)	TOT (in.)	REFL	Y-Bar	X-Bar	L-Bar	8' Block	12' Block	FTG Width
2	1'-4"	10"	3"	6"	0'-5"	#3048"	#3048"	2-#4	2	0	1'-7"
3	2'-0"	10"	3"	6"	0'-5"	#3048"	#3048"	2-#4	3	0	1'-7"
4	2'-8"	10"	6"	8"	0'-8"	#4040"	#3040"	2-#5	4	0	1'-10"
5	3'-4"	10"	6"	11"	0'-8"	#3024"	#3024"	2-#5	5	0	2'-3"
6	4'-0"	10"	8"	1'-3"	0'-8"	#4032"	#3032"	2-#5	6	0	2'-7"
7	4'-8"	10"	12"	1'-7"	0'-8"	#4024"	#3024"	2-#5, 1-#3	7	0	2'-11"
8	5'-4"	10"	14"	2'-0"	0'-8"	#5024"	#3024"	3-#5	8	0	3'-3"
9	6'-0"	10"	14"	1'-11"	0'-8"	#5024"	#3024"	3-#5	8	1	3'-7"
10	6'-8"	10"	18"	2'-3"	0'-8"	#5024"	#3024"	3-#5	8	2	3'-9"
11	7'-4"	10"	22"	2'-7"	0'-8"	#5016"	#3016"	3-#5	8	3	4'-3"
12	8'-0"	10"	24"	3'-2"	0'-8"	#5016"	#3016"	3-#5, 1-#3	8	4	4'-10"

LEGEND

ITEM	EXISTING	PROPOSED
FUTURE CURB AND GUTTER		
CURB AND GUTTER		
HEADER CURB		
DROP INLET		
RIGHT OF WAY		
EASEMENT		
POWER POLE (GUYYED)		
CENTERLINE		
BLOCK WALL		
ASPHALT PAVING		
CHAIN LINK FENCE		
3:1 SLOPE		
HANDICAP RAMP		
STREET LIGHT		
RETAINING WALL		

STREET PAVING
PLAN KEY

STREET	SHEET NO.
DELIA RD SW	6

KEYED NOTES

1. DRIVEPAD PER BUILDING PERMIT - NIC.
2. 4' SIDEWALK PER BUILDING PERMIT - NIC.
3. INSTALL SIGNAGE PER PER DETAIL A/4 THIS SHEET.
4. RETAINING WALL AND FENCE PER DETAILS B/4, C/4 AND D/4 - NIC.
5. STREET LIGHT (TYP) TO BE INSTALLED BY PMM DELETED FROM PROJECT.
6. REMOVE AND SALVAGE EXISTING SIGNS.
7. NEW STOP SIGN.
8. INSTALL 2' WIDE STOP BAR.
9. DRIVEPAD FOR DUMPSTER ADDED (ASPHALT).
- *N.I.C. - NOT IN CONTRACT
10. STREET LIGHT ADDED TO PROJECT.
11. STREET LIGHT (FUTURE) TO BE CONSTRUCTED WHEN NORTH HALF OF DELIA IS BUILT.

1 inch = 40 ft.

RECORD DRAWING

DATUM NAVD 1988

BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro Blvd. NE Bldg. 1, Suite 1300
Albuquerque, New Mexico 87110
Phone: (505) 888-6088 Fax: (505) 888-6188

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

NEW LIFE HOMES - 4
STREET PAVING LAYOUT

Design Review Committee
APPROVED
NOV 25 2009
DESIGN REVIEW COMMITTEE

City Engineer Approval
APPROVED
APR 15 2010
CITY ENGINEER

Mo./Day/Yr.	Mo./Day/Yr.

City Project No. 700183

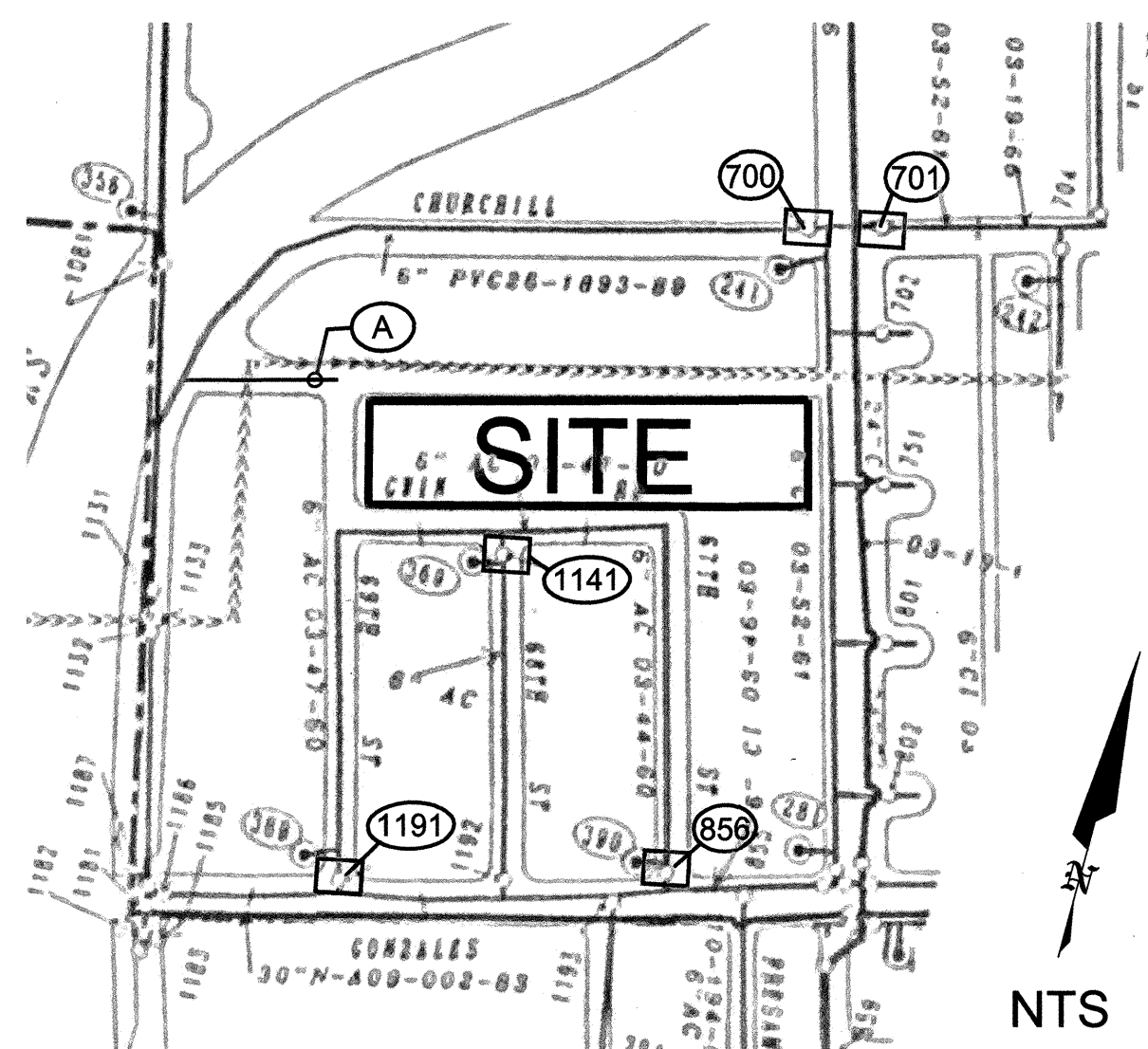
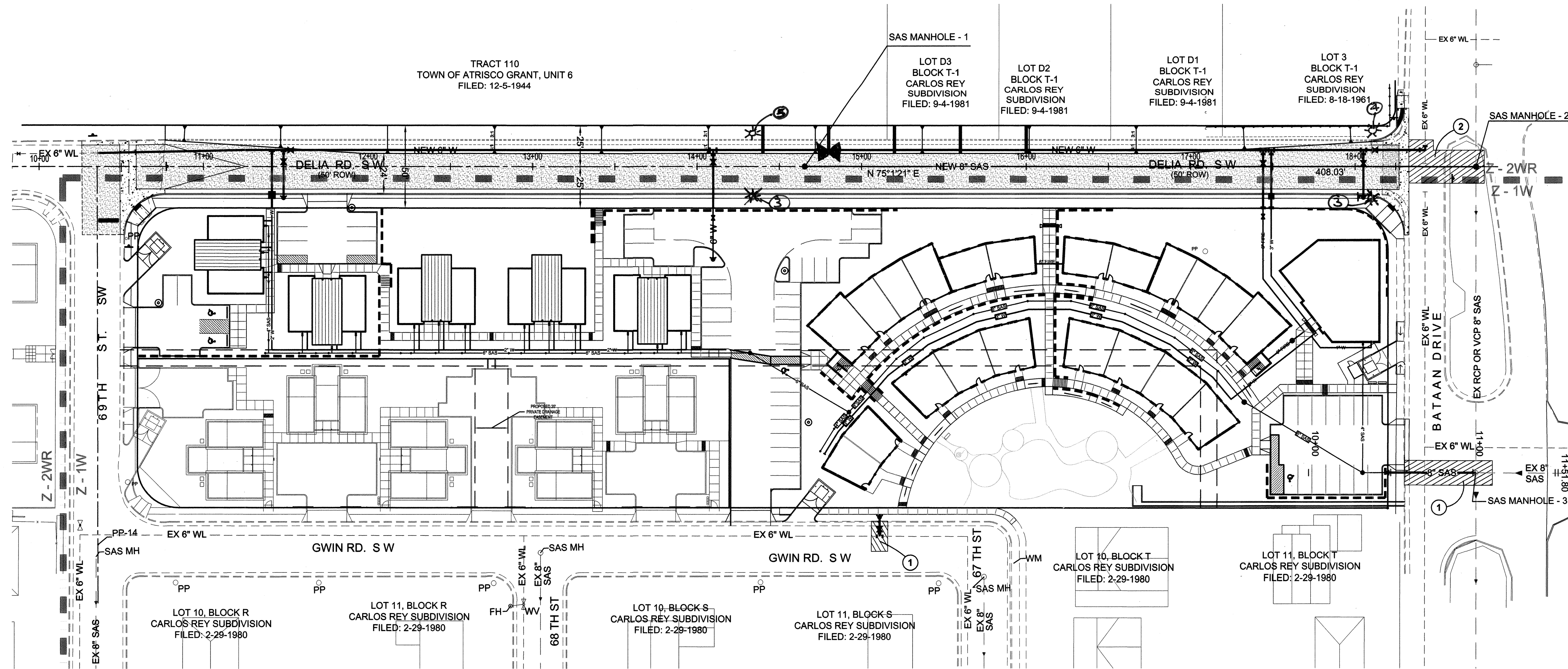
Zone Map No. K-10 Sheet 4 of 109

AS-BUILT INFORMATION
CONTRACTOR: General A. Norton
WORK: Street Paving & Layout
INSPECTORS: DATE: 10-11-10
ACCEPTANCE BY: DATE: 11-11-10
VERIFICATION BY: DATE: 11-11-10
DRAWINGS BY: DATE: 11-11-10
CORRECTED BY: DATE: 11-11-10
MICRO-FILM INFORMATION
DATE:

BENCHMARKS
ACS MONUMENT "S" - K10" EL. = 5096.432 NAVD 1988
ACS MONUMENT "11" - K10" EL. = 5046.03 NAVD 1988

SURVEY INFORMATION
FIELD NOTES
NO. BY DATE

ENGINEER'S SEAL
BY DATE
REVISIONS
DESIGN
NO. DATE
DESIGNED BY: D.A.L. DATE: 10-2009
DRAWN BY: FUG DATE: 10-2009
CHECKED BY: D.A.L. DATE: 10-2009



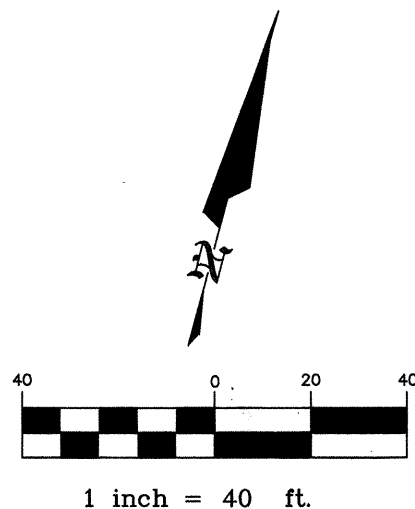
WATER SHUT OFF PLAN

1. ALL VALVES HYDRANTS AND APPURTENANCES OF THE ABCWUA WATER SYSTEM SHALL BE OPERATED BY CITY PERSONNEL ONLY.
2. THE CONTRACTOR SHALL PROVIDE THE ABCWUA 7 WORKING DAYS PRIOR NOTICE OF THE NEED FOR SYSTEM SHUTDOWN. CALL 857-8200.
3. NON-PRESSURIZED CONNECTION TO THE 6 - INCH LINE IN DELIA ROAD S.W. REQUIRES CLOSING VALVE No 'A' AS SHOWN ON PLAN.
4. NON-PRESSURIZED CONNECTION TO THE 6\"/>

LEGEND		
ITEM	EXISTING	PROPOSED
WATERLINE	8\"/>	8\"/>
SANITARY SEWER	8\"/>	8\"/>
UNDERGROUND ELEC. GAS, TEL, TV	GAS	GAS
CENTERLINE		
RIGHT OF WAY		
EASEMENT		
BLOCK WALL		
ASPHALT PAVING		
CHAIN LINK FENCE		
SINGLE WATER SERVICE		
FIRE HYDRANT		
MANHOLE		
WATER VALVE		
WATER ZONE DIVISION		
STREET LIGHT		

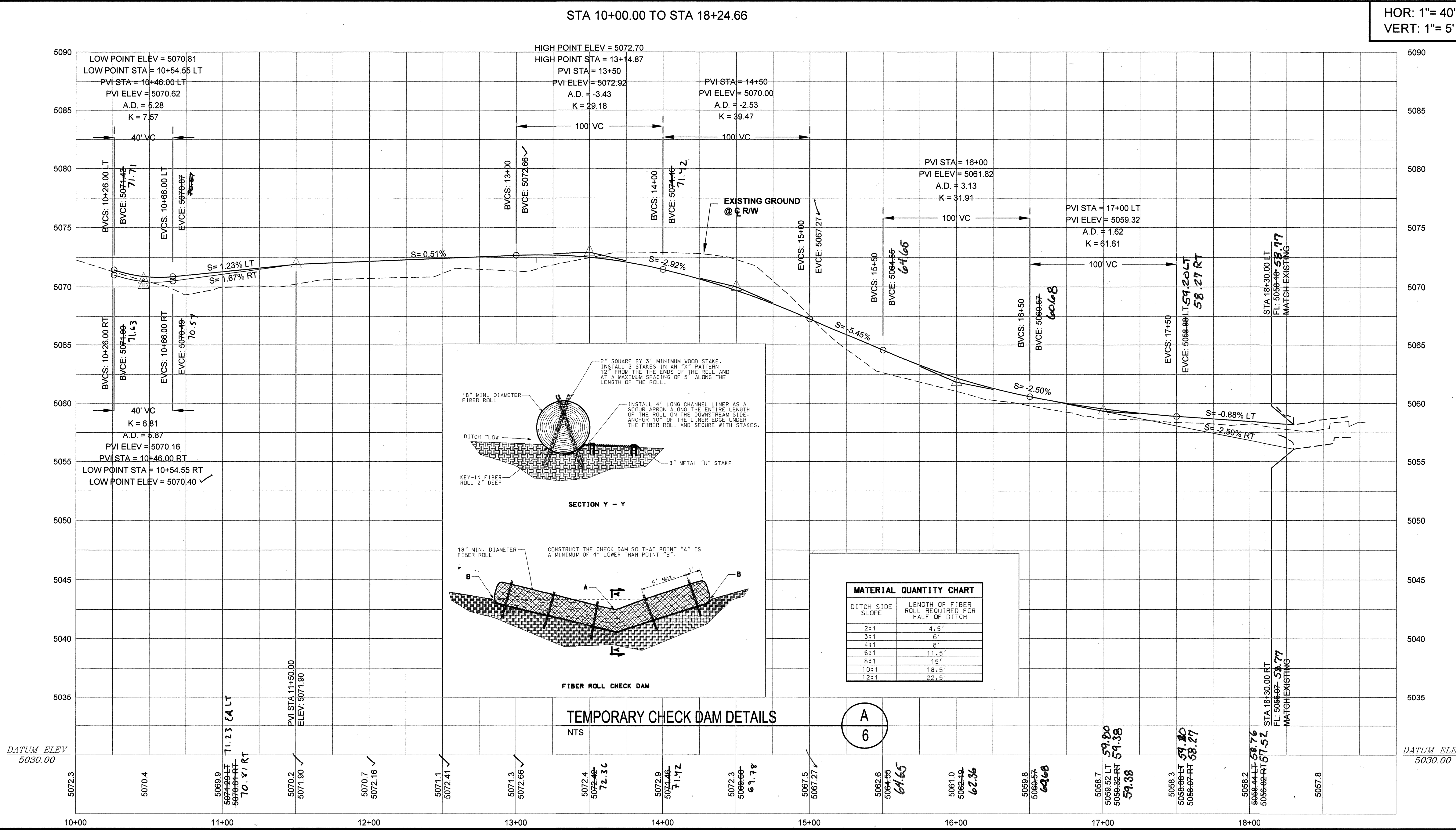
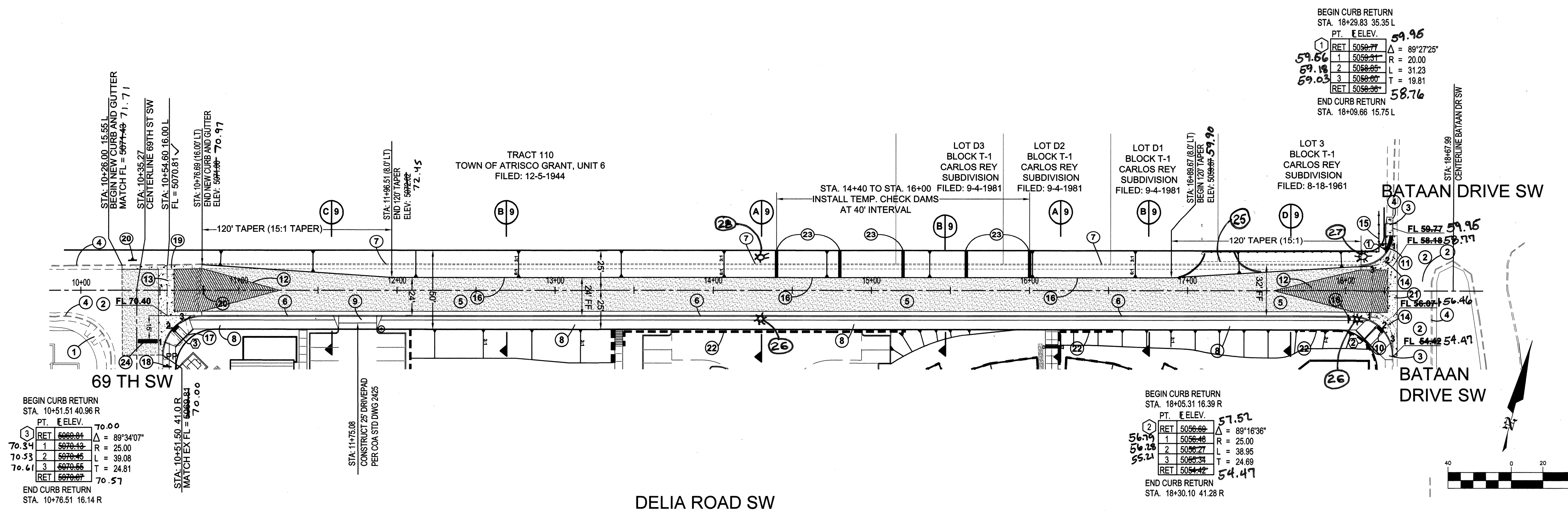
WATER AND SEWER PLAN KEY	
STREET	SHEET NO.
DELIA RD SW	7
BATAAN DR	8

- KEYED NOTES
1. REMOVE & REPLACE ASPHALT PAVING PER COA STD DWG 2465 REMOVE & REPLACE STD CURB & GUTTER PER COA STD DWG 2415A
 2. REMOVE & REPLACE ASPHALT PAVING PER COA STD DWG 2465 REMOVE & REPLACE MEDIAN CURB & GUTTER PER COA STD DWG 2415A
 3. STREET LIGHT DELETED FROM PROJECT
 4. STREET LIGHT ADDED TO PROJECT
 5. STREET LIGHT (FUTURE) TO BE INSTALLED WHEN NORTH HALF OF DELIA IS CONSTRUCTED



DATUM NAVD 1988	
BRASHER & LORENZ CONSULTING ENGINEERS 2201 San Pedro Blvd. NE Bldg. 1, Suite 1300 Albuquerque, New Mexico 87110 Phone: (505) 888-6188 Fax: (505) 888-6186	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
NEW LIFE HOMES - 4 WATER AND SEWER LAYOUT	
Design Review Committee APPROVE NOV 25 2009 DESIGN REVIEW COMMITTEE	City Engineer Approval APPROVE APR 15 2010 CITY ENGINEER
City Project No. 700183	Zone Map No. K-10 of 5 109

RECORD DRAWING



LEGEND

ITEM	EXISTING	PROPOSED
WATERLINE	8" WL	8" W
SANITARY SEWER	8" SAS	8" SAS
UNDERGROUND ELEC.	GAS	GAS
CENTERLINE		
RIGHT OF WAY		
EASEMENT		
BLOCK WALL		
ASPHALT PAVING		
CHAIN LINK FENCE		
SINGLE WATER SERVICE		
FIRE HYDRANT		
MANHOLE		
WATER VALVE		
STREET LIGHT		

KEYED NOTES

- EXISTING HANDICAP RAMP
- EXISTING ASPHALT
- EXISTING SIDEWALK
- EXISTING STANDARD CURB & GUTTER
- NEW ASPHALT PAVEMENT
- NEW STANDARD CURB & GUTTER PER COA STD DWG 2415A
- FUTURE STANDARD CURB & GUTTER
- NEW 6" SIDEWALK PER COA STD DWG 2430
- NEW 24" DRIVEPAD PER COA STD DWG 2425
- NEW HANDICAP RAMP PER DETAIL (18)
- NEW HANDICAP RAMP PER DETAIL (18)
- 50' CROWN TRANSITION PER COA STD DWG 2401
- NEW 10" WIDE VALLEY GUTTER PER COA STD DWG 2422
- EXISTING CURB RETURN AND RAMP TO BE REMOVED
- EXISTING STOP SIGN TO REMAIN
- PROVIDE 4" WIDE SOLID WHITE STRIPE AT EDGE OF PAVEMENT NORTH SIDE ONLY
- REMOVE AND DISPOSE EXISTING CURB, H/C RAMP AND BOLLARDS. CONSTRUCT NEW CURB AND H/C RAMP PER DETAIL (18)
- INSTALL STOP SIGN
- REMOVE AND DISPOSE 50' L.F. OF EXISTING CONCRETE CURB AND GUTTER. REPLACE WITH WITH NEW CURB AND GUTTER PER COA STD DWG 2415A
- REMOVE AND SALVAGE EXISTING SIGN
- INSTALL 6" VALLEY GUTTER PER COA STD DWG 2420
- RETAINING WALL AND FENCE BY BUILDING PERMIT - NIC.
- INSTALL TEMPORARY CHECK DAM AT 40' INTERVALS. REF. DETAIL THIS SHEET.
- INSTALL 2" WIDE STOP BAR
25. DRIVE PAD FOR DUMPSTER ADDED (ASPHALT)
- N.I.C. - NOT IN CONTRACT
26. STREET LIGHT DELETED FROM PROJECT
27. STREET LIGHT ADDED TO PROJECT
28. STREET LIGHT (FUTURE) TO BE INSTALLED WHEN NORTH HALF OF DELIA IS CONSTRUCTED.

AS-BUILT INFORMATION

CONTRACTOR: Gerald, Mexico
WORK: Brasher Lorenz
INSPECTORS: DATE: 11/10/12
ACCEPTANCE BY: Brasher Lorenz DATE: 3/11
VERIFICATION BY: Brasher Lorenz DATE: 3/11
DRAWINGS: DATE: 3/11
CORRECTED BY: Brasher Lorenz DATE: 3/11

BENCHMARKS

ACS MONUMENT "5" - K10' EL = 5096.432 NAVD 1988
ACS MONUMENT "11" - K10' EL = 5046.03 NAVD 1988

SURVEY INFORMATION

FIELD NOTES
DATE: BY: NO:

ENGINEER'S SEAL

BY: NO. DATE: REMARKS: REVISIONS: DESIGN: DATE 10-2009 D.A.L. DATE 10-2009 FUG DATE 10-2009 D.A.L.

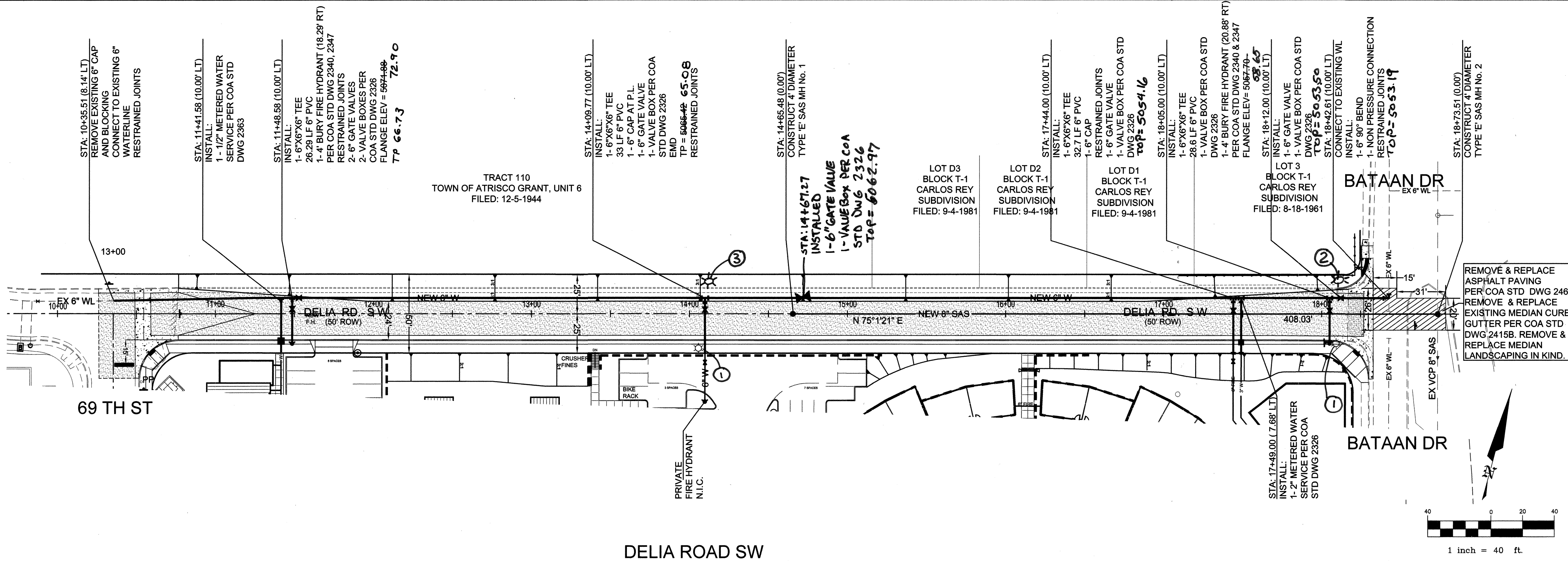
DATUM NAVD 1988

BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro Blvd. NE Bldg. 1, Suite 1300
Albuquerque, New Mexico 87110
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

NEW LIFE HOMES - 4
DELIA ROAD SW PLAN AND PROFILE

Design Review Committee: APPROVED NOV 25 2009
City Engineer Approval: APPROVED APR 15 2010
City Project No. 700183
Zone Map No. K-10
Sheet 6 of 9



LEGEND

ITEM	EXISTING	PROPOSED
WATERLINE	8" WL	8" W
SANITARY SEWER	8" SAS	8" SAS
UNDERGROUND ELEC, GAS, TEL, TV	---	---
CENTERLINE	---	---
RIGHT OF WAY	---	---
EASEMENT	---	---
BLOCK WALL	---	---
ASPHALT PAVING	---	---
CHAIN LINK FENCE	---	---
SINGLE WATER SERVICE	---	---
FIRE HYDRANT	---	---
MANHOLE	---	---
WATER VALVE	---	---

RESTRAINED JOINT LENGTH TABLE

1. TEE-BRANCH - EACH PIPE RUN SHALL BE MINIMUM 10' WITHOUT JOINTS.
2. DISTANCES SHOWN ARE IN EACH DIRECTION FOR VALVES AND BENDS.
3. ALL DEAD END CAPS SHALL BE BLOCKED.

SIZE	90°	45°	22-1/2°	11-1/4°	TEE	VALVE
4"	21'	9'	5'	3'	21'	52'
6"	26'	11'	6'	3'	37'	74'
8"	31'	13'	7'	4'	54'	94'
10"	34'	15'	7'	4'	69'	107'
12"	54'	23'	11'	6'	85'	120'

NOTES

1. FIRE HYDRANT OFFSETS ARE TO CENTER OF HYDRANT OPERATING NUT.

KEYED NOTES

1. STREET LIGHT DELETED FROM PROJECT.
2. STREET LIGHT ADDED TO PROJECT.
3. STREET LIGHT (FUND) TO BE INSTALLED WHEN NORTH HALF OF DELIA IS CONSTRUCTED.

DATUM NAVD 1988

BRASHER & LORENZ
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
NEW LIFE HOMES - 4
DELIA ROAD SW
WATER AND SEWER PLAN & PROFILE

Design Review Committee
APPROVE
NOV 2 5 2009
DESIGN REVIEW COMMITTEE

City Engineer Approval
APPROVE
APR 1 5 2010
CITY ENGINEER

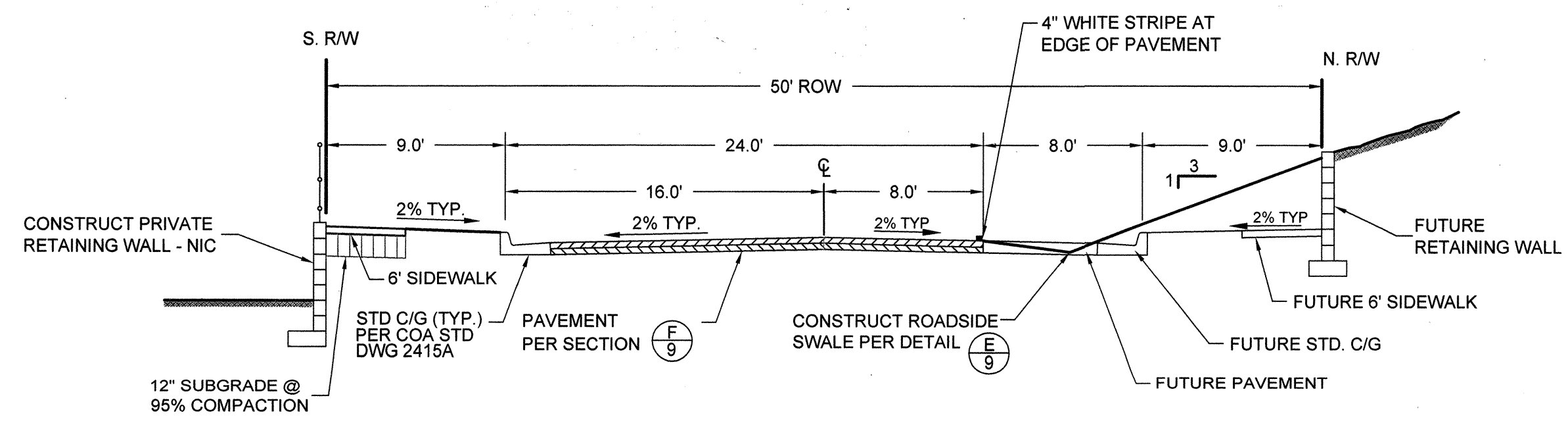
Mo./Day/Yr.
Last Design Update

Mo./Day/Yr.
Date

City Project No. **700183**

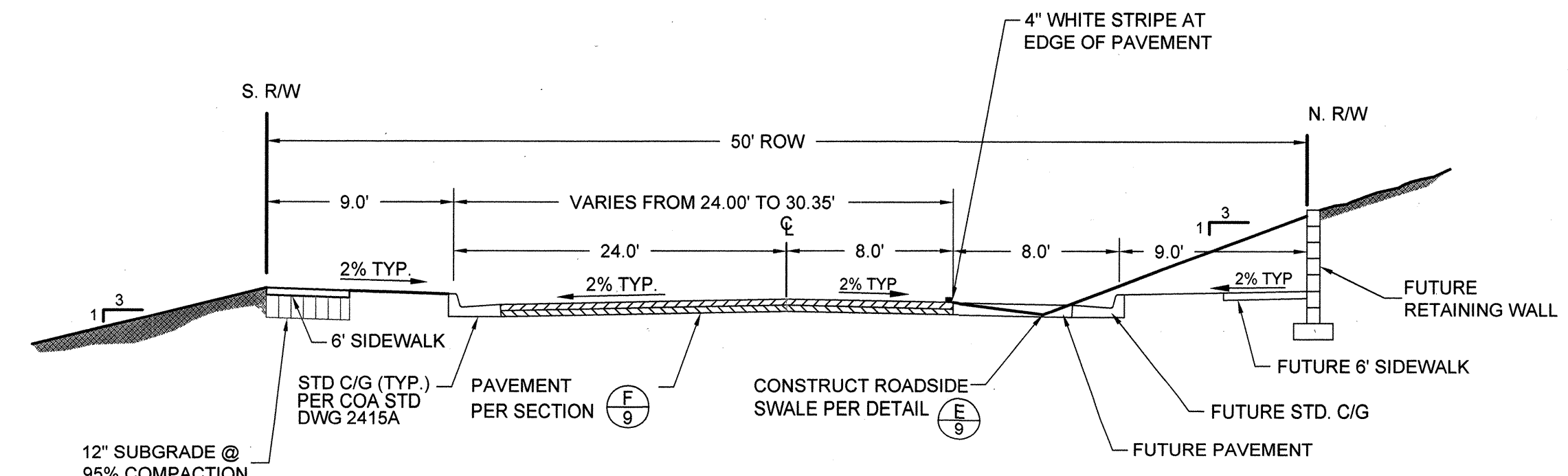
Zone Map No. **K-10**

Sheet **7** of **9**



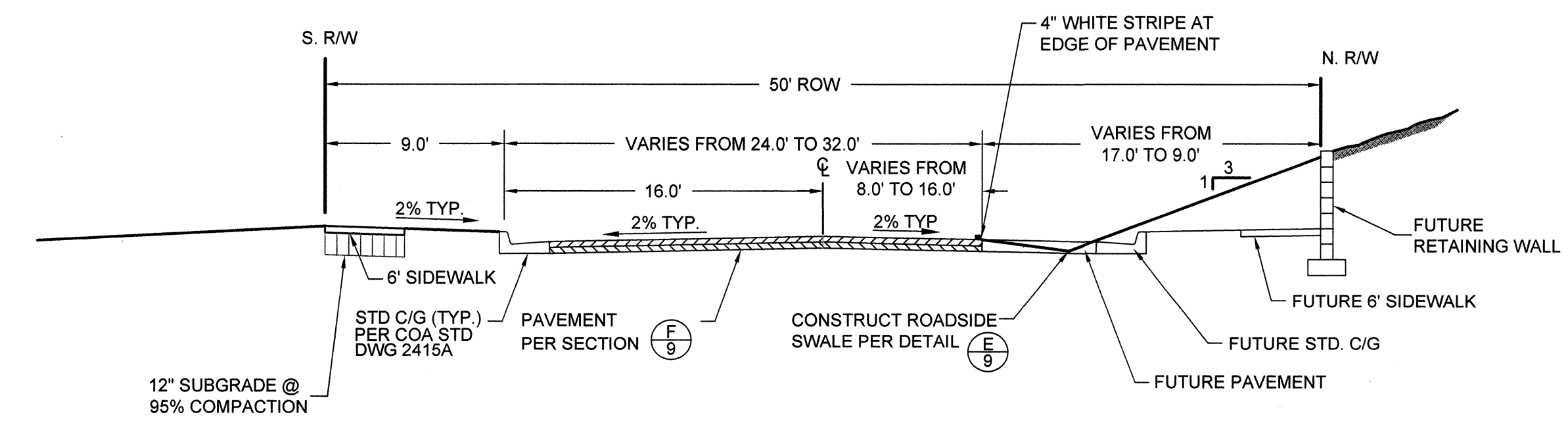
DELIA ROAD SECTION
NTS

A
9



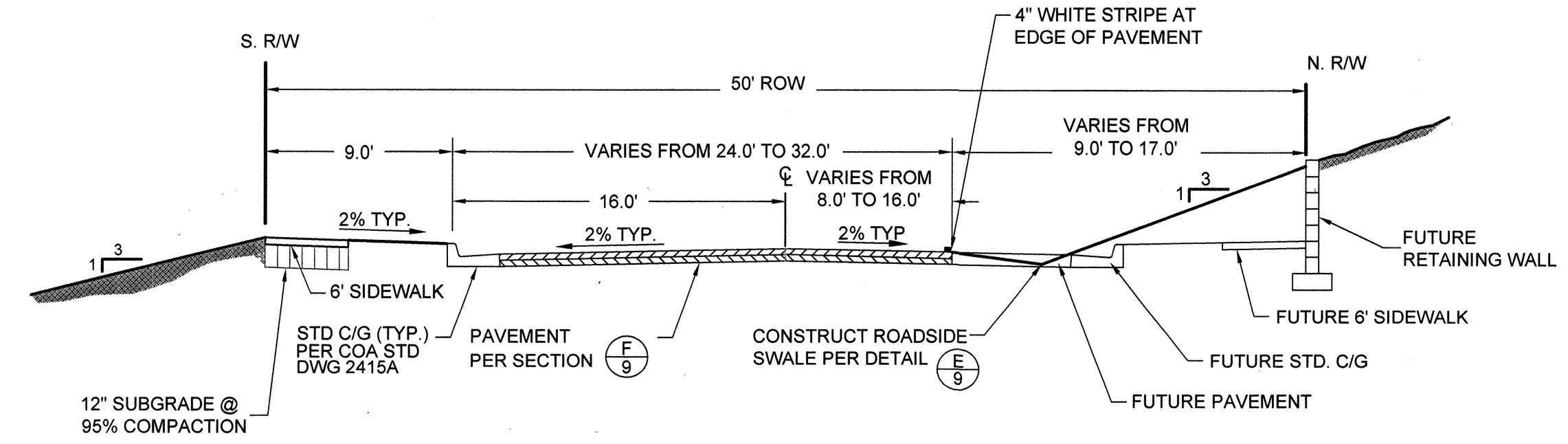
DELIA ROAD SECTION
NTS

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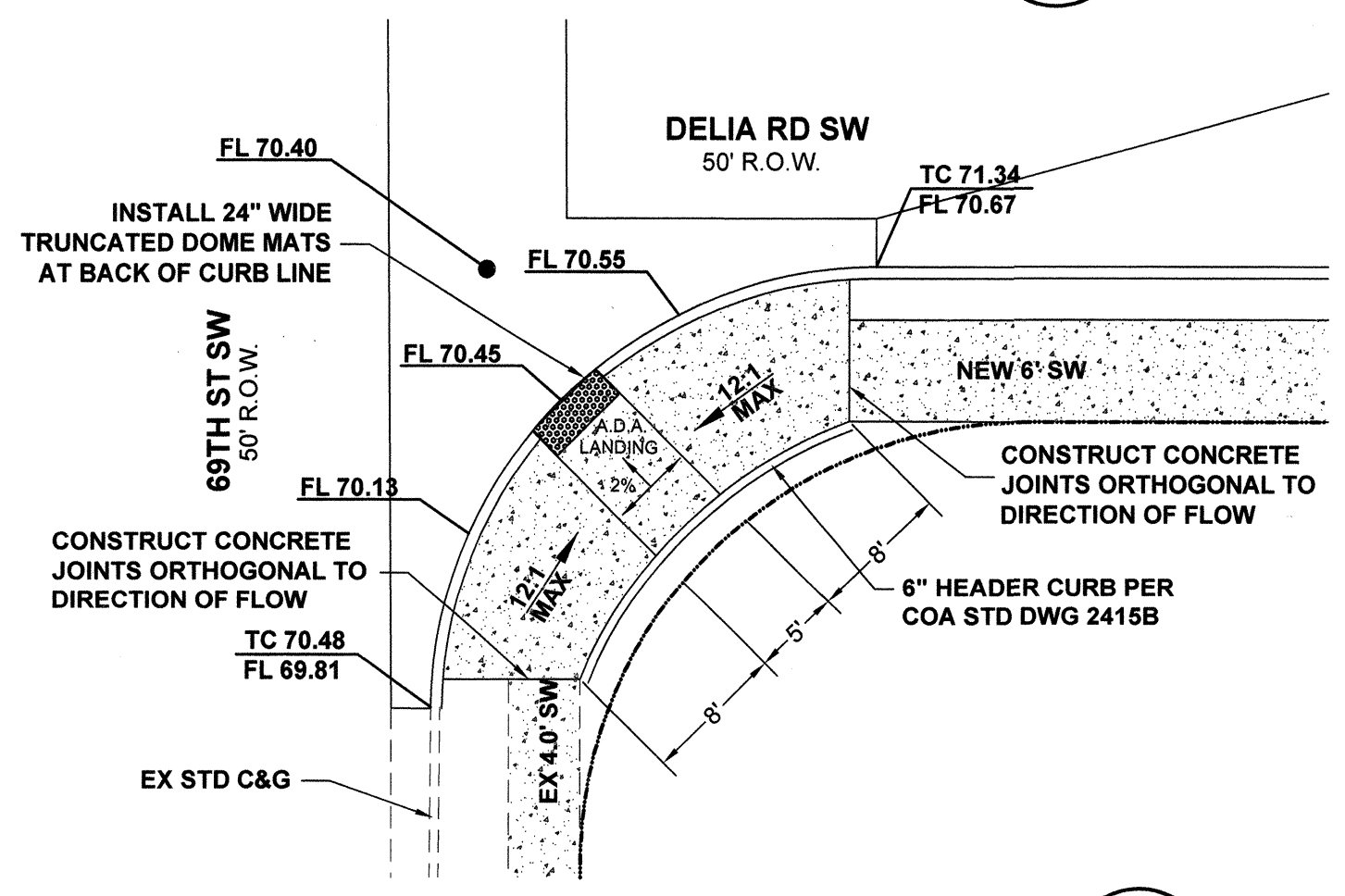
DELIA ROAD SECTION AT TAPER
NTS

C
9



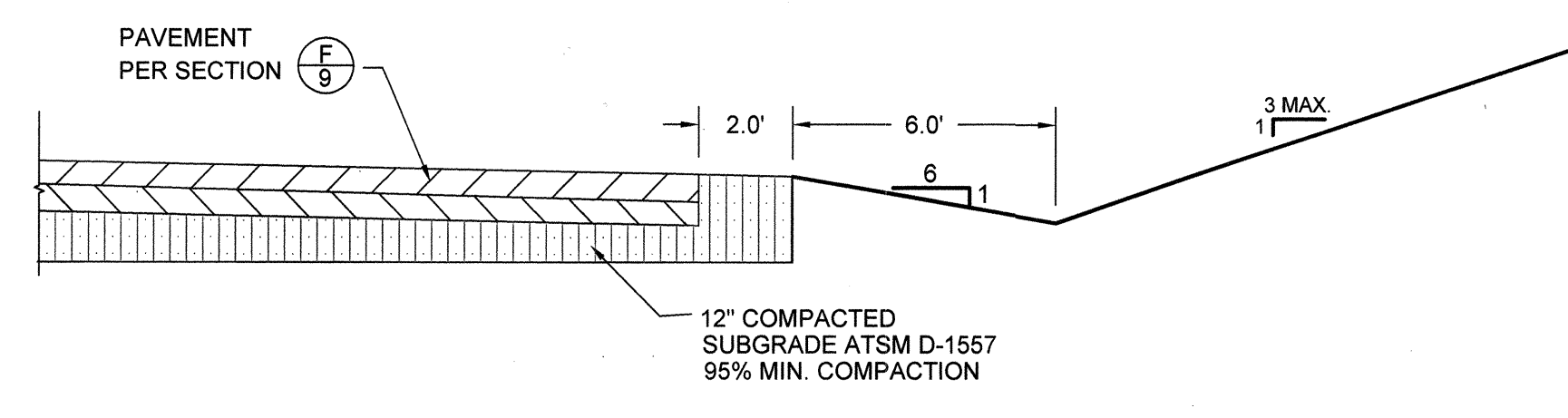
DELIA ROAD SECTION AT TAPER
NTS

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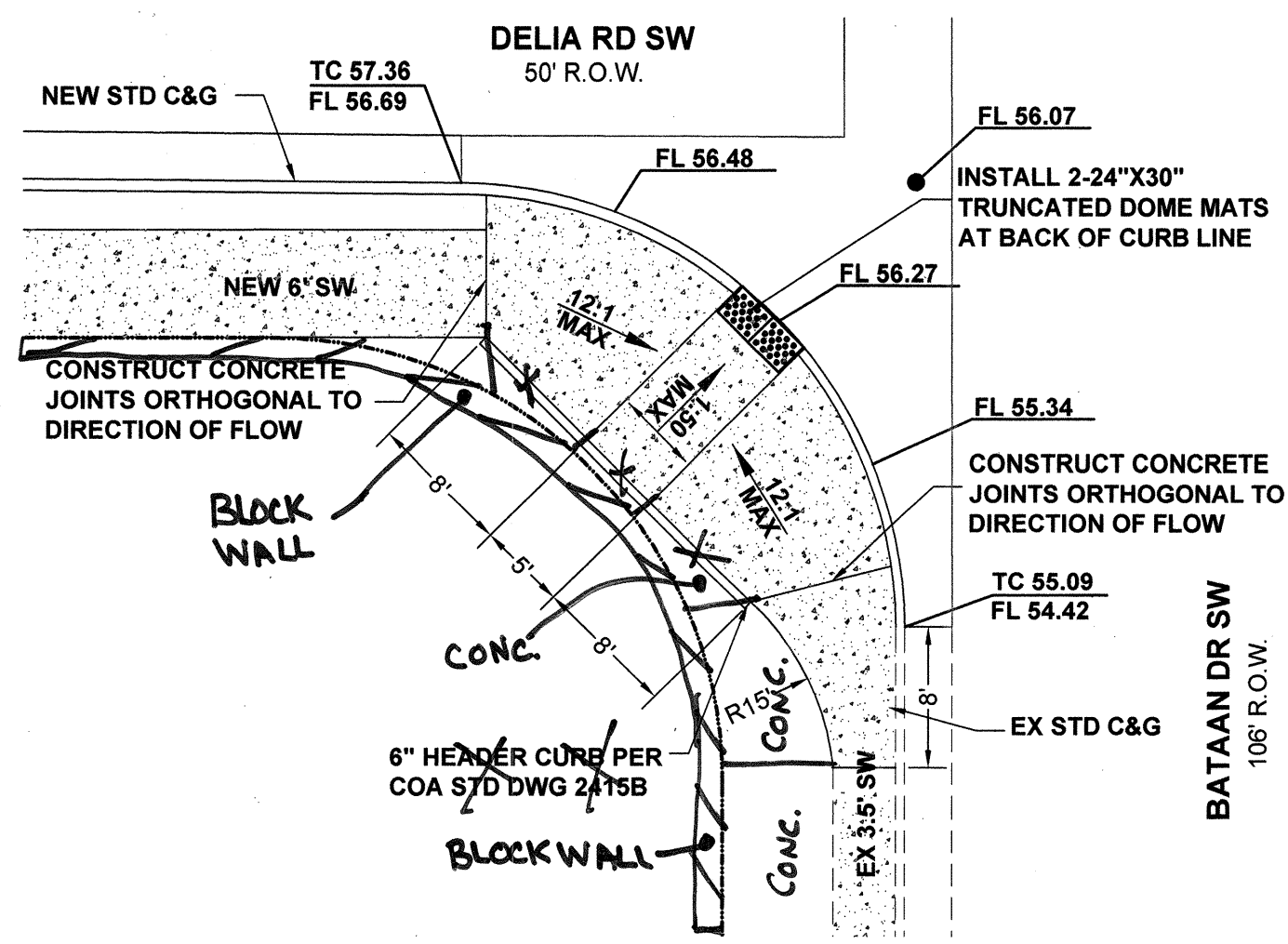
HANDICAP ACCESS RAMP DETAIL
NTS

J
9



DELIA ROAD SWALE SECTION
NTS

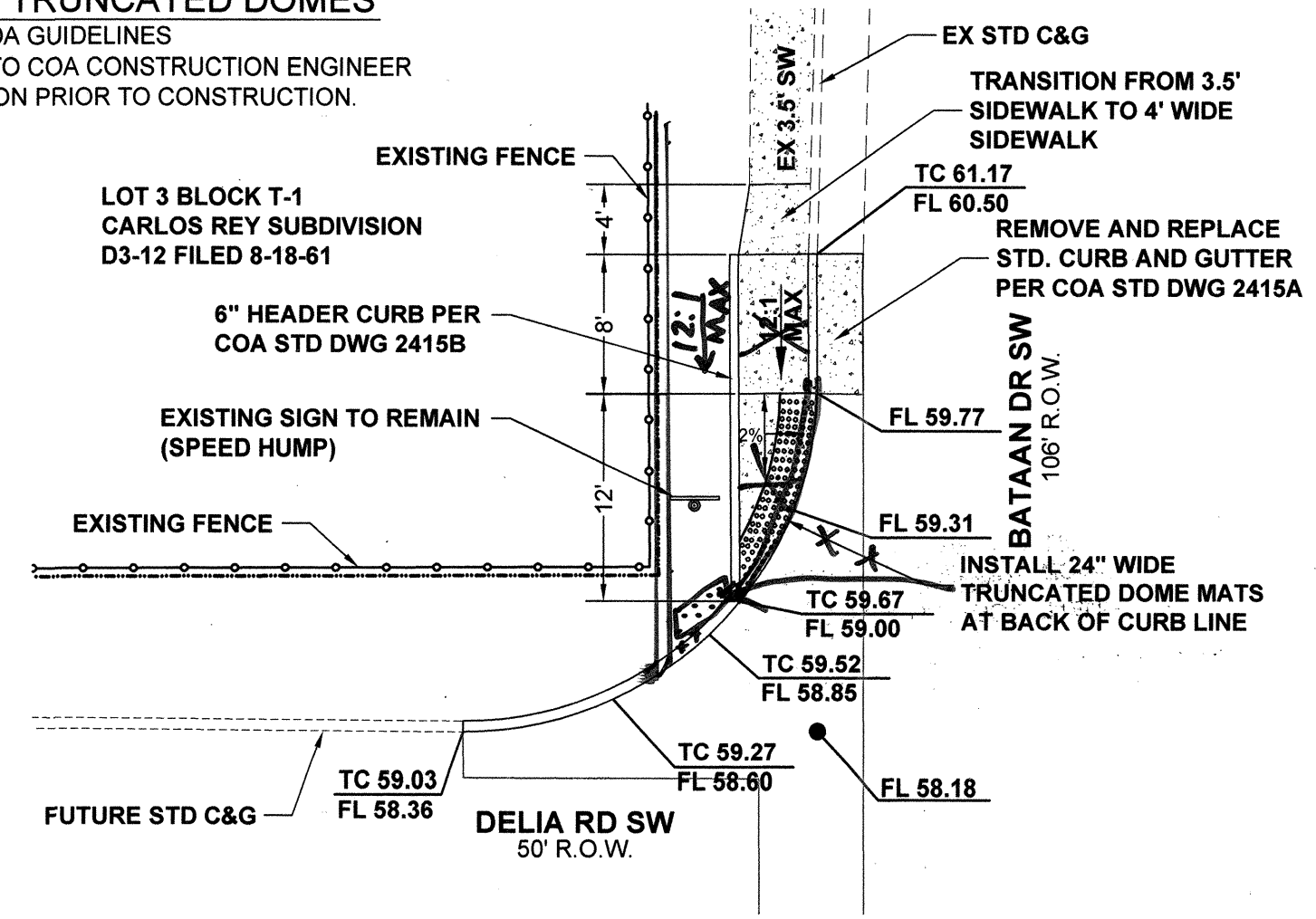
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HANDICAP ACCESS RAMP DETAIL
NTS

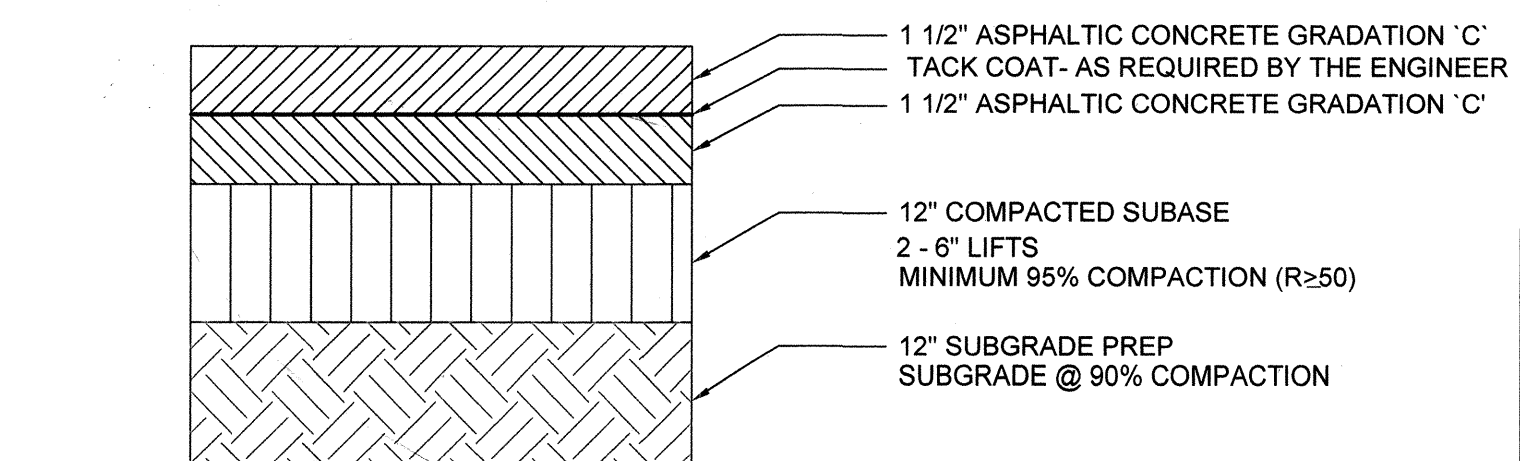
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NOTES FOR TRUNCATED DOMES
1. DESIGN PER ADA GUIDELINES
2. SUBMIT SPEC TO COA CONSTRUCTION ENGINEER
FOR EVALUATION PRIOR TO CONSTRUCTION.



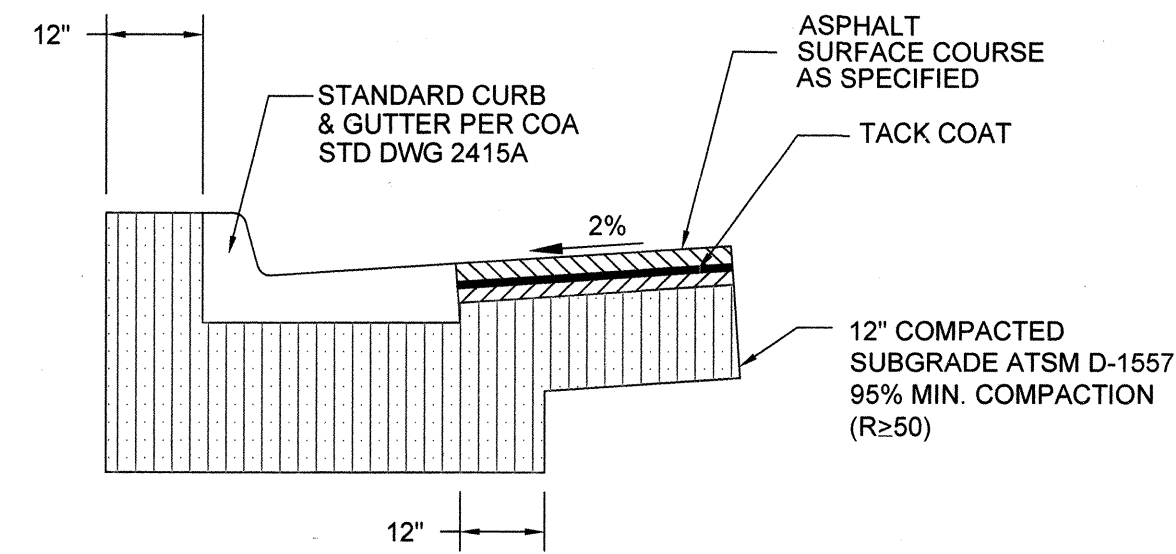
HANDICAP ACCESS RAMP DETAIL
NTS

H
9



RESIDENTIAL PAVEMENT SECTION
(TYPICAL) PER COA STD DWG 2405A

F
9



SUBGRADE JOINT AT CURB DETAIL
NTS

J
9

RECORD DRAWING

NOTE: FOR ALL PAVING SECTIONS:
IF 'R' VALUE IS LESS THAN 50
CONTRACTOR SHALL REPLACE
SUBGRADE WITH UPGRADED SOIL (R=50)
TO A DEPTH OF 24-INCHES.
PER CITY STD SPECIFICATIONS.

DATUM NAVD 1988	
BRASHER & LORENZ CONSULTING ENGINEERS 2201 San Pedro Blvd. NE Bldg. 1, Suite 1300 Albuquerque, New Mexico 87110 Phone: (505) 888-6088 Fax: (505) 888-6188	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
NEW LIFE HOMES -4 STREET PAVING DETAILS	
Design Review Committee APPROVED NOV 25 2009 DESIGN REVIEW COMMITTEE	City Engineer Approval APPROVED APR 15 2010 CITY ENGINEER
City Project No. 700183	Zone Map No. K-10
Sheet 9	of 9

AS-BUILT INFORMATION	
CONTRACTOR	General Construction
WORK STARTED BY	Brasher Lorenz
DATE	4/10/10
ACCEPTANCE BY	Brasher Lorenz
DATE	2/11/11
FIELD ACTION BY	Brasher Lorenz
DATE	2/11/11
DRAWINGS	Brasher Lorenz
CORRECTED BY	Brasher Lorenz
DATE	2/11/11
MICRO-FILM INFORMATION	
DATE	
BENCHMARKS	
ACS MONUMENT 5 - K10 EL = 5098.432	NAVD 1988
ACS MONUMENT 11 - K10 EL = 5046.03	NAVD 1988
SURVEY INFORMATION	
FIELD NOTES	
DATE	
BY	
NO.	
ENGINEER'S SEAL	

REVISIONS	
NO.	DATE
1	10-2009
2	10-2009
3	10-2009
REMARKS	
DESIGNED BY	D.A.L.
DRAWN BY	FUG
CHECKED BY	D.A.L.