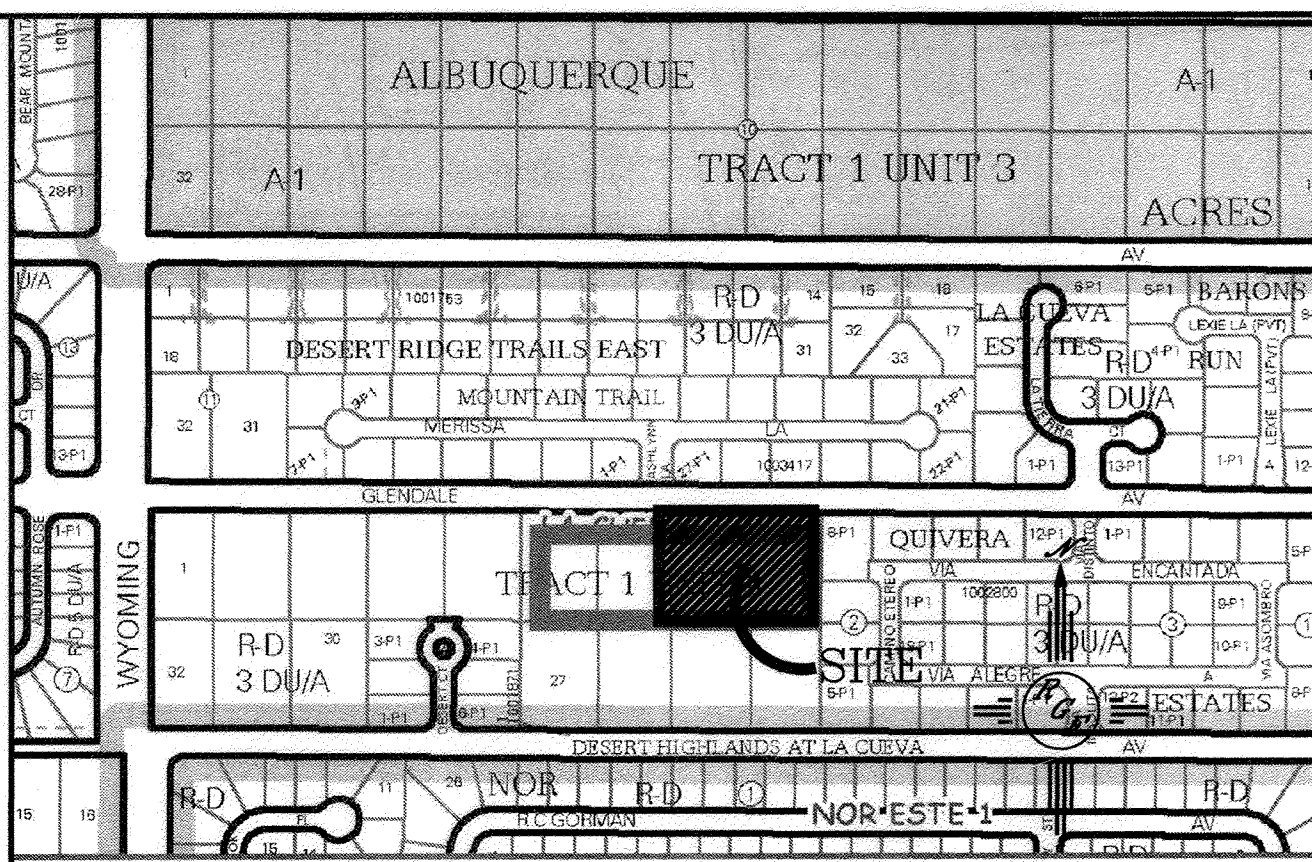


CONSTRUCTION PLANS FOR GLENDALE ESTATES PHASE III

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTIONS
CITY CONSTRUCTION ENGINEER
DATE: 3/12/19



VICINITY MAP: B-19-Z

PAVING AND UTILITY IMPROVEMENTS

THE CITY OF ALBUQUERQUE & ABCWUA
NEW MEXICO
APRIL 2018

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INDEX TO DRAWINGS

1. TITLE SHEET
- 2./2A PLAT
3. GRADING AND DRAINAGE PLAN (FOR REFERENCE ONLY)
4. MASTER PAVING PLAN
5. MOONDUST LANE PAVING IMPROVEMENTS PLAN AND PROFILE
6. MASTER UTILITY PLAN
- 6A. TACER WIRE DETAILS
7. MOONDUST UTILITY IMPROVEMENTS PLAN AND PROFILE
8. MOONDUST LANE STORM DRAIN IMPROVEMENTS PLAN AND PROFILE
9. EROSION CONTROL PLAN

SURVEYOR'S CERTIFICATION
"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the 'as-built' information shown on these drawings was obtained from field construction and 'as-built' surveys performed by me or under my supervision, that the 'as-built' information shown on these drawings was added by me or under my supervision, and that this 'as-built' information is true and correct to the best of my knowledge and belief." Aldrich Land Surveying is not responsible for any of the design concepts, calculations, engineering, or intent of the record drawings.
Timothy Aldrich, P.S. No. 7719 Date: 11-13-18

I, DAVID SOULE, NMPE 14522, OF THE FIRM RIO GRANDE ENGINEERING, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFRASTRUCTURE INSTALLED AS A PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR A QUALIFIED PERSON UNDER MY DIRECT SUPERVISION AND HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE CITY, AND ABCWUA ENGINEER AND THAT THE ORIGINAL DESIGN INTENT HAS BEEN MET, EXCEPT AS NOTED BY ME OR PERSONNEL UNDER MY DIRECTION AND SURVEY INFORMATION PROVIDED BY TIM ALDRICH NMPS 7719

DAVID SOULE
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
14522
12/21/18

Record Drawing

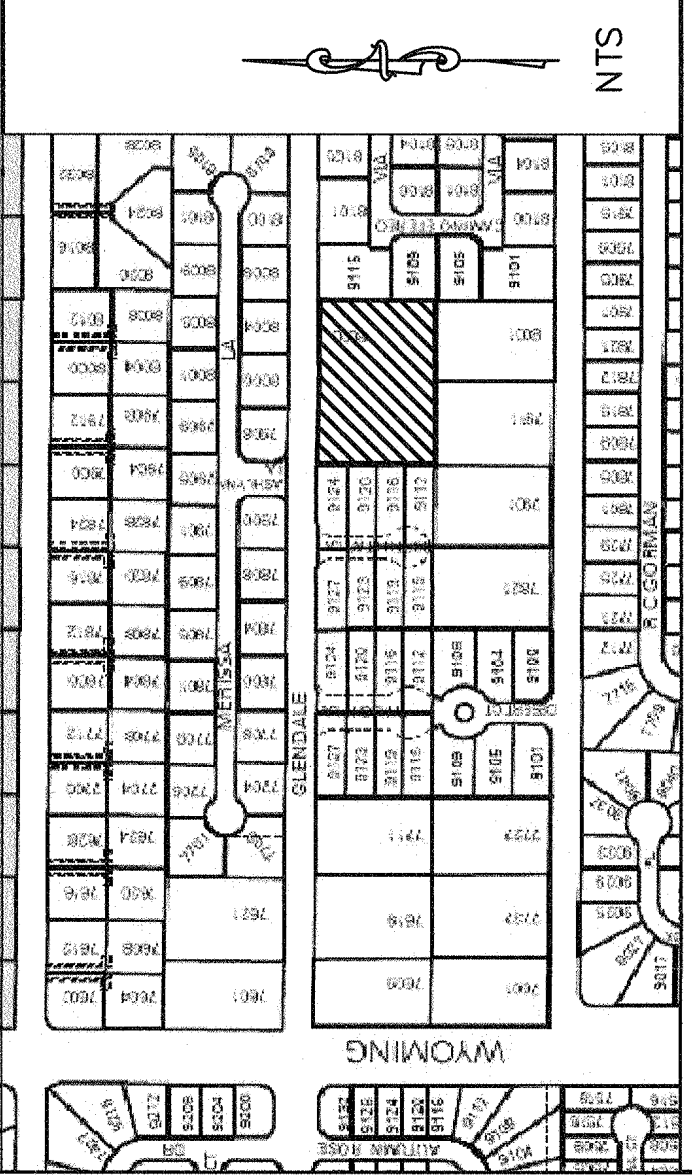
DRB# 1008656

Rio Grande Engineering
1606 CENTRAL AVE SE
SUITE 201
ALBUQUERQUE, NM 87106
(505) 872-0999

REV	SHEETS	CITY ENGINEER	DATE	USER DEPT.	DATE	USER DEPT.	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS	ENGINEER	DATE	APPROVED FOR CONSTRUCTION		
		DRC Chairman	<i>David Soule</i>	6/12/18	<i>[Signature]</i> 6/29/18 City Engineer Date		
		Transportation	<i>[Signature]</i>	6-26-18			
		Hydrology	<i>[Signature]</i>	6/8/18			
		ABCWUA	<i>[Signature]</i>	6/6/18			
		Constr. Mngmt.					
		Constr. Coord.					
		Water/Wastewater					
CITY PROJECT NO. 702785					SHEET 1 OF 9		

- NOTICE TO CONTRACTORS**
1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION (UPDATE #9).
 2. ALL ROAD IMPROVEMENTS AND RELATED WORK DETAILED ON THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION (UPDATE #9).
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (280-1990) FOR LOCATION OF EXISTING UTILITIES.
 4. ANY WORK AFFECTING AN ARTERIAL ROADWAY MAY REQUIRE 24-HOUR CONSTRUCTION.
 5. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 6. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO(2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADE PERMIT FROM THE COA. CONSTRUCTION COORDINATION DIVISION CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO STANDARD SPECIFICATIONS.
 7. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS. ANY PERMANENT SURVEY MONUMENT LOCATED WITHIN 50' OF THIS PROJECT THAT IS NOT SHOWN ON THE PLAN AND IS DESTROYED DURING CONSTRUCTION WILL BE REPLACED AT THE CONTRACTORS EXPENSE.
 8. DEVELOPER SHALL PROVIDE STOP SIGNS, AND ANY NECESSARY STRIPING FOR PRIVATE STREETS.
 9. CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS, INCLUDING, NOT LIMITED TO HAZARDOUS WASTE AT DISPOSAL SITES APPROVED BY GOVERNMENTAL AGENCIES REGULATING THE DISPOSAL OF SUCH MATERIAL.
 10. CONTRACTOR SHALL REPLACE ALL PERMANENT PAVING STRIPING AND MARKINGS (INCLUDING IMPACTED EX. MARKINGS) THE ROAD SHALL NOT BE OPENED TO THE TRAFFIC UNTIL IT IS STRIPED ALL STRIPING, PAVEMENT MARKINGS, INCLUDING CROSSWALKS, ARROWS AND LINE MARKINGS ARE TO BE CONSTRUCTED OF HOT PLASTIC OR COLD PLASTIC IN ACCORDANCE WITH THE MUTCD.
 11. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
 12. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL PROJECT HAS BEEN ACCEPTED BY THE COA.
 13. WHEN ABUTTING NEW PAVEMENT TO THE EXISTING INTERSECTING STREETS THE EXISTING PAVEMENT SHALL BE SAW CUT TO A STRAIGHT LINE AT RIGHT ANGLES AND ANY BROKEN OR CRACKED PAVEMENT SHALL BE REMOVED. SAW CUTTING SHALL BE CONSIDERED INCIDENTAL TO PAVING, THEREFORE, NO DIRECT PAYMENT WILL BE MADE FOR SAW CUTTING.
 14. GROUND WATER MAY BE PRESENT WITHIN THE WORK AREA. CONTRACTOR SHALL BE AWARE THAT DEWATERING OF WORK ZONE MAY BE REQUIRED.
 15. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY DAMAGE TO EXISTING CURB AND GUTTER, PAVEMENT, SIDEWALK, STRIPING, AND SIGNAGE.
 16. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND INSTALL STORM DRAIN MARKER "DRAINS TO RIVER".

- THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED
- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
 - ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
 - ☐ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
 - ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.



LOCATION MAP
B-19-Z

PURPOSE OF PLAT

1. To subdivide Tract B-2 into 7 lots and 1 tract as shown hereon.
2. To grant easements as shown hereon.

SUBDIVISION DATA

1. Zone Atlas Index No.: B-19-Z
2. Total Number of Lots created: 7
3. Total Number of Tracts created: 1
4. Total Number of existing Tracts: 1
5. Gross Subdivision Acreage: 1.7609 Acres

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary is from the plat of record entitled:
"NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3",
(09-10-1931, D-121)
"THE ESTATES AT GLENDALE, UNIT 1",
(09-10-2012, 2012C-103)
"THE ESTATES AT GLENDALE, UNIT 2",
(02-16-2017, 2017C-21)
all being records of Bernalillo County, New Mexico.
5. Field Survey: June, 2017.
6. Title Report(s): None provided.
7. Address of Property: Glendale Avenue NE.
8. City of Albuquerque, New Mexico Zone: SU-1, RD-5 DU/A
9. 100 Year Flood Zone Designation: ZONE X, Panel 133 of 825,
Flood Insurance Rate Map, City of Albuquerque, Bernalillo County,
New Mexico, dated August 16, 2012.
10. Unless shown otherwise all points are set 1/2" rebar with cap
or PK nail with tag "LS 7719".

FREE CONSENT

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof. Said owner(s) and/or proprietor(s) do hereby consent to the creation of Lots 1 thru 7 and Tract A as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the granting and vacating of easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

Owner: Ashton Homes, LLC, a New Mexico limited liability company
Randall Schmille 5/30/18
Randall Schmille, Managing Member
Date

DESCRIPTION
A tract of land situate, within the Elena Gallegos Grant, projected Section 7, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT B-2, THE ESTATES AT GLENDALE, UNIT 2, as the same is shown and designated on said plat, filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 16, 2017, in Plat Book 2017C, Page 21, as Document No. 2017014802, and containing 1.7609 acres (76,708 SF) more or less.

SOLAR NOTE

No property within the area of requested final action shall at any time be subject to a deed restriction, covenant or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of this plat.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC) and Qwest Corporation dba CenturyLink QC (QWEST) did not conduct a title search of the properties shown hereon. Consequently, PNM, NMGC and QWEST do not waive or release any easement or easement rights, which may have been granted by prior plat, replat or other document, and which are not shown on this plat.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. Public Service Company of New Mexico (PNM) for the installation, maintenance and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. New Mexico Gas Company (NMGC) for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
3. Qwest Communications d/b/a Century Link (QWEST) for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
4. Comcast for the installation, maintenance, and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said right-of-way and easement, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right-of-way and easement to extend services to customers of Grantee, and to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER

In approving this plat, PNM, NMGC, QWEST and COMCAST did not conduct a title search of the properties shown hereon. Consequently, PNM, NMGC, QWEST and COMCAST do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

STATE OF NEW MEXICO)
BERNALILLO COUNTY)

On this 30 day of May, 2018, this instrument was acknowledged before me by Randall Schmille, Managing Member of Ashton Homes, LLC on behalf of said limited liability company.

Kimberly Kay
Notary Public

Official Seal
Kimberly Kay
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires: 8-16-2019

PLAT FOR
THE ESTATES AT GLENDALE
UNIT 3
WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 7
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY, 2018

PROJECT NUMBER: 001251 (1008656)
Application Number: 50 2018 - 00026

PLAT APPROVAL

Utility Approvals:

Public Service Company of New Mexico
[Signature] Date 6-28-18
New Mexico Gas Company
[Signature] Date 7/3/18
Qwest Corporation dba CenturyLink QC
[Signature] Date 6-28-18
Comcast
[Signature] Date 7/10/18
City Approvals:
City Surveyor Foram M. Rinharney P.S. Date 6/11/18
N/A

Real Property Division
[Signature] Date 6-20-18
Traffic Engineering, Transportation Division
[Signature] Date 6/20/18
Albuquerque-Bernalillo County Water Utility Authority
[Signature] Date 6/20/18
Parks and Recreation Department
[Signature] Date 6/29/18
AMAFCA
[Signature] Date 6/20/18
City Engineer
[Signature] Date 6/20/18
Code Enforcement
[Signature] Date 7.13.2018
DRB Chairperson, Planning Department
[Signature] Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

[Signature] Date 05/30/2018
Timothy Aldrich
Registered Professional Land Surveyor
No. 7719

ALDRICH LAND
SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

Drawn By:	TA	Date:	05-30-18
Checked By:	TA	Drawing Name:	11006PL3.DWG
Job No.:	11-006	Sheet:	1 of 3

PLAT FOR
THE ESTATES AT GLENDALE
UNIT 3
WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 7
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY, 2018

PROPERTY CORNERS

- SET 1/2" REBAR WITH CAP OR PK WITH TAG "LS 7719" (TYP.)
- FOUND 5/8" REBAR WITH CAP "LS 21082" (TYPICAL)

EASEMENTS

- ① 5' X 5' PRIVATE DRAINAGE EASEMENT
FOR THE BENEFIT OF TRACT B-2 TO BE MAINTAINED
BY "THE ESTATES AT GLENDALE UNIT 2 H.O.A."
(02-16-2017, 2017C-21)
- ⑨ PRIVATE DRAINAGE EASEMENT
FOR THE BENEFIT OF TRACT B-2 TO BE MAINTAINED
BY THE OWNER OF TRACT B-2
(02-16-2017, 2017C-21)
(TO BE VACATED BY THIS PLAT)

ASHLYNN LANE NE
(68' R/W)

GLENDALE AVENUE N.E. (60' ROW)

THE ESTATES AT GLENDALE UNIT 2
(02-16-2017, 2017C-21)

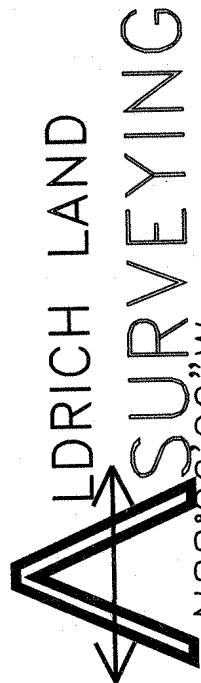
TRACT B-2
THE ESTATES AT GLENDALE UNIT 2
(02-16-2017, 2017C-021)

BLOCK 2
QUIVIRA ESTATES
(06-03-2004, 2004C-173)

LOT 25
BLOCK 12
NORTH ALBUQUERQUE ACRES
TRACT 1, UNIT 3
(09-10-1931, D-121)

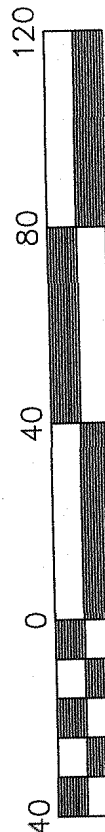
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BLOCK 12
NORTH ALBUQUERQUE ACRES
TRACT 1, UNIT 3
(09-10-1931, D-121)

ACS MONUMENT
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E=1550483.349 (US SURVEY FOOT)
G-G=0.999651137
 $\Delta\alpha=-00^{\circ}10'24.45''$
ELEVATION=5477.179 (US SURVEY FOOT)
CENTRAL ZONE
(NAD83/NAVD88)

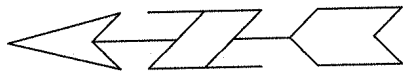


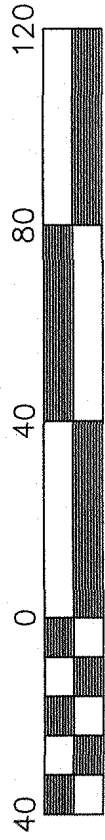
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P.O. BOX 530701, ALBQ., N.M. 87190
505-884-5999

Drawn By:	TA	Date:	05-30-18
Checked By:	TA	Drawing Name:	11006PL3.DWG
Job No.:	11-006	Sheet:	2 of 3



Scale 1" = 40'





Scale 1" = 40'

BOUNDARY

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	13.09'	25.00'	30°00'00"	S 74°36'37" E	12.94'
C2	15.78'	25.00'	36°09'54"	N 72°18'26" E (S74°37'01"E) (N72°18'01"E)	15.52'

ASHLYNN LANE NE (68' R/W)

PROPERTY CORNERS

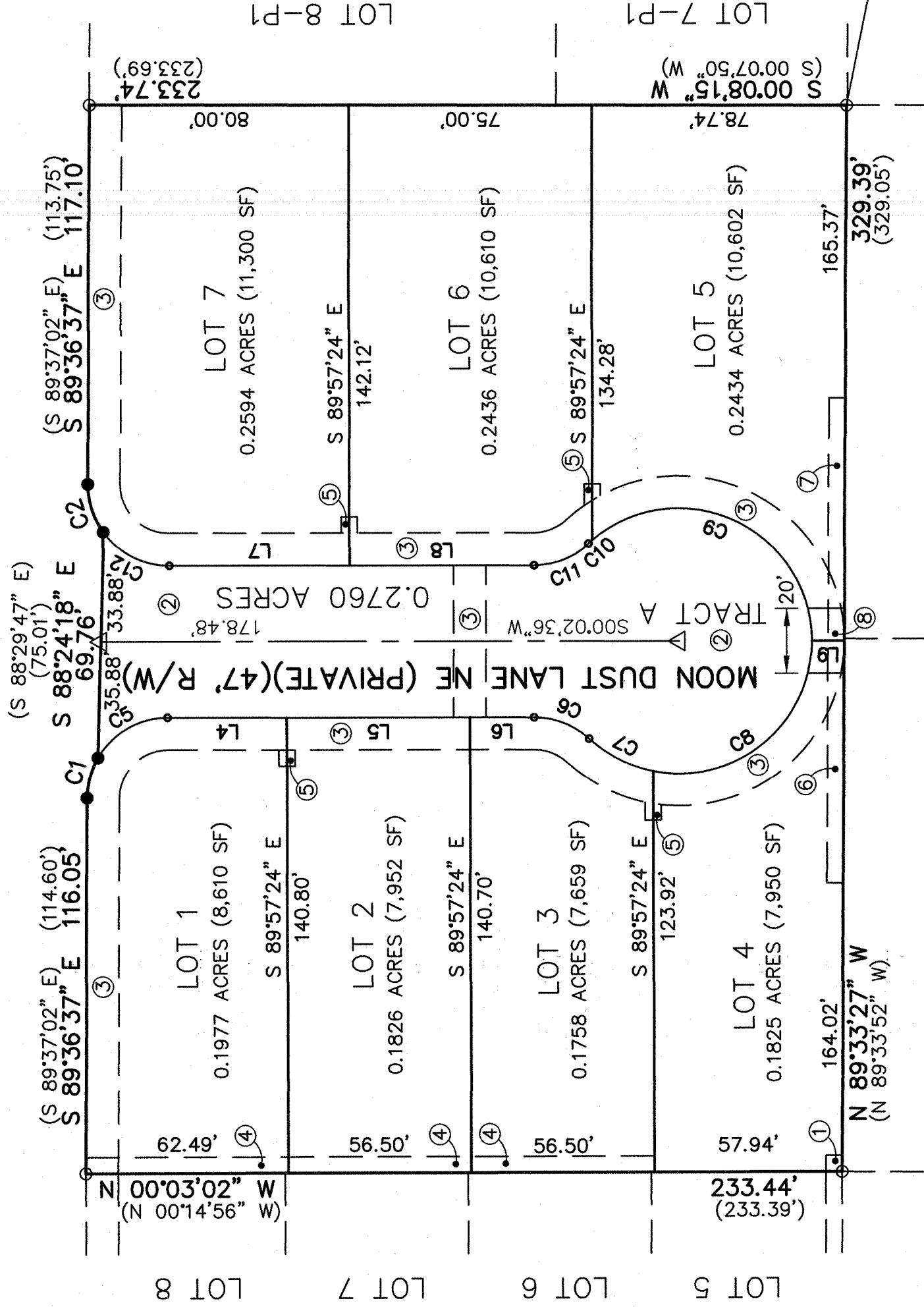
- SET 1/2" REBAR WITH CAP OR PK WITH TAG "LS 7719" (TYP.)
- FOUND 5/8" REBAR WITH CAP "LS 21082" (TYPICAL)
- △ SET C.O.A. CENTERLINE MONUMENT "LS 7719" (TYPICAL)

DRAINAGE NOTE

EACH LOT OWNER SHALL CONSTRUCT AND MAINTAIN A PRIVATE STORM WATER QUALITY POND PER THE APPROVED GRADING PLAN (B19D027)

THE ESTATES AT GLENDALE UNIT 2 (02-16-2017, 2017C-21)

GLENDALE AVENUE N.E. (60' ROW)



QUIVERA ESTATES (06-03-2004, 2004C-173)

LOT 25
BLOCK 12
NORTH ALBUQUERQUE ACRES
TRACT 1, UNIT 3
(09-10-1931, D-121)

LOT 24
BLOCK 12
NORTH ALBUQUERQUE ACRES
TRACT 1, UNIT 3
(09-10-1931, D-121)

LOTS

L4	S 00°02'36" W	36.79'
L5	S 00°02'36" W	56.50'
L6	S 00°02'36" W	19.82'
L7	S 00°02'36" W	55.71'
L8	S 00°02'36" W	56.82'
L9	S 00°02'36" W	10.00'

C5	26.03'	59°39'13"	S 29°47'01" E	24.87'
C6	18.63'	42°42'20"	S 21°23'46" W	18.21'
C7	22.42'	41.00'	S 27°05'00" E	22.14'
C8	72.54'	41.00'	N 101°22'28"	63.44'
C9	93.33'	41.00'	N 130°25'14"	74.44'
C10	1.64'	41.00'	S 41°31'11" E	1.63'
C11	18.63'	25.00'	N 21°18'34" W	18.21'
C12	23.64'	25.00'	N 27°08'02" E	22.77'

PLAT FOR THE ESTATES AT GLENDALE UNIT 3 WITHIN THE ELENA GALLEGOS GRANT PROJECTED SECTION 7 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO MAY, 2018

EASEMENTS

- 5' X 5' PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF TRACT B-2 TO BE MAINTAINED BY "THE ESTATES AT GLENDALE UNIT 2 H.O.A." (02-16-2017, 2017C-21)
- TRACT A 47' PRIVATE ACCESS, PRIVATE DRAINAGE AND PUBLIC WATER AND SANITARY SEWER EASEMENT FOR THE BENEFIT OF LOTS 1 THRU 7 AND TRACT A AND TO BE MAINTAINED BY "THE ESTATES AT GLENDALE UNIT 3 H.O.A." (GRANTED BY THIS PLAT)
- 10' PUE (GRANTED BY THIS PLAT)
- 5' PRIVATE DRAINAGE EASEMENT FOR THE MUTUAL BENEFIT OF LOTS 1-4 TO BE MAINTAINED BY THE LOT ENCUMBERED BY THE EASEMENT (GRANTED BY THIS PLAT)
- 5' X 5' PUE (GRANTED BY THIS PLAT)
- 5' X 75' PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOT 25, BLOCK 12, NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3 TO BE MAINTAINED BY "THE ESTATES AT GLENDALE UNIT 3 H.O.A." (GRANTED BY THIS PLAT)
- 5' X 75' PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOT 24, BLOCK 12, NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3 TO BE MAINTAINED BY "THE ESTATES AT GLENDALE UNIT 3 H.O.A." (GRANTED BY THIS PLAT)
- 10' X 20' PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 24 & 25, BLOCK 12, NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3 TO BE MAINTAINED BY "THE ESTATES AT GLENDALE UNIT 3 H.O.A." (GRANTED BY THIS PLAT)

ACS MONUMENT "1-B20"

N=1524154.945 (US SURVEY FOOT)
E=1550483.349 (US SURVEY FOOT)
G-C=0.999651137
Δα=-00°10'24.45"
ELEVATION=5477.179 (US SURVEY FOOT)
CENTRAL ZONE
(NAD83/NAVD88)

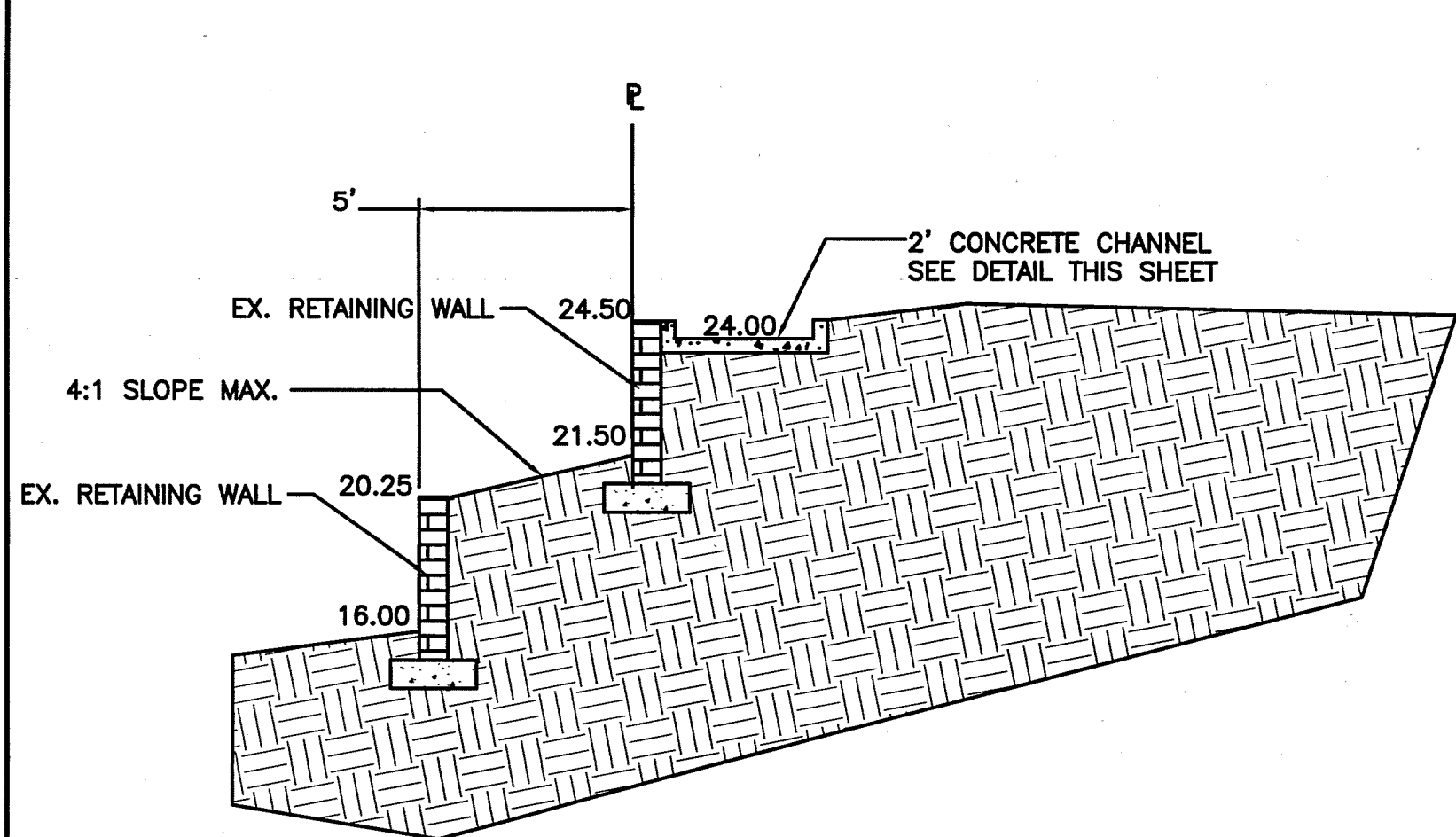
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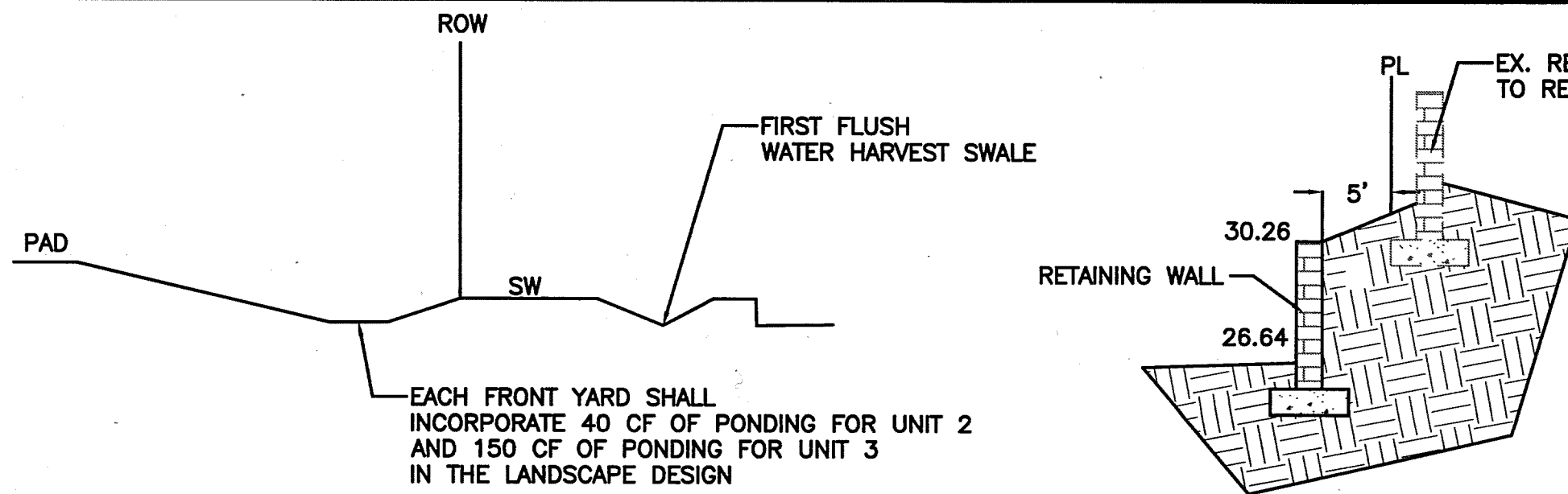
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P.O. BOX 30701, ALBO., N.M. 87190
505-884-9999

DOCH 2018081387

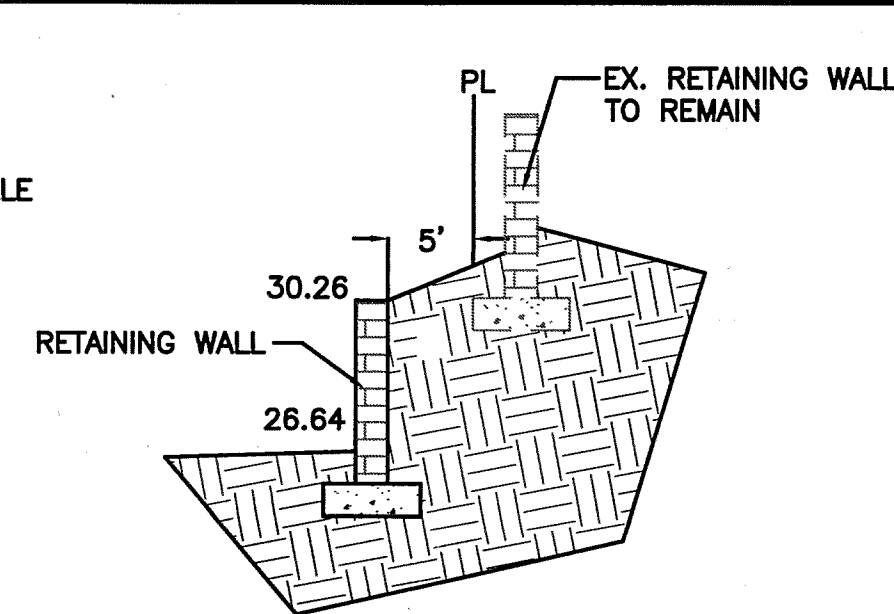
09/17/2018 01:42 PM Page: 3 of 3 Linda Stever, Bernalillo County
PLAT # 325-00-8-2018C-0123



SECTION A-A
NTS



SECTION B-B
NTS



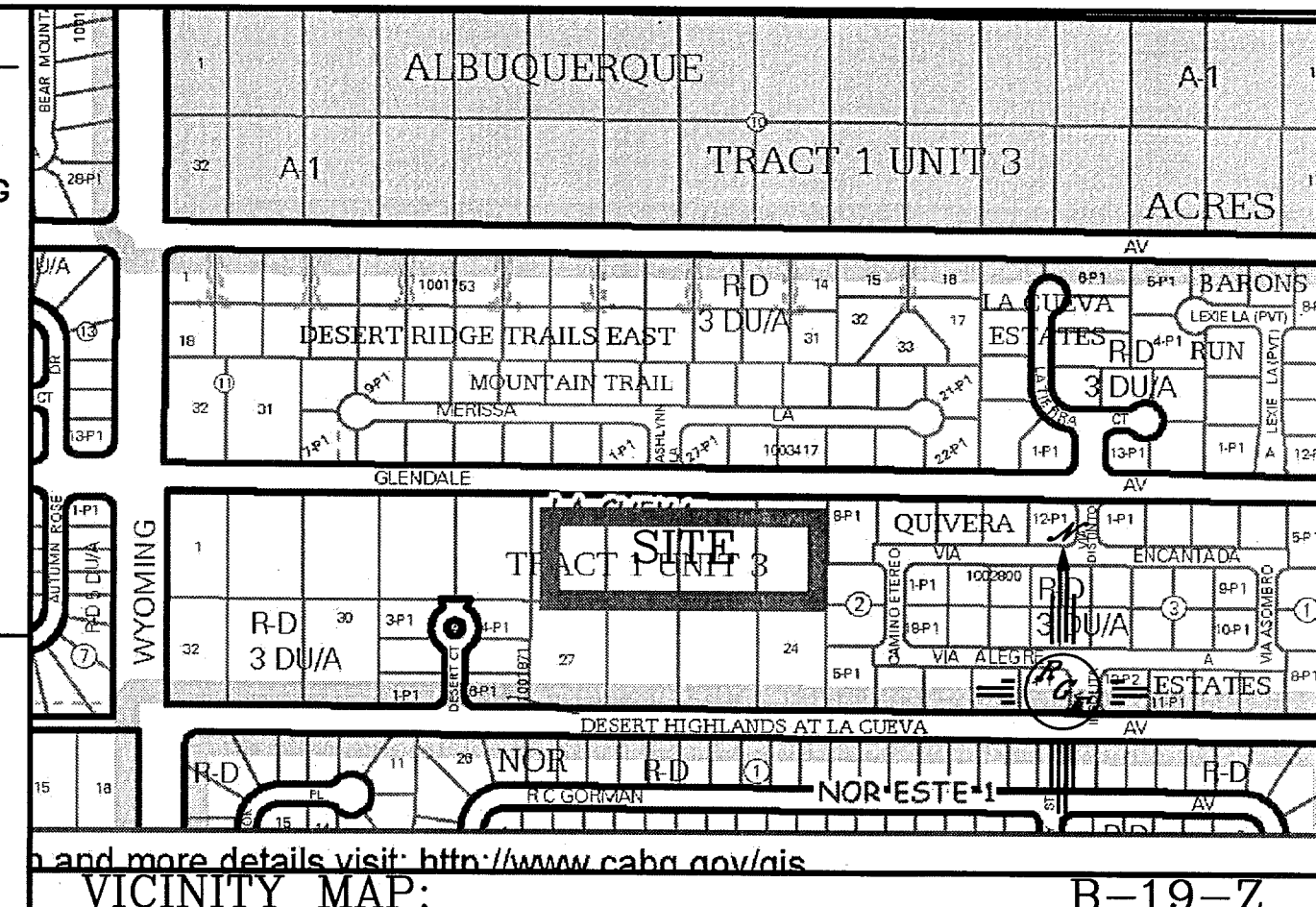
SECTION C-C
NTS

EROSION CONTROL NOTES:

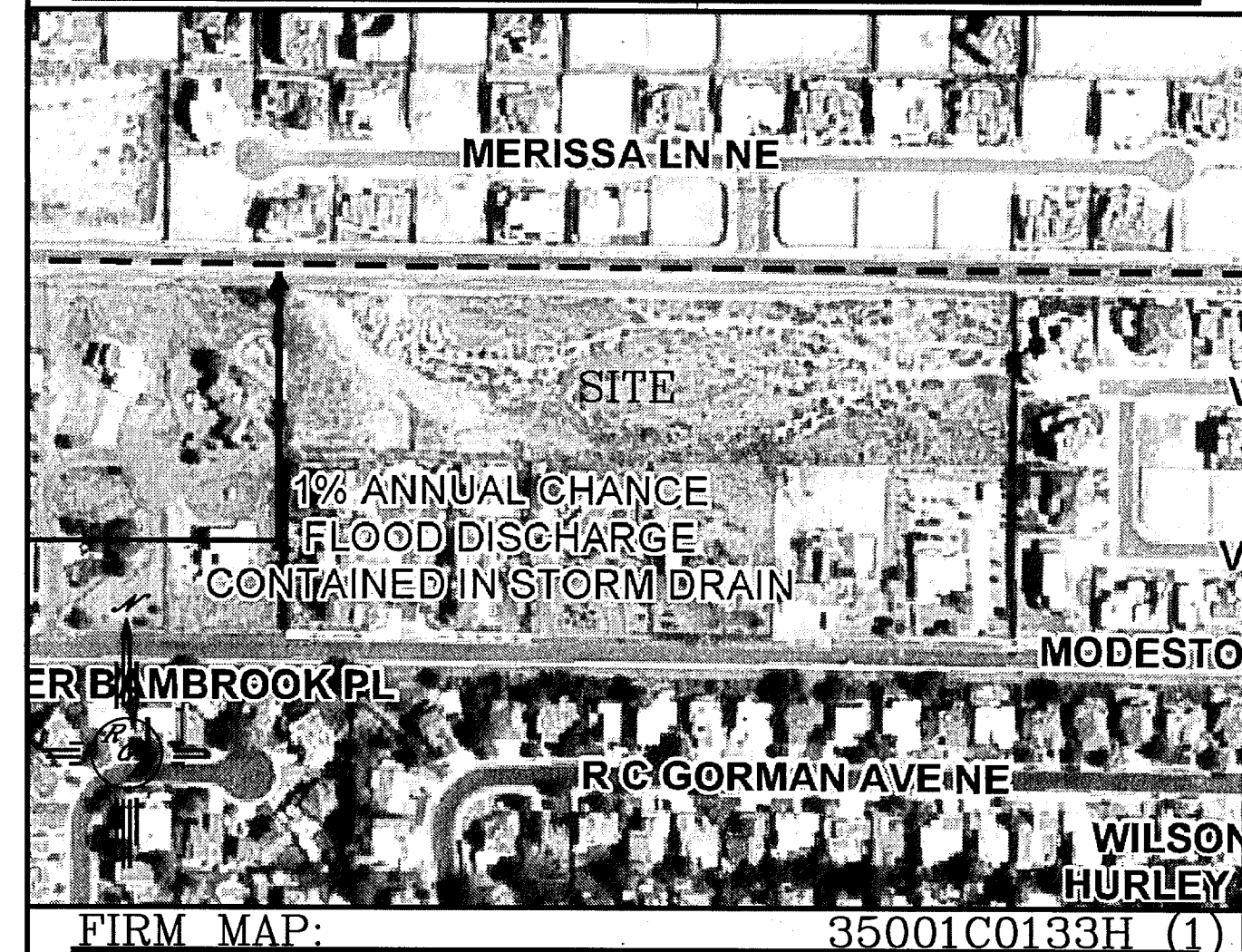
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

LEGAL DESCRIPTION:

TR. A AND B, THE ESTATES AT GLENDALE



VICINITY MAP: B-19-Z



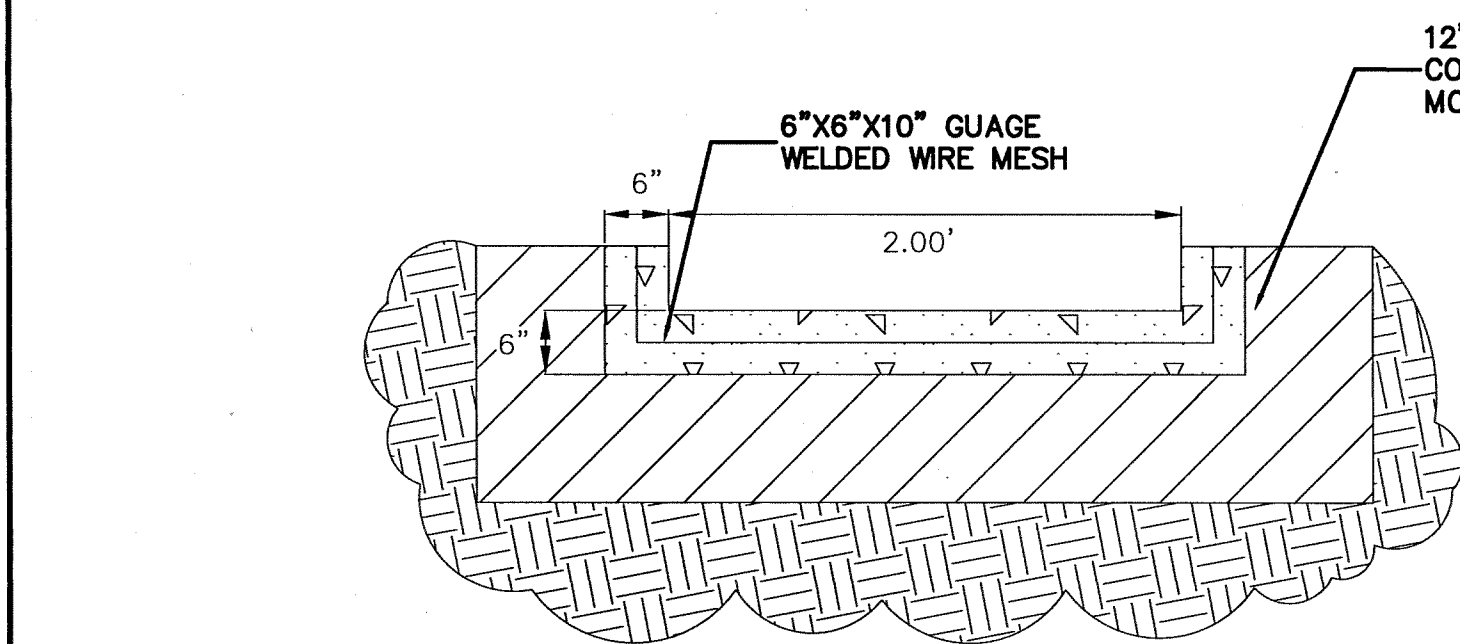
FIRM MAP: 35001C0133H (1)

NOTES:

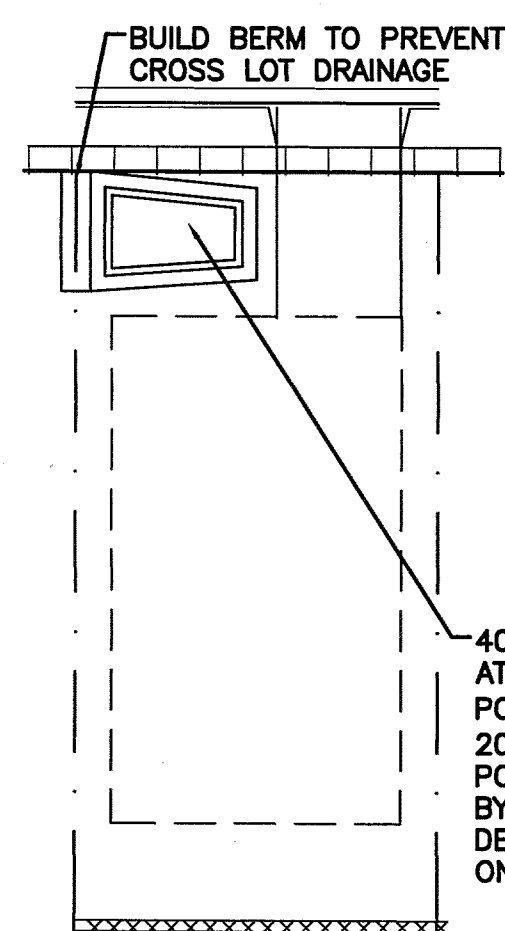
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
3. ALL CURB AND GUTTER SHALL BE 4" MOUNTABLE UNLESS OTHERWISE NOTED.
4. THE REAR HALF OF LOT 20, SHALL DRAIN TO CHANNEL IN SW CORNER OF SAID LOT.
5. THE CONTRACTOR SHALL COORDINATE WITH THE LOT OWNERS TO THE SOUTH PRIOR TO OFFSITE GRADING ACTIVITY.
6. LOT 17,18,19 WILL REQUIRED CROSS LOT DRAINAGE EASEMENTS AT TIME OF PLATTING.
7. LOT 20 WILL NEED CROSS LOT DRAINAGE EASEMENT FOR BENFIT OF LOT 25 AT TIME OF PLATTING.
8. LOT 21 WILL NEED CROSS LOT DRAINAGE EASEMENT FOR BENFIT OF LOT 24 AT TIME OF PLATTING.

LEGEND

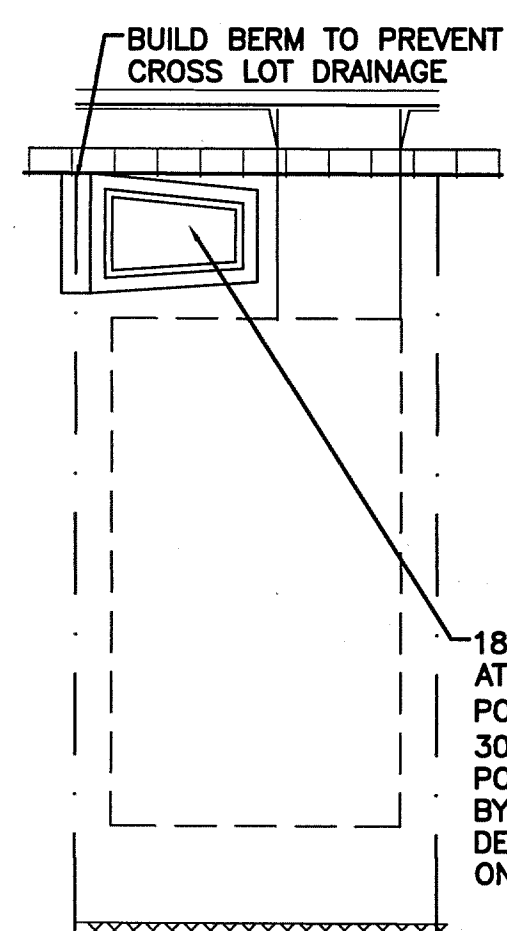
---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
---	SLOPE TIE
X	EXISTING SPOT ELEVATION
X	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY
---	PROPOSED DRAINAGE EASEMENT
---	PROPOSED STANDARD CURB AND GUTTER
---	EXISTING CURB AND GUTTER
---	PROPOSED SCREEN WALL (18" MAX RETAINAGE)
---	PROPOSED RETAINING WALL (HEIGHT VARIES-DESIGN BY OTHERS)
---	EXISTING SCREEN WALL



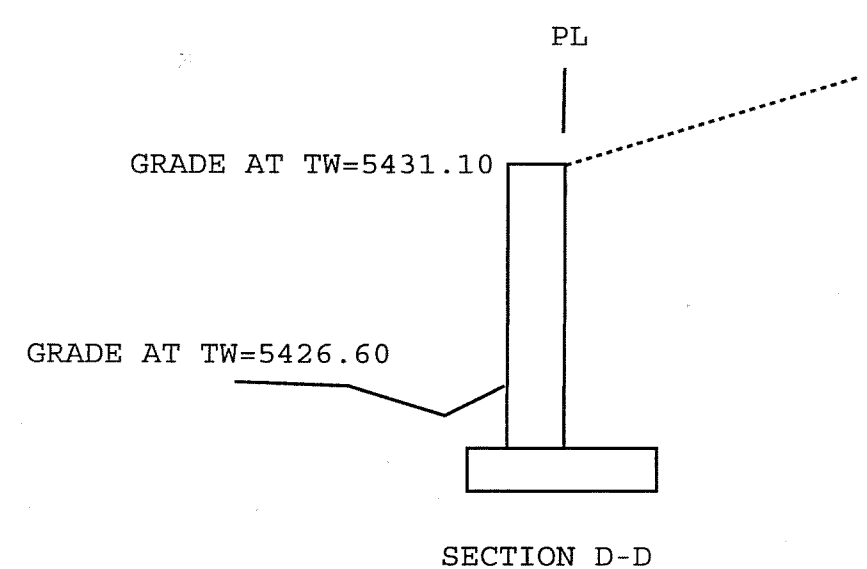
CONCRETE CHANNEL DETAIL
NTS



TYPICAL WATER HARVETING AREAS-UNIT 2
NTS



TYPICAL WATER HARVETING AREAS-UNIT 3
NTS

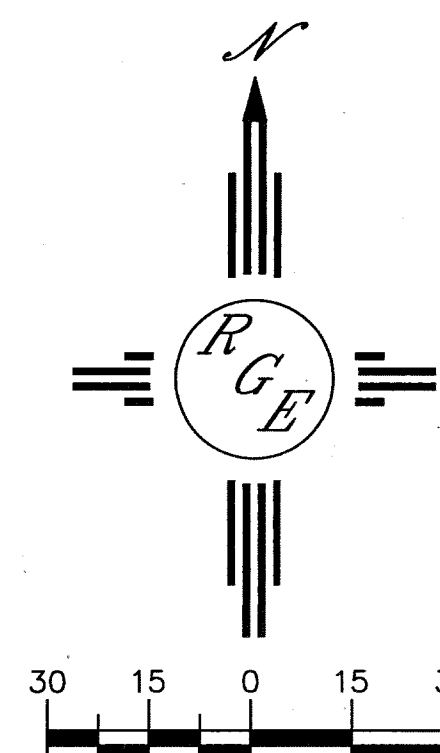


SECTION D-D

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

* DEVELOPER WILL OBTAIN PERMISSION OF ADJACENT LOT OWNER FOR TEMPORARY WORK PERMISSION UPON SAID LOT FOR THE CONSTRUCTION AND BACK FILL OF WALL. FACE OF WALL SHALL BE ENTIRELY WITHIN THIS DEVELOPMENT



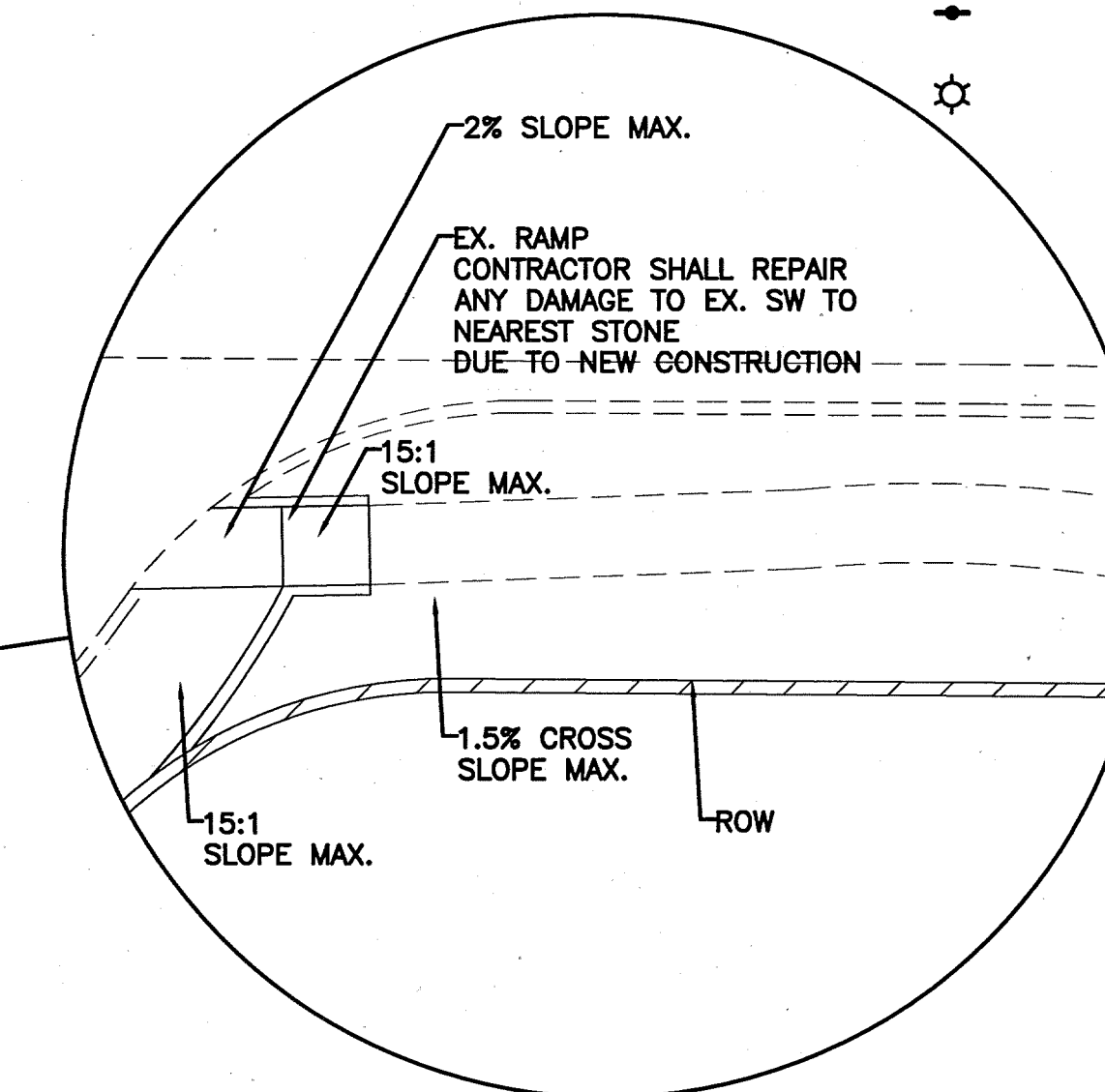
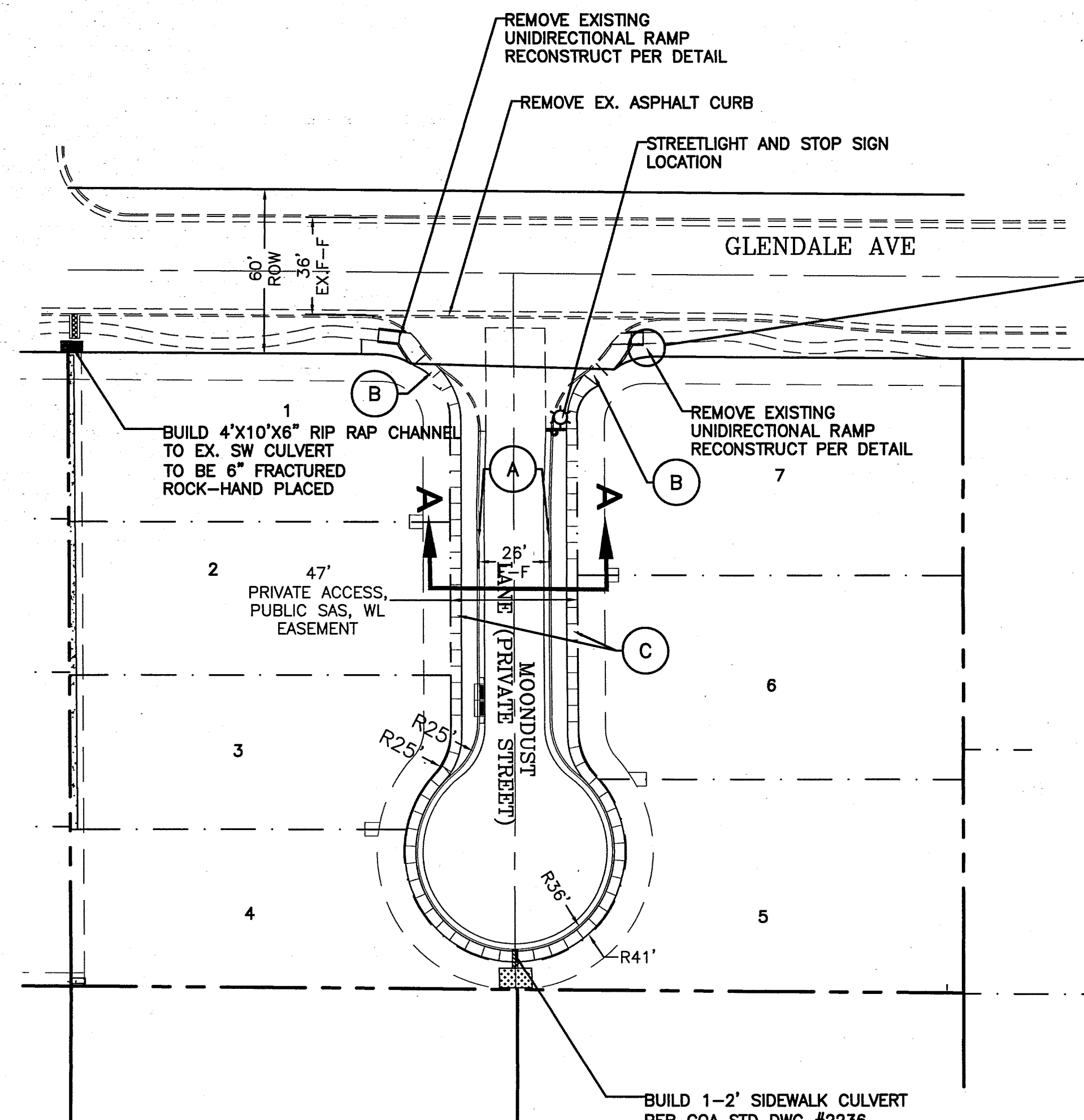
SCALE: 1"=30'

FOR INFORMATION ONLY

ENGINEER'S SEAL	ESTATES AT GLENDALE UNIT 3	DRAWN BY WCWJ
DAVID SOULE NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 14522	GRADING AND DRAINAGE PLAN	DATE 1-18-17
4/28/18	Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0989	21425-LAYOUT-1-25-18
DAVID SOULE P.E. #14522		SHEET # 3
		JOB # 21425



1. SWALE TO BE 6" DEEP WHEN THE DISTANCE BETWEEN BACK OF CURB AND THE SIDEWALK IS 5 FEET.
2. SWALE TO BE 1" DEEPER THAN THE DISTANCE IN FEET BETWEEN THE BACK OF CURB AND THE SIDEWALK FOR LANDSCAPE BUFFERS DIFFERENT THAN 5 FEET WIDE.
3. FOR WIDE LANDSCAPE BUFFERS, GREATER THAN 10 FEET, THE MAXIMUM DEPTH IS 10 INCHES.
4. FINAL GRADE OF DIRT TO BE 1 TO 2 INCHES BELOW TOP OF CURB AND TOP OF SIDEWALK GRADE.
5. SURFACE BETWEEN CURB OF CURB AND SIDEWALK TO BE COVERED WITH GRAVEL MULCH (MINIMUM ¾"), COBBLES OR RIP-RAP. DO NOT FILL ENTIRE SWALE.
6. A CHECK DAM WILL BE REQUIRED FOR SWALES ON STEEPER LONGITUDINAL SLOPES AND LONGER SECTIONS. THE ENGINEER WILL DETERMINE THE LOCATION.
7. LANDSCAPE FABRIC IS RECOMMENDED, BUT NOT REQUIRED, BETWEEN THE DIRT AND THE STONE. IF LANDSCAPE FABRIC IS TO BE USED, IT IS TO BE 100% EFFICIENT.
8. DETAIL IS TO BE BUILT FOR ALL NEW CONSTRUCTION. IN THE CASE WHERE THE SIDEWALK IS EXISTING AND THE LANDSCAPE BUFFER IS IMPROVED WITH LANDSCAPING AND/OR SOME FORM OF EROSION PROTECTION, THIS REQUIREMENT DOES NOT APPLY.



TYPICAL SW CONNECTION DETAIL
NTS

PAVING NOTE--*CONTRACTOR SHALL TEST PRIOR TO PLACEMENT

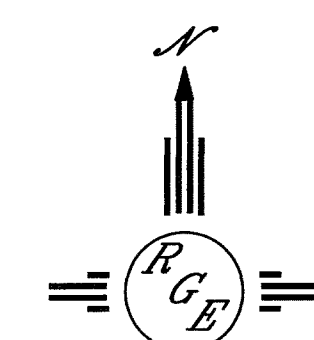
1. SUBGRADE SOIL, R-VALUE>90,
PLACED IN 2-6" COMPACTED LIFTS.
95% MIN. COMPACTION, AT OPT.
MOISTURE \pm 2.0% OF ASTM D1557, OR
OPT. MOISTURE, TO +4%, ASTM D698
FOR SOIL W/35% OR MORE MATERIAL
PASSING THE NO. 200 SIEVE.
SOIL NOT HAVING THE MIN. R-VALUE OF
50, SHALL BE REMOVED TO A DEPTH OF
2 FEET AND REPLACED BY THE CONTRACTOR
WITH SUITABLE MATERIAL OR A PAVEMENT
ACCOMMODATING THE EXISTING R-VALUE PER
C.O.A. STANDARD SPECIFICATIONS.

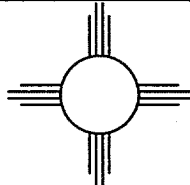
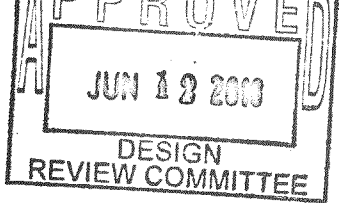
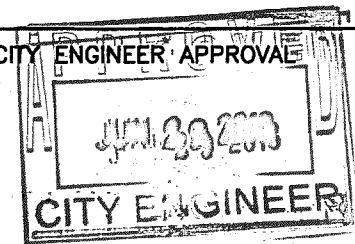
- KEYED NOTE:**

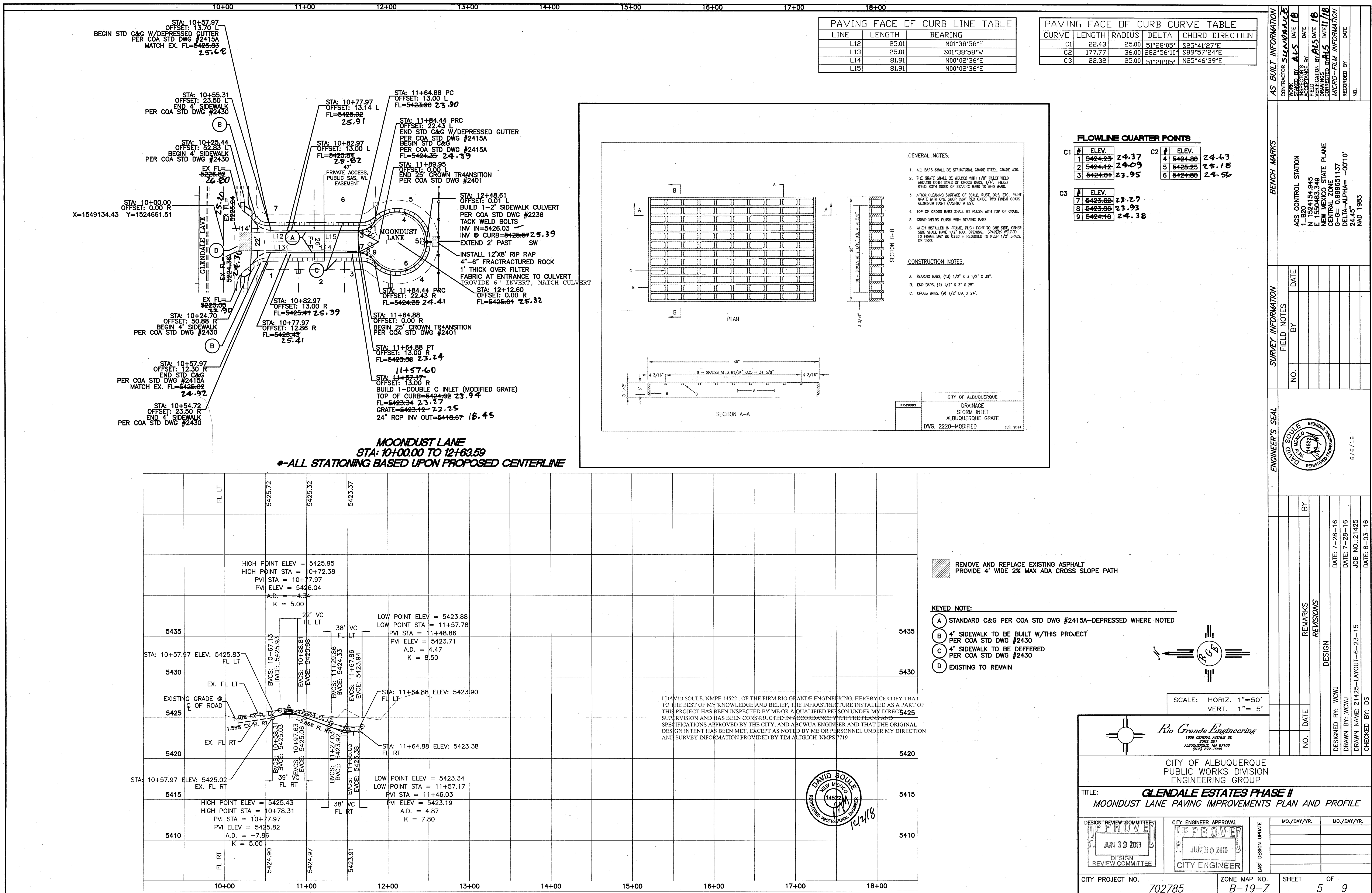
- (A) STANDARD C&G PER COA STD DWG #2415A
- (B) 4' SIDEWALK TO BE BUILT W/THIS PROJECT
PER COA STD DWG #2430
- (C) 4' SIDEWALK TO BE DEFERRED
PER COA STD DWG #2430

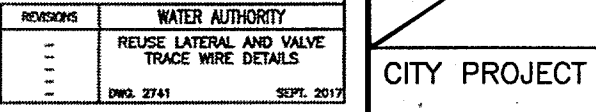
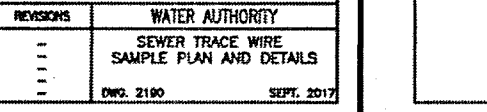
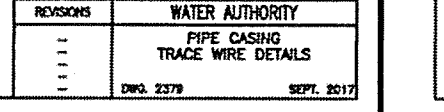
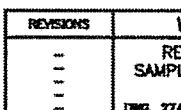
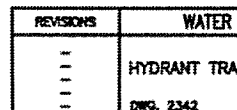
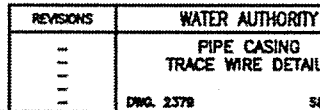
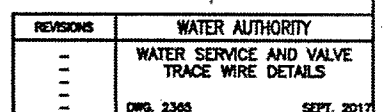
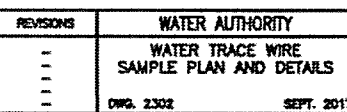
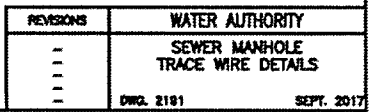
- GENERAL NOTES:

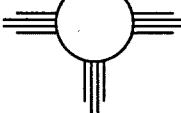
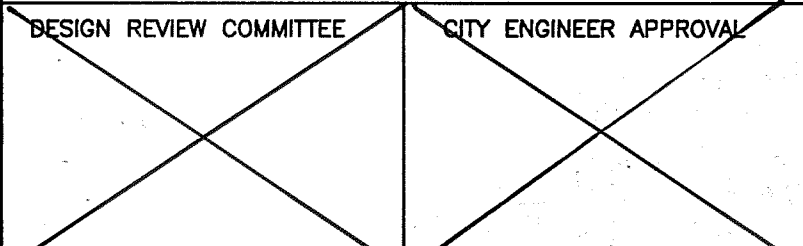
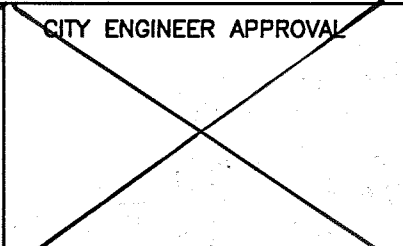

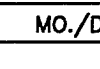



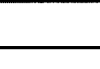

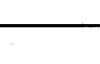
1. ALL WALL FOUNDATIONS/TOE MUST BE OUTSIDE COA ROW.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL ROADWAY SIGNS UNTIL FINAL ACCEPTANCE.

[illegible]

	<i>Pio Grande Engineering</i> 1606 CENTRAL AVENUE SE SUITE 101 ALBUQUERQUE, NM 87106 (505) 872-0989		DESIGNED BY	DRAWN BY: W	DRAWN NAME	CHECKED BY
	NO.	DATE				
CITY OF ALBUQUERQUE PUBLIC WORKS DIVISION ENGINEERING GROUP						
TITLE: <i>GLENDAL ESTATES PHASE III</i> <i>MASTER PAVING PLAN</i>						
DESIGN REVIEW COMMITTEE 	CITY ENGINEER APPROVAL 	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.		
CITY PROJECT NO.	ZONE MAP NO. <i>702785</i> <i>B-19-Z</i>	SHEET	OF			
				<i>4</i>	<i>9</i>	





	<p align="center"><i>Rio Grande Engineering</i></p> <p align="center">1808 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87108 (505) 874-0095</p>					DATE NO.	DESIGNED BY DRAWN BY DRAWN NAME CHECKED BY		
<p align="center"> ABCWUA PUBLIC WORKS DIVISION ENGINEERING GROUP </p>									
<p> TITLE: <i>GLENDAL ESTATES PHASE II</i> <i>TRACER WIRE DETAILS</i> </p>									
DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL		LAST DESIGN UPDATE		MO./DAY/YR.		MO./DAY/YR.	
									
									
									
									
CITY PROJECT NO.		ZONE		MAP NO.		SHEET		OF	
702795		100		10		6A		0	

CAUTION:
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NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

WL TABLE

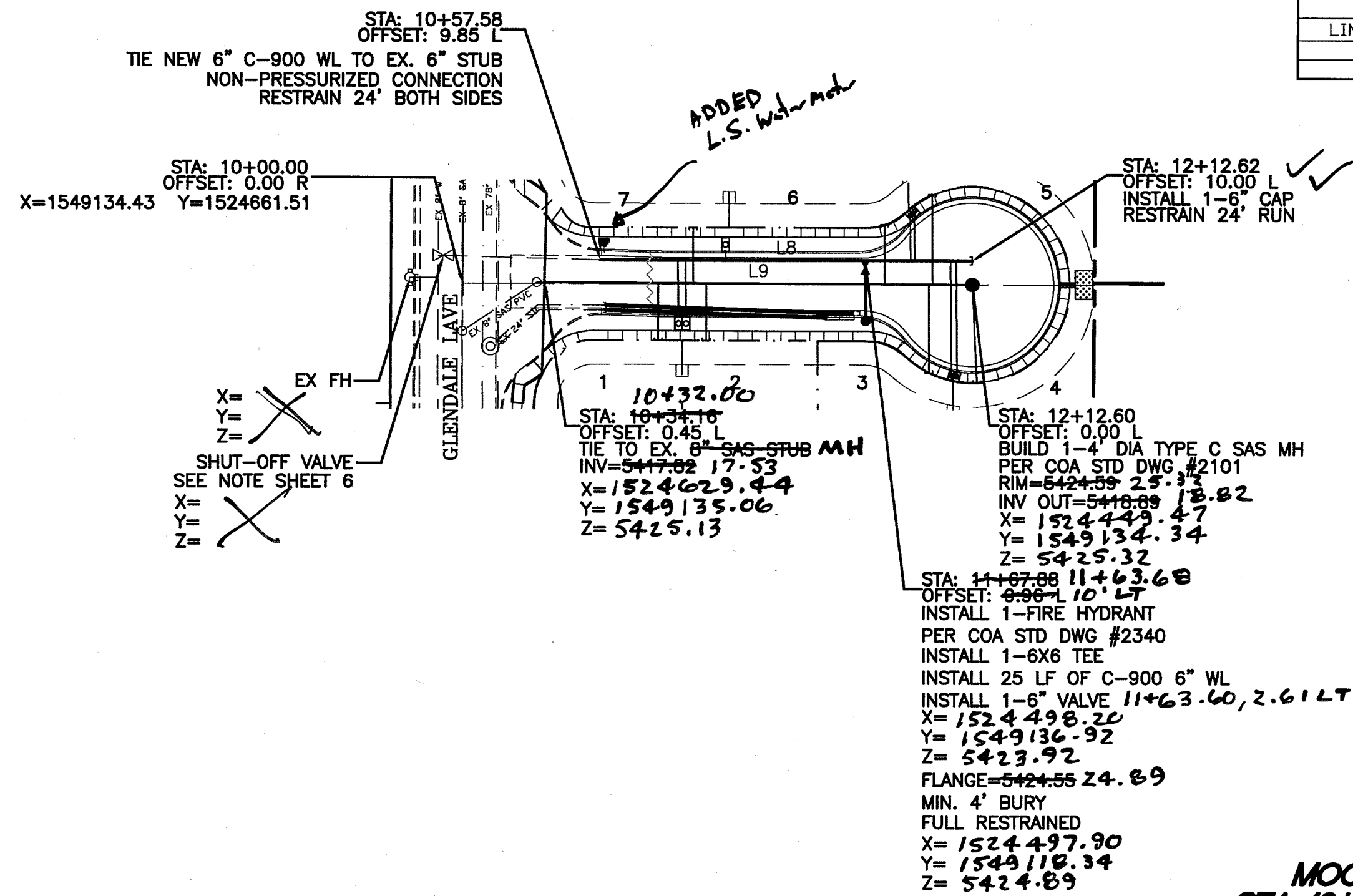
LOT #	X,Y,Z AS BUILT LOCATION	STATION	SERVICE
1&2	X=152456.94 Y=1549123.0 Z=5422.0	10+91.51	DOUBLE
3&4	X=152445.7 Y=1549100 Z=5425.0	12+04.51	DOUBLE
5&6	X=152447.5 Y=1549157 Z=5425.0	11+86.02	DOUBLE
7	X=152455.0 Y=1549157 Z=5425.0	11+11.02	SINGLE

SAS TABLE

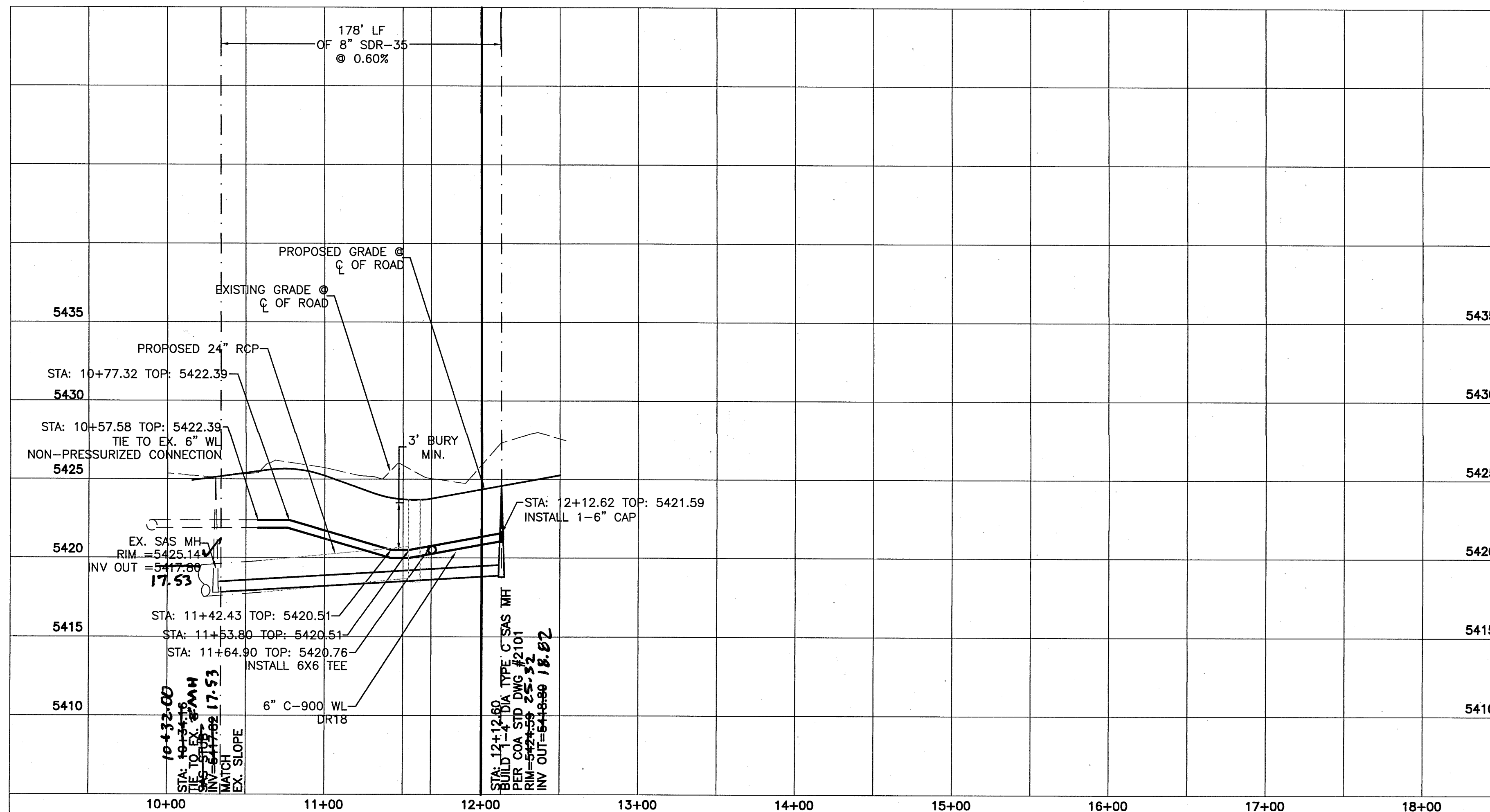
LOT #	STATION*	LF	INV.*	ELEV. @ PL
1	10+81.46	24	5418.10	5422.16
2	11+01.46	24	5418.22	5422.15
3	11+94.43	36	5418.78	5421.75
+4	12+12.60	41	5419.22	5421.97
5	11+94.11	36	5418.80	5421.73
6	11+76.04	24	5418.67	5421.33
7	10+96.06	24	5418.19	5420.68

+--DENOTES CONNECTION TO MH
PER COA STD DWG #2118

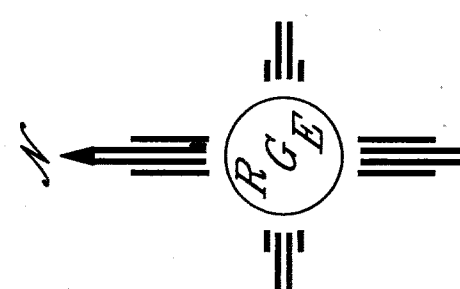
UTILITY LINE TABLE		
LINE	LENGTH	BEARING
L8	155.01	S00°19'03"E
L9	178.44	S00°04'47"E



MOONDUST LANE
STA: 10+00.00 TO 12+63.59
***--ALL STATIONING BASED UPON PROPOSED CENTERLINE**



- NOTE:**
1. SEE MASTER UTILITY PLAN FOR SANITARY SEWER SERVICE CONNECTION DETAILS.
 2. ALL SAS SERVICE CONNECTION TO MH SHALL BE PER COA STD DWG #2118
 3. ALL EXISTING UTILITY CONNECTION LOCATIONS AND INVERTS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
 4. WATER VALVES SHALL BE PER COA STD DWG #2326, 2328, 2461.
 5. ALL VALVE BOXES SHALL BE POLYMER COATED 12" CMP.
 6. ALL WATER SERVICES SHALL BE PER COA STD DWG #2361, 2362, 2366, 2368.
 7. ALL JOINTS BETWEEN VERTICAL BENDS SHALL BE RESTRAINED.
 8. ALL NEW WATERLINES SHALL HAVE TRACER WIRE INSTALLED SEE DETAILS THIS SHEET
 9. ALL SANITARY SEWER SERVICES SHALL REFER TO COA STD DWG #2118, 2124



SCALE: HORIZ. 1"=50'
VERT. 1"= 5'

I, DAVID SOULE, NMPE 14522, OF THE FIRM RIO GRANDE ENGINEERING, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFRASTRUCTURE INSTALLED AS A PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR A QUALIFIED PERSON UNDER MY DIRECT SUPERVISION AND HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE CITY, AND ABCWUA ENGINEER AND THAT THE ORIGINAL DESIGN INTENT HAS BEEN MET, EXCEPT AS NOTED BY ME OR PERSONNEL UNDER MY DIRECTION AND SURVEY INFORMATION PROVIDED BY TIM ALDRICH NMPS 7719

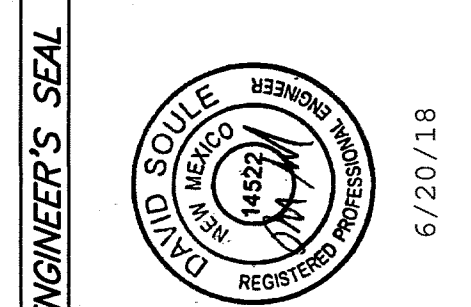


AS BUILT INFORMATION	
CONTRACTOR	SUNDALE
WORK STARTED BY	ALS
DATE	18
INSPECTED BY	DATE
FIELD	DATE
VERIFICATION BY	ALS
DATE	18
CORRECTED BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE
NO.	

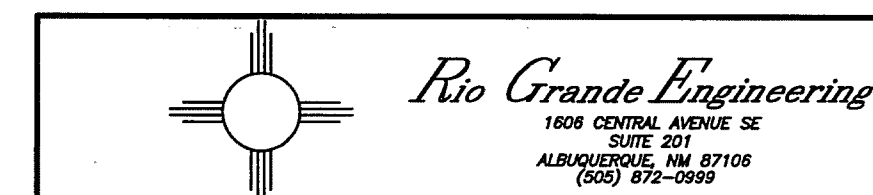
BENCH MARKS

ACS CONTROL STATION
1-B20
N 1524154.945
E 1550483.348
NEW MEXICO STATE PLANE
COORDINATES
DELTA-ALPHA= -00'10"
24.45"
NAD 1983

SURVEY INFORMATION	
FIELD NOTES	DATE
BY	
NO.	

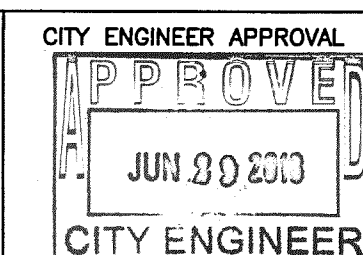


ENGINEER'S SEAL	
REVISIONS	BY
DESIGN	
DATE: 8-01-16	
DATE: 8-01-16	
JOB NO: 21425	
DATE: 8-04-16	



ABCWUA
PUBLIC WORKS DIVISION
ENGINEERING GROUP

TITLE: GLENDALE ESTATES PHASE II
MOONDUST LANE UTILITY IMPROVEMENTS PLAN AND PROFILE



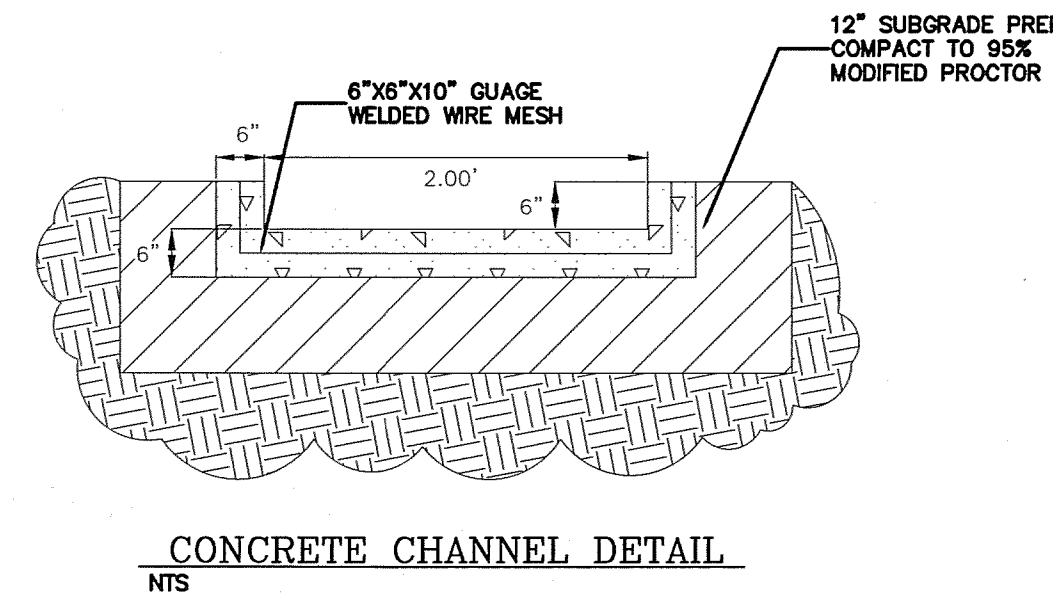
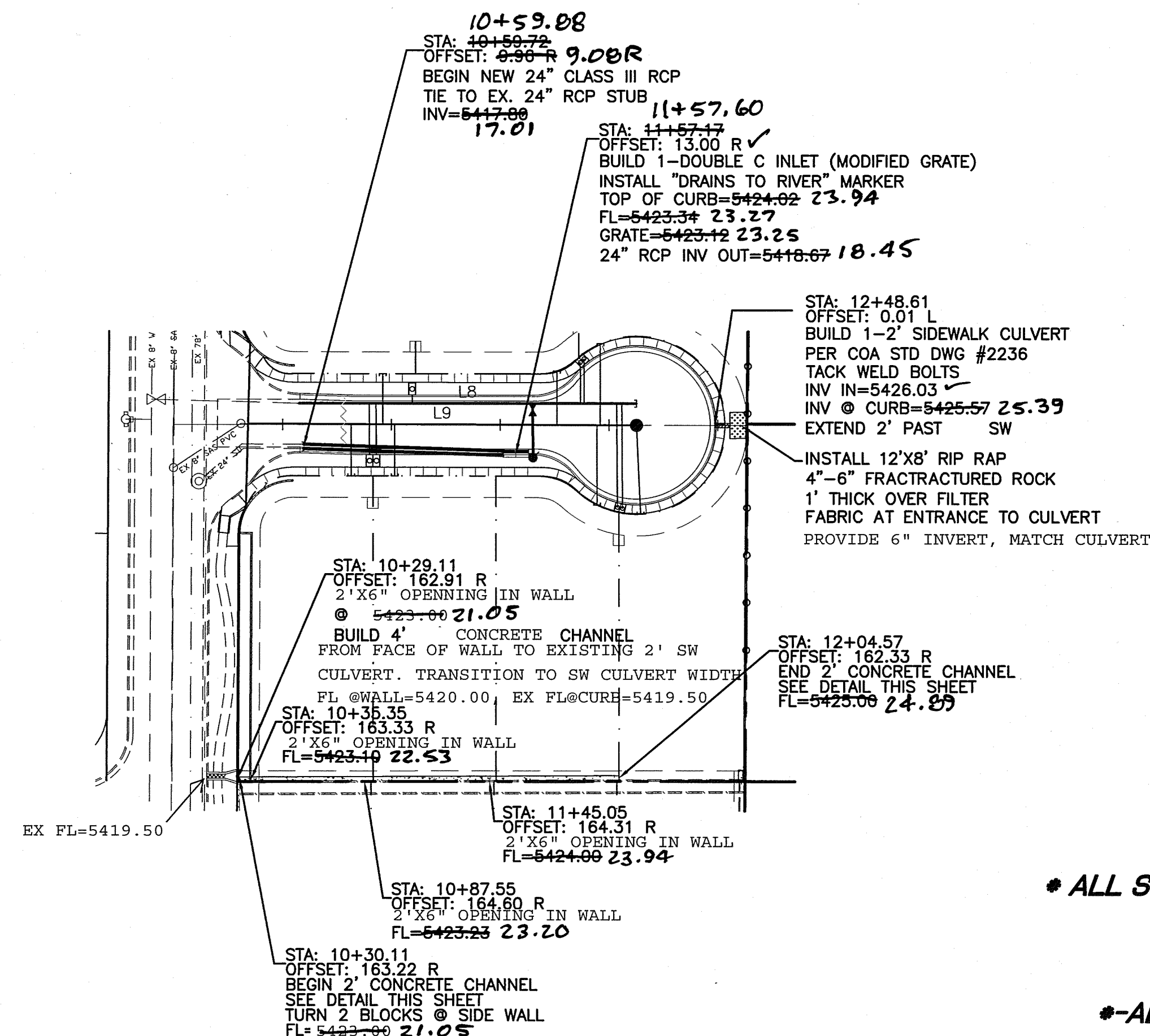
MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. 702785

ZONE MAP NO. B-19-Z

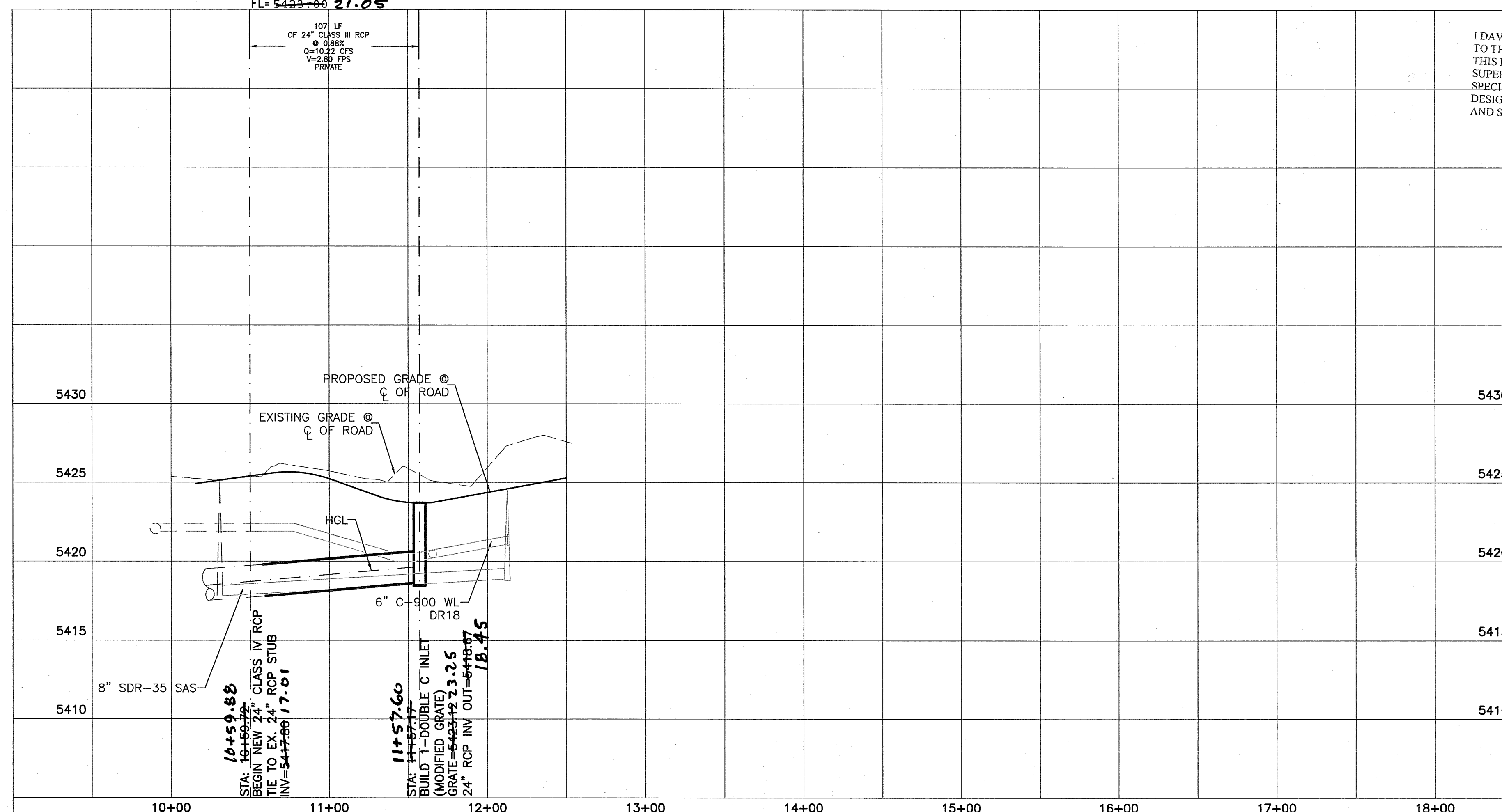
SHEET 7 OF 9

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NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

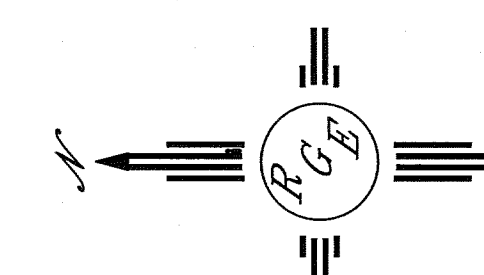
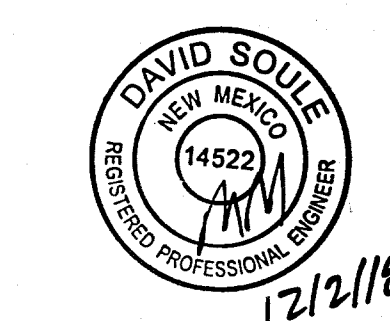


*** ALL STORM DRAIN WITHIN MOONDUST LANE SHALL BE PRIVATE**

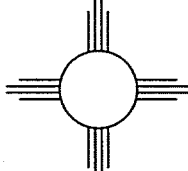

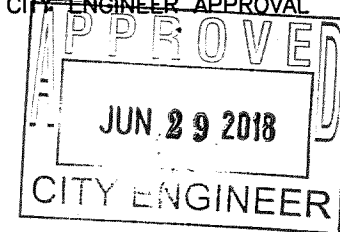
MOONDUST LANE
STA: 10+00.00 TO 12+53.55
***-ALL STATIONING BASED UPON PROPOSED CENTERLINE**



I, DAVID SOULE, NMPE 14522, OF THE FIRM RIO GRANDE ENGINEERING, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFRASTRUCTURE INSTALLED AS A PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR A QUALIFIED PERSON UNDER MY DIRECT SUPERVISION AND HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND APPROVED BY THE CITY, AND ARCBWA ENGINEER AND THAT THE PLANS AND DESIGN INTENT HAS BEEN MET, EXCEPT AS NOTED BY ME OR PERSONNEL UNDER MY DIRECTION AND SURVEY INFORMATION PROVIDED BY TIM ALDRICH NMPS 7719.

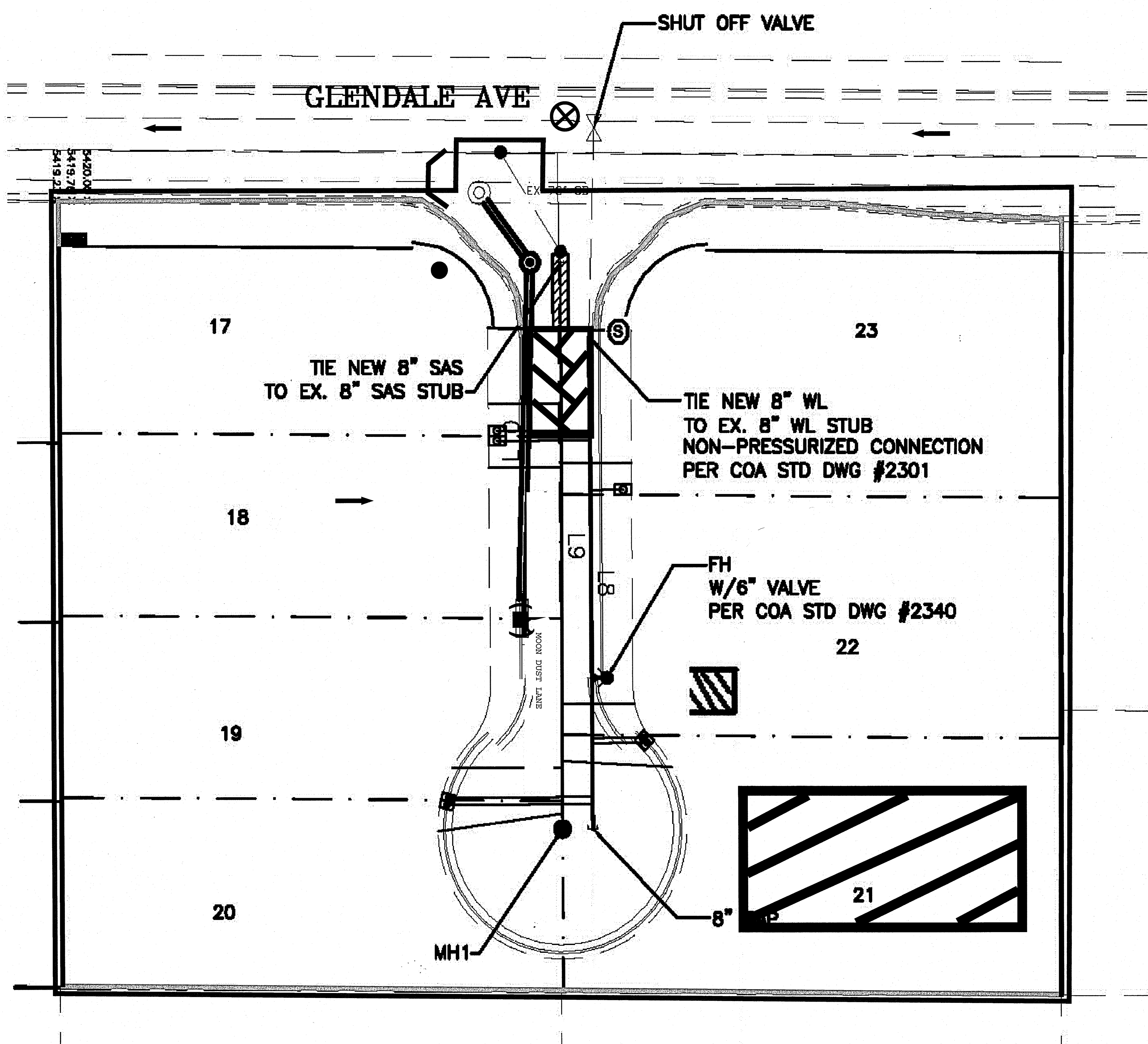


SCALE: HORIZ. 1"=50'
VERT. 1"= 5'

	<p align="center"><i>Rio Grande Engineering</i></p> <p align="center">1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-1000</p>	NO.	DATE	DESIGNED BY	DRAWN BY: W.	CHECKED BY
<p align="center">CITY OF ALBUQUERQUE PUBLIC WORKS DIVISION ENGINEERING GROUP</p>						
<p>TITLE: <i>GLENDALE ESTATES PHASE II</i> <i>MOONDUST STORM DRAIN IMPROVEMENTS PLAN AND PROFILE</i></p>						
DESIGN REVIEW COMMITTEE 	CITY ENGINEER APPROVAL 	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.		
CITY PROJECT NO.	202785	ZONE MAP NO.	B-19-Z	SHEET	OF	

Note:

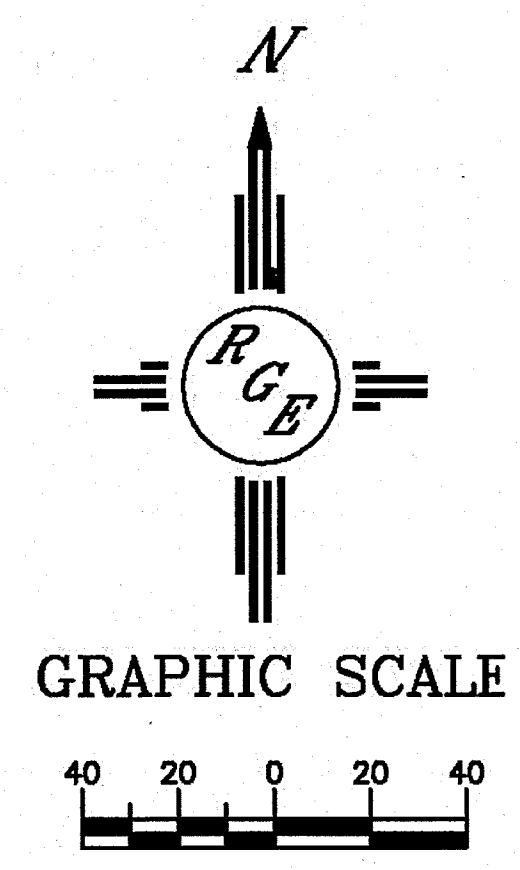
- When doing work in the City ROW (sidewalk, storm drain, drive pads) avoid dirt from getting into the street. If dirt is present in the street, the street should be swept every few days or the same day if rain is imminent.
- If stock piling dirt in the street and rain is forecasted, place wattles along the down slope side of the pile.



Legend

Erosion Sediment Control Plan

- Project Perimeter & Disturbed Area
- Silt Fence
- Pre Flow & Post Flow
- Outfall
- Posting Sign
- Staging Area
- Stabilized Construction Entrance
- Trash Receptacle
- Chemical Toilet
- Concrete Washout
- Inlet Protection
- Retaining Wall
- Wattle
- Block Wall



Glendale Estates Phase III

Receiving Waters and Critical Habitat: Rio Grande is located 5.3 miles to the West

Impairments: E. coli, Dissolved Oxygen, PCBs in Fish Tissue, Water Temperature