

CONSTRUCTION PLANS  
FOR PRIVATE AND PUBLIC INFRASTRUCTURE  
RANCHO ENCANTADO CONDOMINIUMS  
ALBUQUERQUE, NEW MEXICO

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PRIVATE PAVING PLANS

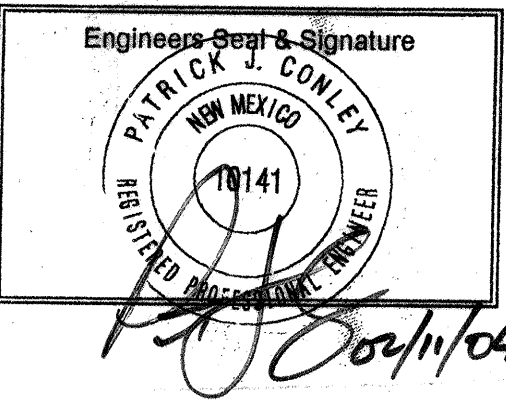
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5	VALLE ALEGRE WAY

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7	VALLE ALEGRE WAY
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RECORD DRAWINGS

I, Patrick J. Conley of the firm of SMITH ENA. CO  
A Registered Professional Engineer in the State of New Mexico, do hereby certify, to  
the best of my knowledge and belief, that the infrastructure installed as part of this  
project has been inspected by me or by a qualified person under my direct supervision  
and has been constructed in accordance with the plans and specifications, while  
~~someone from Smith Engineering Company was on site~~, approved by the City Engineer  
and that the original design intent of the approved plans has been met, except as noted  
by me on the as-built construction drawings. This Certification is based on site  
inspections by me or personnel under my direction and survey information provided by  
Russ Hugg (Surveyor Name) NMPS number 9750 (PS #).



SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750,  
hereby certify that the as-built information shown hereon is the  
result of an actual field survey performed by me or under my direct  
supervision and that the same is true and correct to the best of my  
knowledge and belief.

Russ P. Hugg  
NMPS No. 9750  
FEB. 4, 2004



APPROVED AS RECORD DRAWINGS  
DESIGN REVIEW SECTION  
CITY ENGINEER  
DATE: 2/22/03

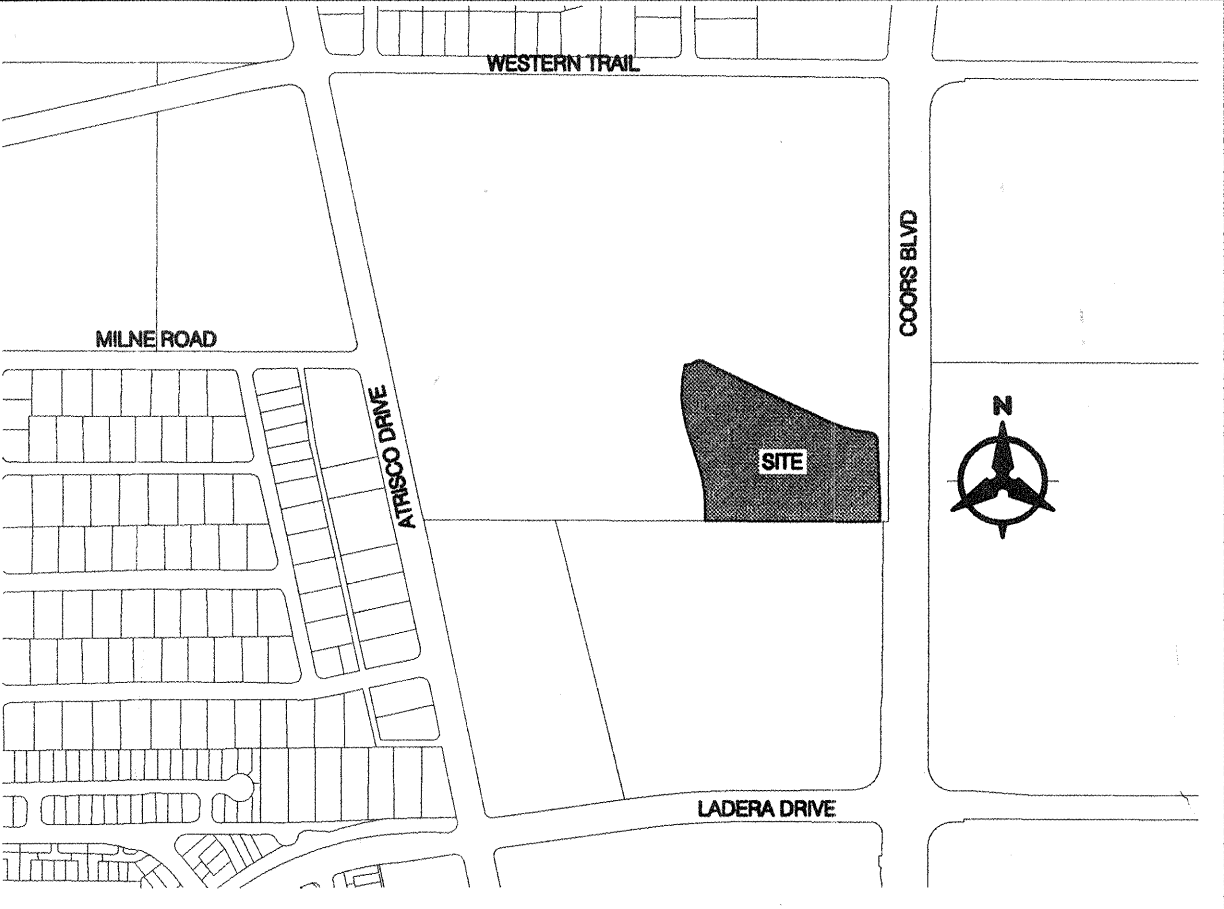
CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
- PRIOR TO CONSTRUCTION SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR CONSTRUCTION OBSERVER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE CONSTRUCTION OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADING, SURFACE DISTURBANCE).
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE AT HIS EXPENSE ANY AND ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- ALL PERMANENT PAVEMENT MARKING AND TRAFFIC SIGNING SHALL BE FURNISHED BY THE CONTRACTOR PER PLAN.
- THE CONTRACTOR SHALL FOLLOW THE CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN PROVIDED HEREIN. THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- ALL SAWCUT PAVEMENT SHALL HAVE A UNIFORM EDGE AND BE SPRAYED WITH TACK.
- WHEN ABUTTING NEW CURB AND GUTTER TO EXISTING PAVEMENT, A 1" WIDE SECTION OF EXISTING PAVEMENT ADJACENT TO THE CURB AND GUTTER SHALL BE SAWCUT, REMOVED, AND REPLACED AS PER THE STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENTS, PAVEMENT MARKINGS, CURB & GUTTER, DRIVE PADS, WHEELCHAIR RAMPS, AND SIDEWALK DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE PER COA STANDARDS, AT HIS OWN EXPENSE.

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15  
26 7043.81 03

Bohannon & Huston  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335



VICINITY MAP  
F-11-Z

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #6.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS, SHOULD A CONFLICT EXIST. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULED. TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPANCY AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- ALL WORK EFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- CONTRACTOR SHALL COORDINATE WITH THE CITY OF ALBUQUERQUE WATER UTILITY DIVISION (857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER OR SEWER UTILITIES. EXISTING VALVES TO BE OPERATED BY CITY PERSONNEL ONLY. CONTRACTOR SHALL CONTACT THE WATER SYSTEMS DIVISION SEVEN (7) WORKING DAYS PRIOR TO NEEDING VALVES TURNED ON OR OFF.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

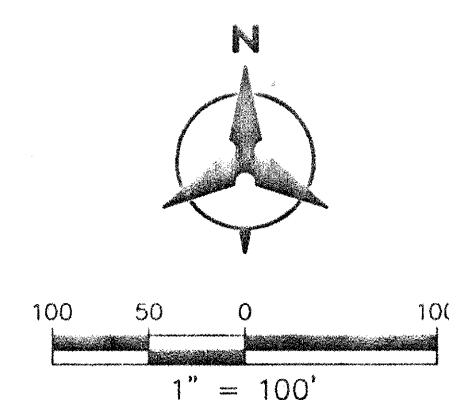
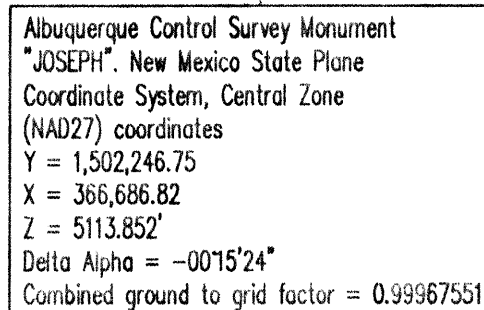
- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☒ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE ENGINEER.
- ☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☒ IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- ☒ THE REQUESTOR OR DEVELOPER SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ALL CURB AND GUTTER OR SIDEWALK DAMAGED AFTER APPROVAL BY THE CITY ENGINEER OF WORK COMPLETED BY THE CONTRACTOR.

DRB #1002384 HAB

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE	APPROVALS	ENGINEER	DATE	*****	APPROVED FOR CONSTRUCTION		
	DRC Chairman	<u>Russ P. Hugg</u>	4-22-03				
	Transportation	<u>Brady A. Bigham</u>	3/21/03				
	Water/Wastewater	<u>Brady A. Bigham</u>	3/21/03				
	Hydrology	<u>Brady A. Bigham</u>	3/21/03				
	Parks	<u>Brady A. Bigham</u>	3/21/03				
	Const. Coord.	<u>Brady A. Bigham</u>	4-22-03				
	NMUI	<u>Brady A. Bigham</u>	4-22-03				
City Project No.		704381		Sheet		Of	
				1		10	



SCANNED BY  
MESA REPRO



## GENERAL NOTES


- ## SITE DATA

ZONE ATLAS NO.	F-11-2
ZONING	SU-3
NO. OF EXISTING PARCELS	2
NO. OF LOTS CREATED	131
NO. OF TRACTS CREATED	20

**SURVEY NOTES:**

1. ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
2. ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.I'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (▲) AND WILL BE MARKED BY (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT SUBDUSE PLS 6544".
3. THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
4. BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
5. DISTANCES SHALL BE GROUND DISTANCES.
6. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED FOR MONUMENTATION AND STREET NAMES

 12-12-02  
CITY SURVEYOR DATE

*J. Mark Ferguson* 12-11-02  
J. MARK FERGUSON, DIVISION PRESIDENT  
D.R. HORTON, INC.

# Bohannon Huston

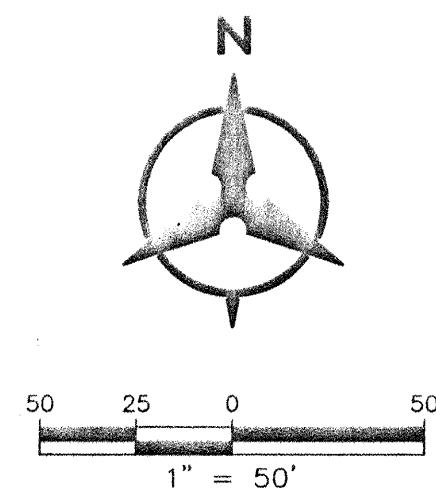
Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
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Tangent Table		
ID	BEARING	LENGTH
T1	S77°03'54"W	327.0
T2	S81°39'24"W	149.8
T3	S12°00'44"E	87.3
T4	S89°43'29"E	292.6
T5	S89°43'30"E	80.0
T6	S89°43'29"E	261.0
T7	S03°01'49"E	302.9
T8	S08°12'12"E	130.4
T9	S03°00'25"E	243.3
T10	S03°13'23"W	111.8
T11	N6°44'09"W	473.3
T12	N02°45'11"W	200.3
T13	N00°40'50"E	64.0
T14	S89°45'27"E	154.1
T15	N11°44'03"W	517.6
T16	N72°31'04"E	151.2
T17	N77°03'54"E	327.0














Curve Table				
ID	ARC	RADIUS	DELTA	TANGENT
C1	51.22°	30.00'	94°26'	34.40'
C2	201.90°	2591.31'	04°27'51"	101.00'
C3	39.27°	25.00'	89°59'01"	25.00'
C4	39.27°	25.00'	89°59'13"	25.00'
C5	304.96°	838.32'	20°50'34"	154.18'
C6	436.39°	782.32'	31°57'38"	224.04'
C7	26.68°	25.00'	61°08'57"	14.77'
C8	147.84°	75.00'	11°25'62"	13.18'
C9	25.30°	25.00'	57°59'41"	113.86'
C10	143.69°	390.21'	21°05'54"	72.64'
C11	37.76°	25.00'	86°35'53"	23.57'



RANCHO ENCANTADO DEL SUR  
SEE SHEET 2



LEGEND

-  (91.62) FUTURE SPOT ELEVATION  
 91.62 PROPOSED SPOT ELEVATION  
 92.46 EXISTING SPOT ELEVATION (GND & TO)  
 EXISTING CURB & GUTTER  
 PROPOSED MOUNTABLE CURB & GUTTER  
 PROPOSED STANDARD CURB & GUTTER  
 54.21 EXISTING CONTOUR W/ INDEX ELEVATION  
 FLOW ARROW  
 PROPOSED RETAINING WALL  
 PROPOSED SLOPE  
 PROPOSED STORM DRAIN  
 PROPOSED STORM DRAIN MANHOLE  
 PROPOSED STORM DRAIN INLET

[illegible]

# Bohannon ▲ Huston

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**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**

RANCHO ENCANTADO  
CONDOMINIUMS  
GRADING AND EROSION CONTROL PLAN

Design Review Committee

City Engineer Approval

## Fast Design Update

Mo./Day/Yr.	Mo./Day/Yr.
-------------	-------------

Cit Project No.  
70438

Zone Map No.  
F-11-2

Sheet 3 Of 4

ROUGH GRADING (±0.5')  
*Bruce L. Biles* 1-15-0  
 APPROVED FOR ROUGH GRADING DATE

For Information Only

**SHEET 3 of 10**







SCANNED BY  
MESA REPRO

PT	STATION	OFFSET	ELEVATION
M1	10+80.95	2.98' LT.	5107.55
M2	10+94.78	3.45' LT.	5107.63
M3	10+95.18	2.53' RT.	5107.63
M4	10+81.05	3.02' RT.	5107.55

NOSE TO BE PAINTED  
REFLECTIVE YELLOW (TYP.)  
R3.00'

5107.61 TC  
5107.61 FL  
5107.62 TC  
5107.62 FL

MEDIAN DETAIL  
NOT TO SCALE

## VALLE ALEGRE WAY

ELEVATIONS ARE IN NGVD 29

### SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that the as-built information shown hereon is the result of an actual field survey performed by me or under my direct supervision and that the same is true and correct to the best of my knowledge and belief.

Russ P. Hugg  
NMPS No. 9750  
FEB 4 2004



### KEYED NOTES

- BUILD RESIDENTIAL PAVEMENT PER RESIDENTIAL SECTION, SHEET 4.
- INSTALL 6" CONCRETE VALLEY GUTTER PER COA STD. DWG. 2420.
- INSTALL 12" CONCRETE VALLEY GUTTER PER COA STD. DWG. 2422.
- BUILD STD. CURB & GUTTER PER COA STD. DWG. 2415.
- BUILD ROLL TYPE CURB & GUTTER PER COA STD. DWG. 2415.
- BUILD MEDIAN CURB & GUTTER PER COA STD. DWG. 2415.
- 4' SIDEWALK, DEFERRED.

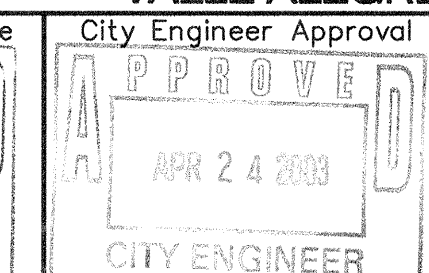
\* NOT USED THIS SHEET.

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Court yard | 7500 Jefferson St NE Albuquerque, NM 87109-4335  
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**CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT**

**RANCHO ENCANTADO CONDOMINIUMS  
PAVING PLAN AND PROFILE  
VALLE ALEGRE WAY**



City Project No. 704381

Zone Map No. F-11-Z

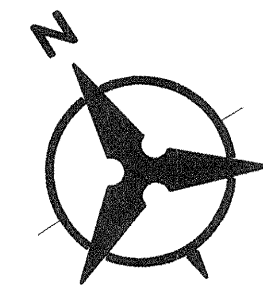
Sheet 5 Of 10

1" = 40' (HORIZ.)  
1" = 10' (VERT.)

ID	ARC	RADIUS	DELTA	TANGENT
C1	38.63'	50.00'	44°15'54"	20.34'
C2	17.62'	50.00'	20°11'08"	8.90'
C3	124.43'	150.00'	47°31'46"	66.05'
C4	229.69'	250.00'	52°38'29"	123.67'
C5	16.33'	174.00'	05°22'43"	8.17'
C6	61.32'	60.00'	58°33'18"	33.64'
C7	232.60'	50.00'	266°32'21"	-----
C8	87.34'	150.00'	33°21'46"	44.95'
C9	116.54'	150.00'	44°30'53"	61.39'
C10	189.50'	65.00'	167°02'21"	572.24'
C11	63.41'	50.00'	72°39'44"	36.77'
C12	13.29'	274.00'	02°46'44"	6.65'
C13	83.54'	126.00'	37°59'16"	43.37'
C14	4.79'	3.00'	91°23'47"	3.07'
C15	16.36'	30.00'	31°14'20"	8.39'
C16	4.72'	3.05'	88°35'46"	2.98'

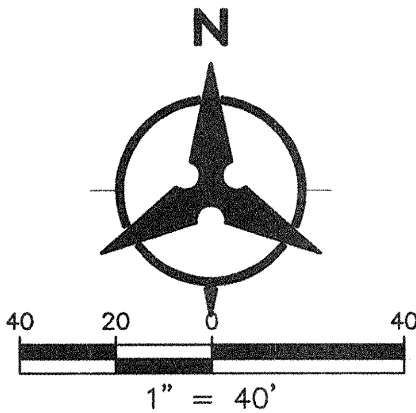
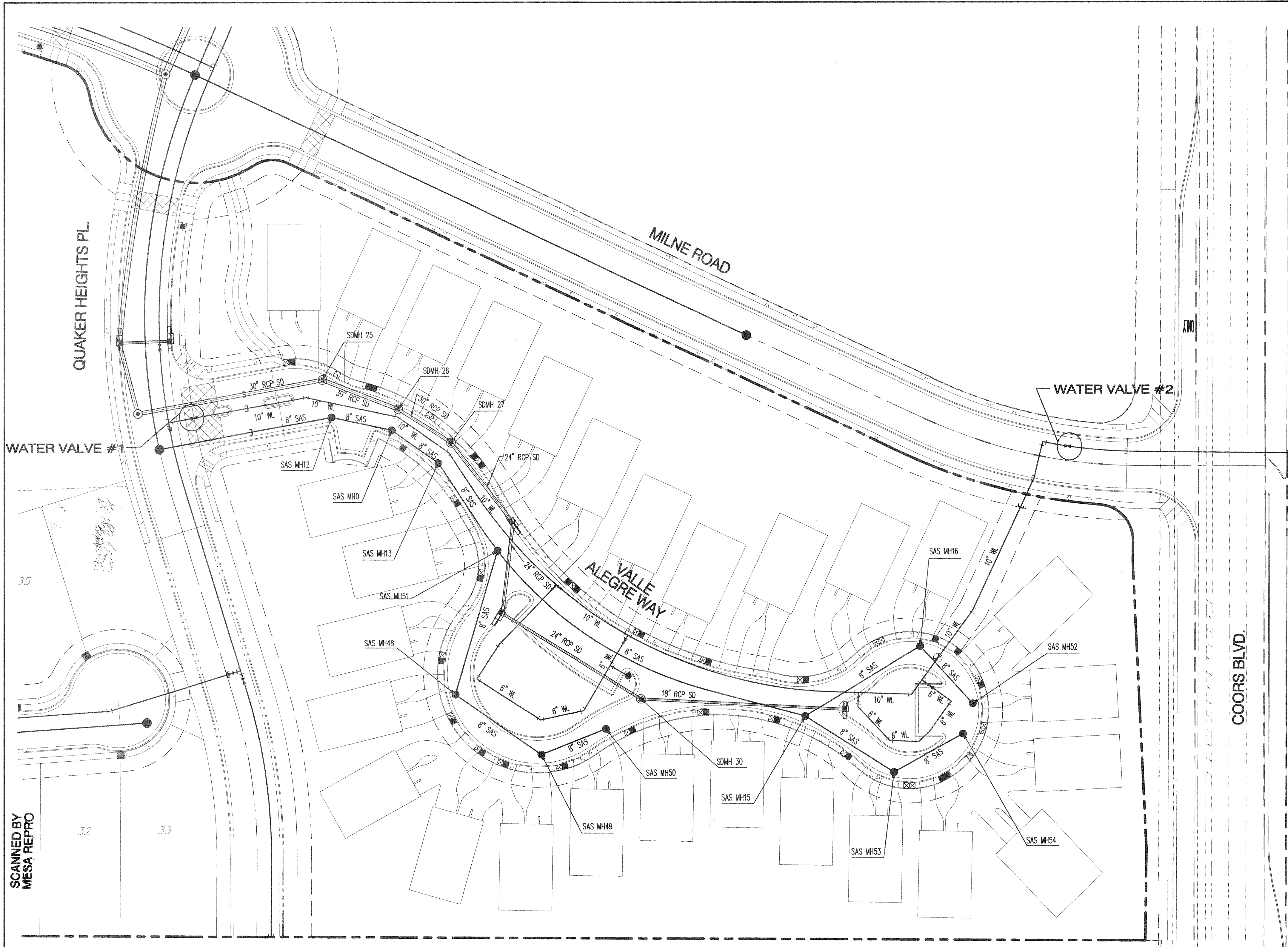
ID	ARC	RADIUS	DELTA	TANGENT
C17	4.97'	3.00'	94°50'29"	3.26'
C18	18.83'	10.00'	107°53'56"	13.74'
C19	23.22'	70.00'	19°00'13"	11.72'
C20	131.19'	45.00'	167°02'22"	396.18'
C21	41.58'	170.00'	14°00'55"	20.90'
C22	21.89'	10.00'	125°24'32"	19.38'
C23	4.97'	3.00'	94°50'29"	3.26'
C24	87.29'	294.00'	17°00'42"	43.97'
C25	2.29'	1.00'	130°55'58"	2.19'
C26	48.97'	30.00'	93°31'48"	31.91'
C27	28.73'	80.00'	20°34'34"	14.52'
C28	10.88'	5.00'	124°37'47"	9.53'
C29	31.43'	170.00'	10°35'34"	15.76'
C30	47.72'	30.00'	91°08'38"	30.61'
C31	2.29'	1.00'	130°55'58"	2.19'

ID	BEARING	LENGTH
T1	S79°49'23"W	48.98'
T2	N90°00'00"E	17.91'
T3	S00°00'00"W	36.00'
T4	S90°00'00"W	17.91'
T5	S27°57'50"W	16.99'
T6	S44°58'31"W	16.99'
T7	N21°58'09"E	16.96'
T8	N10°10'07"W	17.00'
T9	S79°49'23"W	24.86'
T10	S79°49'23"W	48.99'



40 20 0 40  
1" = 40'





- GENERAL NOTES**
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
  2. ALL CURVE DATA AND DIMENSIONS ARE CALCULATED FROM CENTERLINE OF PIPE OR MANHOLE. ALL SAS & SD SLOPES ARE CALCULATED TO TRUE PIPE DIMENSIONS FROM INVERT TO INVERT. (PAY ITEMS ARE SHOWN IN PARENTHESES)
  3. GRADE ELEVATIONS, WHERE NOTED, ARE FOR FLOWLINE OF CURB UNLESS OTHERWISE SPECIFIED.
  4. CONTRACTOR IS TO INSTALL A 4" X 4" X 5' POST AND END AT THE END OF EACH SANITARY SEWER SERVICE.
  5. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
  6. CONTRACTOR SHALL PROVIDE THE INSPECTORS WITH THE PROPOSED TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
  7. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
  8. ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
  9. MH RIMS & CATCH BASIN INLET ELEVATIONS, VALVE BOXES, APV, FIRE HYDRANT & FLANGE ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT GRADES.
  10. SAS STATIONING FOLLOWS CL OF ROAD UNLESS OTHERWISE NOTED.
  11. FLOWLINE ELEVATIONS FOR DROP INLETS ARE PROJECTED FROM FLOWLINE OF STANDARD CURB TO MIDDLE OF DOWNHILL GRATE.
  12. ALL WATERLINE APPURTENANCES SHALL USE RESTRAINED JOINTS SEE TABLE THIS SHEET.
  13. FOR STORM DRAIN CONSTRUCTION: ALL RCP JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION SHALL DETERMINE WHICH JOINTS ARE TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.

**LEGEND**

---	PROPERTY LINE
---	NEW EASEMENT
SAS	EXISTING SANITARY SEWER
W	EXISTING WATER LINE
---	EXISTING STORM DRAIN
---	EXISTING WATER METER
---	EXISTING CAP
---	EXISTING VALVE
---	EXISTING FIRE HYDRANT
---	EXISTING SANITARY SEWER MANHOLE
---	EXISTING STORM DRAIN
SAS	PROPOSED SANITARY SEWER
WL	PROPOSED WATER LINE
---	PROPOSED VALVE
---	PROPOSED HYDRANT
---	PROPOSED CAP
---	PROPOSED WATER METER
---	PROPOSED DOUBLE WATER METER
---	PROPOSED SANITARY SEWER MANHOLE
---	PROPOSED STORM DRAIN
---	PROPOSED STREET LIGHT

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MESA REPRO

**RESTRAINED JOINT TABLE**

FITTING	LENGTH TO BE RESTRAINED		
	(6")	(8")	(10")
6" X 6" X 6" TEE	7		10
10" X 10" X 6" TEE			17
10" X 10" X 10" TEE			18
45° BEND	10	14	18
11.25° BEND	2	3	3
22.5° BEND	5	7	8
90° BEND	25	33	42
VALVE/DEAD END	55	73	88
22.5° VERT. BEND (UPPER)		29	
22.5° VERT. BEND (LOWER)			31

- NOTE:**
1. ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
  2. THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS, UNLESS SPECIFIED DIFFERENTLY IN THE PLANS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTORS EXPENSE.
  3. THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE ACCOMPANYING TABLE.
  4. THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

**MATERIALS:**  
SAS LINE: SDR-35 PVC  
WATER LINE: C900-PVC

**WATER SHUT-OFF PLAN:**

FOR CONNECTION VALVE CLOSED  
VALLE ALEGRE WAY VALVES # 1 & 2

CONTRACTOR WILL BE RESPONSIBLE FOR FLUSHING, DISINFECTING, AND TESTING THE LINES AS REQUIRED BY THE CITY OF ALBUQUERQUE.

**WATER SHUT-OFF REQUIREMENTS:**

CONTRACTOR WILL BE RESPONSIBLE FOR THE TIMING AND COORDINATION OF THE WATER SHUT-OFF REQUIREMENTS IN CONJUNCTION WITH THE COMPLETION OF CONNECTIONS. AT LEAST SEVEN (7) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT CITY OF ALBUQUERQUE (857-8200) TO INITIATE IMPLEMENTATION OF THIS WATER SHUT-OFF PLAN. CONTRACTOR SHALL NOT OPERATE VALVES ON THE PROJECT.

**Bohannon & Huston**  
Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

**CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT**

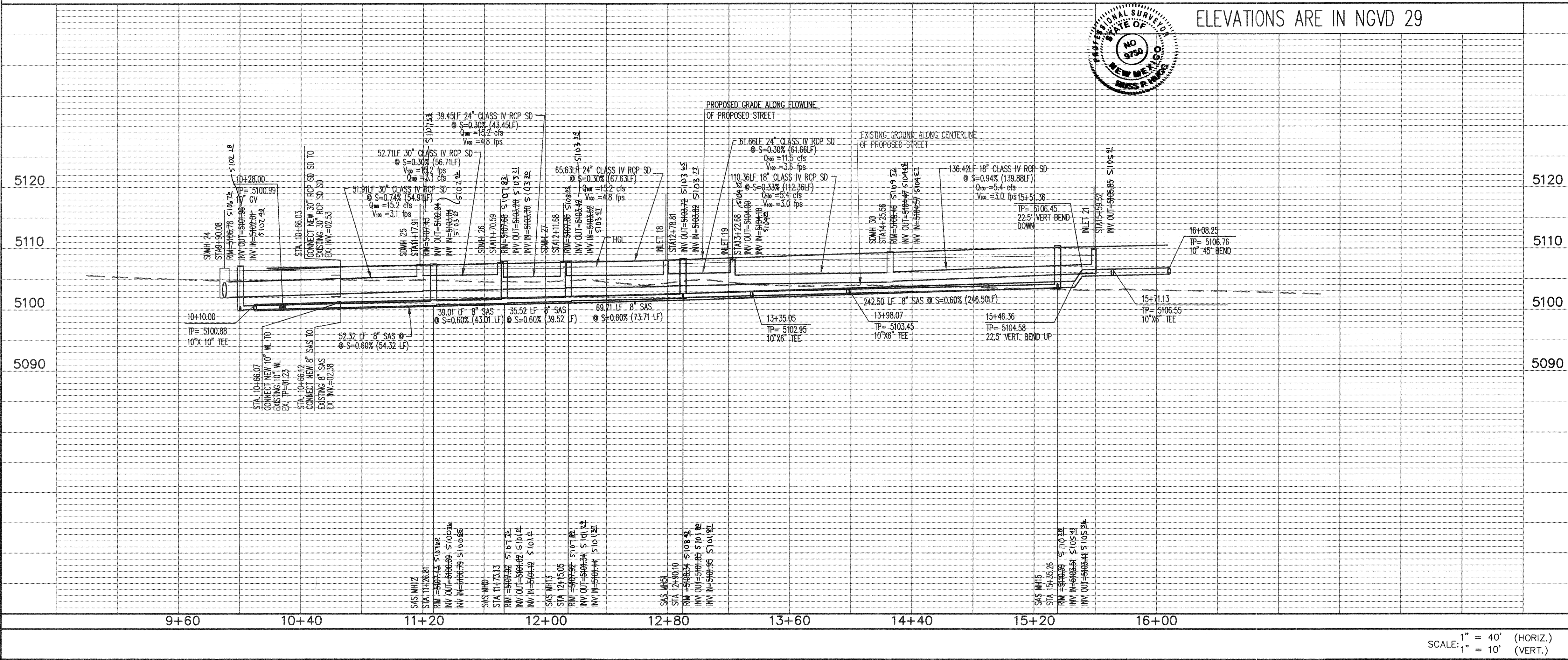
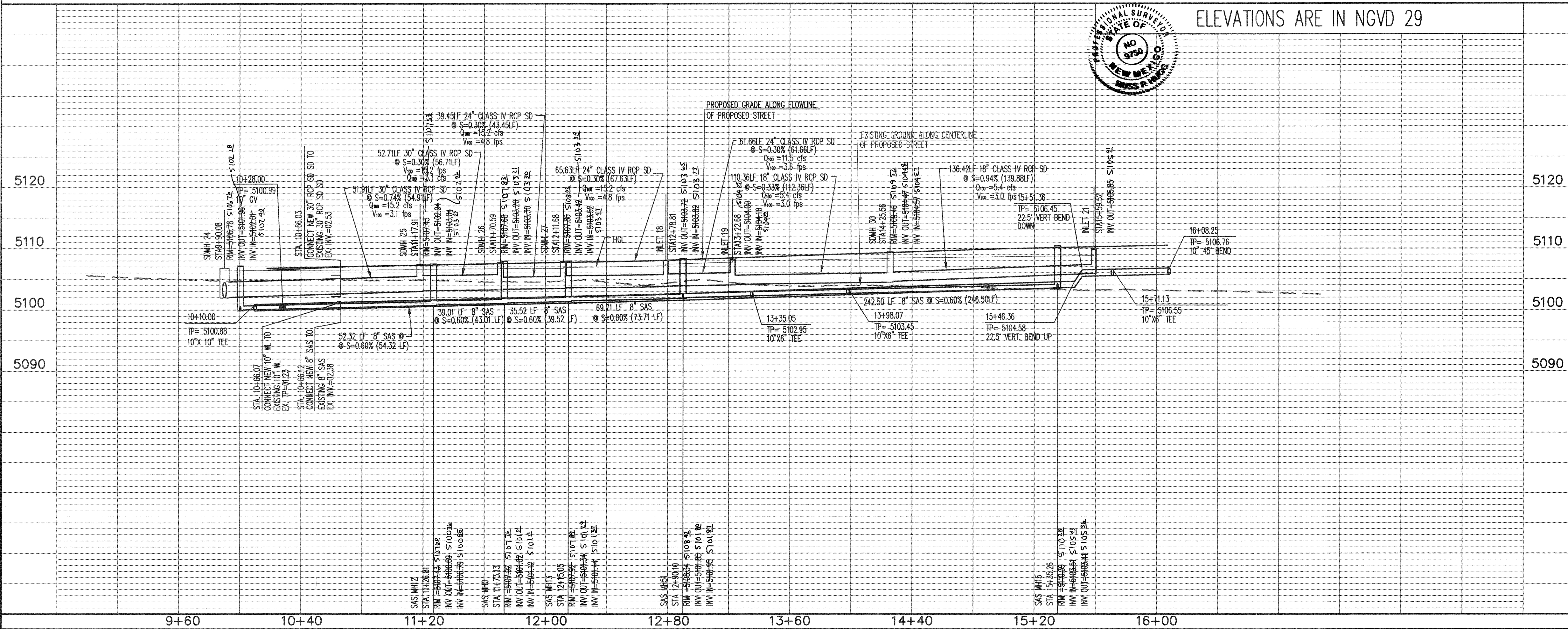
**RANCHO ENCANTADO CONDOMINIUMS  
OVERALL UTILITY PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
APPROVED APR 24 2003 DESIGN REVIEW COMMITTEE	APPROVED APR 24 2003 CITY ENGINEER		
City Project No.	Zone Map No.	Sheet	Of

704381 F-11-Z 6 10



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9+60 10+40 11+20 12+00 12+80 13+60 14+40 15+20 16+00

SCALE: 1" = 40' (HORIZ.)  
1" = 10' (VERT.)

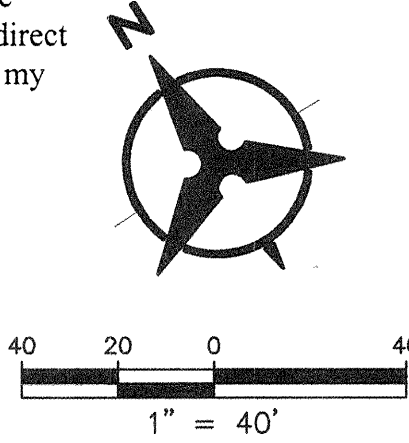
QUAKER HEIGHTS PL  
BUILT UNDER COA PROJ. 704280

## VALLE ALEGRE WAY

### SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that the as-built information shown hereon is the result of an actual field survey performed by me or under my direct supervision and that the same is true and correct to the best of my knowledge and belief.

Russ P. Hugg  
NMPs No. 9750  
FEB. 4 2004



ID	BEARING	LENGTH
T1	N79°37'43"E	54.91'
T2	S68°47'37"E	56.71'
T3	S57°43'02"E	43.45'
T4	S37°51'25"E	67.63'
T5	S06°41'16"W	61.66'
T6	S58°17'25"E	112.36'
T7	S86°58'13"E	138.88'

ID	BEARING	LENGTH
T8	N79°37'43"E	41.41'
T9	S77°52'17"E	65.28'
T10	S55°22'17"E	43.45'
T11	S33°24'49"E	32.81'
T12	N88°14'37"W	18.46'
T13	N88°14'37"W	37.13'

ID	BEARING	LENGTH
T14	S77°52'17"E	43.01'
T15	S55°22'17"E	39.52'
T16	S33°24'49"E	57.87'
T17	S74°55'13"E	71.62'

ID	ARC	RADIUS	DELTA	TANGENT
C1	86.46°	310.00'	1558.48'	43.51'
C2	60.97°	310.00'	1176.11'	30.59'
C3	149.22°	310.00'	2734.49'	76.09'

ID	ARC	RADIUS	DELTA	TANGENT
C4	15.84°	275.00'	0318'02"	7.92'
C5	177.97°	275.00'	3704.46'	92.23'

### GENERAL NOTES

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- SAS STATIONING FOLLOWS CL OF ROAD UNLESS OTHERWISE NOTED.
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- ALL WATERLINE APPURTENANCES SHALL USE RESTRAINED JOINTS, REFER TO TABLES LISTED ON OVERALL UTILITY SHEET 6.
- FOR STORM DRAIN CONSTRUCTION: ALL RCP JOINTS SHALL NOT BE GROUDED PRIOR TO FINAL INSPECTION. FINAL INSPECTION SHALL DETERMINE WHICH JOINTS ARE TO BE GROUDED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.
- 3/4" METEERED WATER SERVICES TO BE INSTALLED PER DETAIL SHEET 10.

### LEGEND

- DOUBLE WATER METER
- SINGLE WATER METER
- WATER LINE SHUTOFF VALVE
- WATER LINE TEE
- SAS LATERAL
- SAS MANHOLE
- STORM DRAIN MANHOLE
- STORM DRAIN INLET
- PROPOSED FIRE HYDRANT
- EXISTING WATER VALVE
- PROPOSED STREET LIGHT

NOTE: SEE SHEET 9 FOR SANITARY SEWER SERVICE AND WATER METER DATA.

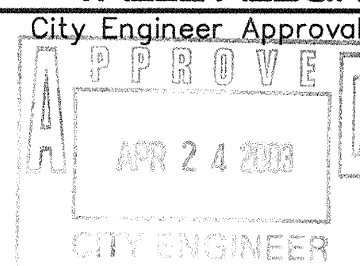
**Bohannon & Huston**

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



**CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT**

**RANCHO ENCANTADO CONDOMINIUMS  
UTILITY PLAN AND PROFILE  
VALLE ALEGRE WAY**



City Project No.

704381

Zone Map No.

F-11-Z

Sheet

7

Of

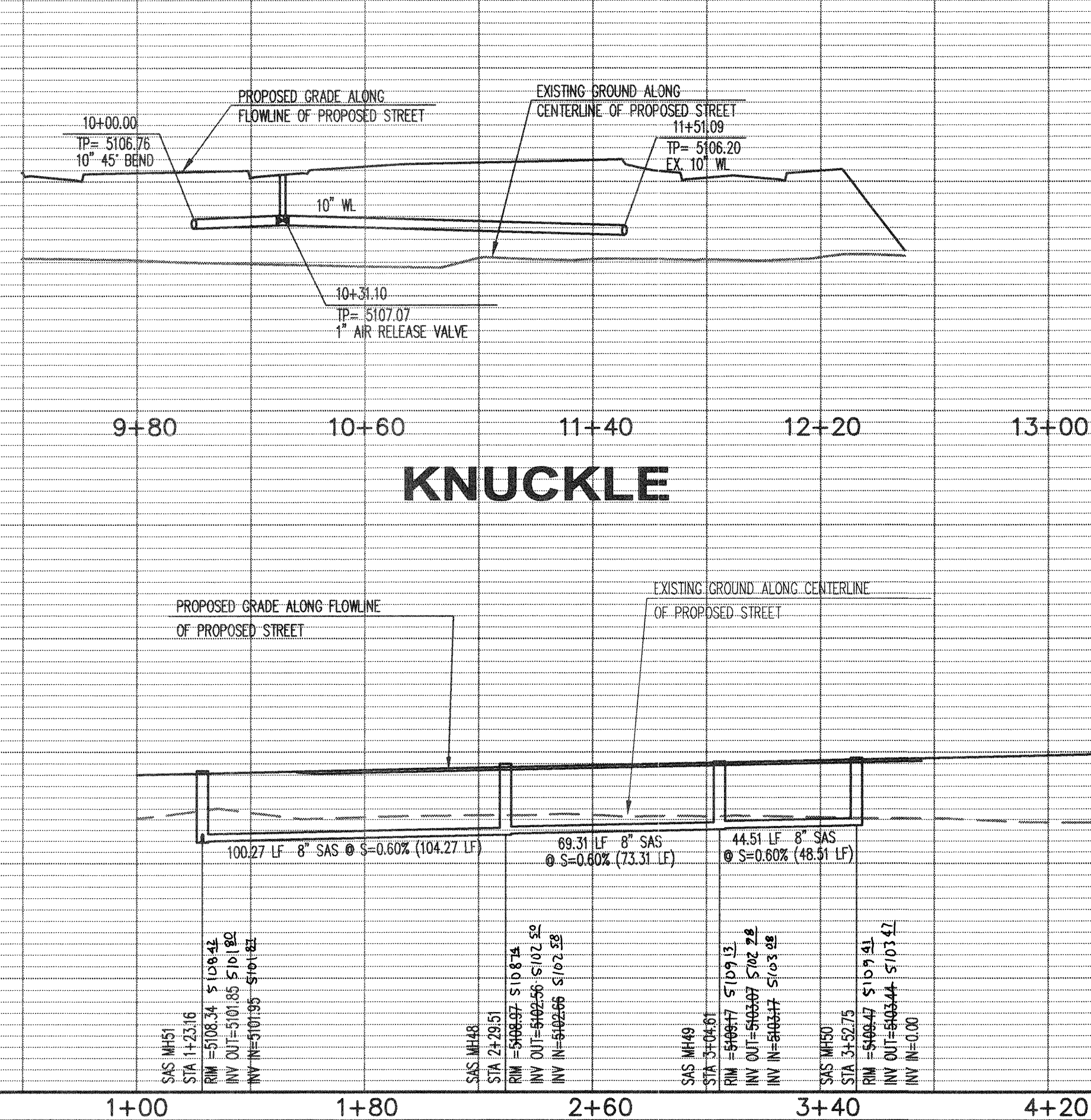
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AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	ALBUQUERQUE CONTROL SURVEY MONUMENT "JOSEPH"	DATE	FIELD NOTES	REMARKS	By	DATE
SALES	6/03	NEW MEXICO STATE PLANE COORDINATE SYSTEM	DATE	NO.	DESIGN		01/08/03
INSPECTOR	DATE	CENTRAL ZONE (NAD27) COORDINATES	DATE		REVISIONS		DATE: 01/08/03
SALES	6/03	Y = 1,502,246.75	DATE				DATE: 01/08/03
SALES	6/03	X = 366,686.82	DATE				DATE: 01/08/03
SALES	6/03	Z = 5113.852'	DATE				
SALES	6/03	DELTA ALPHA = -0°15'24"	DATE				
SALES	6/03	GROUND TO GRID FACTOR = 0.99967666	DATE				

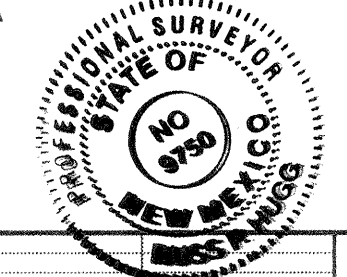
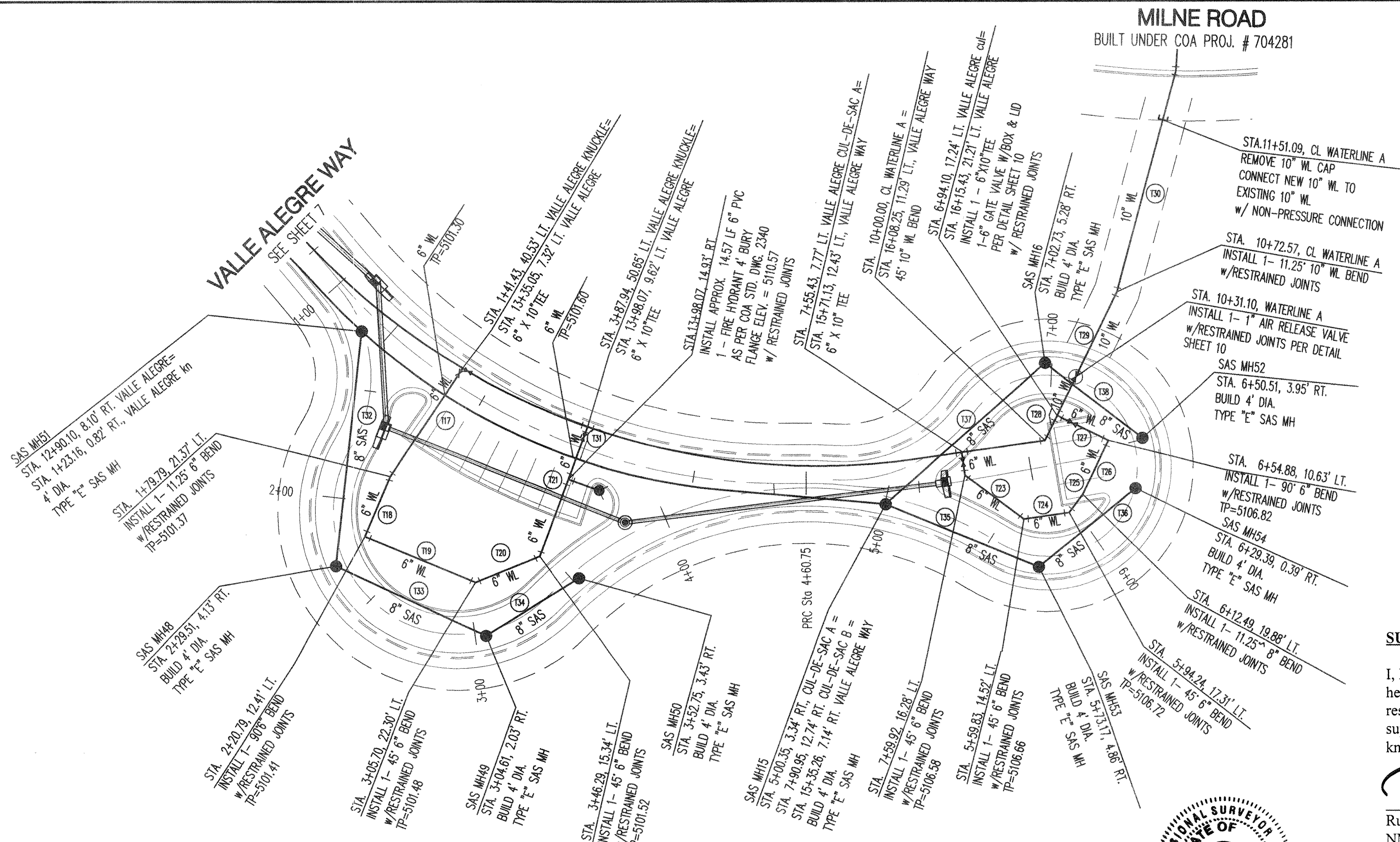


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MESA REPRO

## WATERLINE A



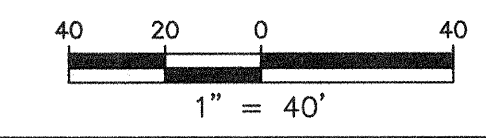
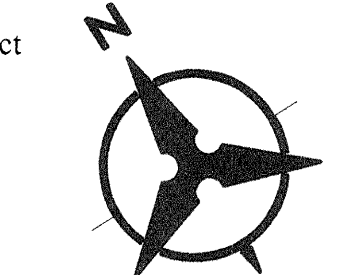
## VALLE ALEGRE WAY



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Russ P. Hugg  
NMPS No. 9750  
FEB. 4, 2004



ID	BEARING	LENGTH
T17	S44°00'53"W	57.22'
T18	S32°45'53"W	28.98'
T19	S57°14'07"E	52.99'
T20	N77°45'53"E	36.69'
T21	S30°14'01"W	36.57'
T22	N01°45'23"E	10.00'
T23	N43°14'37"W	32.48'
T24	N88°14'37"W	20.24'
T25	N43°14'37"W	32.48'
T26	S35°30'23"W	26.25'
T27	N54°00'00"W	25.23'
T28	S36°00'00"W	12.25'
T29	S36°00'00"W	60.32'
T30	S25°00'00"W	78.52'
T31	S30°14'01"W	24.55'

ID	BEARING	LENGTH
T32	S16°15'19"W	104.27'
T33	S54°48'07"E	73.31'
T34	N67°54'15"E	48.51'
T35	S57°34'12"E	73.28'
T36	N60°41'08"E	55.21'
T37	N58°36'39"E	93.82'
T38	S42°34'06"E	54.21'

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- 3/4" METERED WATER SERVICES TO BE INSTALLED PER DETAIL SHEET 10.

### LEGEND

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- SINGLE WATER METER
- WATER LINE SHUTOFF VALVE
- WATER LINE TEE
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- SAS MANHOLE
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- PROPOSED STREET LIGHT

NOTE: SEE SHEET 9 FOR SANITARY SEWER SERVICE AND WATER METER DATA.

**Bohannon & Huston**

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**CITY OF ALBUQUERQUE**  
PUBLIC WORKS DEPARTMENT

**RANCHO ENCANTADO CONDOMINIUMS**  
UTILITY PLAN AND PROFILE  
VALLE ALEGRE WAY KNUCKLE/ CUL-DE-SAC

APR 2 2 2003  
DESIGN REVIEW COMMITTEE

APR 2 4 2003  
CITY ENGINEER

City Project No. 704381 Zone Map No. F-11-Z Sheet 8 Of 10





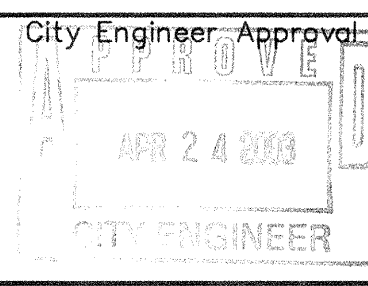
WATER METER SERVICES				
UNIT ID	CL ALIGNMENT	STATION/OFFSET @ METER		
1A	VALLE ALEGRE	11+87.05, 12.62 RT.		
1B,1C	VALLE ALEGRE	12+43.34, 12.59 RT.		
2A	VALLE ALEGRE	12+47.74, 12.62 RT.		
2B,2C	KNUCKLE	1+40.14, 10.59 RT.		
3A	KNUCKLE	1+45.19, 10.56 RT.		
3B,3C	KNUCKLE	2+05.43, 10.66 RT.		
4A	KNUCKLE	2+08.78, 10.71 RT.		
4B,4C	KNUCKLE	2+40.66, 10.71 RT.		
5A	KNUCKLE	2+44.01, 10.62 RT.		
5B,5C	KNUCKLE	2+65.26, 10.67 RT.		
6A	KNUCKLE	2+68.61, 10.64 RT.		
6B,6C	KNUCKLE	2+80.35, 10.65 RT.		
7A	KNUCKLE	2+83.70, 10.65 RT.		
7B,7C	KNUCKLE	3+14.39, 10.64 RT.		
8A	KNUCKLE	3+17.75, 10.66 RT.		
8B,8C	KNUCKLE	3+65.57, 10.61 RT.		
9A	KNUCKLE	3+69.86, 10.61 RT.		
9B,9C	VALLE ALEGRE	14+64.03, 18.84 RT.		
10A	VALLE ALEGRE	14+67.56, 17.52 RT.		
10B,10C	VALLE ALEGRE	15+13.43, 12.61 RT.		
11A	VALLE ALEGRE	15+17.77, 12.61 RT.		
11B,11C	CUL-DE-SAC	5+38.57, 10.62 RT.		
12A	CUL-DE-SAC	5+42.85, 10.61 RT.		
12B,12C	CUL-DE-SAC	5+81.33, 10.66 RT.		
13A,13B	CUL-DE-SAC	5+84.49, 10.66 RT.		
13C	CUL-DE-SAC	6+00.69, 10.66 RT.		
14A	CUL-DE-SAC	6+03.85, 10.66 RT.		
14B,15A	CUL-DE-SAC	6+19.84, 10.65 RT.		
15B,15C	CUL-DE-SAC	6+34.87, 10.66 RT.		
16A,16B	CUL-DE-SAC	6+38.02, 10.66 RT.		
16C	CUL-DE-SAC	6+59.82, 10.66 RT.		
17A,17B	CUL-DE-SAC	6+62.98, 10.59 RT.		
17C	CUL-DE-SAC	6+81.58, 10.62 RT.		
18A	CUL-DE-SAC	6+95.18, 10.64 RT.		
18B,18C	CUL-DE-SAC	7+24.51, 10.65 RT.		
19A,19B	CUL-DE-SAC	7+27.66, 10.67 RT.		
19C	VALLE ALEGRE	15+30.91, 15.87 LT.		
20A,20B	VALLE ALEGRE	15+26.65, 14.81 LT.		
20C	VALLE ALEGRE	14+60.27, 12.61 LT.		
21A,21B	VALLE ALEGRE	14+56.07, 12.61 LT.		
21C	VALLE ALEGRE	14+06.38, 12.61 LT.		
22A,22B	VALLE ALEGRE	14+02.18, 12.62 LT.		
22C	VALLE ALEGRE	13+48.19, 12.59 LT.		
23A,23B	VALLE ALEGRE	13+43.99, 12.62 LT.		
23C	VALLE ALEGRE	13+39.79, 12.59 LT.		
24A	VALLE ALEGRE	12+35.61, 12.68 LT.		
24B,24C	VALLE ALEGRE	12+31.95, 12.62 LT.		
25A	VALLE ALEGRE	12+28.28, 12.67 LT.		
25B,25C	VALLE ALEGRE	11+93.27, 12.63 LT.		
26A,26B	VALLE ALEGRE	11+89.61, 12.64 LT.		
26C	VALLE ALEGRE	11+50.95, 12.63 LT.		
27A	VALLE ALEGRE	11+47.28, 12.64 LT.		
27B,27C	VALLE ALEGRE	11+25.92, 16.65 LT.		
28A	VALLE ALEGRE	10+99.05, 24.26 LT.		
28B,28C	VALLE ALEGRE	10+95.65, 24.22 LT.		

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- FOR STORM DRAIN CONSTRUCTION: ALL RCP JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION SHALL DETERMINE WHICH JOINTS ARE TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.
- ALL WATER METER BOX COVERS & LIDS SHALL BE CONSTRUCTED PER COA STD. DWG. 3269.

## LEGEND

—	PROPERTY LINE
—	NEW EASEMENT
— SAS	EXISTING SANITARY SEWER
— W	EXISTING WATER LINE
—	EXISTING STORM DRAIN
—	EXISTING WATER METER
—	EXISTING CAP
—	EXISTING VALVE
—	EXISTING FIRE HYDRANT
—	EXISTING SANITARY SEWER MANHOLE
—	EXISTING STORM DRAIN
— SAS	PROPOSED SANITARY SEWER
— WL	PROPOSED WATER LINE
—	PROPOSED VALVE
—	PROPOSED HYDRANT
—	PROPOSED CAP
—	PROPOSED SINGLE WATER METER
—	PROPOSED DOUBLE WATER METER
—	PROPOSED SANITARY SEWER MANHOLE
—	PROPOSED STORM DRAIN
—	PROPOSED STREET LIGHT

**Bohannon & Huston**Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT****RANCHO ENCANTADO CONDOMINIUMS**  
**SANITARY SEWER SERVICES & WATER METERS**

Last Design Update

City Project No.

704381

Zone Map No.

F-11-Z

Sheet

Of

9

10

FEBRUARY 2003

AS-BUILT INFORMATION			
CONTRACTOR	DATE	DATE	DATE
INSPECTOR'S	DATE	DATE	DATE
FIELD	DATE	DATE	DATE
VERIFICATION BY	DATE	DATE	DATE
CONTRACTOR'S	DATE	DATE	DATE
RECORDING BY	DATE	DATE	DATE

BENCH MARKS			
ALBUQUERQUE CONTROL SURVEY MONUMENT "JOSEPH"	DATE	DATE	DATE
NEW MEXICO STATE PLANE COORDINATE SYSTEM	DATE	DATE	DATE
CENTRAL ZONE (NAD27) COORDINATES	DATE	DATE	DATE
Y = 1,502,246.75	DATE	DATE	DATE
X = 366,686.82	DATE	DATE	DATE
Z = 5113.952'	DATE	DATE	DATE
DELTA ALPHA = -0015'24"	DATE	DATE	DATE
GROUND TO GRID FACTOR = 0.99967666	DATE	DATE	DATE

SURVEY INFORMATION			
FIELD NOTES	DATE	DATE	DATE
BY	DATE	DATE	DATE
NO.	DATE	DATE	DATE

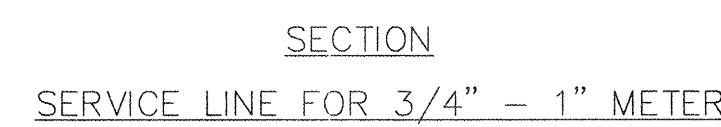
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REVISIONS			
NO.	DATE	DATE	DATE
NO.	DATE	DATE	DATE
NO.	DATE	DATE	DATE

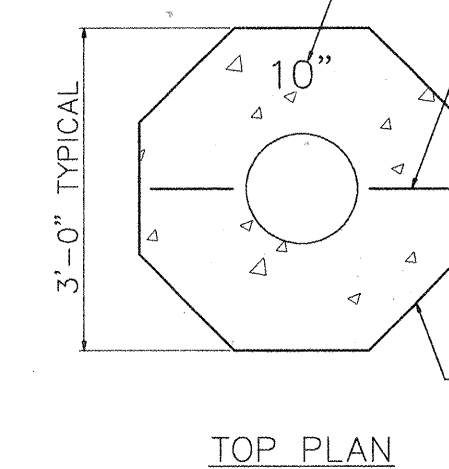
DESIGNED BY: SJS	DATE: 01/08/03
DRAWN BY: DH	DATE: 01/08/03
CHECKED BY: SJS	DATE: 01/08/03



- 1 THE METER SHALL BE SET UTILIZING A COPPER-SETTER. COPPER-SETTER HEIGHT 10" FOR 1" METER. 7" FOR 3/4" METER.
- 2 THE VALVE AND METER REGISTER BOX SHALL BE LOCATED UNDER THE LID OPENING. WHERE TWO METERS ARE TO BE INSTALLED IN A SINGLE METER BOX, THE METER REGISTER SHALL BE WITHIN READING RANGE OF THE LID OPENING. SHALL BE WITHIN READING RANGE.
- 3 METER BOX LOCATION TO CONFORM TO DWG. 2361.
- 4 WHEN CONTRACTOR DOES NOT INSTALL METER, CONTRACTOR SHALL PROVIDE REMOVABLE PLUGS FOR END OF COPPER-SETTER.
- 5 EXISTING CONCRETE TO BE SAWCUT.



A STREET SURFACE.  
B BACK OF CURB.  
C CAST IRON METER BOX, COVER AND LID.  
SEE DWG. 2368 OR 2369.  
D 1/2" EXPANSION JOINT.  
E CURB STOP, LOCATE INSIDE METER BOX.  
F SIDEWALK OR DRIVEPAD.  
G METER. TOP OF METER TO BE 12"—18"  
BELOW COVER.  
H CORP STOP.  
J MAIN WATER LINE.  
K TAPPING SADDLE.  
L COPPER SERVICE LINE.  
M COPPER SETTER.  
N TAILPIECE TO PROPERTY LINE WITH  
INSTA-TITE I.P.T. CAPPED FITTING.  
Q CONCRETE PAD REQUIRED IN ALL AREAS.  
R #4 REBAR CONTINUOUS ALL AROUND METER BOX.  
S STABILIZER BAR. 12" LONG X 1/2" DIAMETER  
GALVANIZED STEEL PIPE.  
T METER BOX LID SHALL BE FLUSH WITH  
SURROUNDING SIDEWALK.



- A VALVE BOX RING AND COVER. SEE DWG. 2328.
- B 10" DIAMETER RIBBED OR CORRUGATED PVC OR PE PIPE WITH SMOOTH INTERIOR.
- C NEW OR EXISTING VALVE.
- D COMPACTED BACKFILL: SOIL OR BASE COURSE MATERIAL (95% COMPACTION). SEE SECTION 701.
- E 3'-0"x3'-0" OCTAGONAL CONCRETE COLLAR. COLLAR IS TO BE TAPERED IN UNPAVED ROADWAYS AND FLUSH IN PAVED ROADWAY. CONCRETE STRENGTH SHALL BE 3000 PSI PER SECTION 101 OF THE STANDARD SPECIFICATIONS, LATEST EDITION.
- F TOP OF CONCRETE COLLAR SHALL BE STAMPED WITH LINE SIZE AND DIRECTION. MINIMUM LETTER SIZE SHALL BE 3" IN HEIGHT.

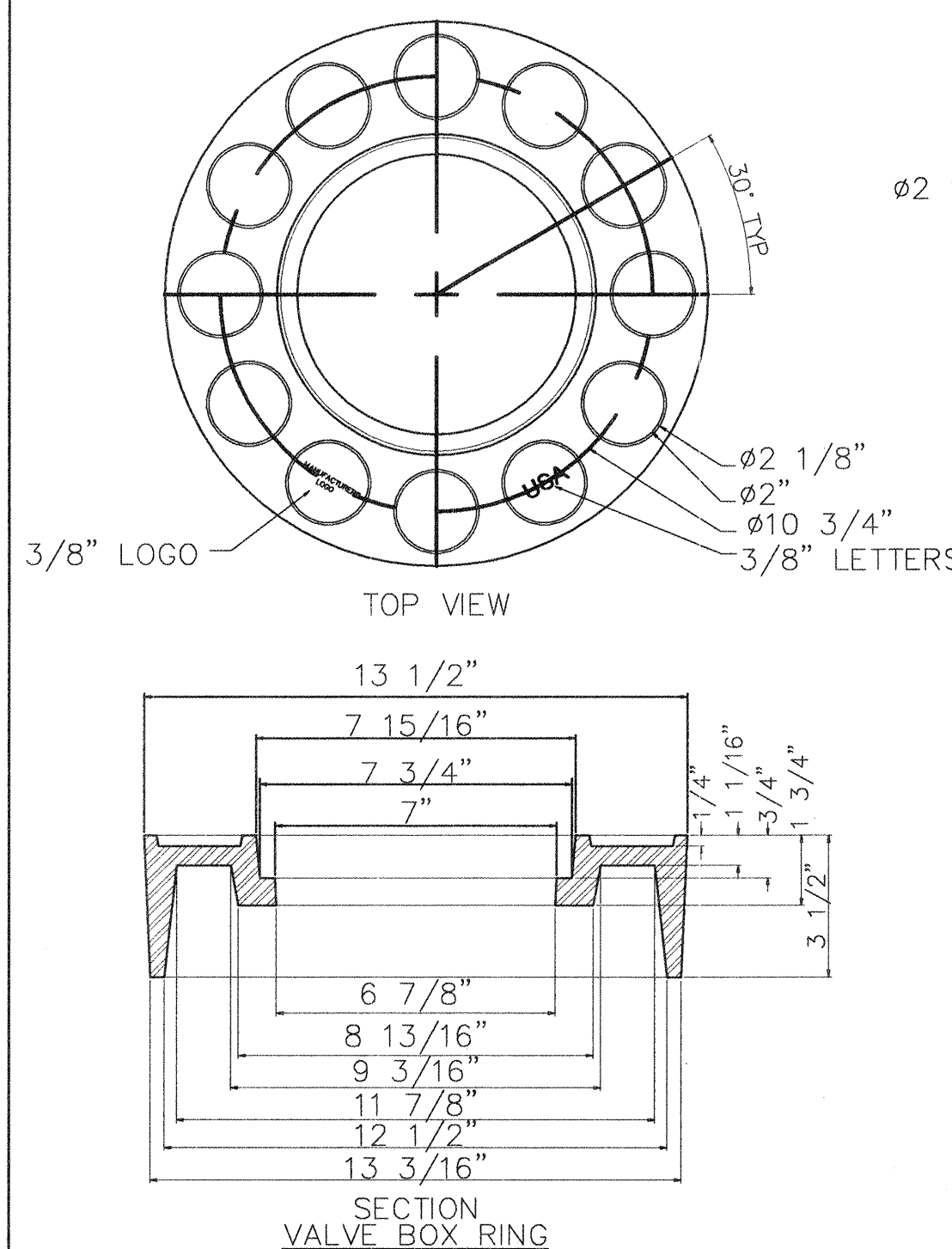
LINE SIZE, SEE NOTE F

10"

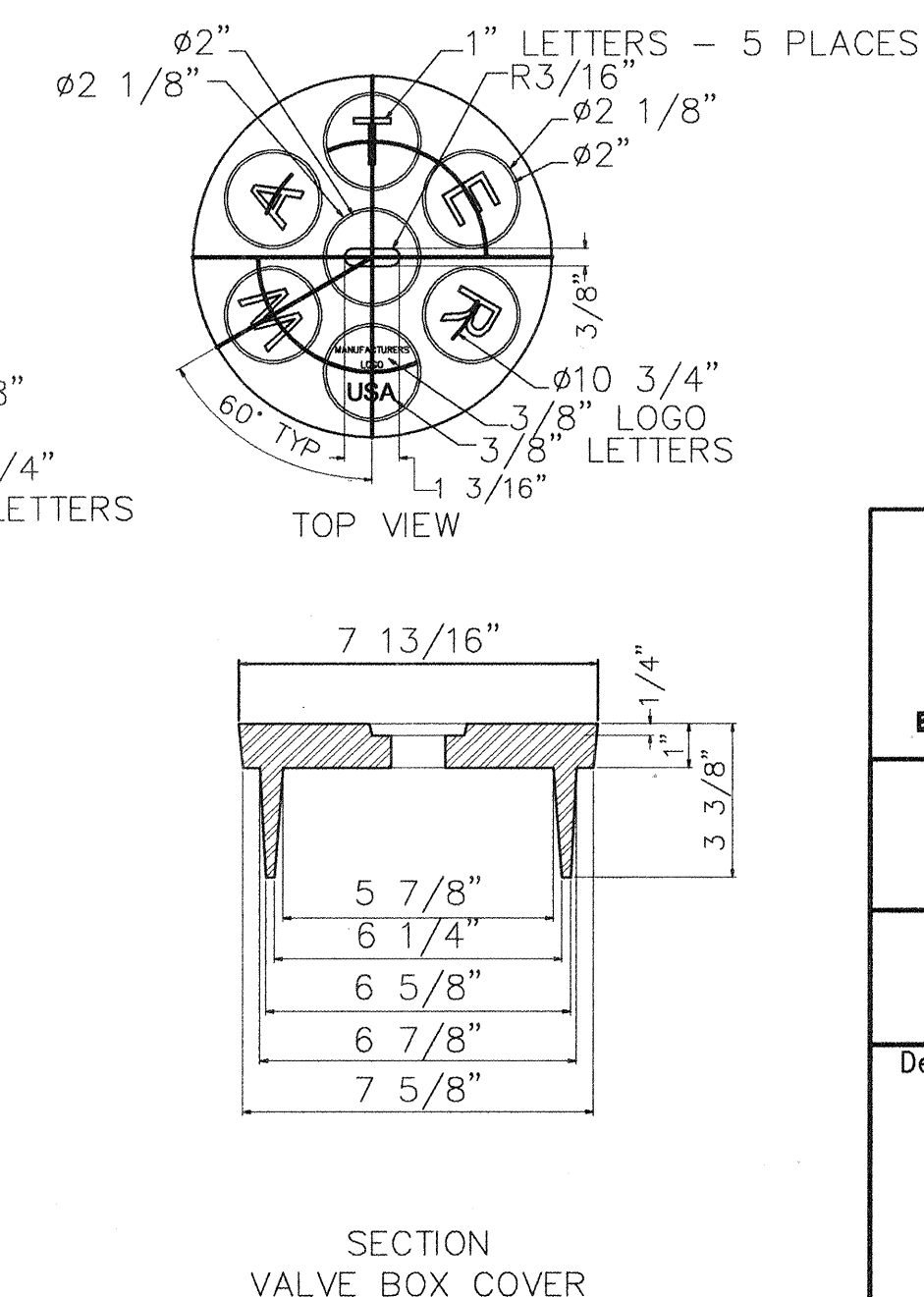
LINE DIRECTION, SEE NOTE F

CITY OF ALBUQUERQUE	
WATER VALVE BOX	
DWG. 2326	MAR 2001

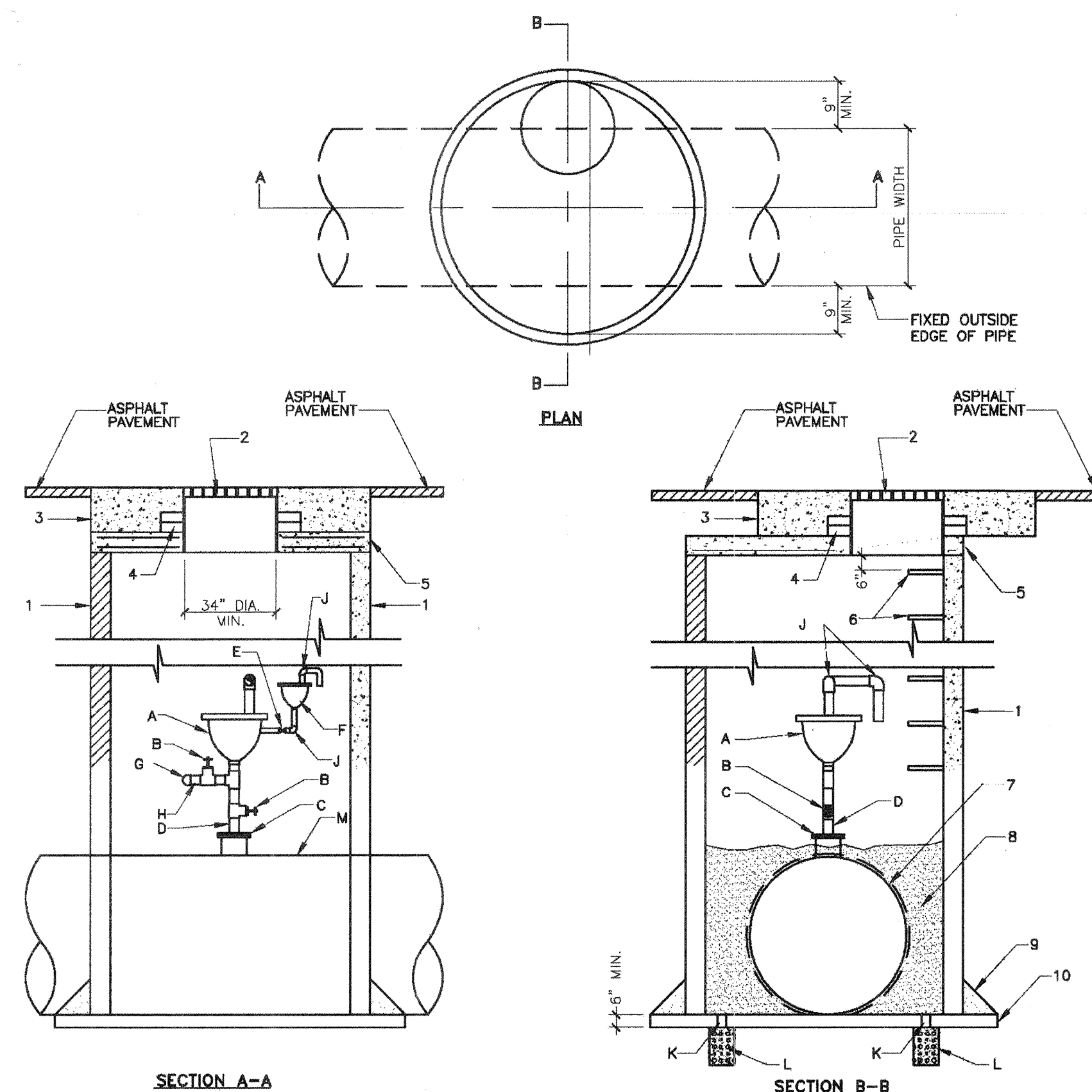
- 1 ALBUQUERQUE VALVE BOX RING DESIGNED TO ACCEPT AN ALBUQUERQUE VALVE BOX COVER.
- 2 THE CASTING NUMBER, MANUFACTURER'S LOGO, DATE OF MANUFACTURE AND "USA" SHALL BE CAST IN A CONSPICUOUS LOCATION ON BOTH THE RING AND THE COVER.
- 3 FILLETS SHALL BE 1/4" UNLESS OTHERWISE SPECIFIED.
- 4 A DRAFT ANGLE OF 3'-5" SHALL BE APPLIED UNLESS OTHERWISE SPECIFIED.
- 5 FINISH: REMOVE EXCESS IRON AND FIN.
- 6 THIS DETAIL DOES NOT APPLY FOR VALVE BOX RING AND COVER TO BE USED ON REUSE OR NONPOTABLE WATER SYSTEMS.



- 1 ALBUQUERQUE VALVE BOX COVER DESIGNED TO FIT INTO  
AN ALBUQUERQUE VALVE BOX RING.
- 2 THE CASTING NUMBER, MANUFACTURER'S LOGO, DATE OF  
MANUFACTURE AND "USA" SHALL BE CAST IN A  
CONSPICUOUS LOCATION ON BOTH THE RING AND THE COVER.
- 3 FILLETS SHALL BE 1/4"R UNLESS OTHERWISE SPECIFIED.
- 4 A DRAFT ANGLE OF 3°-5° SHALL BE APPLIED UNLESS  
OTHERWISE SPECIFIED.
- 5 FINISH: REMOVE EXCESS IRON AND FIN.



CITY OF ALBUQUERQUE	
WATER RING AND COVER FOR VALVE BOX	
DWG. 2328	MAR 2001



**NOTE:** ALL PIPING AND FITTINGS SHALL BE SCH. 40 THREADED GALVANIZED STEEL. SIZE IS DETERMINED BY SPECIFIC AIR/VACUUM RELEASE VALVE TO BE INSTALLED.

- A COMBINATION AIR AND VACUUM RELEASE VALVE, SIZE AS SHOWN ON PLAN.
- B GATE VALVE, SAME SIZE AS COMBINATION AIR AND VACUUM RELEASE VALVE INLET.
- C MINIMUM 6" FLANGE NOZZLE OR FLANGE TAPPING SADDLE. FRANGE AND FLANGE TAPPED FOR THREADED NIPPLE WHERE AIR/VAC VALVE IS SHOWN TO BE LESS THAN 6".
- D CAST IRON NIPPLE.
- E 1" BALL VALVE.
- F 1" AIR RELEASE VALVE.
- G THREADED CAP.
- H THREADED NIPPLE FOR VENT AND HOSE CONNECTION.
- J 90° ELBOW.
- K 4" DIA. SCHEDULE 40 PVC PIPE SLEEVE THROUGH MANHOLE BASE.
- L 12"x12"x18" DEEP 1" CLEAN GRAVEL.
- M WATER MAIN.


- 1 MANHOLE MAY BE CONSTRUCTED OF CONCRETE BLOCK, GR. MS BRICK, POURED CONCRETE, OR PRECAST REINFORCED CONCRETE. IF BLOCK OR BRICK, PLASTER INSIDE AND OUT WITH 1/2" MORTAR. SEE DWG 2101.
- 2 USE 3/8" MH FRAME AND COVER. COVER MARKED "WATER".
- 3 5/5'S" OCTAGONAL CONCRETE PAD.
- 4 USE ADJUSTMENT RINGS OR MAX. 2 COURSES GR MS BRICK FOR ADJUSTMENT OF MH FRAME TO PAVEMENT GRADE.
- 5 PRECAST CONCRETE COVER. SEE DWG 2107, EXCEPT OPENING SHALL BE 34" DIAMETER MINIMUM.
- 6 STEPS TO BE INSTALLED PER STD SPEC SEC 920.
- 7 CUT MANHOLE TO PROVIDE A 4" CLEARANCE AROUND WATER MAIN
- 8 1" CLEAN GRAVEL TO TOP OF MAIN.
- 9 6" GROUT FILLET AROUND BASE
- 10 CONCRETE BASE TO BE POURED IN PLACE USING #4 BARS AT 12" OC EACH WAY.

REVISIONS	CITY OF ALBUQUERQUE
	WATER
	AIR/VACUUM RELEASE
	VALVE
	DWG. 2350 JANUARY 2002

[illegible]

COA  
STD.  
DRAFT

**Bohannon ▲ Huston**  
 urtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4  
 ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGY



**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**  
**ENGINEERING DEVELOPMENT GROUP**

**RANCHO ENCANTADO CONDOMINIUMS**  
**MISCELLANEOUS DETAILS**

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
DRAFT				
City Project No. Z04381	Zone Map No. E-11-Z	Sheet	Of	10 10



SCANNED BY  
PLANNING

CPN  
704381  
Streetscape

LANDSCAPING/OPEN SPACE REQUIREMENT

REQUIRED LANDSCAPING  
261,360 SF - 60,060 SF (buildings) = 201,300 SF  
15% OF 201,300 SF = 30,195 SF

PROVIDED LANDSCAPING  
113,175 SF

OPEN AREA  
Roadway Paving = 25,150 SF  
Driveways = 50,400 SF  
Landscape Area = 113,175 SF

Open Space exceeds the requirements of the RD zone.

PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME
SHADE TREE 2" CAL			
FR	44	FRAXINUS	ASH
PC	39	PISTACHIA CHINENSIS	CHINESE PISTACHE
GL	13	GLEDITSIA	HONEY LOCUST
ORNAMENTAL TREE 15 GAL			
CR	32	CRATAEGUS	HAWTHORN
CH	37	CHILOPSIS	DESERT WILLOW
AG	19	ACER GINNALA	DESERT MAPLE
EVERGREEN TREE 5'-6' HT			
PN	31	PINUS NIGRA	AUSTRIAN PINE
LARGE SHRUB 5 GAL			
55	ELAEAGNUS	SILVERBERRY	
47	BUDDLEIA	BUTTERFLY BUSH	
23	CHRYSOETHAMNUS	CHAMISA	
91	MAIDEN GRASS	BUTTERFLY BUSH	
41	RHUS OVATA	SUGARBUSH	
MEDIUM SHRUB 5 GAL			
46	PEROVSKIA	RUSSIAN SAGE	
187	ROSMARINUS	ROSEMARY	
215	RAPHIOLEPIS	INDIA HAWTHORN	
181	PRUNUS BESSEYI	SAND CHERRY	
191	CYTISUS PURGANS	BROOM	
114	CARYOPTERIS	BLUE MIST	
SMALL SHRUB 1-5 GAL			
172	LAVANDULA	LAVENDER	1 GAL
148	SALVIA GREGGII	CHERRY SAGE	1 GAL
204	HELIOTRICHON	BLUE AVENA GRASS	1 GAL
42	PINUS MUGO	MUGHO PINE	5 GAL
63	ROSMARINUS	CREeping ROSEMARY	5 GAL
121	JUNIPERUS	BUFFALO JUNIPER	5 GAL
131	ERIGONIUM	SULPHUR FLOWER	1 GAL

SITE DATA

HIGH WATER USE TURF  
MAX. 20% OF LANDSCAPE AREA 22,635 SF  
PROPOSED HIGH WATER USE TURF 1,150 SF  
PERCENT OF LANDSCAPE AREA 1%

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE  
LOW OR MEDIUM WATER USE PLANTS  
A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE  
HIGH WATER USE TURF

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNERSHIP  
ASSOCIATION AFTER CONVEYANCE BY THE DEVELOPER

PLANTINGS TO BE WATERED BY AUTO. DRIP  
IRRIGATION SYSTEM

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY  
OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE  
AND WATER WASTE ORDINANCE  
PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN.  
75% LIVE GROUNDCOVER OF LANDSCAPE AREAS  
AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL  
MULCH AT 2"-3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE  
OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE  
C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

NO PARKING SPACE SHALL BE MORE THEN 100'  
FROM A TREE.

Landscape Plan for Building Permit

# Rancho Encantado Condominiums

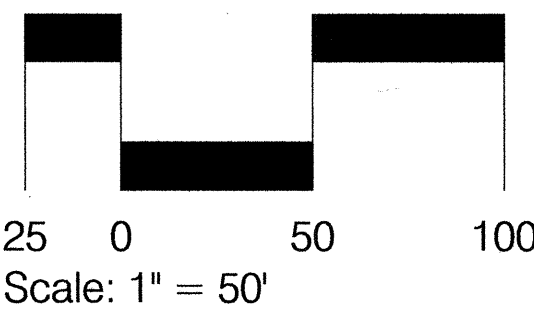
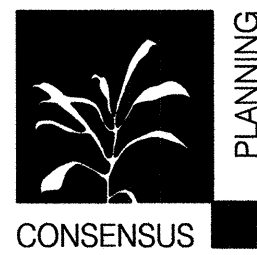
Prepared for:

D.R. Horton Homes  
4400 Alameda Boulevard NE, Suite B  
Albuquerque, NM 87113

Prepared by:

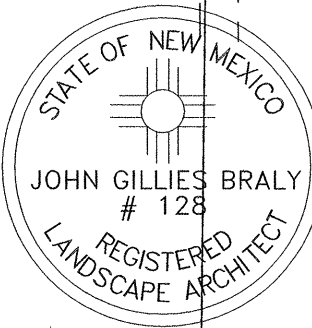
Consensus Planning, Inc.  
924 Park Avenue SW  
Albuquerque, NM 87102

Bohannon Huston, Inc.  
7500 Jefferson NE  
Court yard 1  
Albuquerque, NM 87109



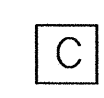



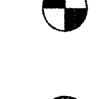

SHEET L1





Dec. 13, 2002





# IRRIGATION LEGEND

-  CONTROLLER WEATHERMATIC 12 STATION  
LOCATE IN FIELD
-  SPEARS BALL GATE VALVE IN VALVE BOX/  
ASSUMED POINT OF CONNECTION
-  RPBP (1 1/2" WILKENS 975-150 )/ AND  
MASTER VALVE ASSEMBLY (1 1/2" WEATHERMATIC 21000  
SERIES) IN CARSON 1419 VALVE BOX
-  AUTOMATIC VALVE (WEATHERMATIC 21000 SERIES  
OR EQUAL) IN CARSON 1419 VALVE BOX
-  AUTOMATIC DRIP VALVE (1" WEATHERMATIC 21000 SERIES  
OR EQUAL) WITH FILTER (AGRI-FIM 3/4" Y) AND REGULATOR  
IN CARSON 1419 VALVE BOX
-  RAINBIRD 1804 SPRINKLER

-  CL 200 PVC MASTERLINE
-  CL 200 PVC LATERAL
-  3/4" POLY DRIP LINE  
6-1 GPH EMITTER PER TREE  
2-1 GPH EMITTER PER SHRUB
-  PVC SLEEVE  
TWO SIZES LARGER THAN PIPE ENCLOSED

Irrigation As Built for Common Areas

## Rancho Encantado Condominiums

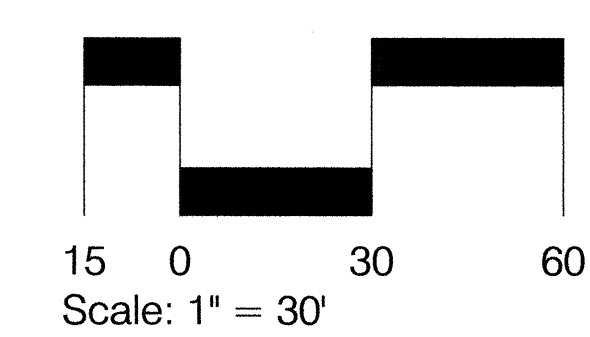
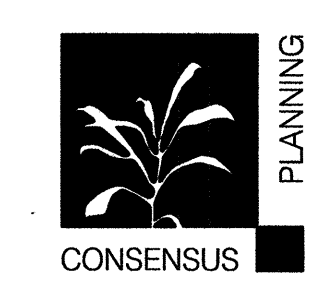
Prepared for:

D.R. Horton Homes  
4400 Alameda Boulevard NE, Suite B  
Albuquerque, NM 87113

Prepared by:

Consensus Planning, Inc.  
924 Park Avenue SW  
Albuquerque, NM 87102

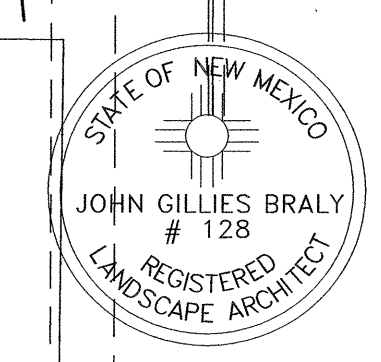
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7500 Jefferson NE  
Courtyard 1  
Albuquerque, NM 87109



SHEET I1

Dec. 13, 2002

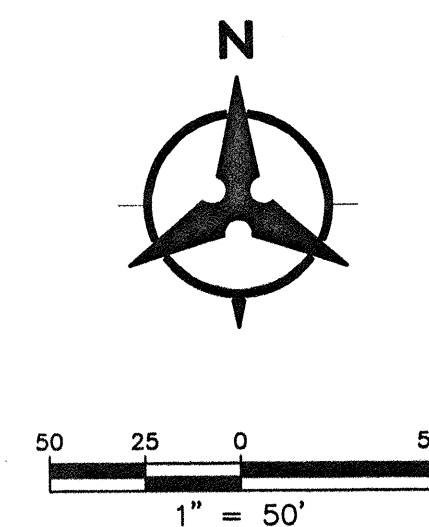
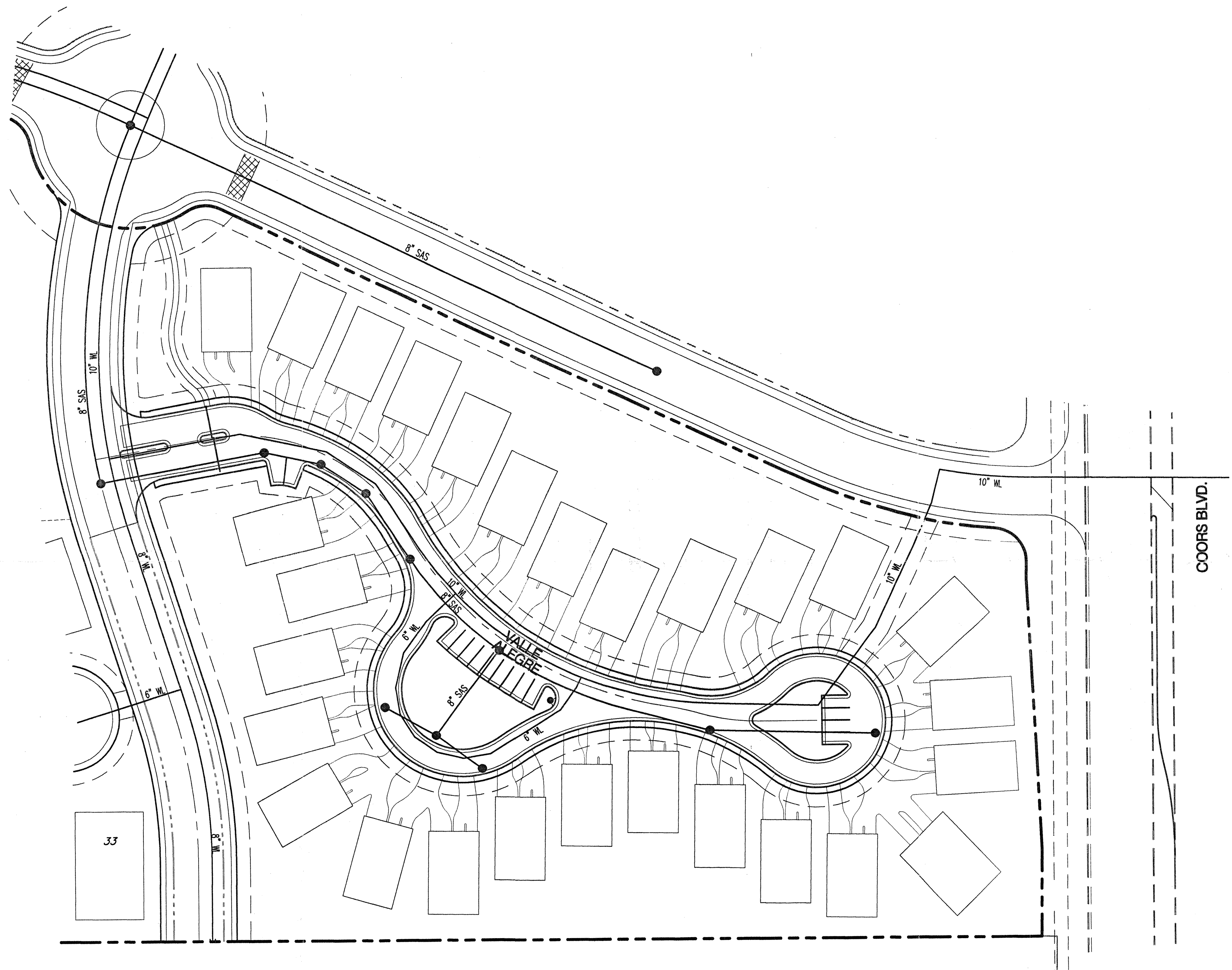
**HeadSup**  
LANDSCAPE CONTRACTORS  
7525 SECOND ST. NW  
ALBUQUERQUE, NM  
(505) 898-9615  
LICENSE 16890  
www.headsuplandscape.com



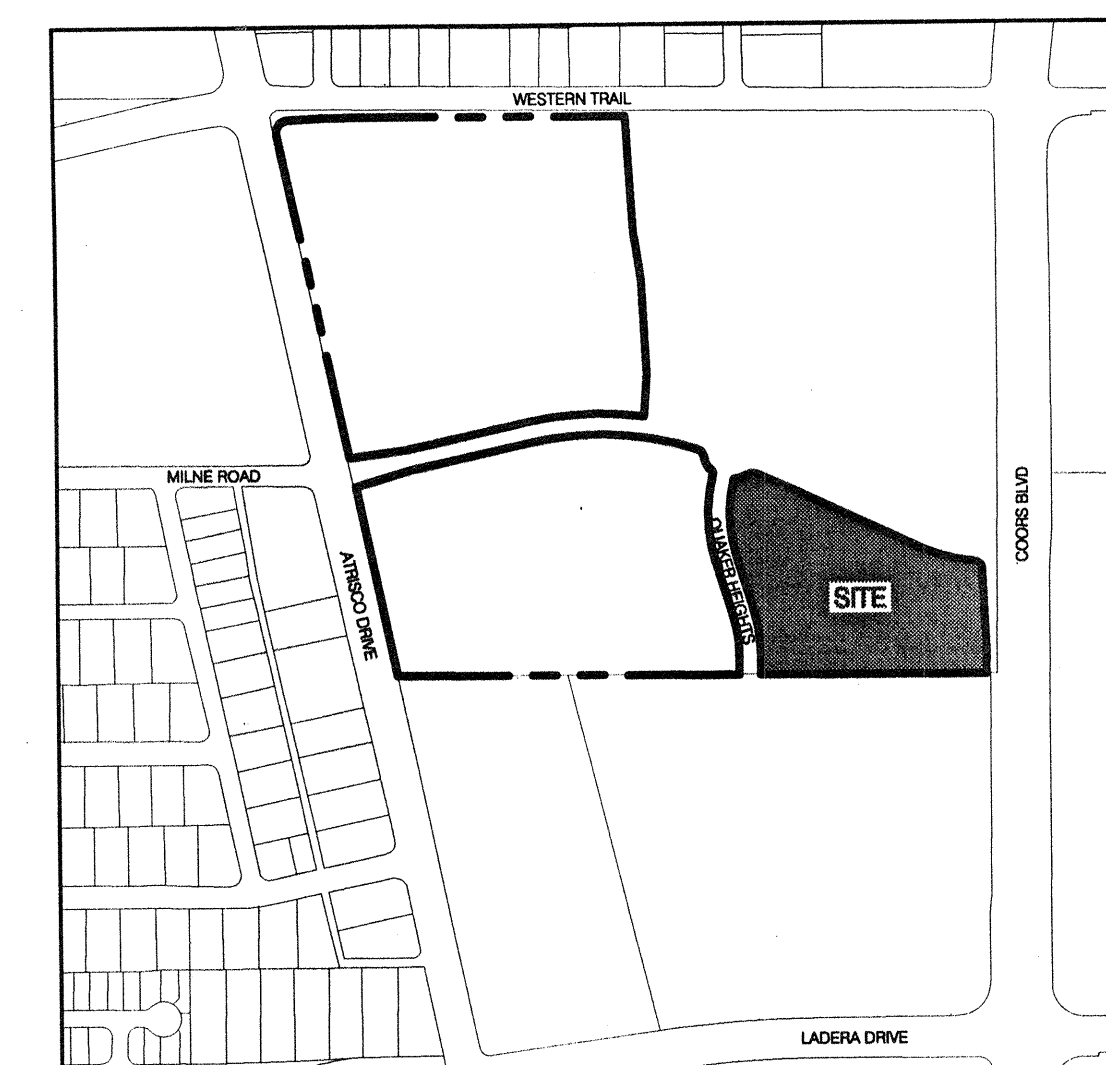


2 3 4 5 6 7 8 9 10 11 12 13 14 15  
26-7043.81-2012

SCANNED BY  
PLANNING



#### VICINITY MAP



COA Zone Atlas F-11-Z

#### CONCEPTUAL WATER AND SANITARY SEWER PLAN

**WATER**  
THE SITE IS WELL SERVED BY THE EXISTING CITY-WATER SYSTEM. WATERLINES WILL BE EXTENDED ON SITE TO PROVIDE DOMESTIC AND FIRE SUPPLY.

**SANITARY SEWER**  
THE SYSTEM IS STANDING A GRAVITY FEED SAS PREDOMINATELY SLOPING FROM EAST TO WEST. THE SAS OUTFALLS TO AN EXISTING LINE LOCATED IN ATRISCO BLVD AT MILNE.

Project #:

# RANCHO ENCANTADO CONDOMINIUMS

## CONCEPTUAL UTILITY PLAN

APPROVED FOR THE CITY OF ALBUQUERQUE  
DATE: 12/12/02  
BY: [Signature]

Prepared for:  
D.R. HORTON  
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Prepared by:  
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Bohannon-Huston, Inc.  
7500 Jefferson NE  
Albuquerque, NM 87109

**Bohannon ▴ Huston**  
Courtney I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING ▴ SPATIAL DATA ▴ ADVANCED TECHNOLOGIES



CPN# 704381