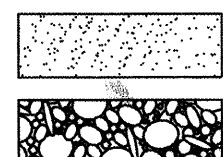


LEGEND

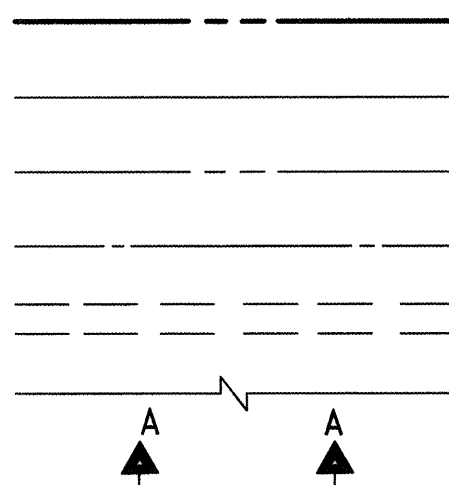
MATERIALS

CONCRETE
RIP-RAP



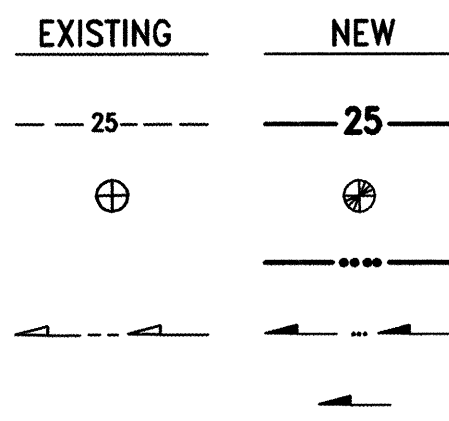
LINES

SUBDIVISION BOUNDARY
PROPERTY LINE (PLAN)
PROPERTY LINE (SECTION)
CENTERLINE
EASEMENT LINE
MATCH LINE
SECTION CUT LINE



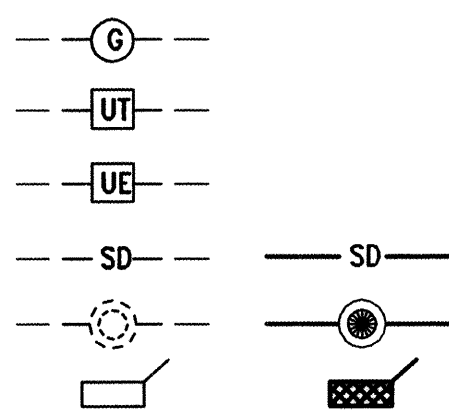
EARTHWORK

CONTOUR LINE
SPOT ELEVATION
PROJECT / PHASE BOUNDARY
FLOWLINE
DIRECTION OF FLOW



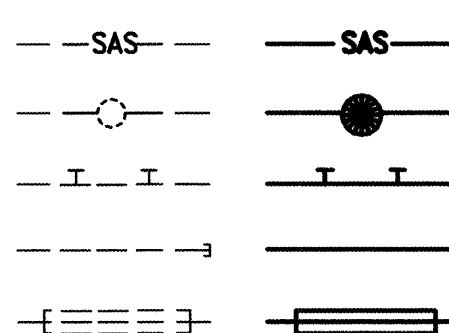
MISCELLANEOUS UTILITIES

GAS LINE
UNDERGROUND TELEPHONE
UNDERGROUND ELECTRICAL
STORM DRAIN
STORM DRAIN MANHOLE
STORM DRAIN INLET



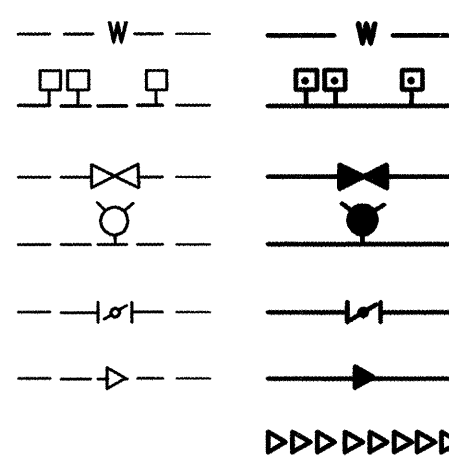
SANITARY SEWER

SANITARY SEWER LINE
SANITARY SEWER MANHOLE
SAS SERVICE CONNECTIONS
SAS CAP OR PLUG
ENCASEMENT



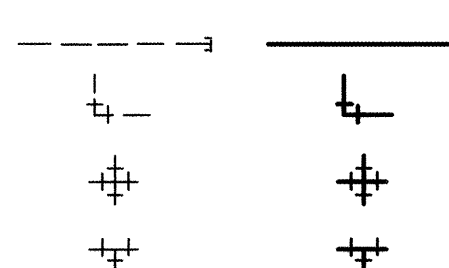
WATER

WATER LINE
WATER SERVICE CONNECTIONS
GATE VALVE
FIRE HYDRANT
BUTTERFLY VALVE
REDUCER
WATER PRESSURE ZONE BOUNDARY



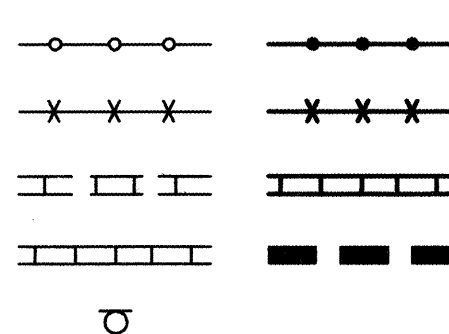
WATER FITTINGS

CAPS AND PLUGS
ELBOW
CROSS
TEE



MISCELLANEOUS

CHAINLINK FENCE
FIELD FENCE
COMMON YARD WALL
RETAINING WALL
POWER OR TELEPHONE POLE



RECORD DRAWING

CONSTRUCTION PLANS

for

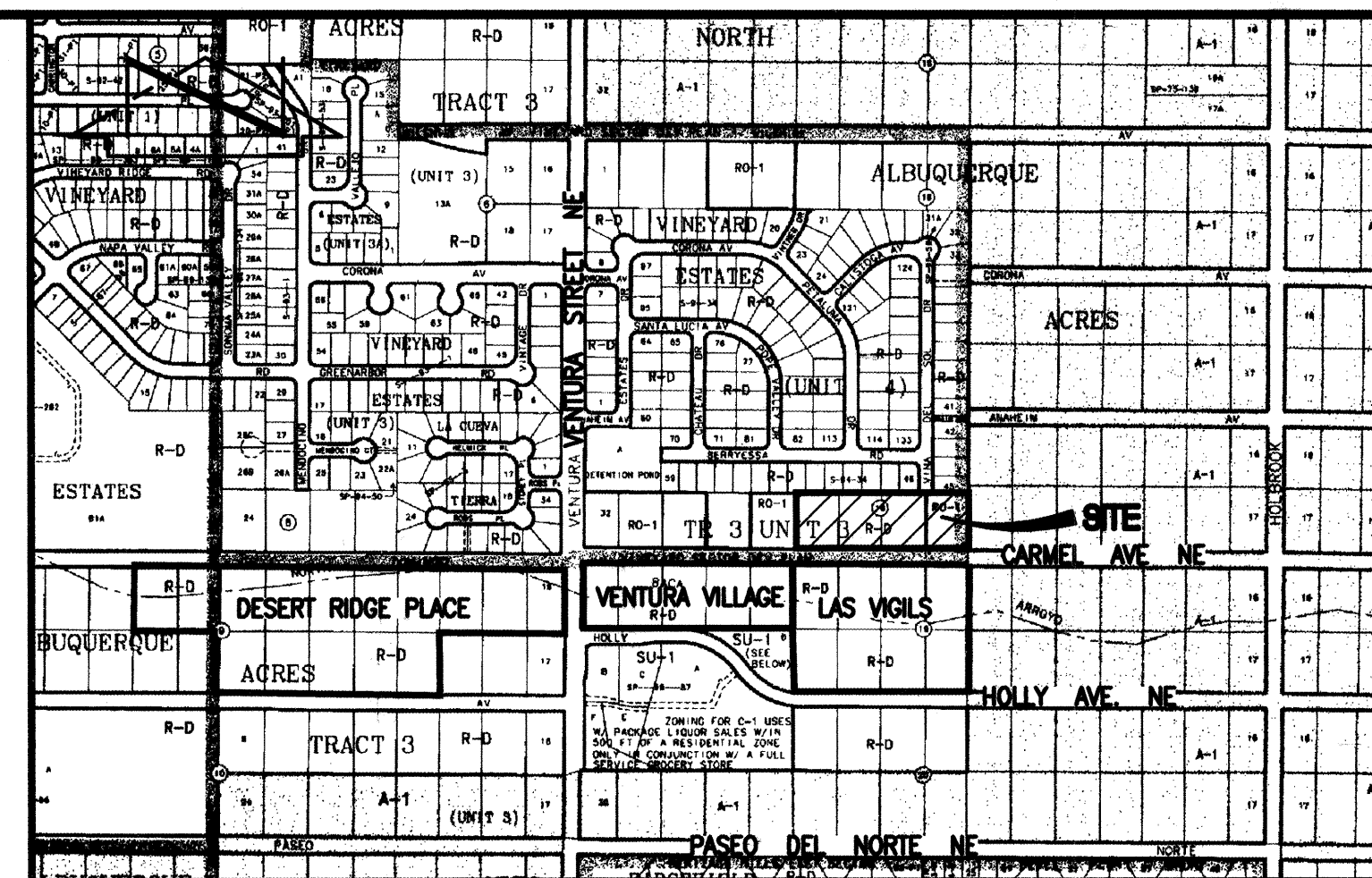
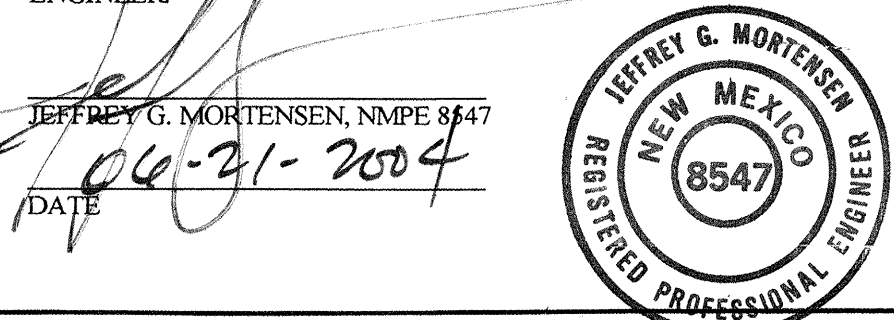
VINEYARD ESTATES, UNIT IV-A

ALBUQUERQUE, NEW MEXICO

APRIL, 2003

CERTIFICATE OF SUBSTANTIAL COMPLIANCE

I, JEFFREY G. MORTENSEN, NMPE 8547, OF THE FIRM JEFF MORTENSEN & ASSOCIATES, INC., HEREBY CERTIFY THAT THE INFRASTRUCTURE CONSTRUCTED AS PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR PERSONNEL UNDER MY DIRECT SUPERVISION AND, TO THE BEST OF MY KNOWLEDGE AND BELIEF, HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THE ORIGINAL DESIGN INTENT OF THE CITY ENGINEER APPROVED PLANS. THE RECORD INFORMATION EDITED ONTO THIS ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS RECORD INFORMATION IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE DESIGN INTENT OF THIS PROJECT. THOSE RELYING ON THIS DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR ACCEPTANCE OF THE PROJECT BY THE CITY ENGINEER.



VICINITY MAP
SCALE: 1" = 750'

C-20

GENERAL NOTES:

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS-PUBLIC WORKS CONSTRUCTION-1986 - UPDATE NO. 6.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, (ALBUQUERQUE AREA) 1-800-321-ALERT (2537) (STATEWIDE) FOR LOCATION OF EXISTING UTILITIES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH, INCLUDING OSHA 29 CFR 1929 SUBPART P-EXCAVATIONS.
- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- TACK COAT REQUIREMENTS SHALL BE DETERMINED DURING CONSTRUCTION BY THE PROJECT ENGINEER.
- SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- IF CURB IS DEPRESSED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- CONTRACTOR SHALL COORDINATE WITH THE WATER SYSTEM DIVISION FOR THE EXECUTION OF THE VALVE SHUT OFF PLAN, NOT LESS THAN SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT THE EXISTING PUBLIC WATER UTILITIES. ONLY WATER SYSTEM DIVISION PERSONNEL SHALL OPERATE EXISTING VALVES. REFER TO SECTION 18 OF THE SPECIFICATIONS. THE WATER SYSTEM DIVISION PHONE NUMBER IS 857-8200.
- CONTRACTOR SHALL NOTIFY THE CITY SURVEYOR NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE SPECIFICATIONS.
- FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION CO-ORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADE PERMIT FROM THE CONSTRUCTION CO-ORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. CONTRACTOR MUST REFER TO SECTION 19 OF THE STANDARD SPECIFICATION FOR TRAFFIC CONTROL.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED STRIPING BY CONTRACTOR TO EXISTING LOCATION OR AS INDICATED BY THIS PLAN SET.
- CAUTION: THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.
- ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- THIS SET OF PLANS SHOWS PRIVATE RETAINING WALLS THAT ARE NOT PART OF THIS WORK ORDER. THOSE WALLS MUST BE REVIEWED, APPROVED AND PERMITTED BY SEPARATE PROCESS. CONTACT 924-3956
- WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.

INDEX OF DRAWINGS

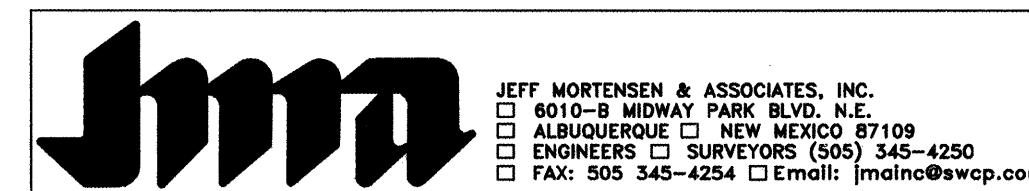
SHEET	DESCRIPTION
1	COVER SHEET, VICINITY MAP, GENERAL NOTES, LEGEND AND INDEX OF DRAWINGS
2, 3	SUBDIVISION PLAT
4	DRB APPROVED GRADING PLAN
5	COMPOSITE SITE PLAN/ WATER VALVE SHUTOFF PLAN
PAVING AND STORM DRAINAGE IMPROVEMENTS	
6	PAVING AND STORM DRAINAGE SECTIONS AND DETAILS
7	GRADING AND STORM DRAINAGE SECTIONS AND DETAILS
8	PUBLIC DRAINAGE CHANNEL PLAN AND PROFILES
9	CARMEL AVENUE N.E. STA 43+48.67 TO STA 51+28.08
10	FRESNO WAY N.E. / VINA DEL SOL DRIVE N.E.
WATER AND SANITARY SEWER EXTENSIONS	
11	CITY OF ALBUQUERQUE WATER DETAILS
12	CARMEL AVENUE N.E. STA 44+76.47 TO STA 51+33.10
13	FRESNO WAY N.E. / VINA DEL SOL DRIVE N.E.
TRAFFIC CONTROL	
14	SIGNING AND CONSTRUCTION TRAFFIC CONTROL STANDARDS
15	TYPICAL TRAFFIC CONTROL & SIGNING EXAMPLES (REF. M.U.T.C.D.)

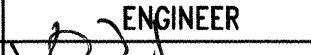
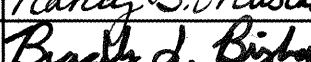
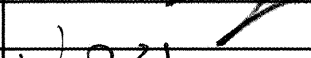
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26 7052-132 10/104

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY CONSTRUCTION ENGINEER
DATE: 12/16/03

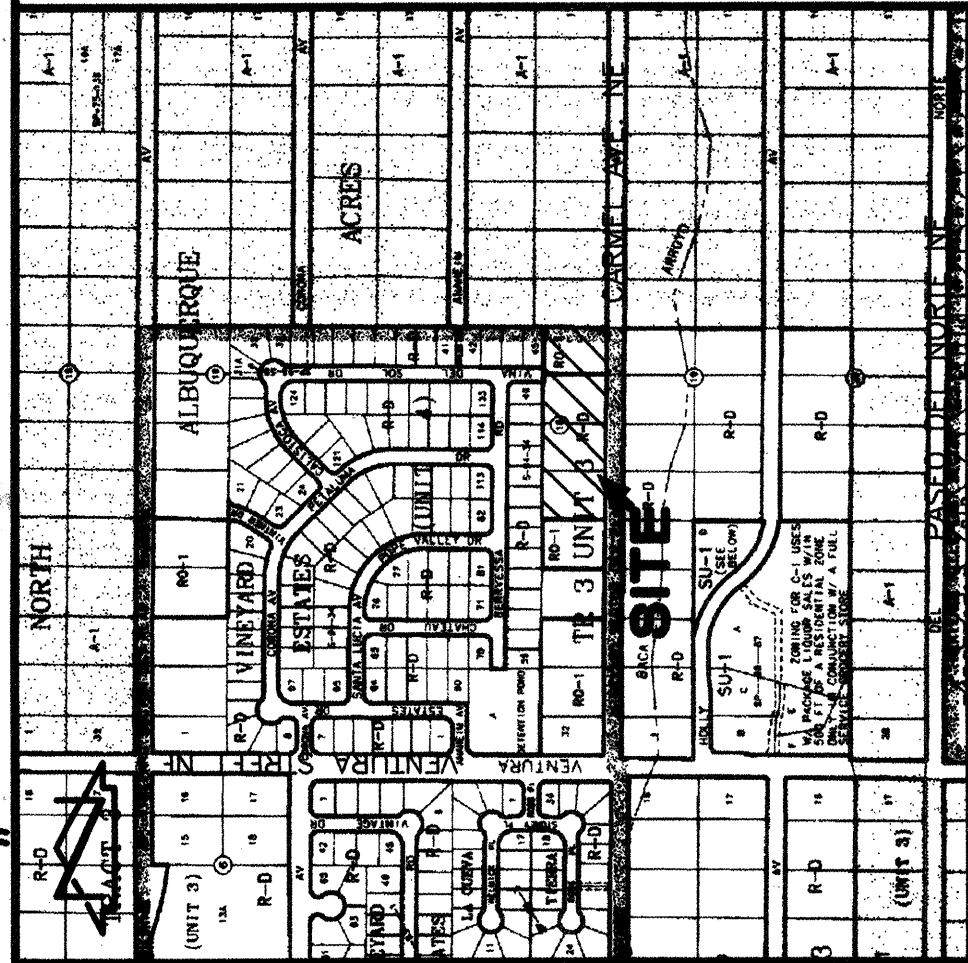
2003.042.1
2001.056-6

HAB



1	5-10,12,13		11-06-03						
2	6-10		06-21-04						
REV.	SHEETS	CITY ENGINEER	DATE	USER	DEPARTMENT	DATE	USER	DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE			APPROVALS	ENGINEER	DATE	*****			
 04/11/03			DRC Chairman		5/6/03	APPROVED FOR CONSTRUCTION			
			Transportation		4/28/03				
			Water/Wastewater		4/28/03				
			Hydrology		4/28/03				
			C.I.P.		12/14/02				
			Const. Mngmt.		5/6/03	City Engineer			
Const. Coord.		5/6/03	Date						
City Project No.					705282	SHEET		1	OF 15

DRB PROJECT #1002207



VICINITY MAP
SCALE: 1" = 750'

DEDICATION AND FREE CONSENT

The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owner and does hereby dedicate to the City of Albuquerque in fee simple with warranty covenants the public street rights-of-way with respect to Vina Del Sol N.E., and does hereby dedicate to the City of Albuquerque in fee simple the public street rights-of-way with respect to the North-Hall of Carmel Avenue N.E. and does hereby grant the easements as shown, including the rights of ingress and egress and the right to trim interfering trees.

Donald G. Hoech, Resident
Hoech Real Estate Corporation (Lots 25, 26, and 27)
Date: 4-1-03

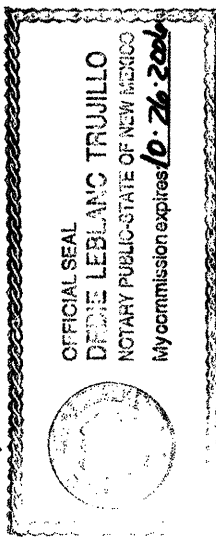
Donald G. Hoech, Custodian
Hoech Real Estate Corporation Defined Benefit Plan (Lot 24)
Date: 4-1-03

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

This instrument was acknowledged before me on this 1st day of April, 2003, by Donald G. Hoech, President, Hoech Real Estate Corporation, also Custodian, Hoech Real Estate Corporation Defined Benefit Plan.

Notary Public
Debbie Elaine Trujillo



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
PAID ON UPC # 90004444100 14007
PROPERTY OWNER OF RECORD 3 MORE PAGES
Valencia with 1000 1000 1000
BERNALILLO COUNTY TREASURER'S OFFICE
S-103



SP #2003 072692

NOTES:

- A Boundary Survey was performed in September, 2002. Property corners were found or set as indicated.
- All distances are ground distances.
- Site located within projected Section 17, Township 11 North, Range 4 East, N.M.P.M. (Elena Gallegos Grant).
- Bearings shown hereon are New Mexico State Plane Grid Bearings, Central Zone.
- Record bearings and distances are shown in parenthesis.
- Street mileage created by this plat = 0.03 miles (full-width public) and 0.06 miles (full-width private).
- Upon completion of the construction of the streets, City of Albuquerque approved centerline monuments shall be placed at all intersections or as otherwise indicated in lieu of subdivision block corner monumentation. Location of said monuments are designated with a symbol.
- Manholes will be offset at points of curvature, points of tangency, street intersections, and other angle points where practical to allow use of centerline monumentation.
- The purpose of this plat is to:
 - Create 14 (fourteen) residential lots within Vineyard Estates, Unit IV-A from Lots 24, 25, 26 and 27, Block 18, Tract 3, Unit 3, North Albuquerque Acres.
 - Eliminate the interior property lines between former Lots 24, 25, 26 and 27, Block 18, Tract 3, Unit 3, North Albuquerque Acres.
 - Dedicate in fee simple the necessary public street rights-of-way and public storm drainage rights-of-way.
 - Grant the necessary public storm drain, public utility, public water, public sewer, public access, private vehicular access and private drainage easements as shown.
 - Vacate the public drainage easement as shown (03DRB-00007).
 - Vacate the nonspecific easements and/or right-of-ways for road and/or pipeline purposes (water, gas or sewer), telephone and electrical energy as noted, affecting the properties platted hereon, granted by the following documents: Book 94 (Lot 24), and Book 132, Page 397 (Lots 25 & 26), records of Bernalillo County, New Mexico (03DRB-00007).
 - Vacate the easements reserved by document filed in Book D248A, Page 532 (record not available at the County Clerk's Office 03DRB-00007).
- A portion of this subdivision is located within a 100-year flood plain as shown on the national flood insurance program "Flood Insurance Rate Map". A Letter of Map Revision (LOMR) will be requested from the Federal Emergency Management Agency (FEMA) to remove the existing flood plain. Until the LOMR is issued by FEMA, property owners may be required to purchase flood insurance.
- The following documents and instruments were used for the performance and preparation of this survey:
 - Plat of North Albuquerque Acres, Tract 3, Unit 3, filed 09-10-1931, Book D, Page 121, Records of Bernalillo County, New Mexico.
 - Plat of Vineyard Estates, Unit IV, filed 09-15-1994, Book 94C, Page 309, Records of Bernalillo County, New Mexico.
 - Boundary Survey, JMA Job #2001.059.2, prepared by Jeff Mortensen and Associates, Inc. dated 01-30-2002 (unrecorded).
 - Warranty Deed filed 04-07-1998, Book 9808, Page 403, Doc. #1956041922, Records of Bernalillo County, New Mexico (Lot 24).
 - Warranty Deed filed 08-03-1989, Book 9911, Page 1013, Doc. #1999101310, Records of Bernalillo County, New Mexico (Lots 25 & 26).
 - Warranty Deed filed 05-03-1994, Book 94-14, Page 4933, Doc. #94058873, Records of Bernalillo County, New Mexico (Lot 27).
 - Boundary Survey, JMA Job #2001.056.2, prepared by Jeff Mortensen and Associates, Inc. dated 08-18-2002 (unrecorded).
 - Policy No. J 1446251 prepared by First American Title Insurance Company dated 11-08-2002.
- Gross subdivision acreage = 3.9974 acres.

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
RD 7052.32 0204

LOTS 1-P1 THROUGH 14-P1, VINEYARD ESTATES, UNIT IV-A ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO MARCH, 2003

DESCRIPTION

A certain tract of land located within the Corporate Limits of the City of Albuquerque, New Mexico, comprising Lots 24-27, inclusive, Block 18, North Albuquerque Acres, Tract 3, Unit 3, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, Book D, Page 121, and being more particularly described as follows:

Beginning at the northeast corner of the parcel herein described, being the southwest corner of Lot 10, of said Block 18, North Albuquerque Acres, Unit 3, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 15, 1994, Book 94C, Page 309; thence S 00°16'19" W a distance of 264.11 feet to the projected southeast corner of said Block 18, North Albuquerque Acres, Unit 3, thence N 89°38'36" W a distance of 659.4 feet to the centerline of Carmel Avenue N.E., thence N 89°38'36" W a distance of 659.4 feet to the centerline of Carmel Avenue N.E., thence S 00°16'19" W a distance of 264.02 feet to the northwest corner of said Lot 27; thence N 00°16'19" E a distance of 264.02 feet to the northwest corner of the parcel herein described, being the northwest corner of said Lot 27, also being the northeast corner of Lot 28, of said Block 18, North Albuquerque Acres, Tract 3, Unit 3, and also being a point on the south property line of Lot 52, of said Vineyard Estates, Unit IV; thence S 89°39'04" E a distance of 659.41 feet to the point of beginning and containing 3.9974 acres more or less.

Public Utility easements shown on this plat are ten (10) feet wide and are granted for the common and joint use of:

- The P.N.M. Electric Services for the installation, maintenance, and service of overhead and underground electrical lines, transformers, poles and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- The P.N.M. Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- Qwest Corporation for the installation, maintenance, and service of telephone, telegraph, cable, and other communication facilities and related equipment and facilities reasonably necessary to provide communication services including, but not limited to, above ground pedestals and closures.
- Comcast Cable Vision of New Mexico, Inc. for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the necessary easements and facilities to be provided and installed which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electric Safety Code and the National Gas Code. The easements shown on this plat are adjacent to within or near easements shown on this plat.

DRB PROJECT # 1002207 03DRB-00007

APPROVALS:

Jeff Mortensen, City of Albuquerque, New Mexico
Planning Director, City of Albuquerque, New Mexico

Roger A. Bigham
City Engineer, City of Albuquerque, New Mexico

Burt L. Bigham
City Engineer, City of Albuquerque, New Mexico

Bill D. Dade
A.M.A.F.C.A.

Bill D. Dade
Transportation Development, City of Albuquerque, New Mexico

Christina Sandoval
Parks & Recreation, City of Albuquerque, New Mexico

Bill D. Dade
City Surveyor, City of Albuquerque, New Mexico

Samuel G. Munt
P.N.M. Electric Services

David R. Muller
Qwest Corporation

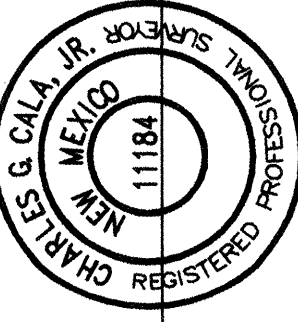
Samuel G. Munt
P.N.M. Gas Services

Rita E. Eichen
COMCAST CABLE VISION OF NEW MEXICO, INC.

COMCAST CABLE VISION OF NEW MEXICO, INC.

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify: that this plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.



Charles G. Cala, Jr., NMPS 11184



JEFF MORTENSEN & ASSOCIATES, INC.
ALBUQUERQUE, NEW MEXICO
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250
JOB #2001.056.5 PLAT

SHEET 1 OF 3

LOTS 1-P1 THROUGH 14-P1, VINEYARD ESTATES, UNIT IV-A ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO MARCH, 2003

2003072692



PL-2003C Ps. 117

COUNTY CLERK FILING DATA

KEYED NOTES

VACATED, RELEASED AND TERMINATED EASEMENTS

- PUBLIC DRAINAGE EASEMENT GRANTED BY DOCUMENT FILED 09-29-1994, BOOK 94-27, PAGES 707-7082, DOC. #199418107 VACATED BY THIS PLAT (03DRB-00007, FORMER LOTS 25 AND 26, BLOCK 18)
- PUBLIC WATERLINE EASEMENT GRANTED BY DOCUMENT FILED 09-29-1994, BOOK 94-27, PAGES 707-7082, DOC. #199418107, AND RELEASED AND TERMINATED BY DOCUMENT FILED 04-20-1995, BOOK 95-9, PAGES 6350-6351, DOC. #95038600
- NON-SPECIFIC EASEMENTS FOR PIPELINE PURPOSES (WATER, GAS OR SEWAGE), TELEPHONE AND ELECTRICAL ENERGY GRANTED BY DOCUMENT FILED 05-24-1934, BOOK 132, PAGE 94, VACATED BY THIS PLAT (03DRB-00007, FORMER LOT 24, BLOCK 18)
- NON-SPECIFIC EASEMENTS FOR PIPELINE PURPOSES (WATER, GAS OR SEWAGE), TELEPHONE AND ELECTRICAL ENERGY GRANTED BY DOCUMENT FILED 07-26-1937, BOOK 132, PAGE 397, VACATED BY THIS PLAT (03DRB-00007, FORMER LOTS 25 & 26, BLOCK 18)

NEW EASEMENTS

- 10' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT
- 38' PUBLIC (CITY OF ALBUQUERQUE) WATER AND SANITARY SEWER EASEMENT AND; PRIVATE ACCESS (SERVING LOTS 7-P1 THROUGH 14-P1) AND PRIVATE DRAINAGE EASEMENT (SERVING LOTS 7-P1 THROUGH 14-P1) GRANTED BY THIS PLAT. MAINTENANCE OF THE PRIVATE ACCESS AND PRIVATE DRAINAGE EASEMENTS SHALL BE THE RESPONSIBILITY OF THE UNDERLYING PROPERTY OWNER.
- 5' PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT TO SERVE LOT 12-P1. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF LOT 13-P1.
- 5' PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT TO SERVE LOT 4-P1. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF LOT 5-P1.
- 5' PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT TO SERVE LOTS 4-P1 AND 5-P1. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF LOT 6-P1.
- 50' WIDE PUBLIC (CITY OF ALBUQUERQUE) DRAINAGE, SANITARY SEWER AND WATER EASEMENT GRANTED BY THIS PLAT
- 15' x 40' PRIVATE ACCESS EASEMENT GRANTED BY THIS PLAT TO SERVE LOT 4-P1. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF LOT 3-P1.
- 15' x 40' PRIVATE ACCESS EASEMENT GRANTED BY THIS PLAT TO SERVE LOT 3-P1. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF LOT 4-P1.
- 5' PUBLIC (CITY OF ALBUQUERQUE) SIDEWALK EASEMENT GRANTED BY THIS PLAT
- PUBLIC (CITY OF ALBUQUERQUE) ACCESS EASEMENT GRANTED BY THIS PLAT

EXISTING EASEMENT

- 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 94C-309, OFFSITE

MONUMENTATION

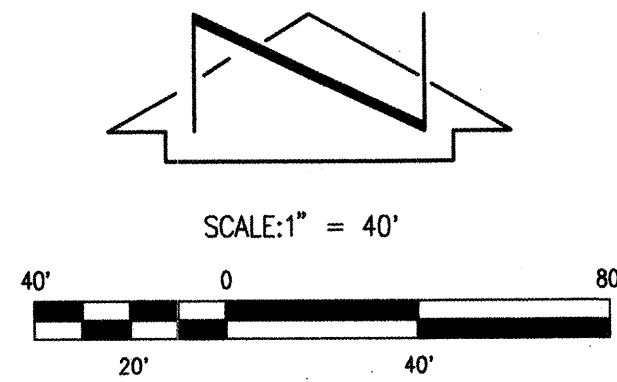
- FOUND #4 REBAR W/CAP STAMPED "PS 11463", WITH TAG STAMPED "NMPS 11184"
- FOUND #5 REBAR, NO I.D., TAGGED WITH WASHER STAMPED "NMPS 11184"
- FOUND #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- FOUND P.K. NAIL W/WASHER STAMPED "PS 11463", NOT HONORED (1.0' WEST)
- FOUND #5 REBAR, NO I.D. (BEWT), REPLACED WITH #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- FOUND ALUMINUM CENTERLINE CAP STAMPED "NMPS 11184"
- FOUND P.K. NAIL W/TAG STAMPED "NMPS 11184"
- FOUND CONCRETE NAIL W/WASHER STAMPED "NMPS 11184"
- FOUND #4 REBAR, NO I.D.
- FOUND #4 REBAR W/CAP STAMPED "LS 7909"
- FOUND #4 REBAR W/CAP STAMPED "NMPS 8127"

LINE	DIRECTION	DISTANCE	EASEMENT
E1	N 62°28'59" E	14.80'	12
E2	N 35°56'00" E	12.10'	12
E3	S 89°38'36" E	38.45'	12
E4	S 33°13'13" E	12.10'	12
E5	S 61°46'12" E	14.80'	12
E6	N 89°38'36" W	78.00'	4
E7	N 00°21'24" E	103.00'	4
E8	S 89°38'36" E	128.00'	4
E9	S 89°38'36" E	38.00'	4



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. NE.
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250
JOB #2001.056.5 PLAT

SHEET 2 OF 3



KEYED MANHOLE NOTES

MH	TYPE	STATUS	RIM	INV. OUT	INV. IN	INV. IN
①	SDMH	PROPOSED	5587.70	72.92(S)	73.22(N)	74.72(E)
②	SDMH	EXIST.	5588.22	74.42(S)	74.25(N)	N/A
③	SAS	EXIST.	5587.46	80.93(N)	N/A	N/A
④	SAS	EXIST.	5586.23	80.20(W)	80.29(N)	80.23(S)

KEYED NOTES

VACATED, RELEASED AND TERMINATED EASEMENTS

- PUBLIC DRAINAGE EASEMENT GRANTED BY DOCUMENT FILED 09-29-1994, BOOK 94-27, PAGES 7077-7082 TO BE VACATED BY DRB ACTION (FORMER LOTS 25 AND 26, BLOCK 18)
- PUBLIC WATERLINE EASEMENT GRANTED BY DOCUMENT FILED 09-29-1994, BOOK 94-27, PAGES 7077-7082, AND RELEASED AND TERMINATED BY DOCUMENT FILED 04-20-1995, BOOK 95-9, PAGES 6350-6351, DOC. #95038600

NEW EASEMENTS

- 10' PUBLIC UTILITY EASEMENT.
- 38' PUBLIC (CITY OF ALBUQUERQUE) WATER AND SANITARY SEWER; PRIVATE (SERVING LOTS 7-13) ACCESS AND PRIVATE DRAINAGE EASEMENT.
- 5' PRIVATE DRAINAGE EASEMENT TO SERVE LOT 12. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF LOT 13.
- 5' PRIVATE DRAINAGE EASEMENT TO SERVE LOT 4. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF LOT 5.
- 5' PRIVATE DRAINAGE EASEMENT TO SERVE LOTS 4 AND 5. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF LOT 6.
- 50' WIDE PUBLIC (CITY OF ALBUQUERQUE) DRAINAGE, SANITARY SEWER AND WATER EASEMENT
- 15' x 40' PRIVATE ACCESS EASEMENT TO SERVE LOT 4. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF LOT 3.
- 15' x 40' PRIVATE ACCESS EASEMENT TO SERVE LOT 3. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF LOT 4.
- 5' PUBLIC (CITY OF ALBUQUERQUE) SIDEWALK EASEMENT.
- PUBLIC (CITY OF ALBUQUERQUE) ACCESS EASEMENT.

EXISTING EASEMENT

- 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 94C-309, OFFSITE

LEGEND

CATVR	CABLE TELEVISION RISER	71.15	PROPOSED SPOT ELEVATION
CDP	CONCRETE DRIVE PAD	---	FLOWLINE
CF	CONCRETE FILLET	---	EXISTING FLOOD HAZARD ZONE
CMU	CONCRETE MASONRY UNIT	---	HIGH POINT
CWCR	CONCRETE WHEELCHAIR RAMP	---	RETAINING WALL
EC	ELECTRIC CABINET	---	GARDEN WALL (CAN RETAIN 18" MAX.)
FL	FLOWLINE	---	PROPOSED ASPHALT
GR	GRAVEL	---	PROPOSED CONCRETE
GRV	GRAVEL	---	PAVING CONCRETE TRANSITION
INV	INVERT	---	PROPOSED TEMPORARY PAVEMENT
MB	MAIL BOX	---	MOUNTABLE CURB AND GUTTER (4")
MGR	METAL GUARD RAIL	---	STANDARD CURB AND GUTTER
MH	MANHOLE	---	
MS	SANITARY SEWER	---	
SD	STORM DRAIN	---	
SW	SIDEWALK	---	
TA	TOP OF ASPHALT	---	
TAC	TOP OF ASPHALT CURB	---	
TC	TOP OF CURB	---	
TCO	TOP OF CONCRETE	---	
TP	TOP OF PIPE	---	
TR	TELEPHONE RISER	---	
WGP	WOOD GUARD POSE	---	
	EXISTING CONTOUR	---	
	EXISTING SPOT ELEVATION	---	
	EXISTING CONIFEROUS TREE	---	
	KEYED MANHOLE NOTES	---	

NOTE:

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY DATA SHOWN IS BASED UPON THE BOUNDARY SURVEY OF LOTS 24, 25, 26 AND 27, BLOCK 18, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 (VINEYARD IV-A) BY JEFF MORTENSEN & ASSOCIATES, INC. DATED 9-18-2002.

PROJECT BENCHMARK

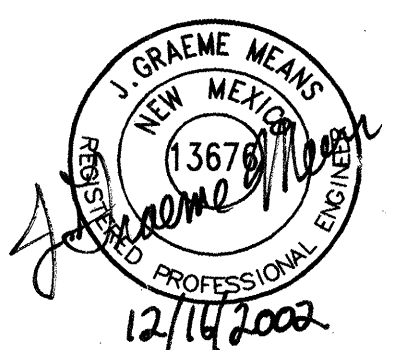
ACS STATION "HEAVEN" (TIED PRIOR TO PASEO DEL NORTE ROADWAY CONSTRUCTION IN 1999)
PREVIOUS ELEVATION = 5378.79 FEET (NGVD 1929)

THIS BENCHMARK HAS BEEN USED TO PROVIDE CONSISTENCY BETWEEN THIS SURVEY AND SURVEYS PREVIOUSLY CONDUCTED FOR RELATED NORTH DOMINGO BACA ARROYO PROJECTS AND THEREFORE REPRESENTS THE "PROJECT DATUM" FOR THIS PROJECT.

NOTE: THE ELEVATION FOR ACS STATION "5-C20", AN ACS 1 3/4" ALUMINUM DISK STAMPED "ACS BM, 5-C20", EPOXYED TO THE TOP OF A STORM INLET, AT THE N.E. CURB RETURN IN THE NORTHEAST QUADRANT OF THE INTERSECTION OF VENTURA STREET AND ANAHEIM AVENUE N.E., BASED UPON THE "PROJECT DATUM" IS 5552.84 FEET (NGVD 29). THE C.O.A. PUBLISHED ELEVATION FOR "5-C20" IS 5552.71 FEET (NGVD 29) AND THEREFORE VARIES BY 0.13 FEET VERTICALLY FROM THE "PROJECT DATUM".

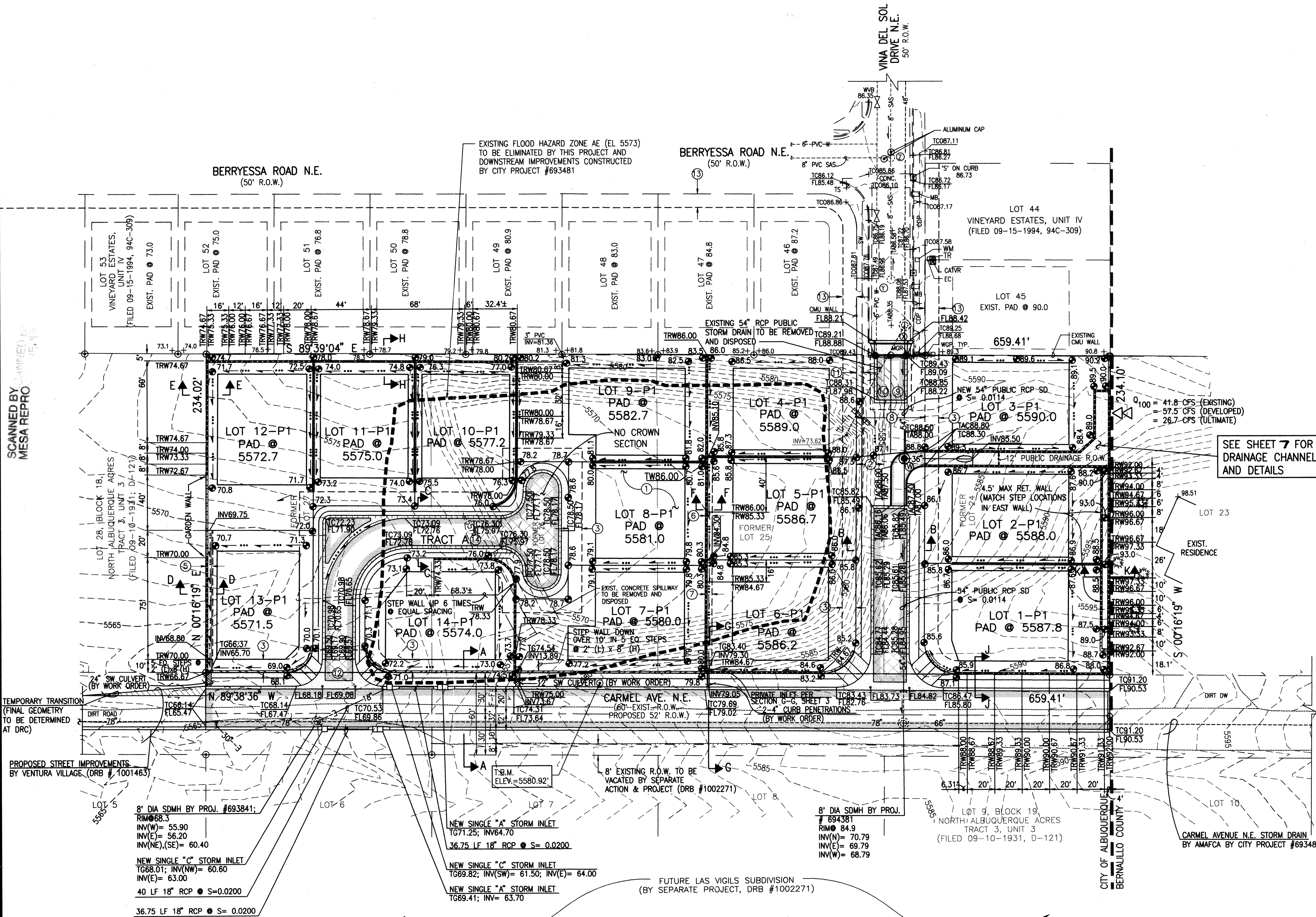
T.B.M.

A #5 REBAR WITH CAP STAMPED "CONTROL PT N1184"
SET NEAR THE NORTH SIDE OF THE CARMEL AVENUE N.E. RIGHT-OF-WAY NEAR THE SOUTHWEST CORNER OF THE EXISTING POND.
ELEVATION = 5580.92 FEET (NGVD 1929)



RECORD DRAWING

DRB PROJECT #1002207



Plot Date: 12-18-2002
Plot Time: 4:01 pm
File Path: E:\WORK\2001\0563A
File Name: 10563G1.DWG

JMA
JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE, N.M. 87109
ENGINEERS & SURVEYORS (505) 345-4250
FAX: 505 345-4254 E-MAIL: jmort@jma-inc.com

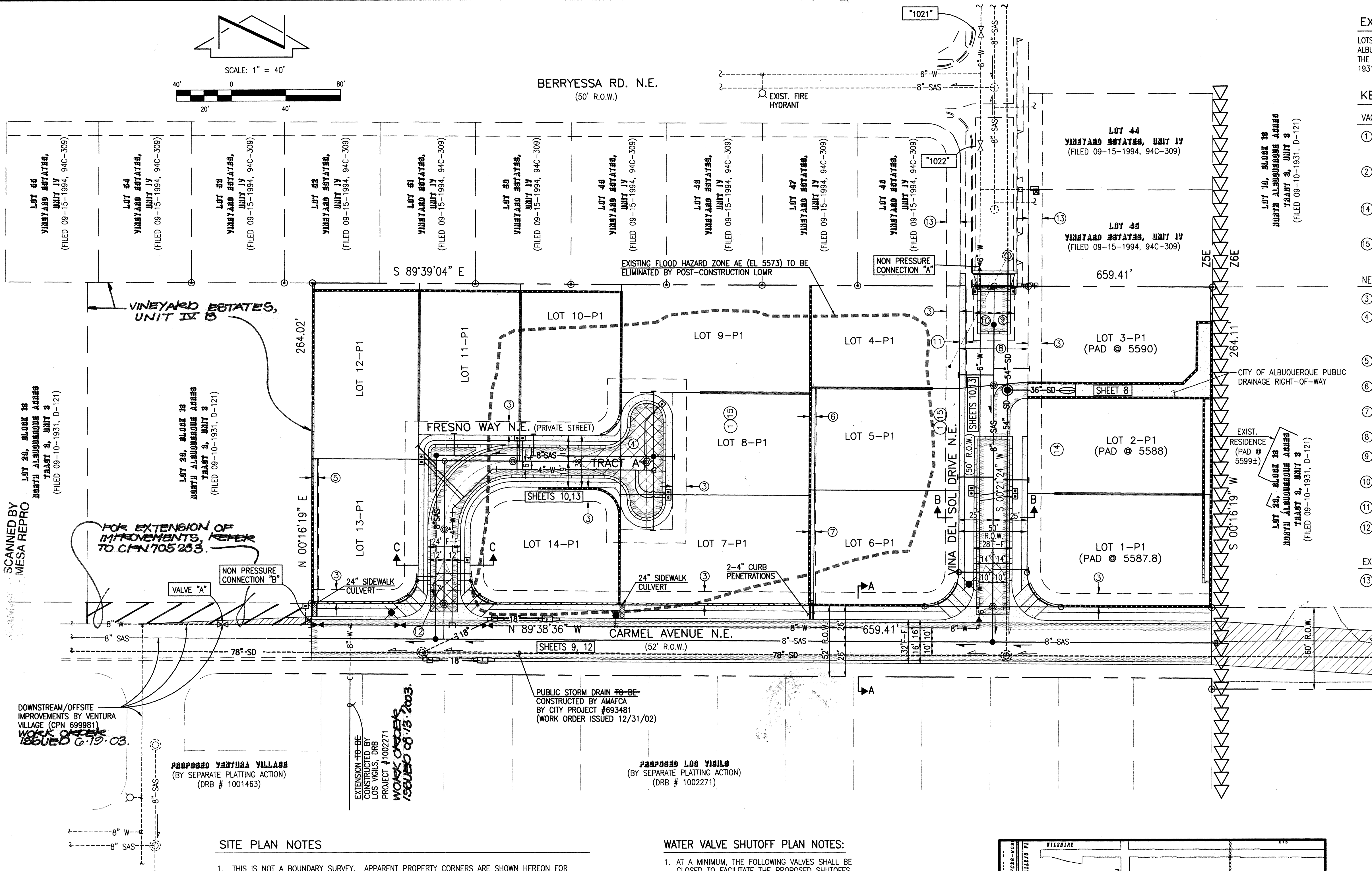
ROUGH GRADING APPROVAL

CITY HYDROLOGY DATE

GRADING PLAN
VINEYARD ESTATES, UNIT IV-A

DESIGNED BY	G.M.	NO.	DATE	BY	REVISIONS	JOB NO.
DRAWN BY	S.G.H.					2001.056.3
APPROVED BY	J.G.M.					DATE 12-2002
						SHEET 4 OF 15

PROJECT # 705282 SHEET 4 OF 15



SITE PLAN NOTES

- THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION ONLY. BOUNDARY INFORMATION IS FROM SUBDIVISION PLAT OF LOTS 1-P1 THROUGH 14-P1 VINEYARD ESTATES, UNIT IV-A BY JEFF MORTENSEN AND ASSOCIATES, INC., DATED MARCH ,2003.
- REFER TO SHEETS 2-3 FOR SUBDIVISION PLAT.
- REFER TO SHEET 4 FOR DRB APPROVED GRADING PLAN.
- REFER TO SHEET 6 FOR PAVING SECTIONS AND DETAILS.
- REFER TO SHEET 7 FOR GRADING AND STORM DRAINAGE SECTIONS AND DETAILS.
- REFER TO SHEET 11 FOR CITY OF ALBUQUERQUE WATER DETAILS.
- A PORTION OF THIS SUBDIVISION IS LOCATED WITH A 100-YEAR FLOOD PLAIN AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM "FLOOD INSURANCE RATE MAP", PANEL 141 OF 825, REVISED 04/02/02. A LETTER OF MAP REVISION (LOMR) WILL BE REQUESTED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) TO REMOVE THE EXISTING FLOOD PLAIN. UNTIL THE LOMR IS ISSUED BY FEMA, PROPERTY OWNERS MAY BE REQUIRED TO PURCHASE FLOOD INSURANCE.

CERTIFICATE OF SUBSTANTIAL COMPLIANCE

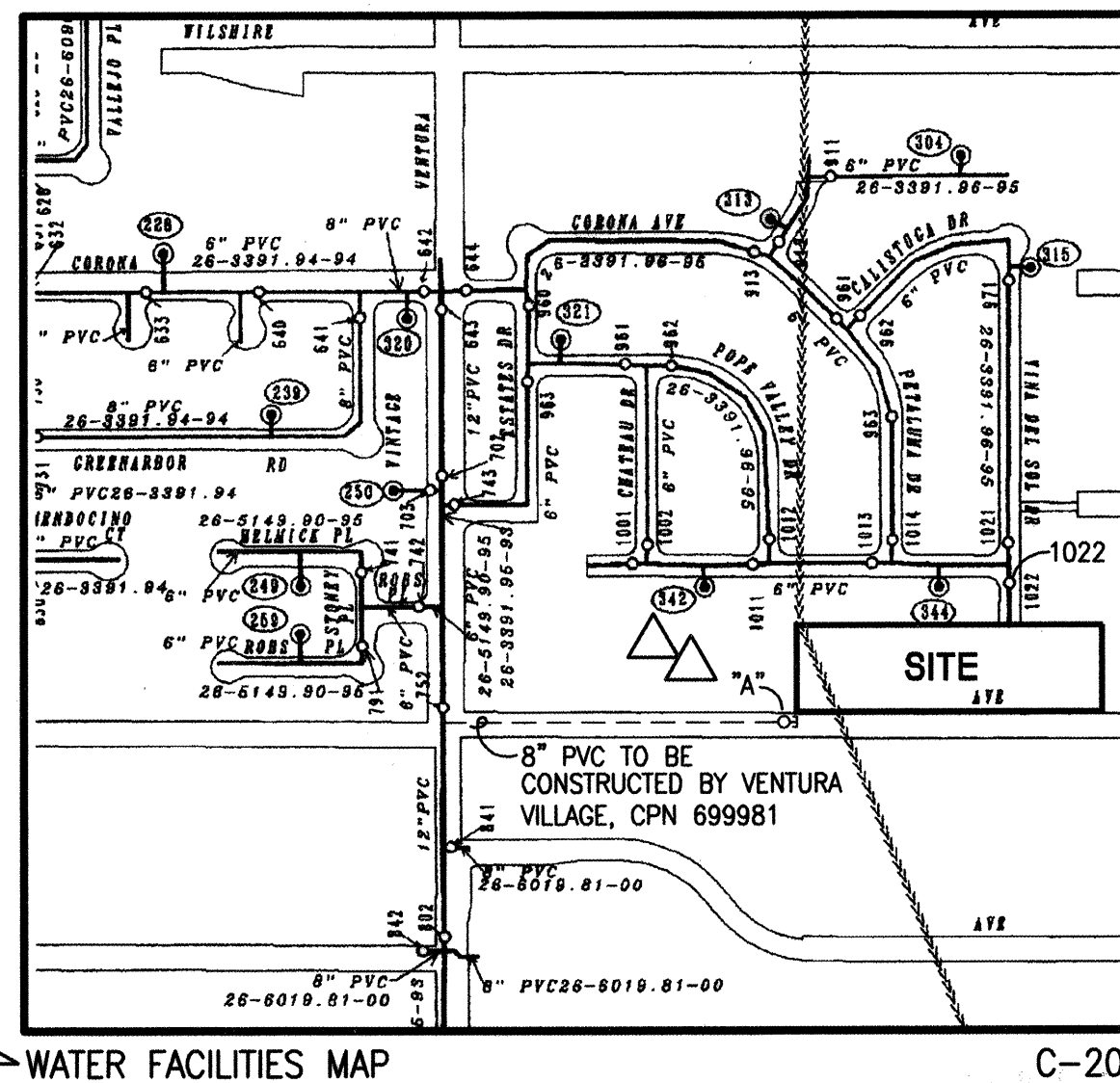
I, JEFFREY G. MORTENSEN, NMPE 8547, OF THE FIRM JEFF MORTENSEN & ASSOCIATES, INC., HEREBY CERTIFY THAT THE INFRASTRUCTURE CONSTRUCTED AS PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR PERSONNEL UNDER MY DIRECT SUPERVISION AND, TO THE BEST OF MY KNOWLEDGE AND BELIEF, HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THE ORIGINAL DESIGN INTENT OF THE CITY ENGINEER APPROVED PLANS. THE RECORD INFORMATION EDITED ONTO THIS ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS RECORD INFORMATION IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE DESIGN INTENT OF THIS PROJECT. THOSE RELYING ON THIS DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR ACCEPTANCE OF THE PROJECT BY THE CITY ENGINEER.

JEFFREY G. MORTENSEN, NMPE 8547
DATE 06.21.2004



WATER VALVE SHUTOFF PLAN NOTES:

- AT A MINIMUM, THE FOLLOWING VALVES SHALL BE CLOSED TO FACILITATE THE PROPOSED SHUTOFFS AND CONNECTIONS:
 - CONNECTION @ VINA DEL SOL:
 - VALVE 1022
 - CONNECTION @ HOLLY:
 - PROPOSED VALVE "A"
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO WATER SYSTEMS (857-8250) A DETAILED CONSTRUCTION SCHEDULE OF WORK ANTICIPATED TO TO REQUIRE WATER VALVE SHUTOFFS. THE CONTRACTOR SHALL MAINTAIN WEEKLY CONTACT WITH WATER SYSTEMS AS REQUIRED TO UPDATE AND/OR VERIFY THE SCHEDULE.
- WATER SYSTEMS PERSONNEL SHALL PERFORM ALL SHUTOFFS. THE CONTRACTOR SHALL NOT OPERATE ANY VALVES THAT MAY AFFECT SYSTEM OPERATION.
- WATER SYSTEMS WILL NOT BE RESPONSIBLE FOR ANY PROJECT DELAYS ATTRIBUTABLE TO THE SCHEDULING OF WATER VALVE SHUTOFFS.
- THE CONTRACTOR SHALL REQUEST A WATER SHUTOFF IN WRITING, A MINIMUM OF SEVEN (7) WORKING DAYS IN ADVANCE PER STANDARD CITY OF ALBUQUERQUE PROCEDURES.
- WITHIN FIVE (5) DAYS AFTER RECEIPT OF CONTRACTOR'S SHUTOFF REQUEST, TRIAL SHUTOFFS WILL BE CONDUCTED. CITY TO FURNISH LABOR AND APPURTENANCES NECESSARY TO VERIFY COMPLETENESS OF SHUTOFFS.
- THE CONTRACTOR SHALL HAVE ALL FITTINGS, MATERIALS AND EQUIPMENT ON SITE PRIOR TO VALVE SHUTOFF. ALL EXCAVATION SHALL BE COMPLETE EXCEPT AS NECESSARY TO MAINTAIN SAFE SYSTEM OPERATION WHILE UNDER PRESSURE.
- THE CONTRACTOR SHALL PROVIDE ALL RESTRAINTS AND THRUST BLOCKS NECESSARY TO EFFECT ALL NECESSARY SHUTOFFS AND CONNECTIONS.
- EXISTING WATER VALVE AND WATER LINE INFORMATION OBTAINED FROM CITY OF ALBUQUERQUE FACILITIES MAP C-20.



RECORD DRAWING

ELEVATIONS ARE IN NGVD 1929

EXISTING LEGAL DESCRIPTION

LOTS 24, 25, 26 AND 27, BLOCK 18, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931, BOOK D, PAGE 121.

KEYED NOTES

VACATED EASEMENTS

- PUBLIC DRAINAGE EASEMENT GRANTED BY DOCUMENT FILED 09-29-1994, BOOK 94-27, PAGES 7077-7082, DOC. #1994118107, VACATED BY 03DRB-00007 (FORMER LOTS 25 AND 26, BLOCK 18)
- NOT USED
- NON-SPECIFIC EASEMENTS FOR PIPELINE PURPOSES (WATER, GAS OR SEWAGE), TELEPHONE AND ELECTRICAL ENERGY GRANTED BY DOCUMENT FILED 05-24-1934, BOOK 132, PAGE 94, VACATED BY 03DRB-00007 (FORMER LOT 24, BLOCK 18)
- NON-SPECIFIC EASEMENTS FOR PIPELINE PURPOSES (WATER, GAS OR SEWAGE), TELEPHONE AND ELECTRICAL ENERGY GRANTED BY DOCUMENT FILED 07-26-1937, BOOK 132, PAGE 397, VACATED BY 03DRB-00007 (FORMER LOTS 25 & 26, BLOCK 18)

NEW EASEMENTS GRANTED BY PLAT 2003C-_____, DRB PROJECT #1002207

- 10' PUBLIC UTILITY EASEMENT
- 38' PUBLIC (CITY OF ALBUQUERQUE) WATER AND SANITARY SEWER EASEMENT AND PRIVATE ACCESS (SERVING LOTS 7-P1 THROUGH 14-P1) AND PRIVATE DRAINAGE EASEMENT (SERVING LOTS 7-P1 THROUGH 14-P1). MAINTENANCE IS THE RESPONSIBILITY OF THE UNDERLYING PROPERTY OWNER.
- 5' PRIVATE DRAINAGE EASEMENT SERVING LOT 12-P1. MAINTENANCE IS THE RESPONSIBILITY OF THE OWNER OF LOT 13-P1.
- 5' PRIVATE DRAINAGE EASEMENT SERVING LOT 4-P1. MAINTENANCE IS THE RESPONSIBILITY OF THE OWNER OF LOT 5-P1.
- 5' PRIVATE DRAINAGE EASEMENT SERVING LOTS 4-P1 AND 5-P1. MAINTENANCE IS THE RESPONSIBILITY OF THE OWNER OF LOT 6-P1.
- 50' WIDE PUBLIC (CITY OF ALBUQUERQUE) DRAINAGE, SANITARY SEWER AND WATER EASEMENT.
- 15' x 40' PRIVATE ACCESS EASEMENT SERVING LOT 4-P1. MAINTENANCE IS THE RESPONSIBILITY OF THE OWNER OF LOT 3-P1.
- 15' x 40' PRIVATE ACCESS EASEMENT SERVING LOT 3-P1. MAINTENANCE IS THE RESPONSIBILITY OF THE OWNER OF LOT 4-P1.
- 5' PUBLIC (CITY OF ALBUQUERQUE) SIDEWALK EASEMENT.
- PUBLIC (CITY OF ALBUQUERQUE) ACCESS EASEMENT.

EXISTING EASEMENT

- 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 94C-309, OFFSITE

LEGEND

- EXISTING FLOOD HAZARD ZONE
- HIGH POINT
- RETAINING WALL
- GARDEN WALL (CAN RETAIN 18" MAX.)
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PAVING CROWN TRANSITION
- MOUNTABLE CURB AND GUTTER (4")
- STANDARD CURB AND GUTTER
- PROPOSED F.H.
- PROPOSED VALVE
- EXISTING VALVE
- EXISTING F.H.
- PROPOSED SDMH
- EXISTING SDMH
- PROPOSED SAS MH
- EXISTING SAS MH
- PROPOSED SAS SERVICE
- PROPOSED SINGLE WATER SERVICE
- PROPOSED DOUBLE WATER SERVICE
- PROPOSED REDUCER
- WATER PRESSURE ZONE BOUNDARY
- STREET LIGHT (BY PNM)

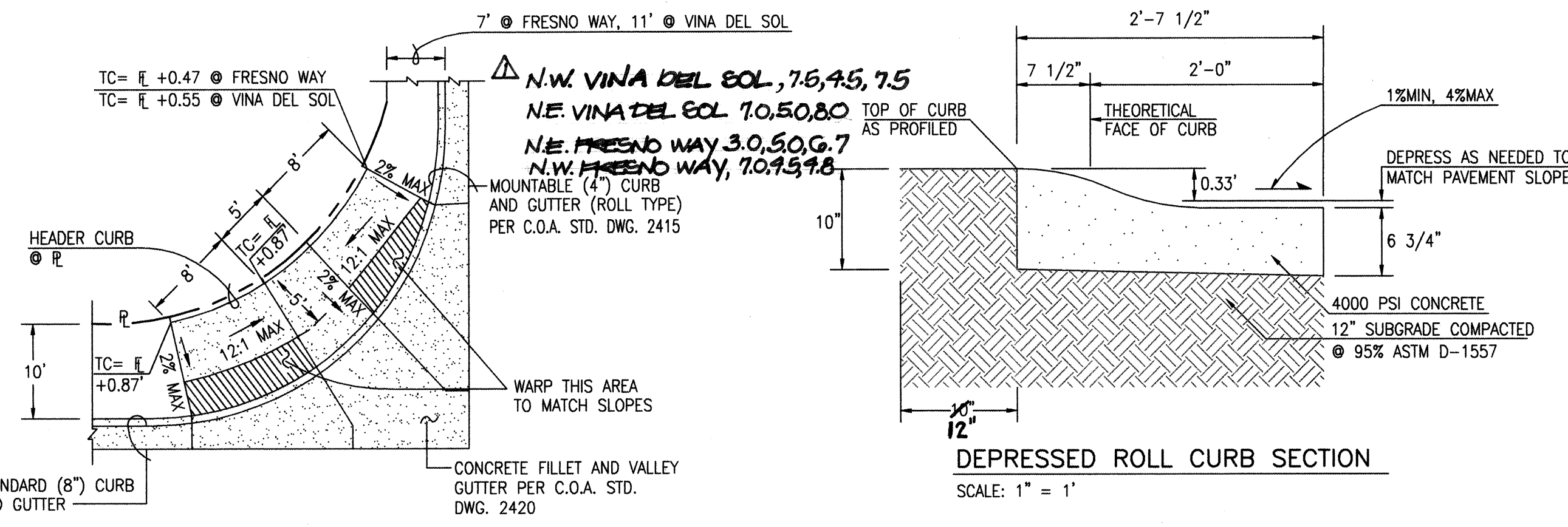
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2001.056.6 2003.042.1

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

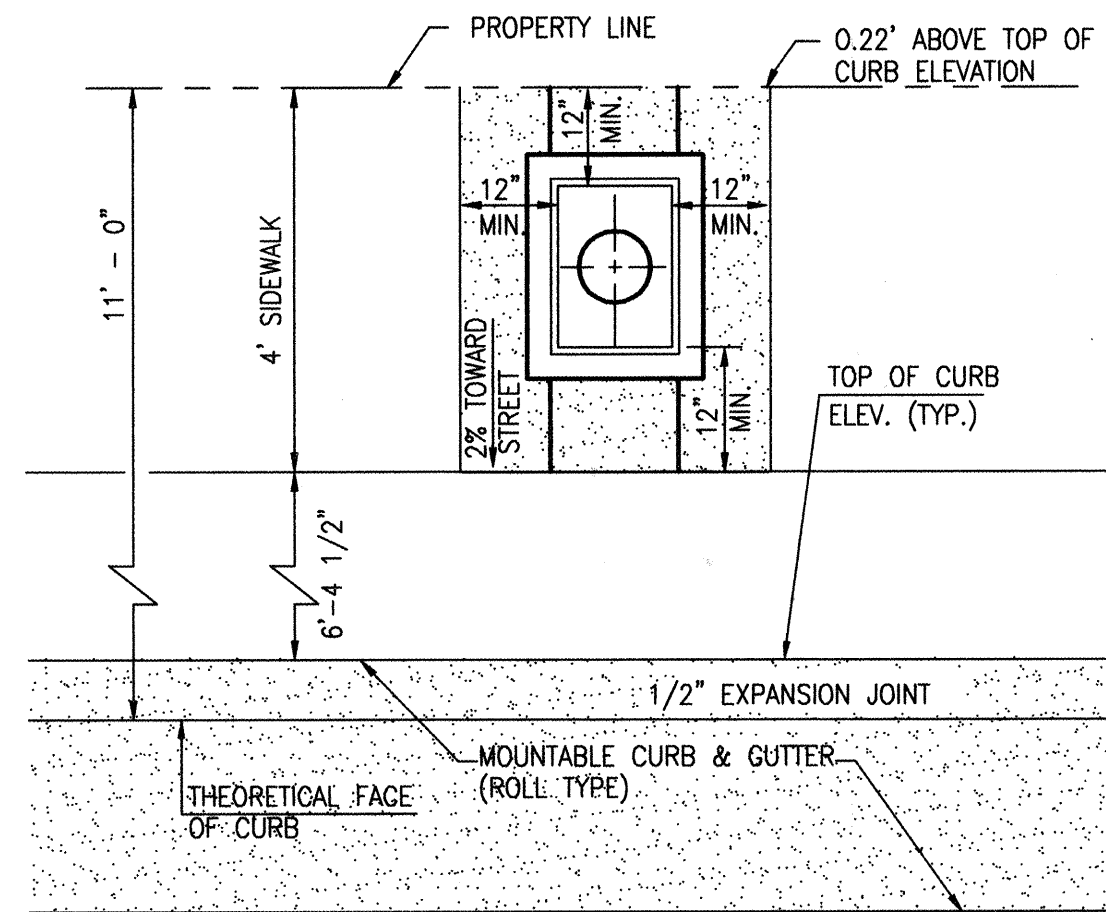
TITLE: VINEYARD ESTATES, UNIT IV-A
COMPOSITE SITE PLAN/WATER VALVE SHUTOFF PLAN

Design Review Committee	City Engineer Approval	Ms. Day/Tr.	Ms. Day/Tr.
MAY - 6 2003	MAY - 9 2003		
DESIGN REVIEW COMMITTEE			
City Project No. 705282	Zone Map No. C-20	Sheet 5	Of 15

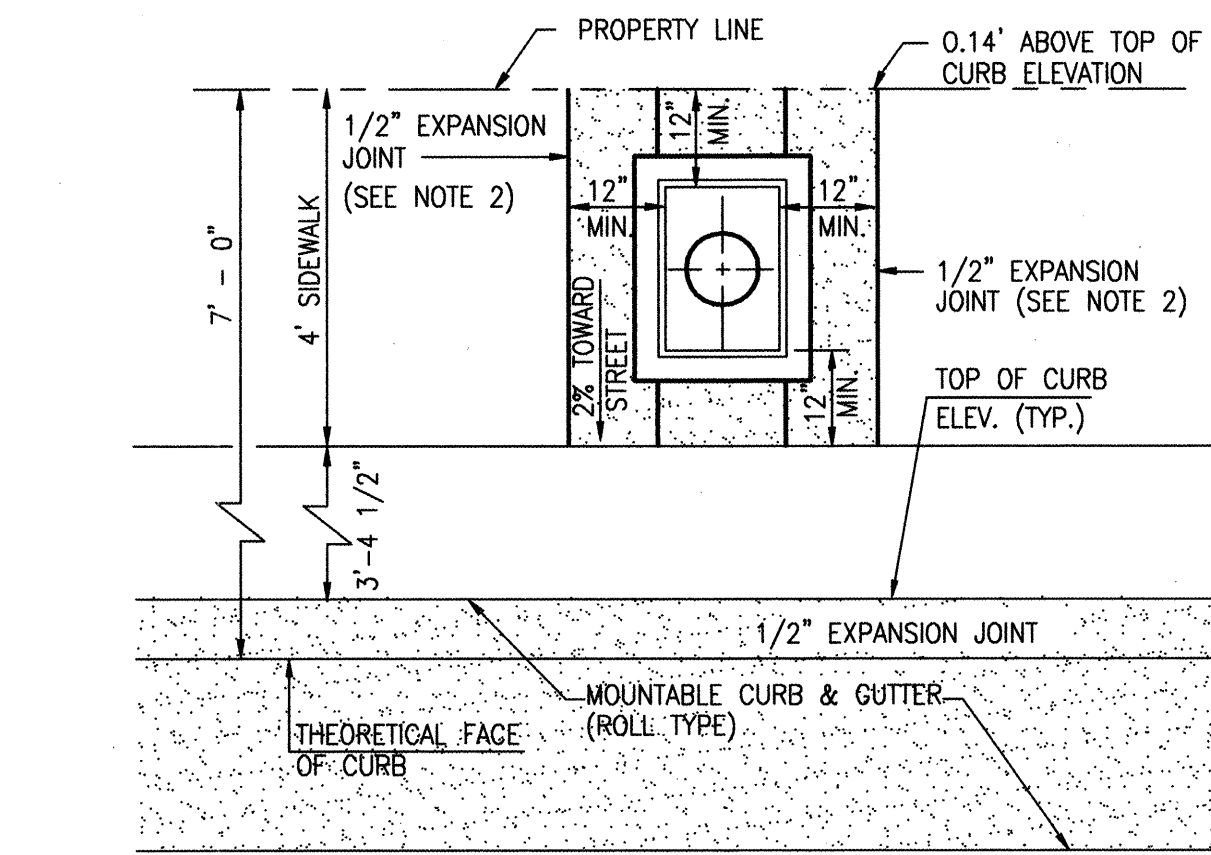


REFER TO C.O.A. STANDARD DRAWINGS 2441 AND 2418 FOR
GENERAL NOTES AND CONSTRUCTION NOTES. (NOTE "F" DOES NOT APPLY
TO STD. DWG 2441.)

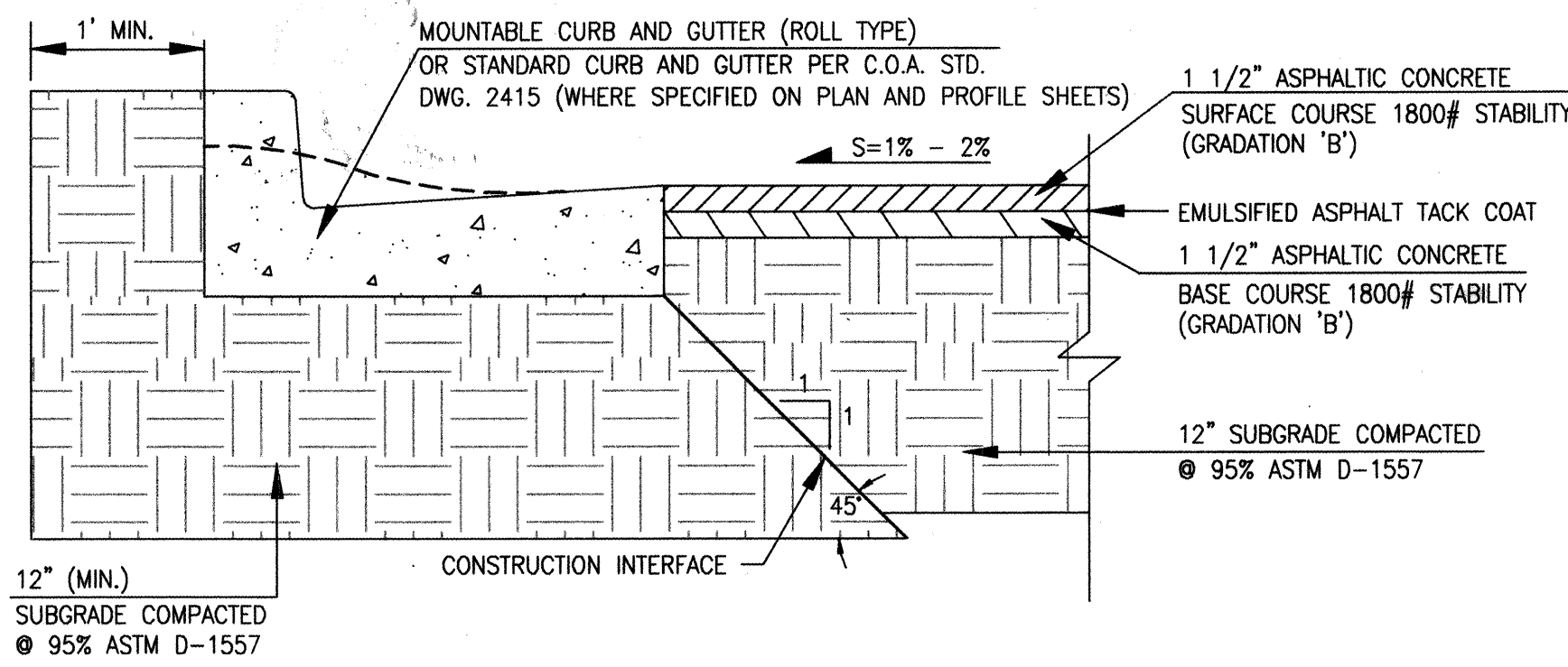
TYPICAL WHEELCHAIR RAMP DETAIL
(TRANSITION FROM STANDARD TO
MOUNTABLE CURB AND GUTTER)
SCALE: 1"=10'



TYPICAL METER BOX INSTALLATION (LOTS 1-6)



TYPICAL METER BOX INSTALLATION (LOTS 10-14)



PAVEMENT TRANSITION @ CURB & GUTTER

NOTE: ALL SUBGRADE MATERIAL SHALL HAVE A MINIMUM R-VALUE OF 50 PER C.O.A. SPECIFICATION SECTION 301. SOIL NOT HAVING THE MINIMUM R-VALUE OF 50 SHALL BE REMOVED TO A DEPTH OF 2 FEET AND REPLACED BY THE CONTRACTOR WITH SUITABLE MATERIAL, OR, A PAVEMENT SECTION SHALL BE DESIGNED BY THE CONSULTANT ACCOMMODATING THE EXISTING R-VALUE PER C.O.A. STANDARD SPECIFICATIONS.

RECORD DRAWING

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
		FIELD NOTES		THE ACS STATION "HEMEN" (TIED PRIOR TO 1999 PASEO DEL NORTE CONSTRUCTION) REPRESENTS THE "PROJECT DATUM". PREVIOUS ELEV = 5378.79 FEET (NVD 1929). NOTE: THE ELEVATION OF ACS STATION "5-C207", AN ACS 1 3/4" ALUMINUM DISK EPOXIED TO THE TOP OF A STORM INLET AT THE N.E. CURB RETURN AT THE N.E. QUADRANT OF THE INTERSECTION OF VENTURA ST. AND ANAHEIM AVE., BASED ON THE "PROJECT DATUM" IS 5552.84 FEET (NVD 1929). THE C.O.A. PUBLISHED ELEVATION FOR STA. "5-C207" IS 5552.71 FEET (NVD 1929) AND THEREFORE VARIES BY 0.13 FEET VERTICALLY FROM THE "PROJECT DATUM". FOR THE PURPOSES OF THIS PROJECT, USE "PROJECT DATUM" AS DESCRIBED ABOVE.		CONTRACTOR J.K. HALE WORK ORDER NO. BY J.M.A. / J.L. Blair INSPECTORS J.M.A. / J.L. Blair FIELD LAYOUT BY J.M.A. / J.L. Blair DRAWINGS J.M.A. CORRECTED BY J.M.A.	
		NO.	DATE				
		10562	09/02				
NO. DATE REMARKS							
Revisions							
DESIGN							
Designed By	G.M.	Date	02-03				
Drawn By	S.G.H.	Date	02-03				
Checked By	J.G.M.	Date	03-03				

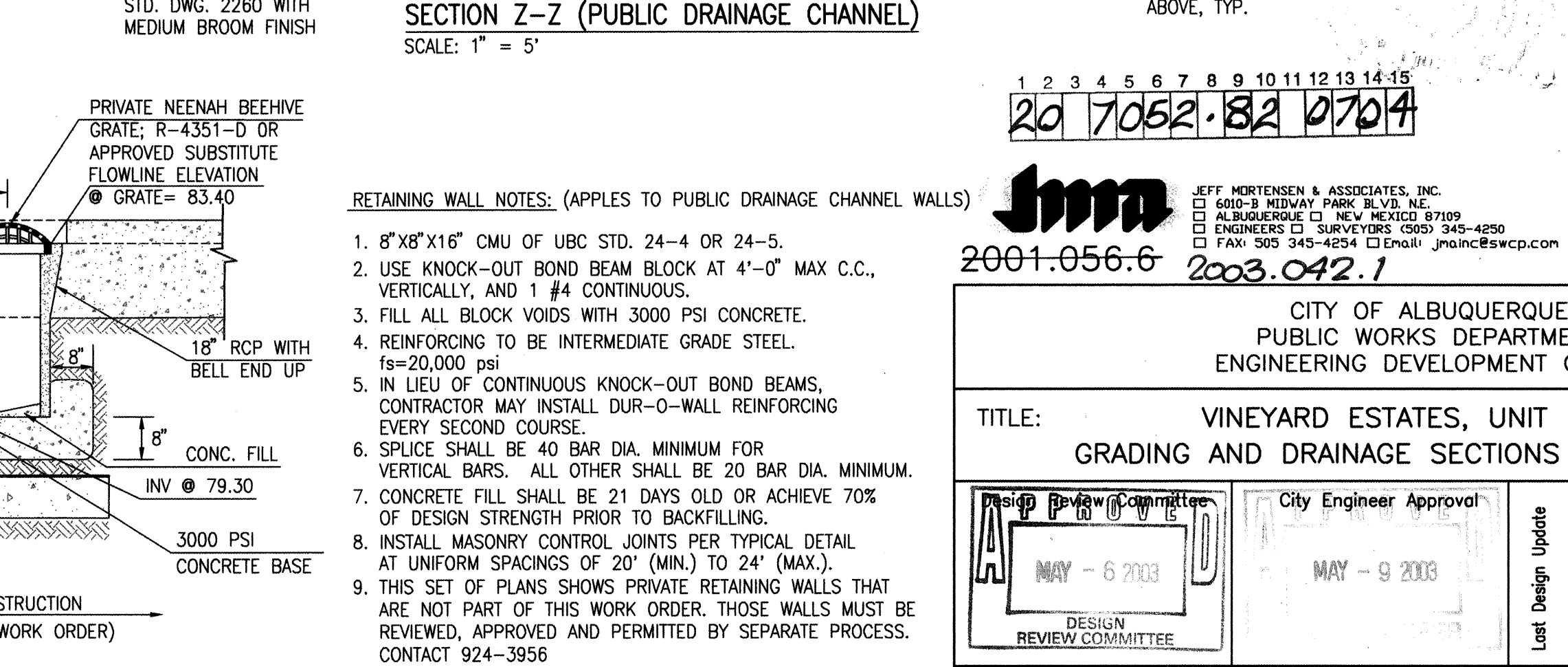
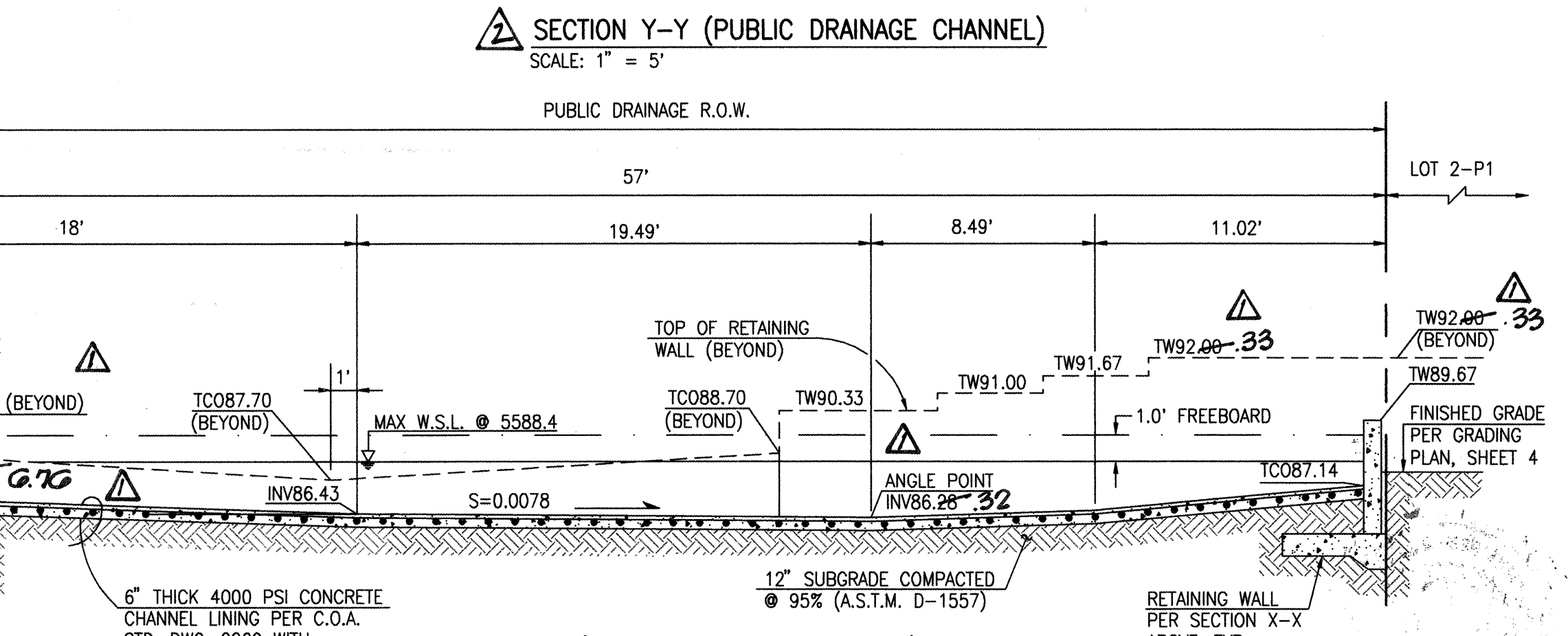
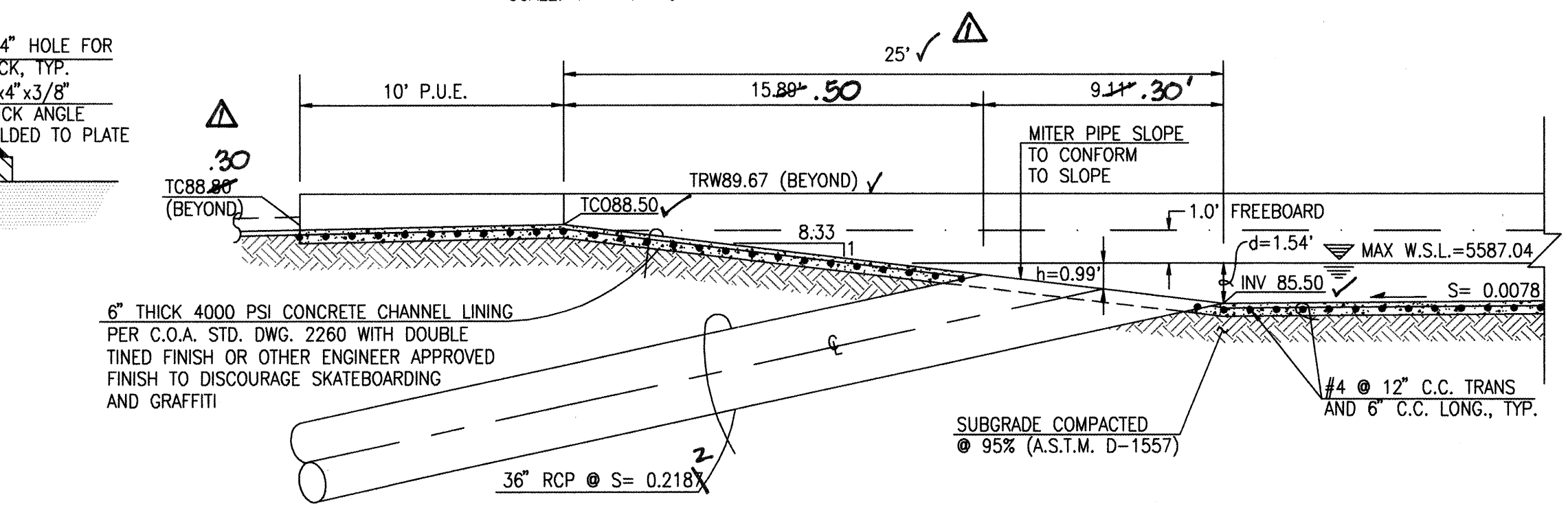
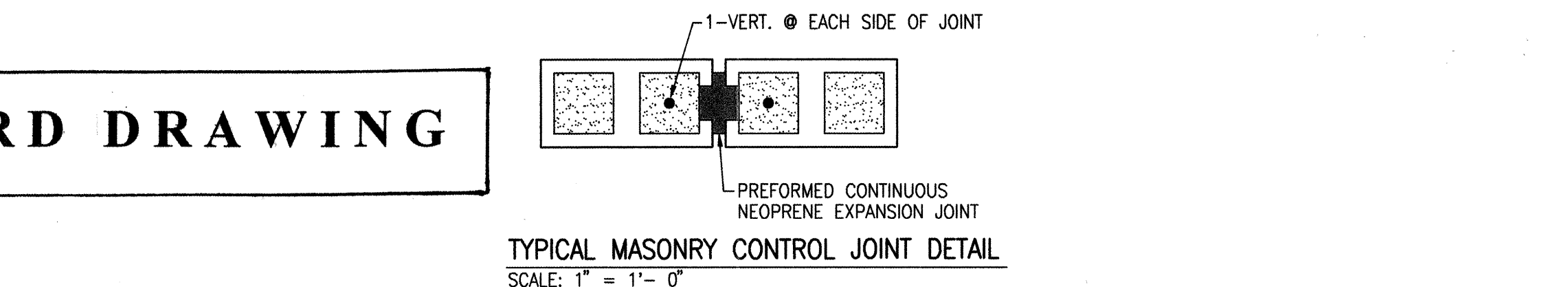
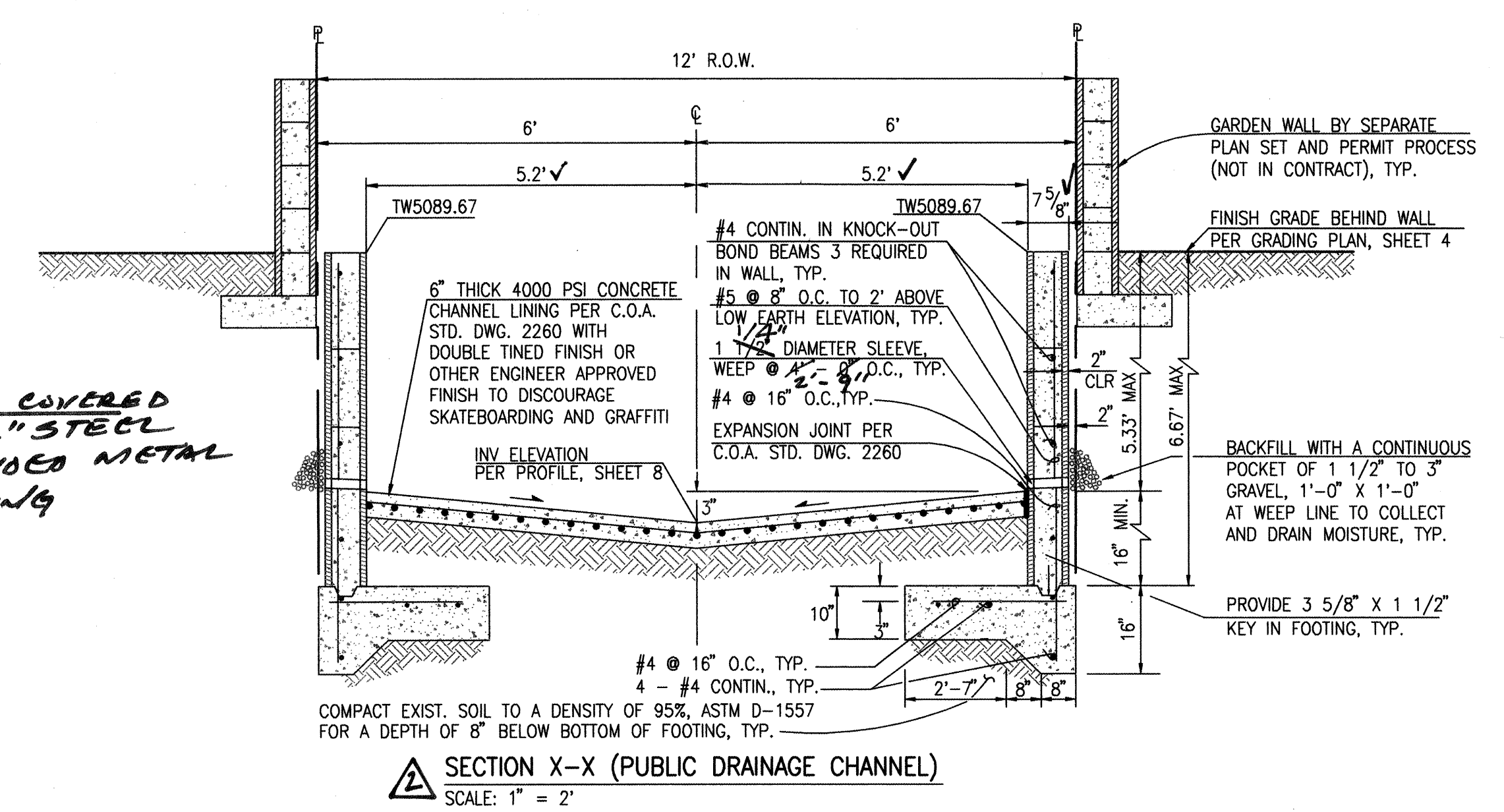
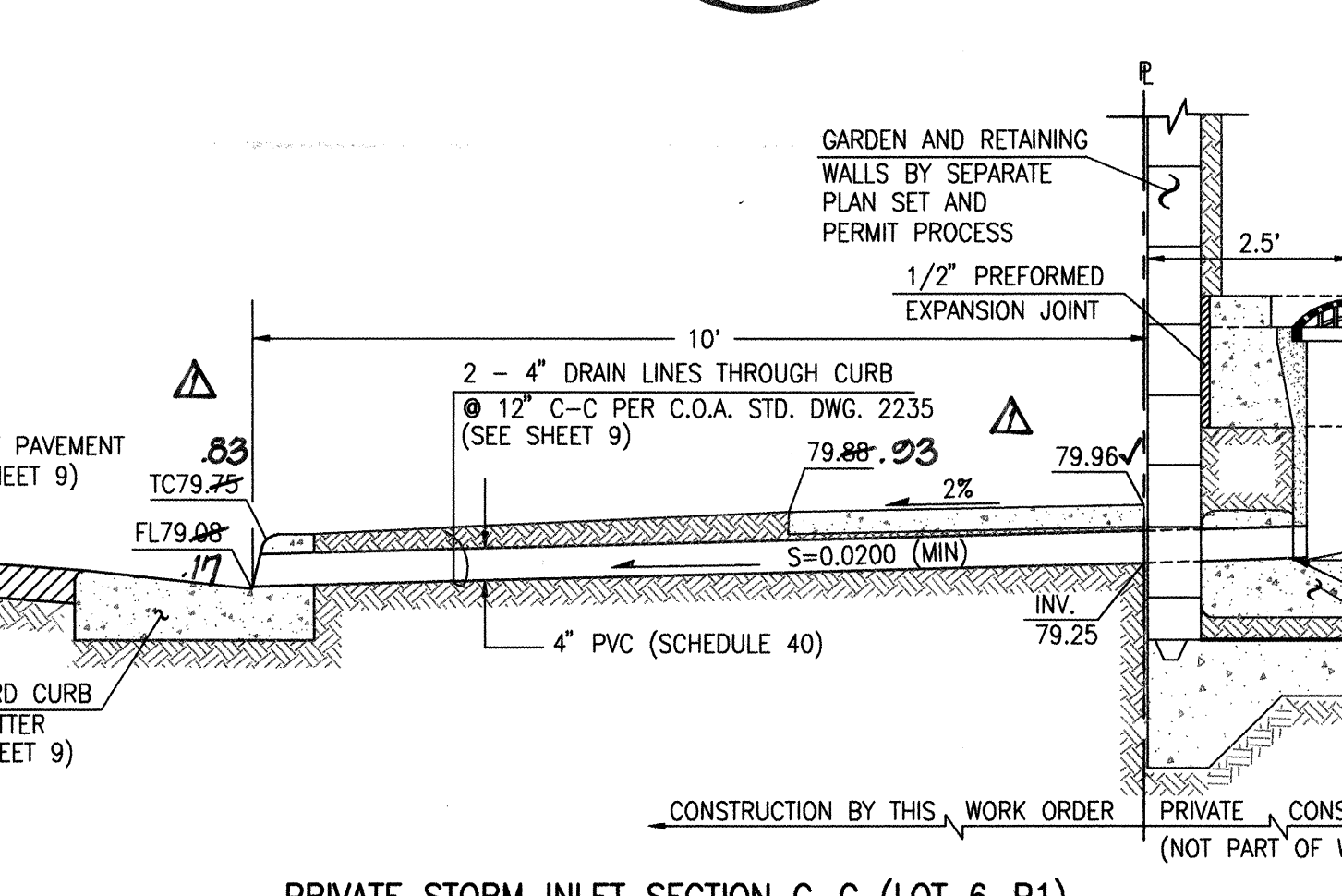
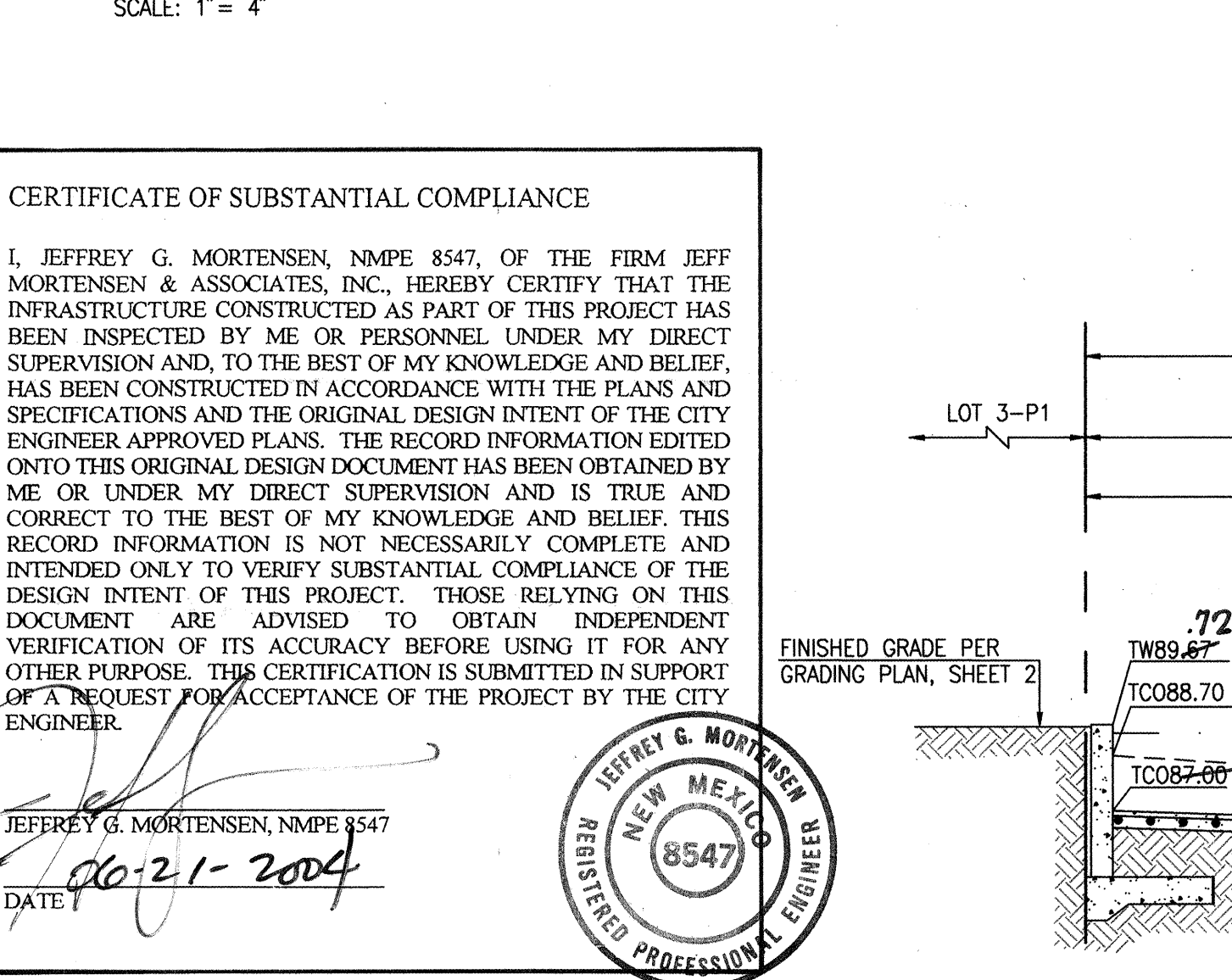
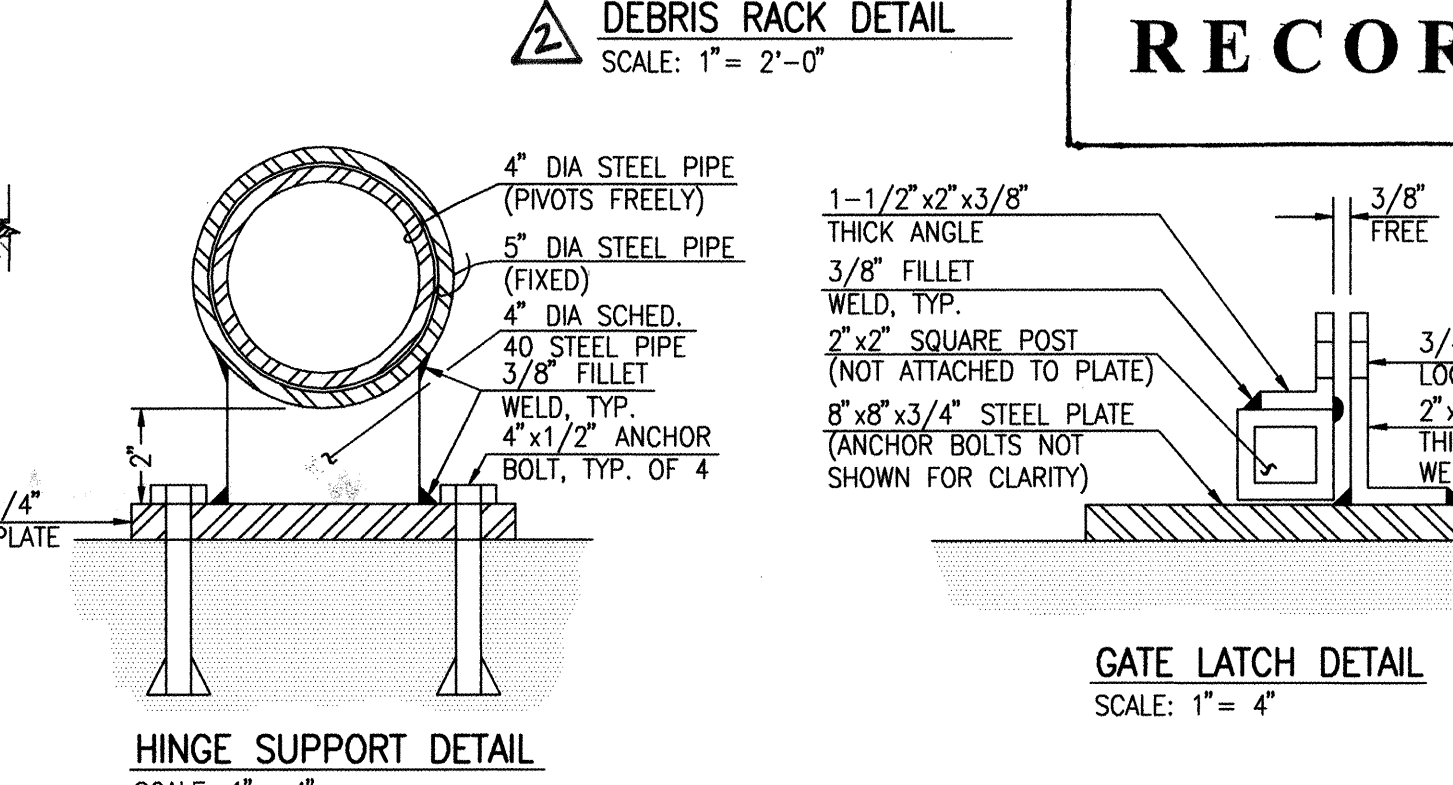
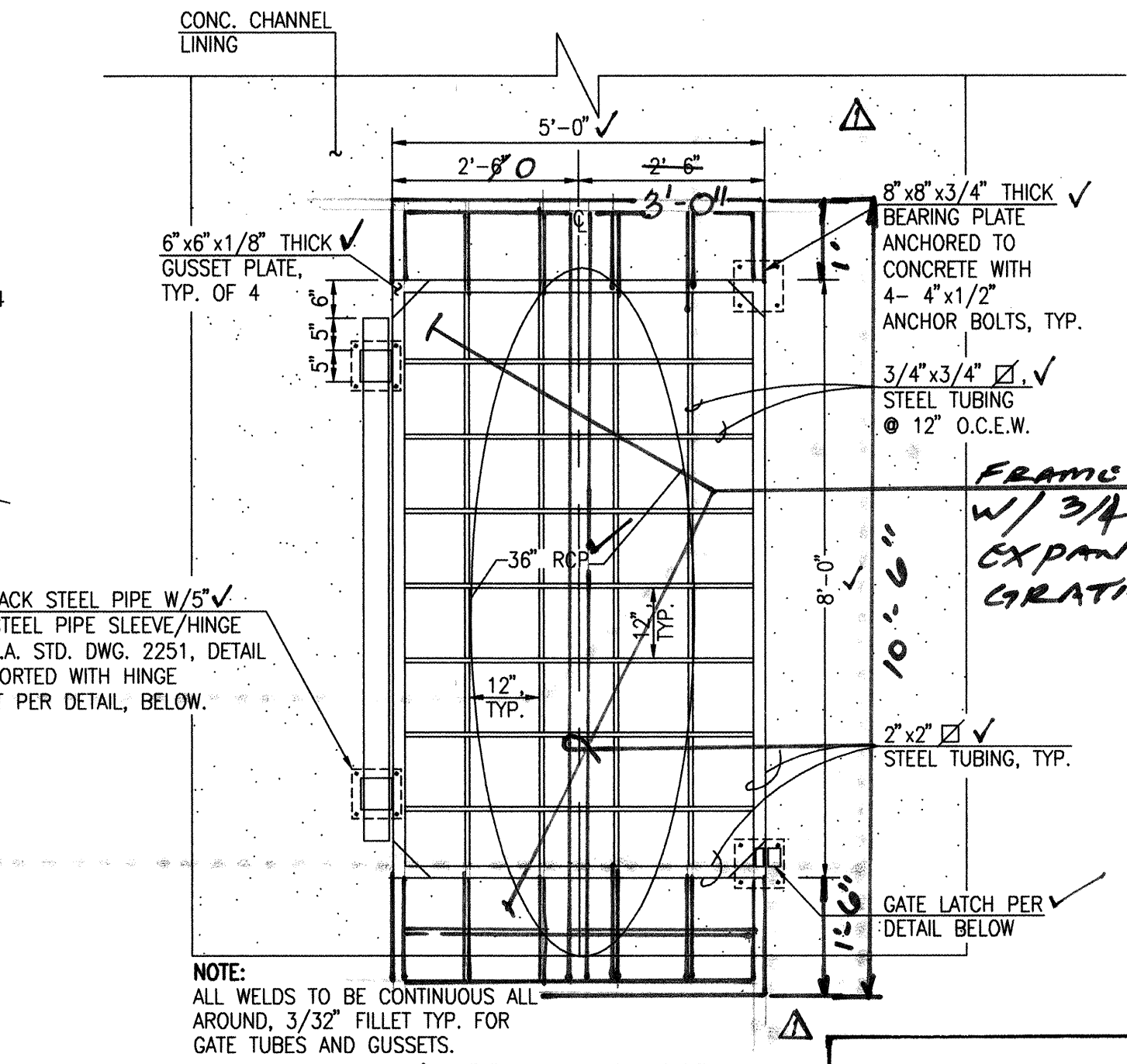
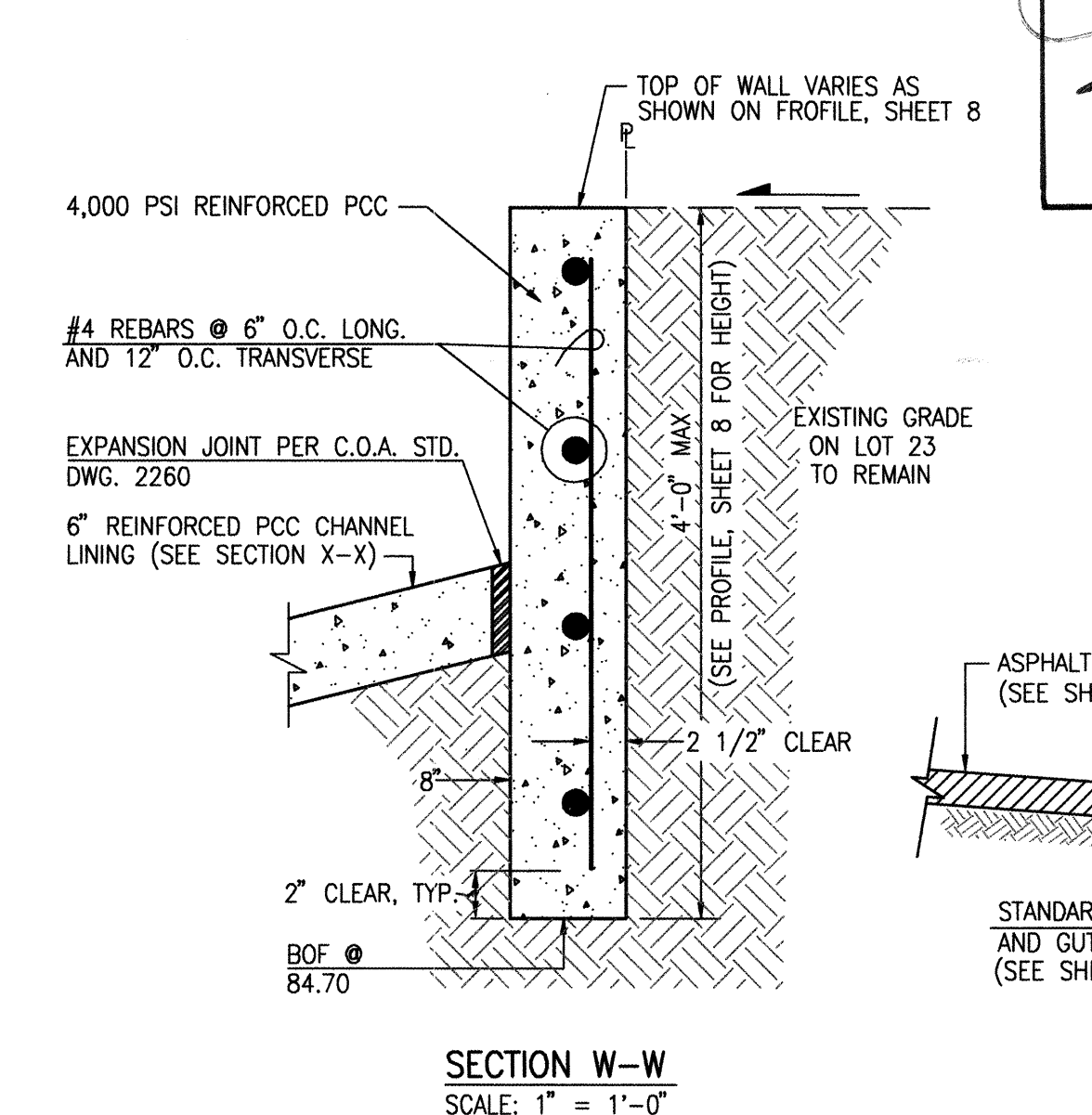
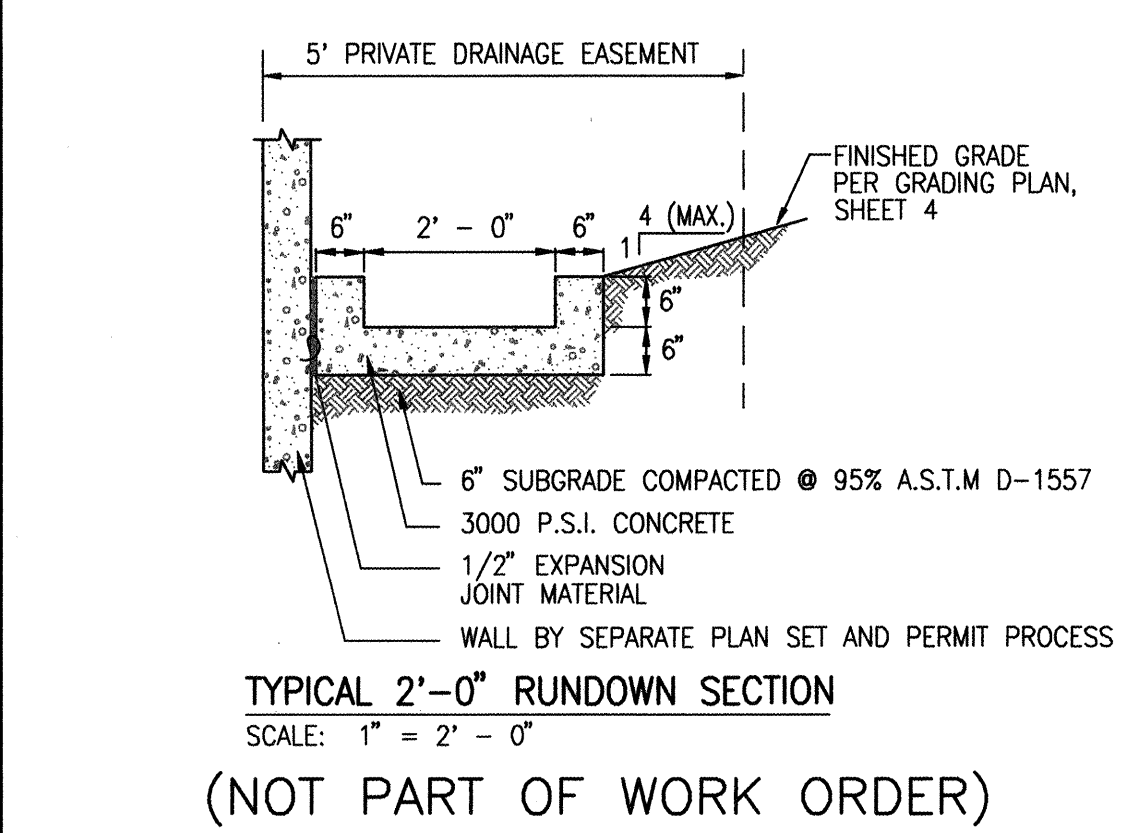
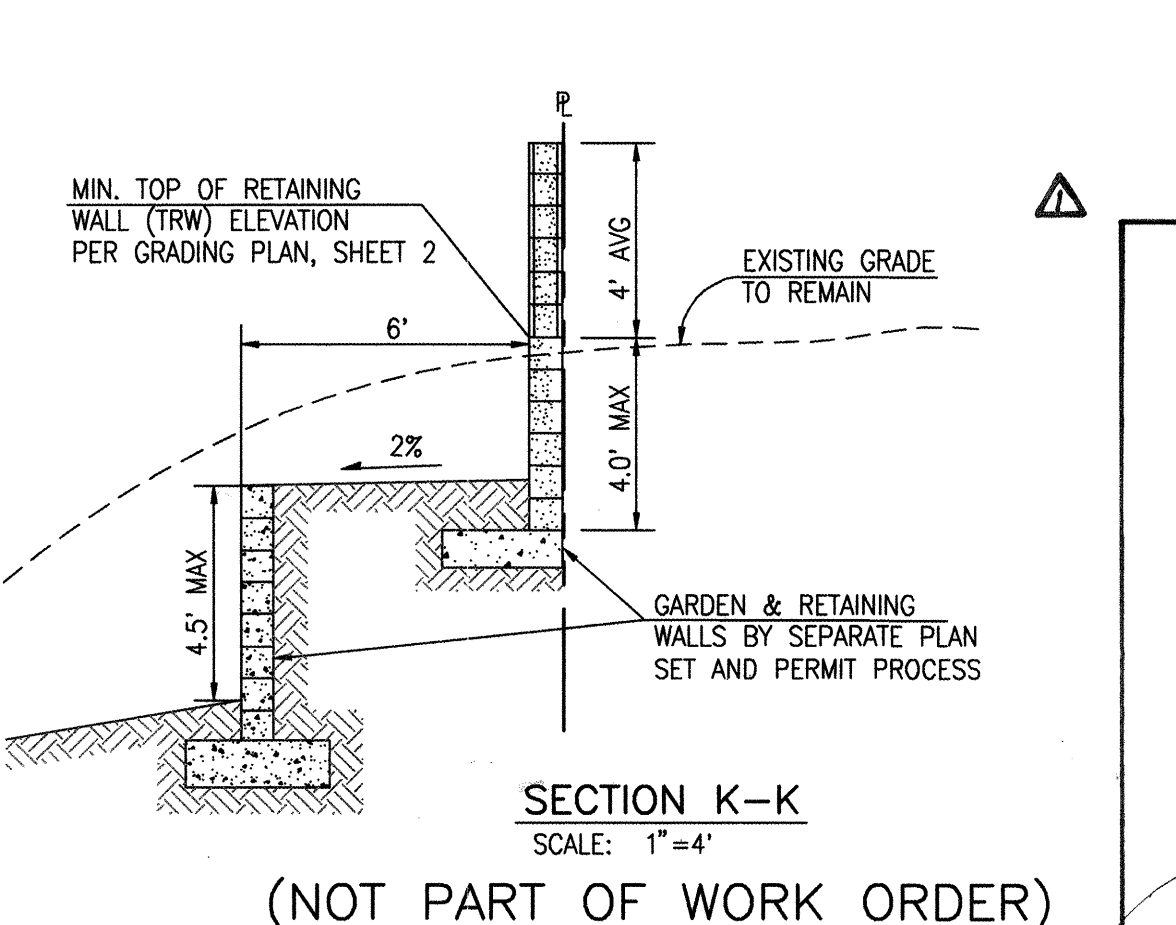
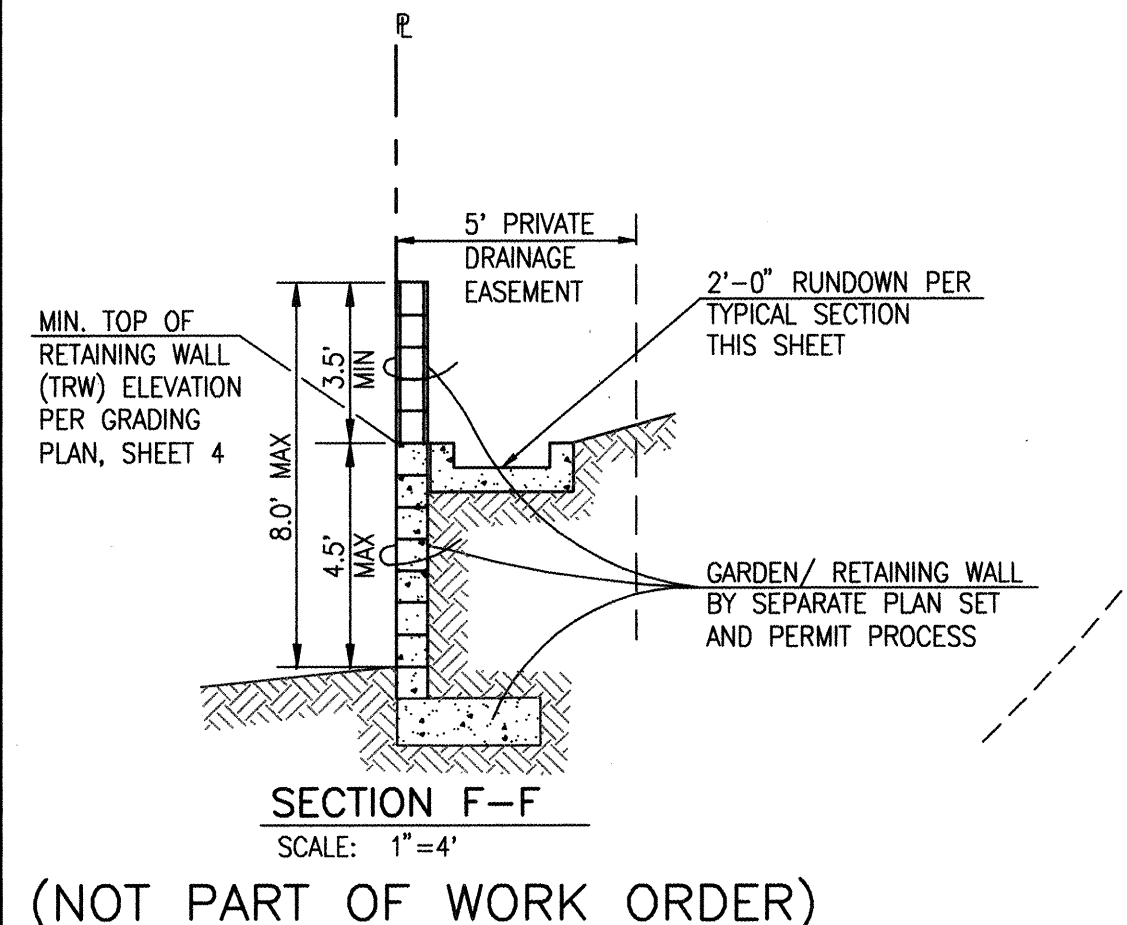
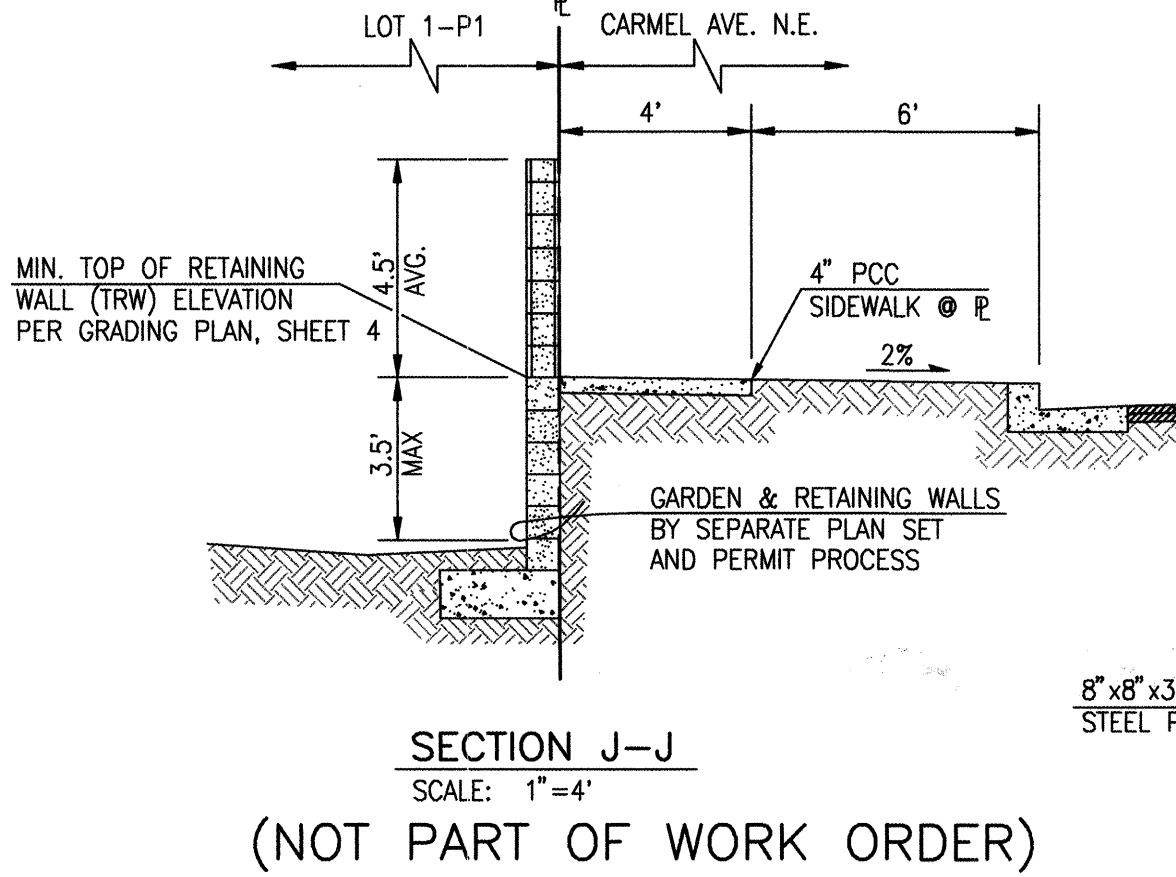
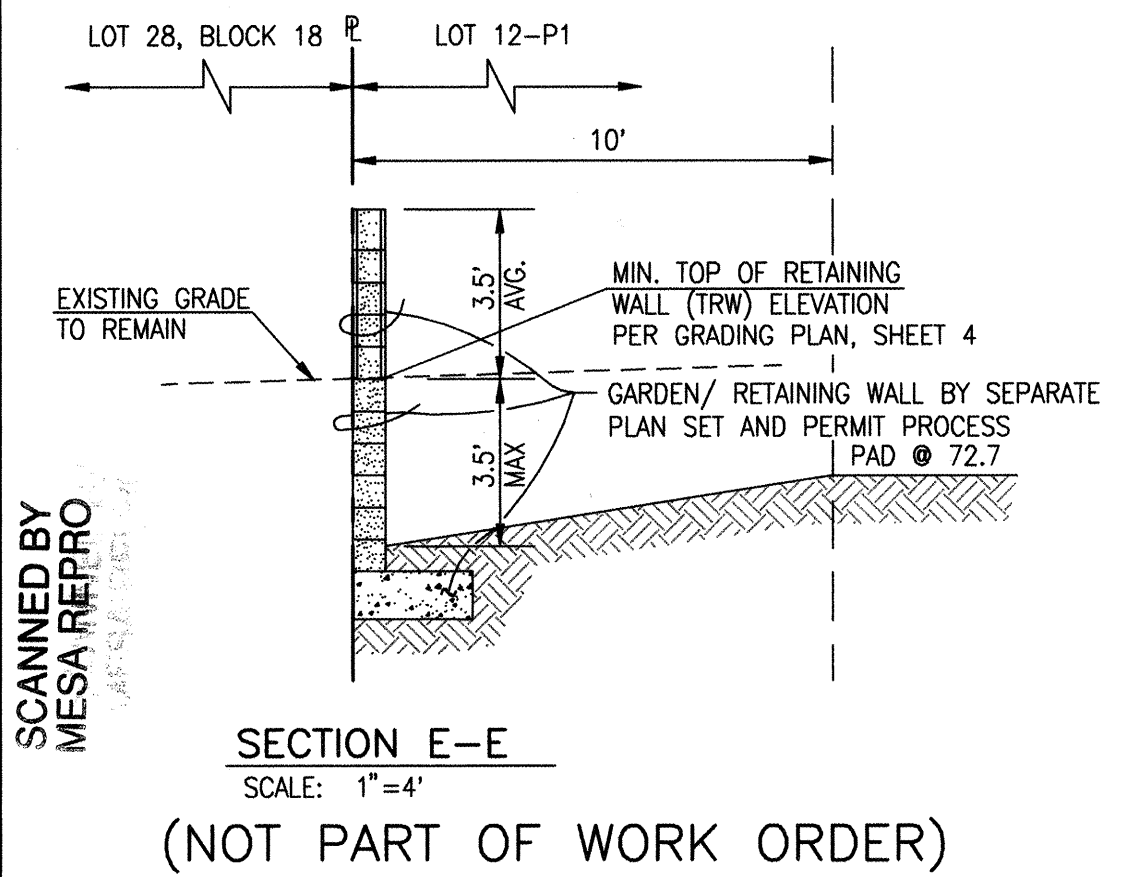
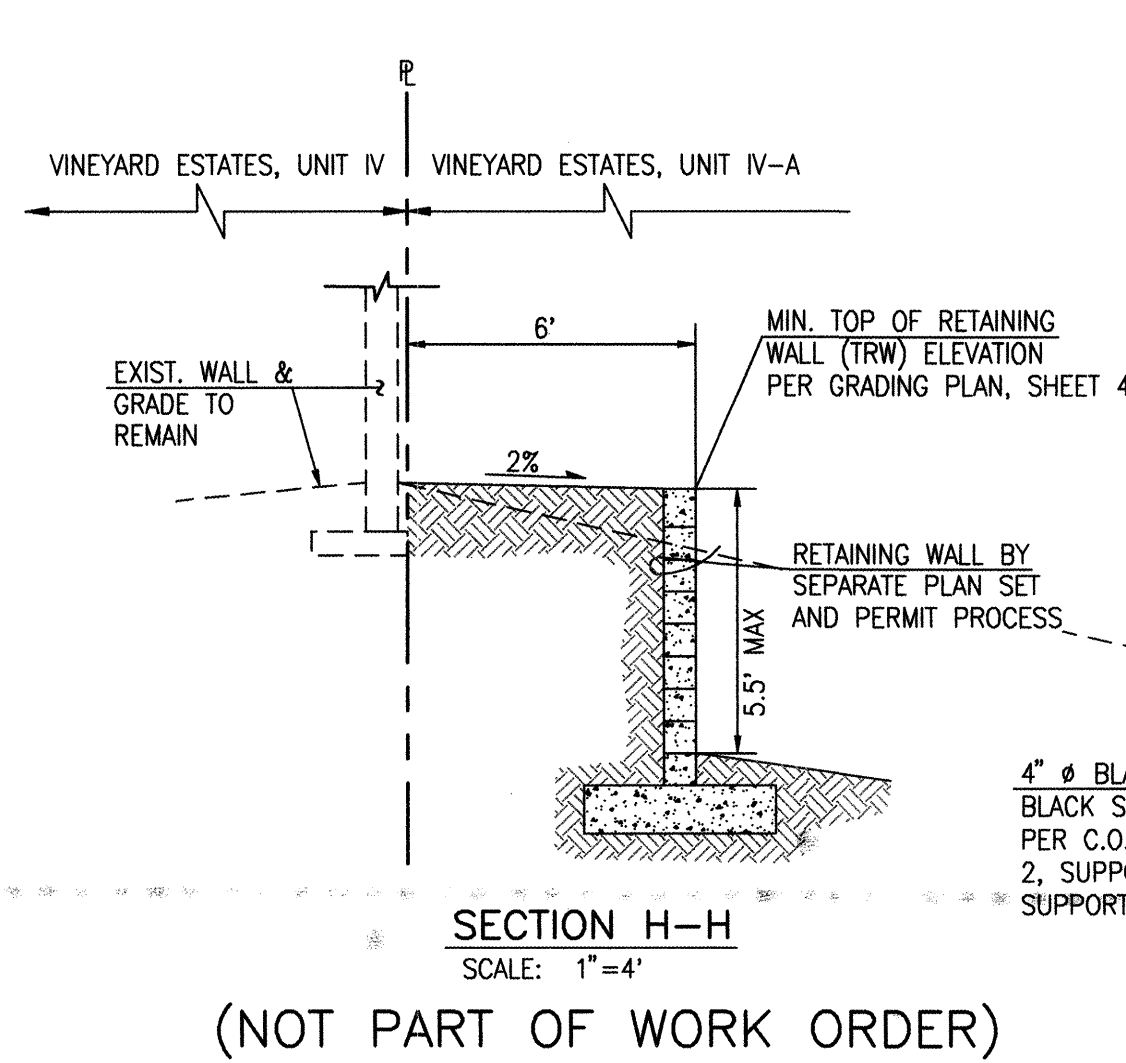
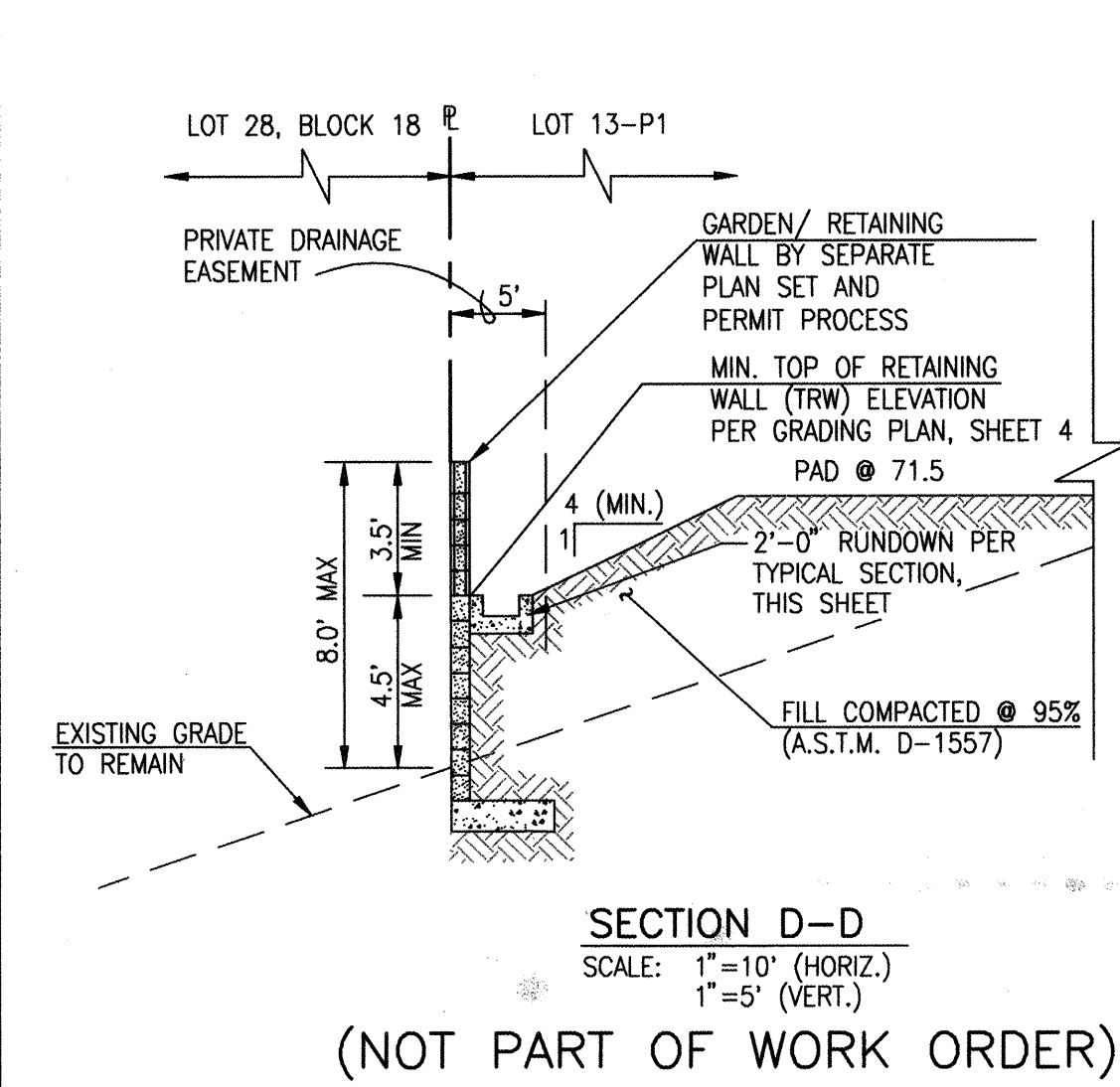
IV-A

NS AND DETAILS

Mo./Day/Yr.

Mo./Day/Yr.

Sheet 6 Of 15



CERTIFICATE OF SUBSTANTIAL COMPLIANCE

I, JEFFREY G. MORTENSEN, NMPE 8547, OF THE FIRM JEFF MORTENSEN & ASSOCIATES, INC., HEREBY CERTIFY THAT THE INFRASTRUCTURE CONSTRUCTED AS PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR PERSONNEL UNDER MY DIRECT SUPERVISION AND, TO THE BEST OF MY KNOWLEDGE AND BELIEF, HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THE ORIGINAL DESIGN INTENT OF THE CITY ENGINEER APPROVED PLANS. THE RECORD INFORMATION EDITED ONTO THIS ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS RECORD INFORMATION IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE DESIGN INTENT OF THIS PROJECT. THOSE RELYING ON THIS DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR ACCEPTANCE OF THE PROJECT BY THE CITY ENGINEER.

JEFFREY G. MORTENSEN, NMPE 8547
DATE: 04-21-2004

JEFF MORTENSEN & ASSOCIATES, INC.
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
8547

ELEVATIONS ARE IN NGVD 1929

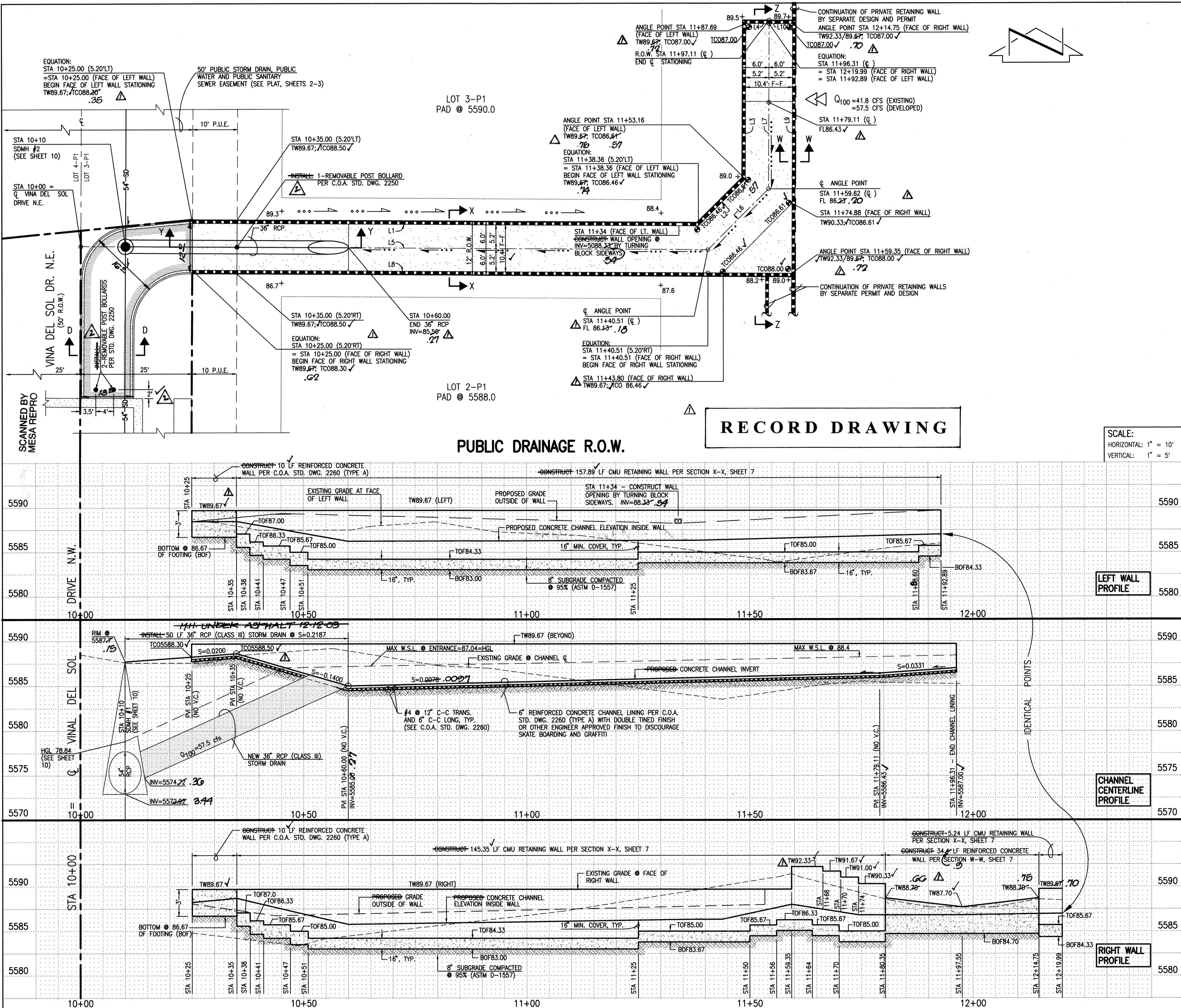
JEFF MORTENSEN & ASSOCIATES, INC.
6800-B HUNTER PARK BLVD. N.E.
ALBUQUERQUE, N.M. 87109
PHONE: 505-945-4250 FAX: 505-945-4254 E-MAIL: jmort@jmac.com

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VINEYARD ESTATES, UNIT IV-A
GRADING AND DRAINAGE SECTIONS AND DETAILS

City Project No. 705282
Zone Map No. C-20
Sheet 7 of 15

BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
THE ASS. STATION "BENCH" (TIED PRIOR TO 1989 PASSED DEL. NORTH CONSTRUCTION)	DATE	NO.	BY	DATE	BY
REPRESENTS THE "PROJECT DATUM" PREVIOUS ELEV.= 5378.79 FEET (NGVD 1929)	05/02	10562	JMA	04/11/03	JMA
NOTE: THE ELEVATION OF ASS. STATION "5-C207" AN ACS 1 1/4" ALUMINUM DISK EXPOSED TO THE TOP OF A STORM INLET AT THE N.E. CORNER RETURN AT THE N.E. QUADRANT OF THE INTERSECTION OF VENTURA ST. AND ANHEIM AVE.					
BASED ON THE "PROJECT DATUM" IS 5552.84 FEET (NGVD 1929)					
THE C.O.A. PUBLISHED ELEVATION FOR STA "5-C207" IS 5552.71 FEET (NGVD 1929) AND THEREFORE VARIES BY 0.13 FEET VERTICALLY FROM THE "PROJECT DATUM". FOR THE PURPOSES OF THIS PROJECT, USE "PROJECT DATUM" AS DESCRIBED ABOVE.					
AS BUILT INFORMATION		REVISIONS		DESIGN	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE
J.M.A./	11/2003				
INVESTIGATOR	DATE				
J.M.A./	11/2003				
FIELD VERIFICATION	DATE				
J.M.A./	02/2003				
CORRECTED BY	DATE				
J.M.A./	11/2003				
MICRO-FILM INFORMATION		REVISIONS		DESIGN	
RECORDED BY	DATE	NO.	DATE	NO.	DATE
J.M.A./	11/2003				
RECORDED BY	DATE				
J.M.A./	11/2003				



STORM DRAIN NOTES:

- ALL STORM DRAIN TO BE CLASS III REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE NOTED.
- ALL MANHOLES SHALL BE 6' DIAMETER TYPE 'C' PER C.O.A. STANDARD DRAWING 2101 UNLESS OTHERWISE NOTED.
- ALL STATIONING SHOWN HEREON IS BASED ON CONSTRUCTION BASELINE UNLESS OTHERWISE NOTED. SLOPES ARE BASED ON TRUE LENGTH OF PIPE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND INSTALL PIPE SO AS TO NOT EXCEED RIGHT-OF-WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND REPLACING, IF DAMAGED, ALL OTHER UTILITIES ENCOUNTERED DURING CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.
- SEE SHEETS 6 AND 7 FOR SECTIONS AND DETAILS

RETAINING WALL NOTES:

- 8"x8"x16" CMU OF UBC STD. 24-4 OR 24-5.
- USE KNOCK-OUT BOND BEAM BLOCK AT 4'-0" MAX C.C., VERTICALLY, AND 1 #4 CONTINUOUS.
- FILL ALL BLOCK VOIDS WITH 3000 PSI CONCRETE.
- REINFORCING TO BE INTERMEDIATE GRADE STEEL.
- IN LIEU OF CONTINUOUS KNOCK-OUT BOND BEAMS, CONTRACTOR MAY INSTALL DUR-O-WALL REINFORCING EVERY SECOND COURSE.
- SPLICE SHALL BE 40 BAR DIA. MINIMUM FOR VERTICAL BARS. ALL OTHER SHALL BE 20 BAR DIA. MINIMUM.
- CONCRETE FILL SHALL BE 21 DAYS OLD OR ACHIEVE 70% OF DESIGN STRENGTH PRIOR TO BACKFILLING.
- INSTALL MASONRY CONTROL JOINTS PER TYPICAL DETAIL, SHEET 7 AT UNIFORM SPACINGS OF 20' (MIN.) TO 24' (MAX.).
- THIS SET OF PLANS SHOWS PRIVATE RETAINING WALLS THAT ARE NOT PART OF THIS WORK ORDER. THOSE WALLS MUST BE REVIEWED, APPROVED AND PERMITTED BY SEPARATE PROCESS. CONTACT 924-3956

PUBLIC DRAINAGE R.O.W. BASELINE TABLE

LINE	DISTANCE	BEARING
L1	113.36'	S 89°38'36" E
L2	14.80'	N 45°21'24" E
L3	34.53'	N 0°21'24" E
L4	5.20'	S 89°38'36" E
L5	140.51'	S 89°38'36" E
L6	19.11'	N 45°21'24" E
L7	37.49'	N 0°21'24" E
L8	134.35'	S 89°38'36" E
L9	55.40'	N 0°16'19" E
L10	5.24'	N 89°38'36" W

CERTIFICATE OF SUBSTANTIAL COMPLIANCE

I, JEFFREY G. MORTENSEN, NMPE 8547, OF THE FIRM JEFF MORTENSEN & ASSOCIATES, INC., HEREBY CERTIFY THAT THE INFRASTRUCTURE CONSTRUCTED AS PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR PERSONNEL UNDER MY DIRECT SUPERVISION AND, TO THE BEST OF MY KNOWLEDGE AND BELIEF, HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THE ORIGINAL DESIGN INTENT OF THE CITY ENGINEER. APPROVED PLANS. THE RECORD INFORMATION EDITED ONTO THIS ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS RECORD INFORMATION IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE DESIGN INTENT OF THIS PROJECT. THOSE RELYING ON THIS DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR ACCEPTANCE OF THE PROJECT BY THE CITY ENGINEER.

DATE: 06-21-2004

REVISIONS

NO.	DATE	REVISIONS
1	02-03	DESIGN
2	03-03	DESIGN
3	03-03	DESIGN

DESIGN REVIEW COMMITTEE

City Engineer Approval

DESIGN REVIEW COMMITTEE

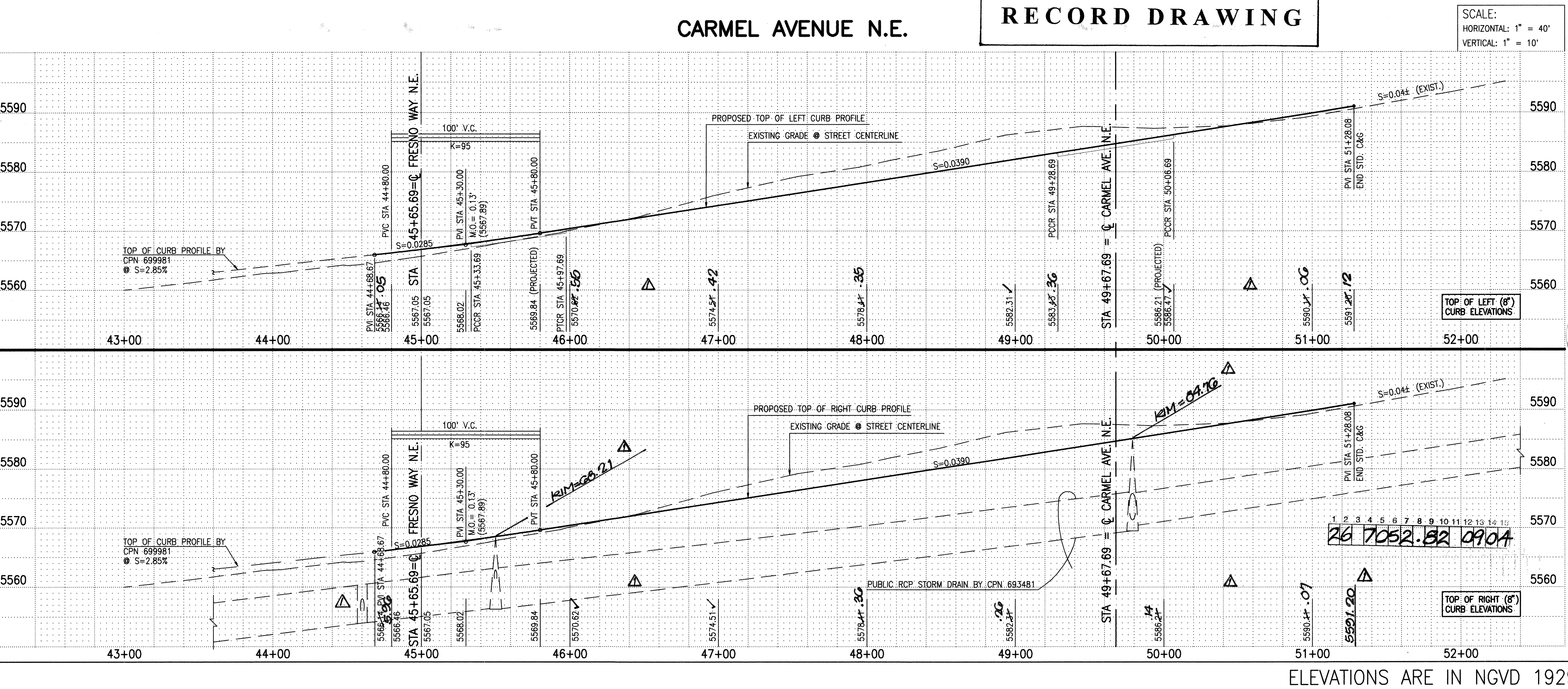
City Project No. 705282

Zone Map No. C-20

Sheet 8 of 15

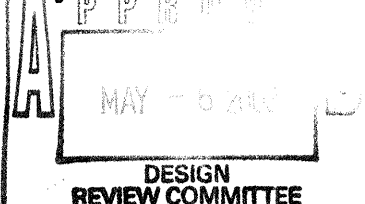
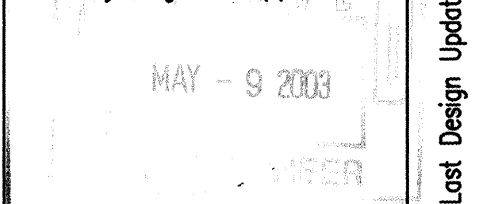
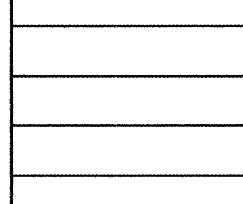
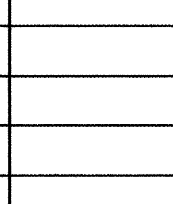
ELEVATIONS ARE IN NGVD 1929

26 7052.82 0804

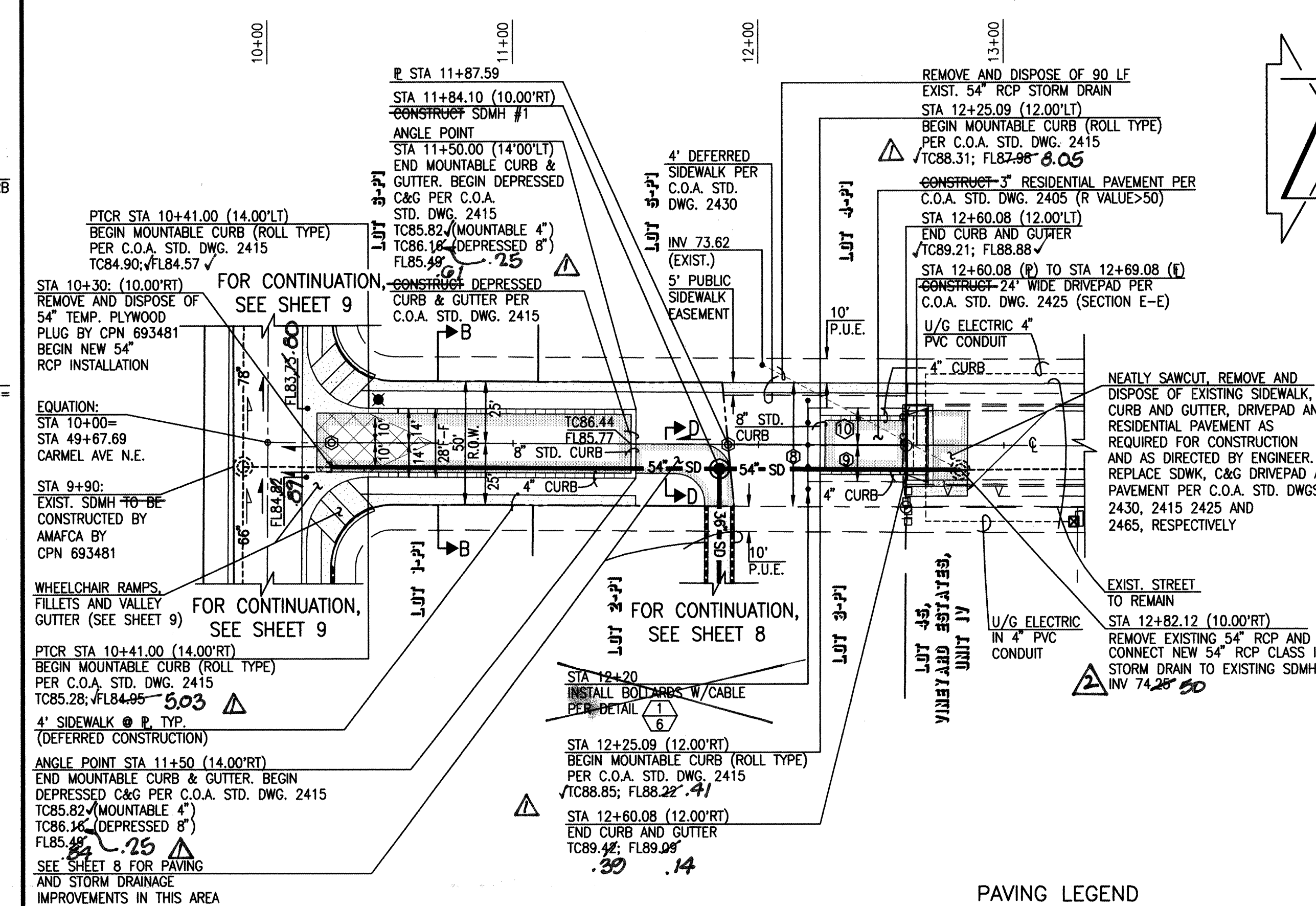
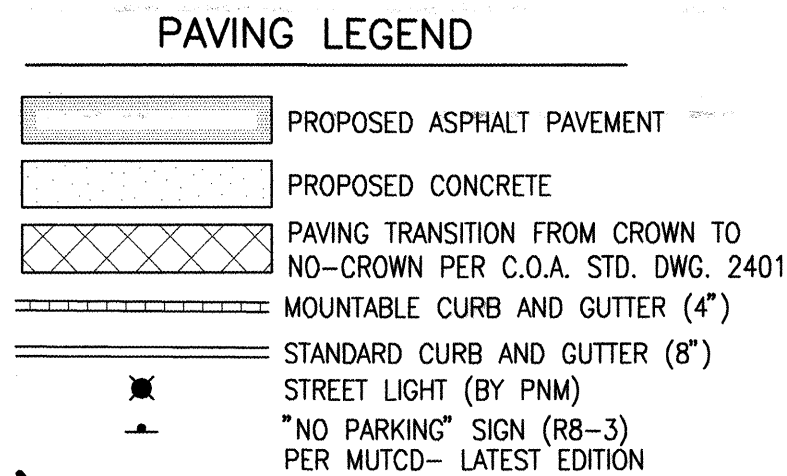
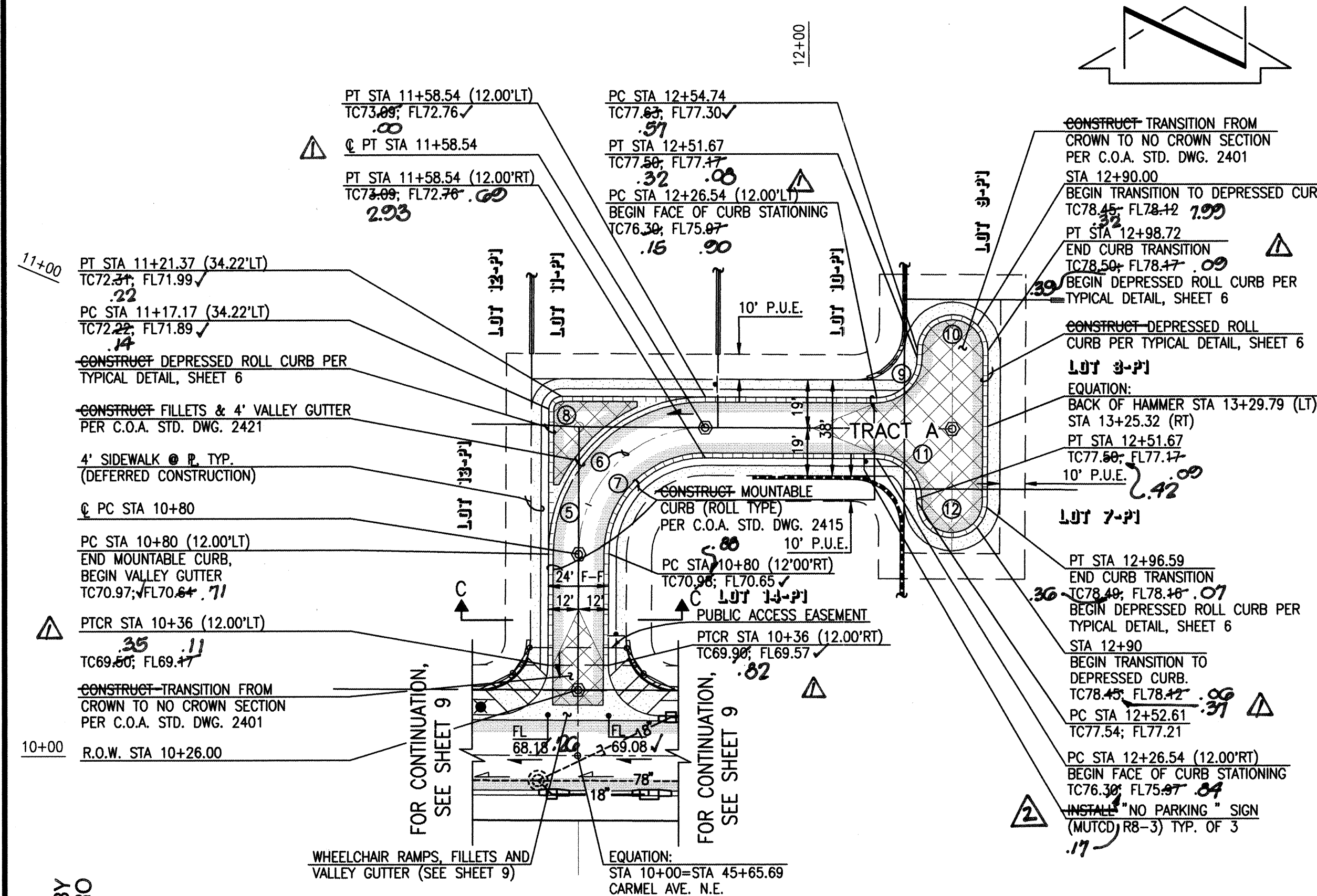


CURVE TABLE				SURVEY INSTRUMENT	FIELD NO.	BY	JMA			
CURVE	RADIUS	LENGTH	DELTA							
①	20.00'	31.42'	90°00'00"							
②	20.00'	31.42'	90°00'00"							
③	25.00'	39.27'	90°00'00"							
④	25.00'	39.27'	90°00'00"							

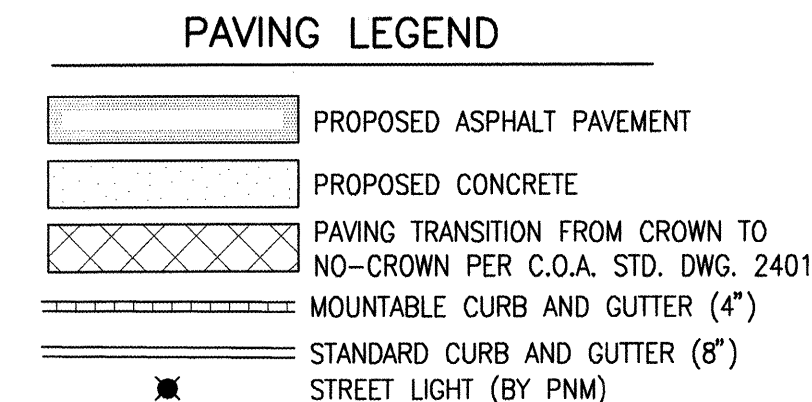
JEFFREY G. MORTENSEN, NMPE 8547 DATE: <u>06-12-2004</u>				12-03 RECORDED 12-06/04 ADD Fw		F		DE	
		JEFF MORTENSEN & ASSOCIATES, INC. 800-B MIDWAY PARK, SUITE 100 ALBUQUERQUE, NM NEW MEXICO 87109 ☐ ENGINEERS ☐ ARCHITECTS (505) 345-4250 ☐ FAX: 505 345-4254 ☐ E-mail: jmainc@wcp.com		NO.		DATE		Designed By Drawn By Checked By	
2001.056.6		2003.042.1						G.M. JLP JR	

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP			
TITLE: VINEYARD ESTATES, UNIT IV-A PAVING AND STORM DRAINAGE IMPROVEMENTS PLAN AND PROFILE CARMEL AVENUE N.E. STA 43+48.67 TO STA 51+28.08			
Design Review Committee 	City Engineer Approval 	Last Design Update 	No. Des/Tr. 
City Project No. 705282	Zone Map No. C-20	Sheet 9	Of 15

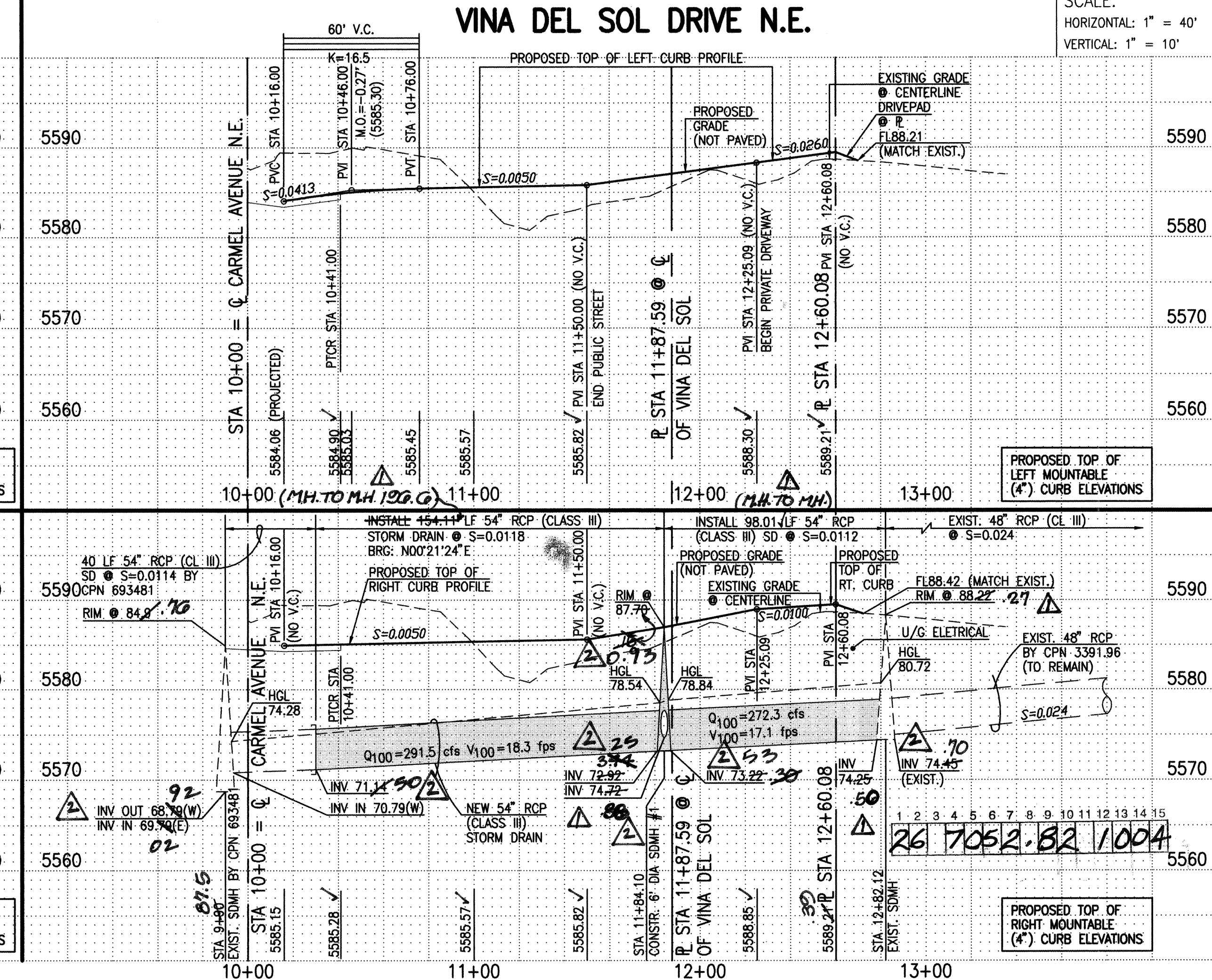
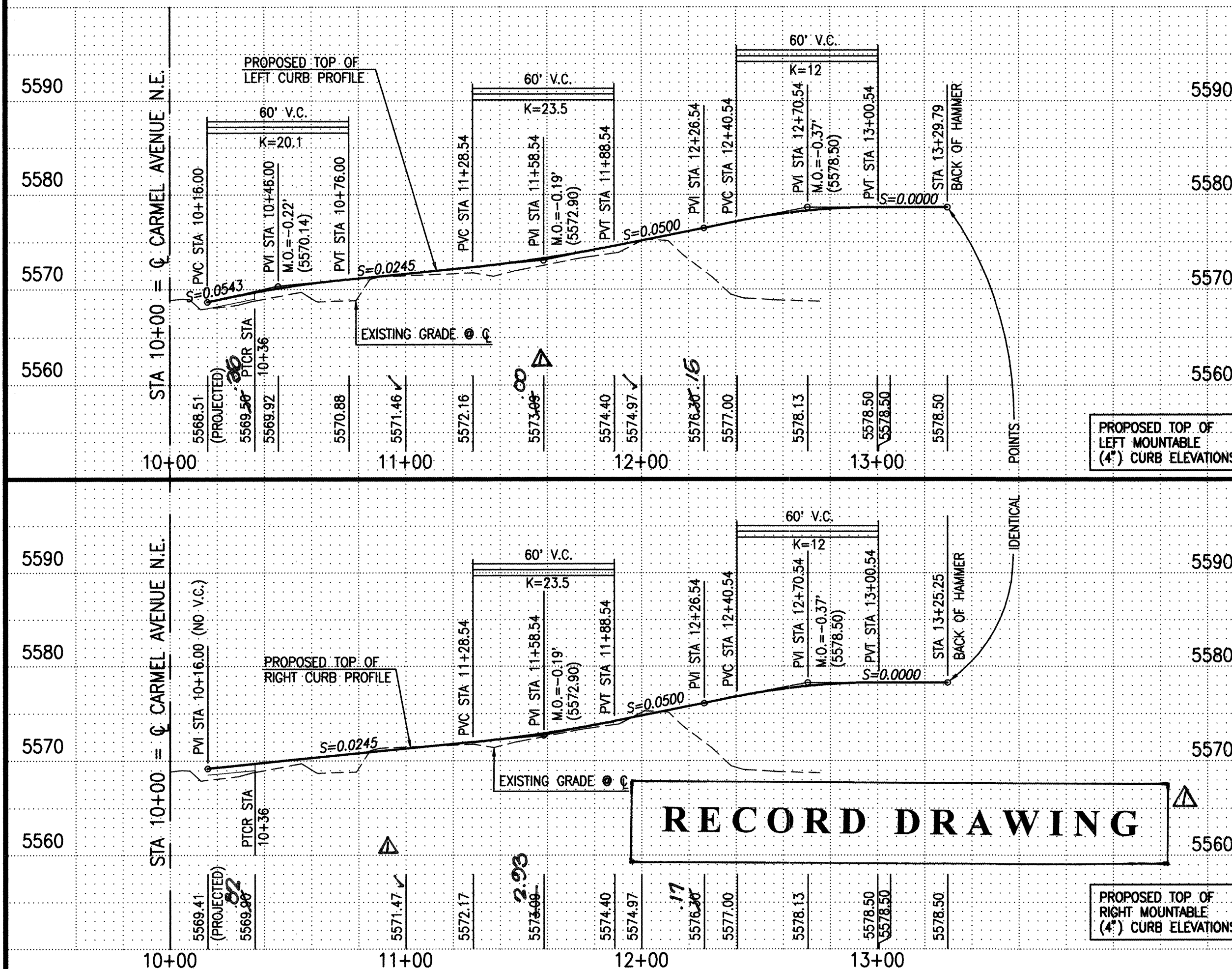
SCANNED BY
MESA REPRO



- KEYED EASEMENTS**
- 50' WIDE PUBLIC (CITY OF ALBUQUERQUE) DRAINAGE, SANITARY SEWER AND WATER EASEMENT.
 - 15' x 40' PRIVATE ACCESS EASEMENT SERVING LOT 4-P1. MAINTENANCE IS THE RESPONSIBILITY OF THE OWNER OF LOT 3-P1.
 - 15' x 40' PRIVATE ACCESS EASEMENT SERVING LOT 3-P1. MAINTENANCE IS THE RESPONSIBILITY OF THE OWNER OF LOT 4-P1.



SCALE:
HORIZONTAL: 1" = 40'
VERTICAL: 1" = 10'



RECORD DRAWING

STREET PAVING IMPROVEMENTS:

- ALL SLOPES AS SHOWN ON PROFILES ARE BASED ON STREET CENTERLINE STATIONING EXCEPT CUL-DE-SACS AND EYEBROWS WHERE STATIONING IS ALONG FACE-OF-CURB.
- WHERE REMOVAL OF EXISTING CURB AND GUTTER, SIDEWALK OR PAVEMENT IS REQUIRED, THE CONTRACTOR SHALL SAWCUT AND/OR REMOVE TO THE NEAREST JOINT. CURB AND GUTTER AND SIDEWALK SHOWN AS EXISTING AND NOT TO BE REMOVED UNDER THIS CONTRACT WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR PER C.O.A. STD. DWGS. 2415 AND 2430, RESPECTIVELY AT THE CONTRACTOR'S EXPENSE.
- ALL DIMENSIONS OF CURB AND CURB RETURNS ARE SHOWN TO FACE-OF-CURB.
- SIDEWALKS SHOWN HEREON AS "DEFERRED" SHALL BE CONSTRUCTED UNDER SEPARATE PERMIT.
- ALL WHEELCHAIR RAMPS MUST BE CONSTRUCTED UNDER THIS WORK ORDER.
- ALL CURB AND GUTTER SHOWN HEREON SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD DRAWING 2415 UNLESS OTHERWISE NOTED.
- UPON COMPLETION OF CONSTRUCTION, THE CITY OF ALBUQUERQUE WILL PROVIDE AND INSTALL ALL STREET SIGNS.
- STRIPING BY CONTRACTOR WILL BE REQUIRED PRIOR TO FINAL ACCEPTANCE.
- REFER TO SHEET 6 FOR PAVING SECTIONS AND DETAILS.

STORM DRAIN NOTES:

- ALL STORM DRAIN TO BE CLASS III REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE NOTED.
- ALL MANHOLES SHALL BE 6" DIAMETER TYPE 'C' PER C.O.A. STANDARD DRAWING 2101 UNLESS OTHERWISE NOTED.
- ALL STATIONING SHOWN HEREON IS BASED ON STREET CENTERLINE UNLESS OTHERWISE NOTED. SLOPES ARE BASED ON TRUE LENGTH OF PIPE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND INSTALL PIPE SO AS NOT TO EXCEED RIGHT-OF-WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
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- FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA
5	62.00'	97.39'	90°00'00"
6	50.00'	78.54'	90°00'00"
7	38.00'	59.69'	90°00'00"
8	5.00'	7.85'	90°00'00"
9	16.00'	25.13'	90°00'00"
10	14.00'	43.98'	180°00'00"
11	16.00'	25.13'	90°00'00"
12	14.00'	43.98'	180°00'00"

CERTIFICATE OF SUBSTANTIAL COMPLIANCE

I, JEFFREY G. MORTENSEN, NMPE 8547, OF THE FIRM JEFF MORTENSEN & ASSOCIATES, INC., HEREBY CERTIFY THAT THE INFRASTRUCTURE CONSTRUCTED AS PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR PERSONNEL UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THE ORIGINAL DESIGN INTENT OF THE CITY ENGINEER APPROVED PLANS. THE RECORD INFORMATION EDITED ONTO THIS ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS RECORD INFORMATION IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE DESIGN INTENT OF THIS PROJECT. THOSE RELYING ON THIS DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR ACCEPTANCE OF THE PROJECT BY THE CITY ENGINEER.

JEFFREY G. MORTENSEN, NMPE 8547
DATE: 06-21-2004

JEFF MORTENSEN & ASSOCIATES, INC.
1001-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE, NM 87109
PHONE: 505-345-4254 FAX: 505-345-4254 E-MAIL: jmort@comp.com

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP**

TITLE:
PAVING AND STORM DRAINAGE IMPROVEMENTS PLAN AND PROFILE
FRESNO WAY N.E./VINA DEL SOL DRIVE N.E.

DESIGN REVIEW COMMITTEE
MAY - 6 2003

CITY ENGINEER APPROVAL
MAY - 9 2003

REMARKS
Revisions
DESIGN

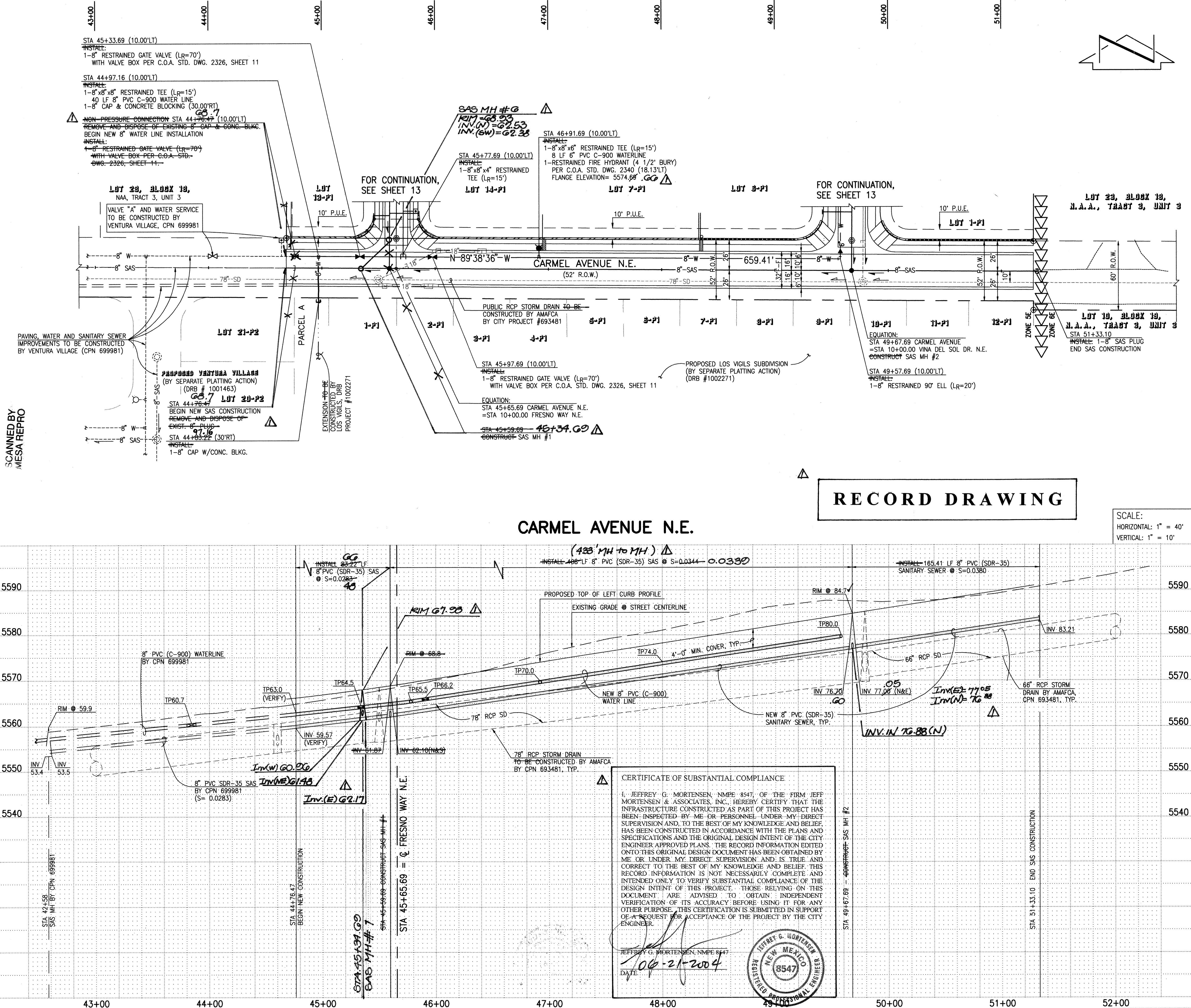
NO. 10562
DATE 05/02
BY JMA

ENGINEER'S SEAL
JEFFREY G. MORTENSEN
NMPE 8547
REGISTERED PROFESSIONAL ENGINEER
NEW MEXICO

DESIGNED BY G.M.
DRAWN BY J.L.P.R.
CHECKED BY J.G.M.

DATE 02-03
DATE 02-03
DATE 03-03

City Project No. 705282
Zone Map No. C-20
Sheet 10 of 15



WATER LINE CONSTRUCTION NOTES:

- ALL STATIONING IS BASED ON STREET CENTERLINE UNLESS INDICATED OTHERWISE.
- FOR ALL LINES 12" AND SMALLER, WATER MAIN SHALL BE PVC C-900 PIPE OR AS APPROVED BY THE CITY OF ALBUQUERQUE CITY ENGINEER. DUCTILE IRON IS AN ACCEPTABLE PIPE MATERIAL IN LIEU OF PVC.
- FOR ALL LINES 14" AND LARGER, WATER MAIN SHALL BE DUCTILE IRON OR PVC C-905 OR AS APPROVED BY THE CITY OF ALBUQUERQUE CITY ENGINEER. CONCRETE CYLINDER IS AN ACCEPTABLE PIPE MATERIAL IN LIEU OF DUCTILE IRON.
- WATER LINE SHALL HAVE A MINIMUM COVER OF 4'-0" (TOP OF CURB TO TOP OF PIPE). EXTRA DEPTH TRENCHING, IF REQUIRED, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- ELECTRONIC MARKER DISCS (EMD) SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD SPECIFICATION.
- IN ACCORDANCE WITH SECTION 801 OF THE "STANDARD SPECIFICATIONS", METALIZED DETECTABLE WARNING TAPE SHALL BE INSTALLED 18" ABOVE ALL PVC PIPE INSTALLED ON THIS PROJECT.
- VALVE STEM AND FIRE HYDRANT EXTENSIONS SHALL BE PROVIDED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS. THE COST OF EACH EXTENSION SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE NO SEPARATE PAYMENT WILL BE MADE.
- JOINT RESTRAINT SHALL BE CONSIDERED INCIDENTAL TO WATER LINE CONSTRUCTION THEREFORE NO SEPARATE PAYMENT WILL BE MADE.
- JOINT RESTRAINT SHALL BE PROVIDED ON ALL JOINTS OF FIRE HYDRANT LEGS FROM TEE TO FIRE HYDRANT INCLUDING THE TEE AND FIRE HYDRANT.
- FOR THE PURPOSES OF THIS PROJECT, ALL RESTRAINED JOINTS AND JOINT RESTRAINT SHALL BE MECHANICALLY RESTRAINED. JOINT RESTRAINT LENGTHS SPECIFIED HEREON ARE THE LENGTHS TO BE RESTRAINED EACH SIDE OF THE FITTING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND INSTALL PIPE SO AS TO NOT EXCEED RIGHT-OF-WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND REPLACING, IF DAMAGED, ALL OTHER UTILITIES ENCOUNTERED DURING CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- WHERE WATER AND SANITARY SEWER LINES CROSS, THE SANITARY SEWER LINE SHALL BE INSTALLED AS PRESSURE PIPE BETWEEN MANHOLES IF 18 INCHES OF VERTICAL SEPARATION DOES NOT EXIST.
- ALL FIRE HYDRANTS SHALL BE SECURELY WRAPPED IN BLACK PLASTIC UNTIL SUCH TIME AS THE NEW WATER LINE IS PUT INTO SERVICE BY WATER SYSTEM DIVISION PERSONNEL.

SANITARY SEWER CONSTRUCTION NOTES:

- ALL STATIONING IS BASED ON STREET CENTERLINE UNLESS INDICATED OTHERWISE.
- ALL SEWER PIPE SHALL BE PVC (SDR-35).
- SLOPES SHOWN ON THE PROFILES ARE BASED ON TRUE DISTANCES.
- SEWER SERVICE LATERALS SHALL BE PROVIDED WITH ELECTRONIC MARKER DISCS (EMD) AS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2125. EMD SHALL BE PROVIDED IN ACCORDANCE WITH THE STANDARD SPECIFICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND INSTALL PIPE SO AS TO NOT EXCEED RIGHT-OF-WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
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- WHERE WATER AND SANITARY SEWER LINES CROSS, THE SANITARY SEWER LINE SHALL BE INSTALLED AS PRESSURE PIPE BETWEEN MANHOLES IF 18 INCHES OF VERTICAL SEPARATION DOES NOT EXIST.

NOTE:
THE W & S SAG EXTENSIONS FOR THIS PROJECT BUILT IN ADVANCE OF CPN 699981. THESE SAGS EXTENDED WEST TO STA. 44+00.7.

REVISIONS

NO.	DATE	BY	REMARKS
1	04-11-2003	J.M.A.	DESIGN
2	04-11-2003	J.M.A.	DESIGN
3	04-11-2003	J.M.A.	DESIGN
4	04-11-2003	J.M.A.	DESIGN
5	04-11-2003	J.M.A.	DESIGN
6	04-11-2003	J.M.A.	DESIGN
7	04-11-2003	J.M.A.	DESIGN
8	04-11-2003	J.M.A.	DESIGN
9	04-11-2003	J.M.A.	DESIGN
10	04-11-2003	J.M.A.	DESIGN
11	04-11-2003	J.M.A.	DESIGN
12	04-11-2003	J.M.A.	DESIGN
13	04-11-2003	J.M.A.	DESIGN
14	04-11-2003	J.M.A.	DESIGN
15	04-11-2003	J.M.A.	DESIGN

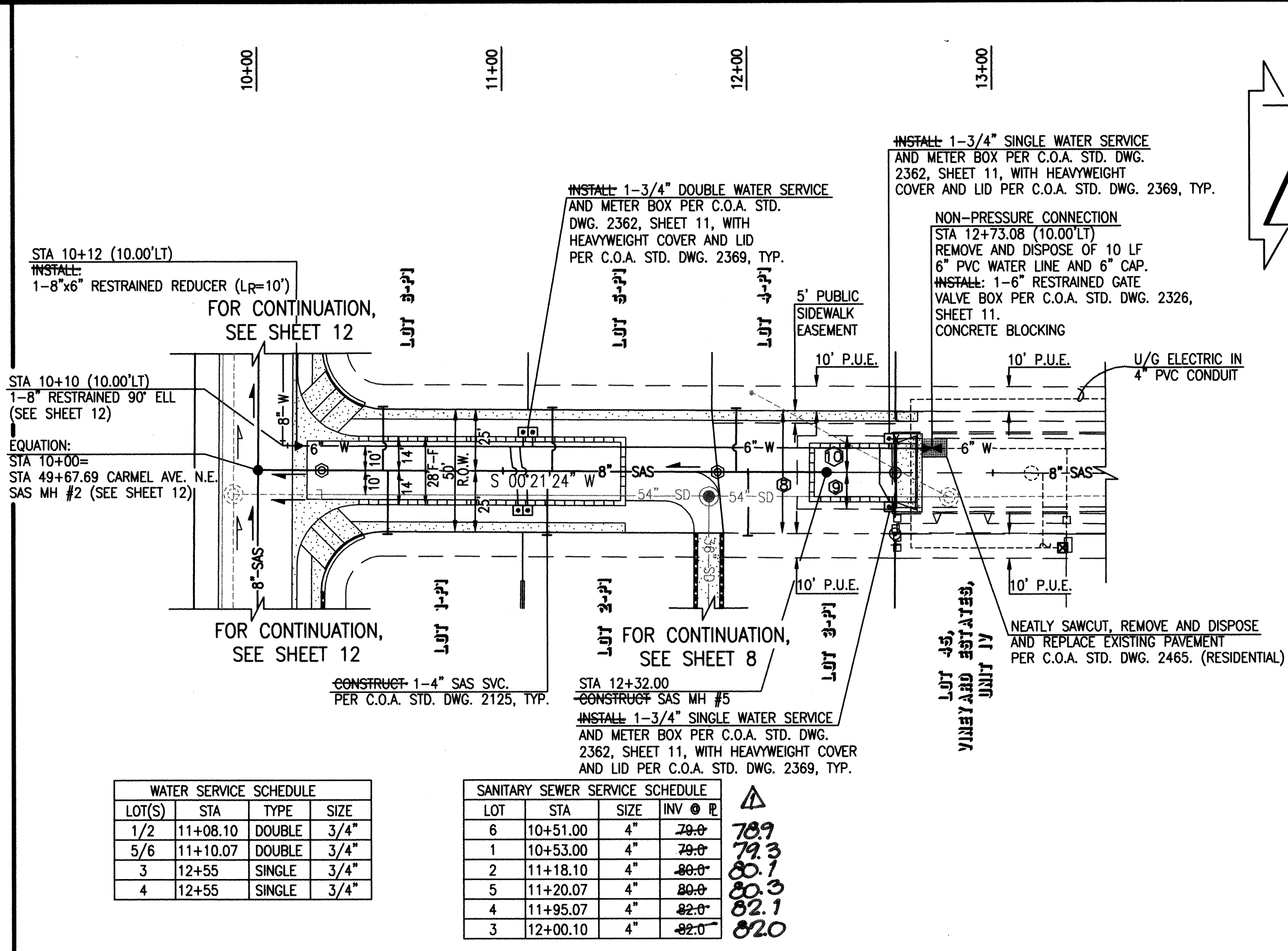
DESIGNED BY J.M.A. **DATE** 02-03
DRAWN BY J.P.J.R. **DATE** 02-03
CHECKED BY J.C.M. **DATE** 03-03

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VINEYARD ESTATES, UNIT IV-A
WATER AND SANITARY SEWER LINE EXTENSION PLAN AND PROFILE
CARMEL AVENUE N.E. STA 44+76.47 TO STA 51+33.10

DESIGN REVIEW COMMITTEE
MAY - 6 2003
CITY ENGINEER

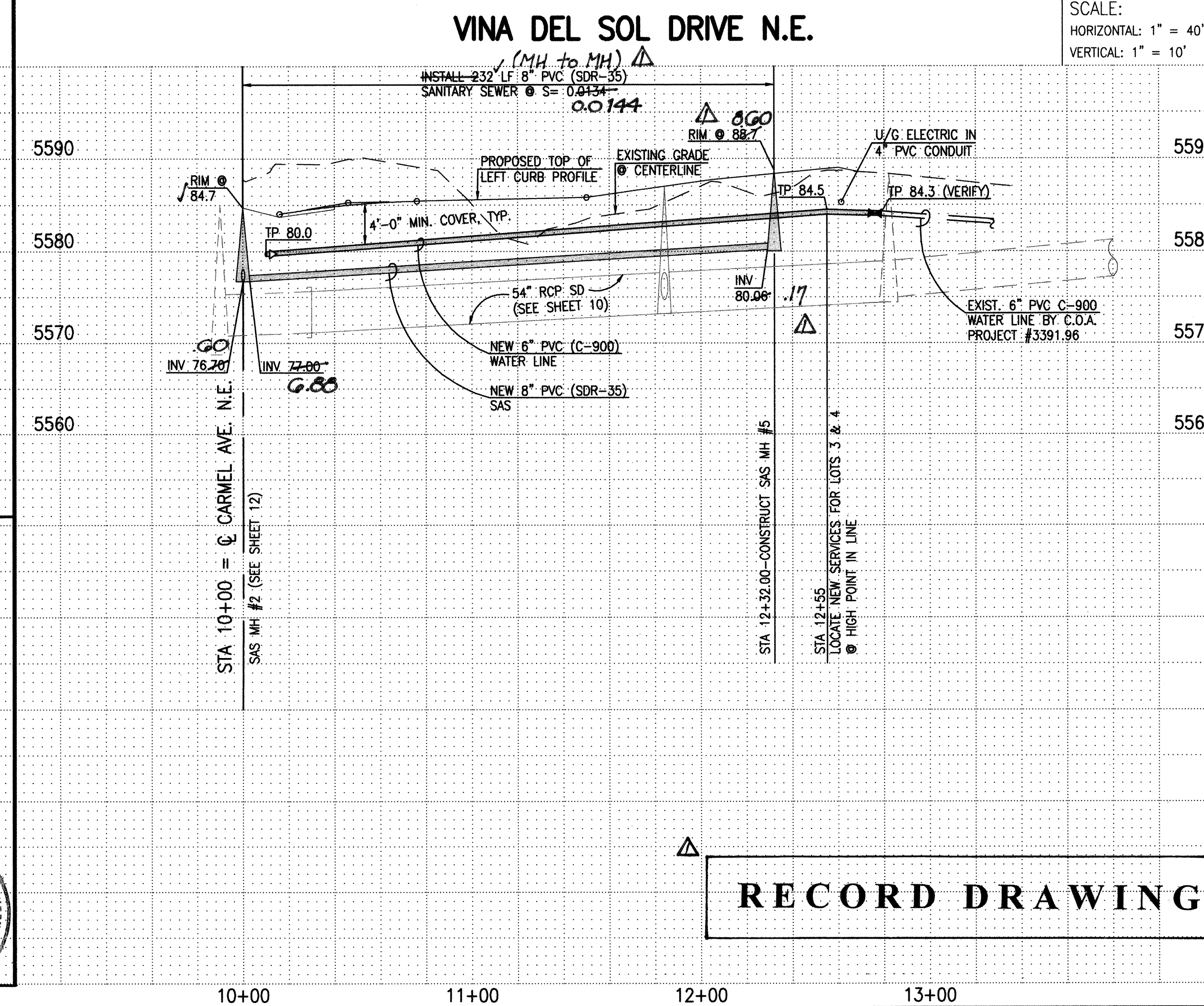
City Project No. 705282 **Zone Map No.** C-20 **Sheet** 12 **Of** 15



WATER SERVICE SCHEDULE			
LOT(S)	STA	TYPE	SIZE
1/2	11+08.10	DOUBLE	3/4"
5/6	11+10.07	DOUBLE	3/4"
3	12+55	SINGLE	3/4"
4	12+55	SINGLE	3/4"

SANITARY	SEWER	SERVICE	SCHEDULE
LOT	STA	SIZE	INV @
6	10+51.00	4"	79.0
1	10+53.00	4"	79.0
2	11+18.10	4"	80.0
5	11+20.07	4"	80.0
4	11+95.07	4"	82.0
3	12+00.10	4"	82.0

- ⑧ 50' WIDE PUBLIC (CITY OF ALBUQUERQUE) DRAINAGE, SANITARY SEWER AND WATER EASEMENT.
- ⑨ 15' x 40' PRIVATE ACCESS EASEMENT SERVING LOT 4-P1. MAINTENANCE IS THE RESPONSIBILITY OF THE OWNER OF LOT 3-P1.
- ⑩ 15' x 40' PRIVATE ACCESS EASEMENT SERVING LOT 3-P1. MAINTENANCE IS THE RESPONSIBILITY OF THE OWNER OF LOT 4-P1.



1. ALL STATIONING IS BASED ON STREET CENTERLINE UNLESS INDICATED OTHERWISE.
2. ALL SEWER PIPE SHALL BE PVC (SDR-35).
3. SLOPES SHOWN ON THE PROFILES ARE BASED ON TRUE DISTANCES.
4. SEWER SERVICE LATERALS SHALL BE PROVIDED WITH ELECTRONIC MARKER DISCS (EMD) AS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2125. EMD SHALL BE PROVIDED IN ACCORDANCE WITH THE STANDARD SPECIFICATION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND INSTALL PIPE SO AS NOT TO EXCEED RIGHT-OF-WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING SURROUNDING AND RELOCATING EXISTING DAMAGED, ALL OTHER UTILITIES ENCOUNTERED DURING CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
7. WHERE WATER AND SANITARY SEWER LINES CROSS, THE SANITARY SEWER LINE SHALL BE INSTALLED AS PRESSURE PIPE BETWEEN MANHOLES WITH A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION. DOES NOT EXIST.

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VINEYARD ESTATES, UNIT IV-A
WATER AND SANITARY SEWER LINE EXTENSION PLAN AND PROFILE
FRESNO WAY N.E./VINA DEL SOL DRIVE N.E.

	Design Review Committee	City Engineer Approval	Project Design Update	Mo./Day/Yr.	Mo./Day/Yr.
A	MAY - 8 2010 DESIGN REVIEW COMMITTEE	MAY - 8 2010			

City Project No.	705282	Zone Map No.	C-20	Sheet	13	Of	15
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File Name:	10566NP4.DWG	Plot Time:	3:39 pm

CONSTRUCTION TRAFFIC CONTROL GENERAL NOTES

1. CONTRACTOR MUST OBTAIN FROM CONSTRUCTION COORDINATION AN EXCAVATION/BARRICADING PERMIT BEFORE ENGAGING IN ANY CONSTRUCTION, MAINTENANCE OR REPAIR WORK IN ANY OF THE CITY OF ALBUQUERQUE'S RIGHTS-OF-WAY. EMERGENCY WORK THAT WOULD PRESERVE LIFE OR PROPERTY IS EXCLUDED WITH THE UNDERSTANDING, THAT A PERMIT SHALL BE OBTAINED WITHIN 24 TO 48 HOURS.

2. CONTRACTOR SHALL AT THE TIME OF PERMIT REQUEST, SUBMIT FOR APPROVAL BY CONSTRUCTION COORDINATION, A TRAFFIC CONTROL PLAN DETAILING ALL EXISTING TOPOGRAPHY SUCH AS LANE WIDTHS, DRIVEWAYS, AND BUSINESS/RESIDENTIAL ACCESSES. THE TRAFFIC CONTROL PLAN SHALL INCLUDE ALL PHASES OF WORK AND SCHEDULES INVOLVED IN THE CONSTRUCTION PROJECT. ANY SEPARATE PHASES OF A CONSTRUCTION PROJECT SHALL BE GIVEN AN INDIVIDUAL PERMIT EACH. BLANKET PERMITS WILL NOT BE ISSUED.

3. THESE TYPICAL TRAFFIC CONTROL PLANS DO NOT REFLECT THE EXISTING TOPOGRAPHY SUCH AS DRIVEWAYS, LANE WIDTHS, AND BUSINESS/RESIDENTIAL ACCESSES. EVERY LOCATION THAT REQUIRES CONSTRUCTION TRAFFIC CONTROL SHALL HAVE A DETAILED TRAFFIC CONTROL PLAN SHOWING ALL EXISTING TOPOGRAPHY.

4. CONSTRUCTION SHALL NOT BEGIN UNLESS A TRAFFIC CONTROL PLAN HAS BEEN APPROVED AND VERIFIED BY CONSTRUCTION COORDINATION.

5. CONSTRUCTION COORDINATION SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY TRAFFIC CONTROL CHANGES NEEDED BY CONTRACTOR, THAT WERE NOT PREVIOUSLY APPROVED. THESE TRAFFIC CONTROL CHANGES SHALL BE REQUESTED IN WRITING ACCOMPANIED WITH A TRAFFIC CONTROL PLAN REFLECTING SUCH CHANGES.

6. ALL CONSTRUCTION TRAFFIC CONTROL DEVICES SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) LATEST EDITION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL, SERVICE AND MAINTAIN ALL TRAFFIC CONTROL DEVICES, TRAFFIC CONTROL DEVICES SHALL NOT BE REMOVED OR ALTERED IN ANY WAY WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION, PER SECTION 5A 4 OF THE MUTCD, LATEST EDITION.

7. THE CONSTRUCTION TRAFFIC CONTROL INITIAL SET-UP SHALL BE BY AN AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA) CERTIFIED WORKSITE TRAFFIC SUPERVISOR. THE MAINTENANCE AND SERVICING SHALL ALSO BE DONE BY AN ATSSA CERTIFIED WORKSITE TRAFFIC SUPERVISOR OR EQUIVALENT.

8. CONTRACTOR IS RESPONSIBLE TO MAINTAIN AND SERVICE ALL TRAFFIC CONTROL DEVICES 24 HOURS A DAY, 7 DAYS A WEEK THROUGHOUT LENGTH OF PROJECT. CONTRACTOR IS RESPONSIBLE THAT ALL TRAFFIC CONTROL DEVICES COMPLY WITH THE MUTCD, LATEST EDITION.

9. ALL ADVANCE WARNING SIGNS SHALL BE DOUBLE INDICATED WHENEVER THERE ARE MULTI-LANE TRAFFIC IN ANY ONE GIVEN DIRECTION AND THERE IS SUFFICIENT MEDIAN SPACE.

10. ALL BARRICADES IN ALL TAPERS AND TANGENTS SHALL BE PLACES APART, A DISTANCE MEASURED IN FEET, EQUAL TO THAT OF THE POSTED SPEED LIMIT. NO EXCEPTIONS UNLESS APPROVED BY CONSTRUCTION COORDINATION PER MUTCD SECTION 6A-4.

11. ALL WORK IN ARTERIAL ROADWAYS SHALL BE ON A CONTINUOUS 24 HOUR PER DAY BASIS UNTIL COMPLETED.

12. CONTRACTOR IS RESPONSIBLE TO PROVIDE CONSTRUCTION COORDINATION, A WEEKLY LOG OF DAILY INSPECTIONS OF BARRICADE AND MAINTENANCE SCHEDULES ON PROJECTS THAT ARE OVER ONE WEEK DURATION.

13. EQUIPMENT OR MATERIALS SHALL NOT BE STORED WITHIN 15 FEET OF A TRAVELED TRAFFIC LANE DURING NON-WORKING HOURS WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION.

14. CONTRACTOR SHALL PROVIDE AND MAINTAIN A SAFE AND ADEQUATE MEANS OF CHANNELIZING PEDESTRIAN TRAFFIC AROUND AND THROUGH THE CONSTRUCTION AREA.

15. CONTRACTOR IS RESPONSIBLE FOR OBLITERATION OF ANY CONFLICTING STRIPING AND RESPONSIBLE FOR ALL TEMPORARY STRIPING.

16. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES, BUSINESSES AND/OR RESIDENTS AT ALL TIMES.

17. CONTRACTOR SHALL PROVIDE ACCESS SIGNS FOR BUSINESSES LOCATED WITHIN THE CONSTRUCTION AREA UNDER THE SUPERVISION OF CONSTRUCTION COORDINATION. EACH ACCESS SIGN SHALL HAVE 5 INCH, WHITE OPAQUE LETTERING ON BLUE REFLECTORIZED BACKGROUND. ACCESS SIGNS SHALL BE CONSIDERED INCIDENTAL TO THE BID AND NOT PART OF THE CONTRACT UNLESS OTHERWISE STATED. NO MORE THAN 3 BUSINESSES SHALL BE LISTED ON A ACCESS SIGN. SHOPPING CENTERS AND MALLS SHALL BE LISTED AS SUCH.

18. ALL ADVANCE WARNING SIGNS SHALL MEET THE MINIMUM REFLECTIVE INTENSITY REQUIREMENTS SET FORTH BY THE CITY OF ALBUQUERQUE CONSTRUCTION COORDINATION SHALL DETERMINE ALL REQUIREMENTS AND APPROVE OR DISAPPROVE ANY ADVANCE WARNING SIGN PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.

19. 48 HOURS PRIOR TO OCCUPYING OR CLOSING OF A RIGHT-OF-WAY, CONTRACTOR SHALL NOTIFY: POLICE, FIRE DEPARTMENT, SCHOOLS, HOSPITAL, TRANSIT AUTHORITY, BUSINESSES AND/OR RESIDENTS THAT WILL BE AFFECTED BY THE CONSTRUCTION.

20. ANY FIELD ADJUSTMENTS SHALL BE APPROVED BY CONSTRUCTION COORDINATION.

21. EXCAVATIONS SHALL BE PLATED, TEMPORARILY PATCHES OR RESURFACED PRIOR TO OPENING OF TRAFFIC. A MINIMUM OF 11 FEET SHALL BE PROVIDED FOR TRAFFIC IN ANY GIVEN DIRECTION. CONTRACTOR IS RESPONSIBLE FOR ANY WORK INVOLVED IN SATISFYING THESE REQUIREMENTS.

22. CONTRACTOR SHALL AT ALL TIMES COMPLY WITH THE FOLLOWING:
1. STANDARDS AND REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
2. THE CITY OF ALBUQUERQUE TRAFFIC CODE, LATEST EDITION.
3. SECTION 19 OF THE CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTION, AS WELL AS OTHER SECTIONS.

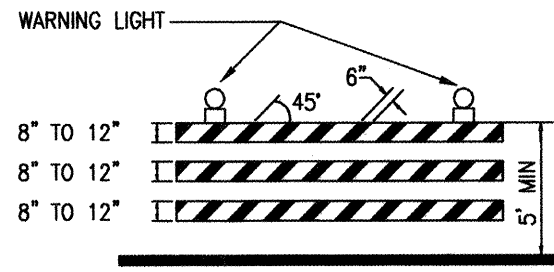
23. FAILURE TO COMPLY WITH ANY OF THE ABOVE MENTIONED, WILL BE ADEQUATE CAUSE TO CEASE ALL WORK ON ANY CONSTRUCTION PROJECT. WORK WILL NOT RESUME UNTIL ALL REQUIREMENTS ARE ADDRESSED AND APPROVED BY CONSTRUCTION COORDINATION.

24. ALL TRAFFIC CONTROL DEVICES SHALL BE KEPT IN NEW-CLEAN CONDITION. WASHING OF EQUIPMENT IS INCIDENTAL TO IT'S PLACEMENT AND MAINTENANCE.

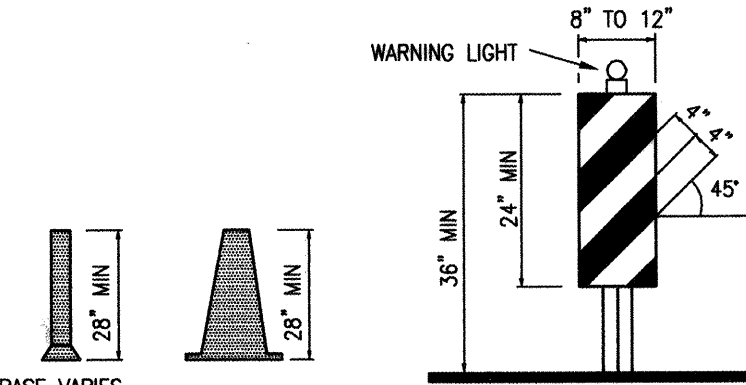
25. TRAFFIC CONTROL STANDARDS APPLY ONLY WHERE THE CONSTRUCTION TRAFFIC CONTROL PLANS ARE NOT SPECIFIC.

26. ADVANCE WARNING SIGNS SHALL BE 36"x36" MIN. WITH SUPER ENGINEERING GRADE SHEETING OR BETTER. MOUNTING HEIGHT AT TOP OF SIGN SHALL BE THE SAME AS FOR A 48" SIGN AS INDICATED IN THE M.U.T.C.D.

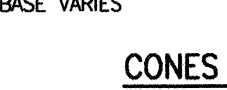
27. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORKSITE. ALL GRAFFITI SHALL BE PROMPTLY REMOVED FROM ALL EQUIPMENT, BOTH PERMANENT AND TEMPORARY.



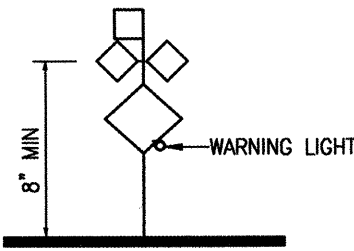
TYPE III BARRICADE



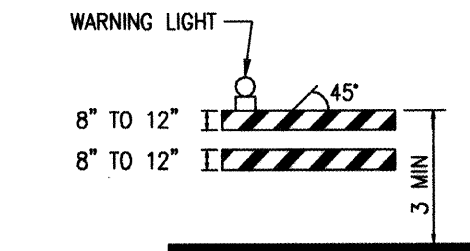
VERTICAL PANEL



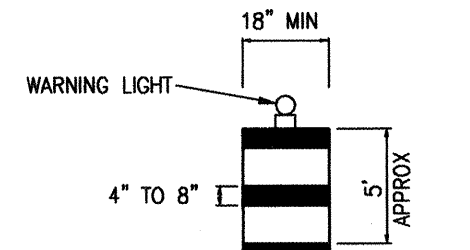
CONES



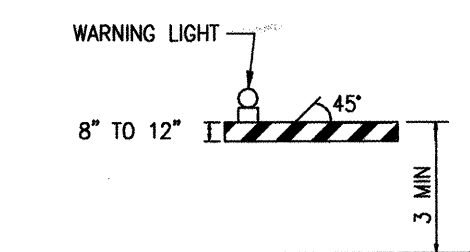
HIGH LEVEL WARNING DEVICE



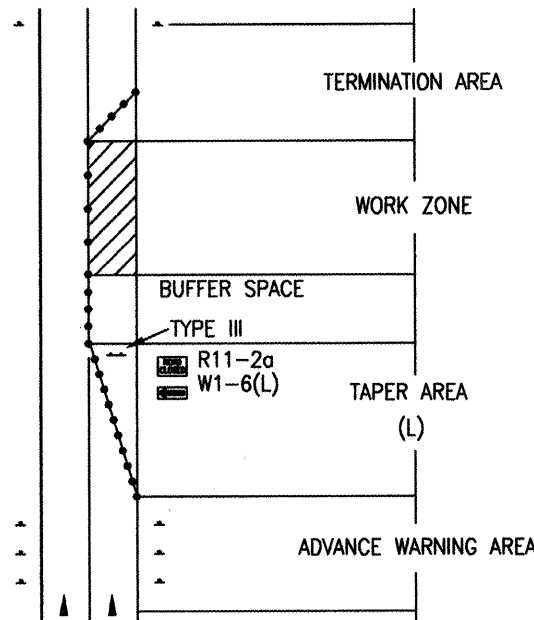
TYPE III BARRICADE COLLAPSIBLE



BARREL



TYPE I BARRICADE COLLAPSIBLE



TRAFFIC CONTROL ELEMENTS

LEGEND

- WORK AREA
BARRICADE - TYPE I, TYPE II OR BARREL
BARRICADE - TYPE III
VERTICAL PANEL
WARNING SIGN
DISTANCE BETWEEN SIGNS - A DISTANCE MEASURED IN FEET EQUAL TO A VALUE OF TEN TIMES THE SPEED LIMIT OF THE STREET
FLAGMAN POSITION
SPACING BETWEEN BARRICADES - A DISTANCE MEASURED IN FEET EQUAL TO THE SPEED LIMIT OF THE STREET
TAPER LENGTH - SEE CHART BELOW

THE TANGENT LENGTH IS EQUAL TO THE TAPER LENGTH FOR A GIVEN STREET

TAPER REQUIREMENTS

SPEED LIMIT (MPH)	TAPER LENGTH (L) (FEET)			MINIMUM NUMBER OF DEVICES FOR TAPER	MAXIMUM DEVICE SPACING IN FEET	
	10' LANE	11' LANE	12' LANE		ALONG TAPER	AFTER TAPER
20	70	75	80	5	20	20
25	105	115	125	6	25	25
30	150	165	180	7	30	30
35	205	225	245	8	35	35
40	270	295	320	9	40	40
45	450	495	540	13	45	45
50	500	550	600	13	50	50
55	550	605	660	13	55	55

RECOMMENDED SIGN SPACING(D) FOR ADVANCE WARNING SIGN SERIES

SPEED MILES PER HOUR	MINIMUM DISTANCE IN FEET	
	BETWEEN SIGNS	FROM LAST SIGN TO TAPER
0-20	10 x SPEED LIMIT	10 x SPEED LIMIT
25-30	10 x SPEED LIMIT	10 x SPEED LIMIT
30-35	10 x SPEED LIMIT	10 x SPEED LIMIT
40-45	10 x SPEED LIMIT	10 x SPEED LIMIT
50-60	10 x SPEED LIMIT	10 x SPEED LIMIT

TAPER CRITERIA

TYPE OF TAPER	TAPER LENGTH
UPSTREAM TAPER	
MERGING TAPER	L MINIMUM
SHIFTING TAPER	1/2 L MINIMUM
SHOULDER TAPER	1/2 L MINIMUM
TWO-WAY TRAFFIC TAPER	100 FEET MAXIMUM
DOWNSIDE TAPERS	100 FEET PER LANE

TAPER LENGTH COMPUTATION

SPEED LIMIT	
40 MPH OR LESS	$\frac{WS^2}{60}$
45 MPH OR GREATER	$L = W \times S$
L = TAPER LENGTH	
W = WIDTH OF OFFSET IN FEET	
S = POSTED SPEED OR OFF-PEAK 85 PERCENTILE SPEED IN MPH	

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26 7052.82 1404

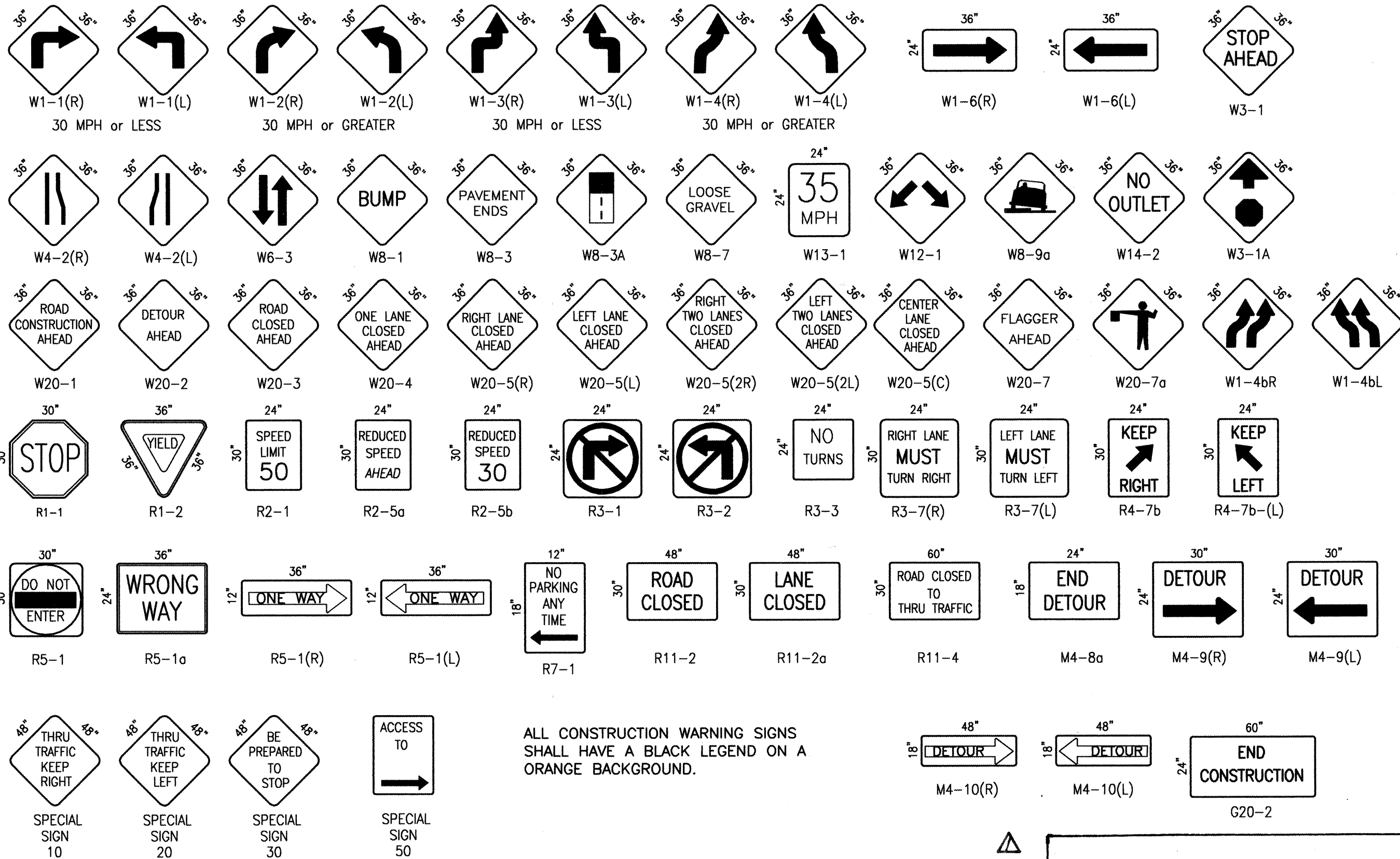
2001.056.6

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VINEYARD ESTATES, UNIT IV-A
SIGNING AND CONSTRUCTION TRAFFIC CONTROL STANDARDS

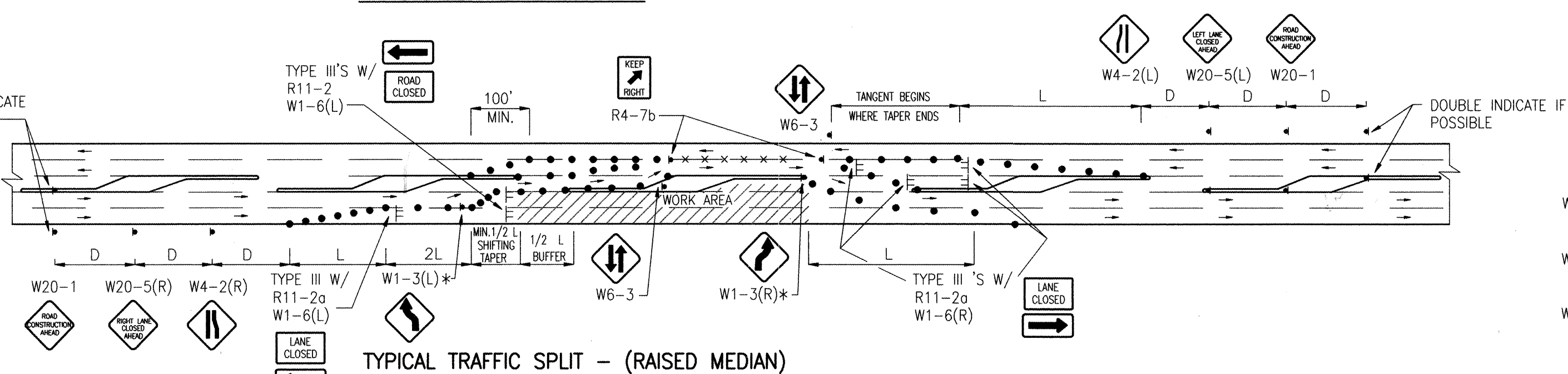
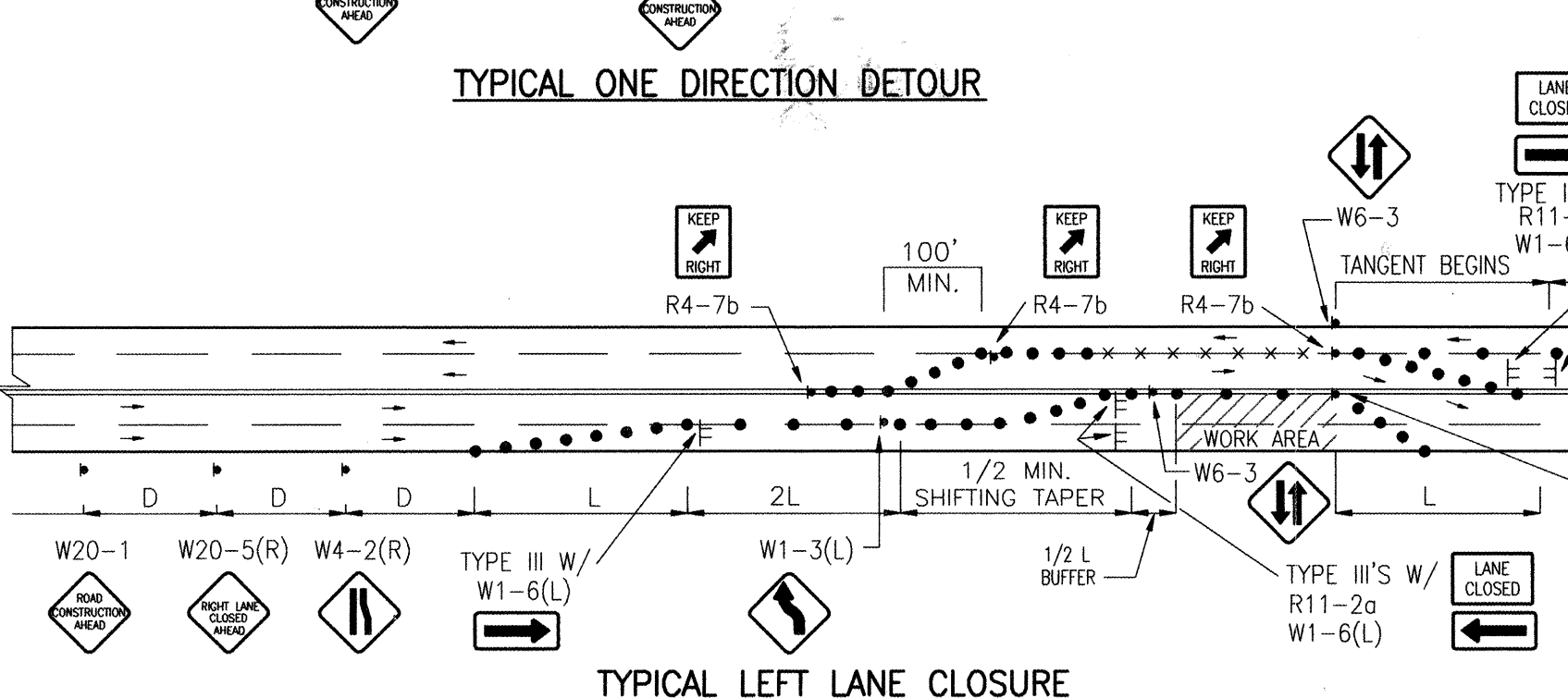
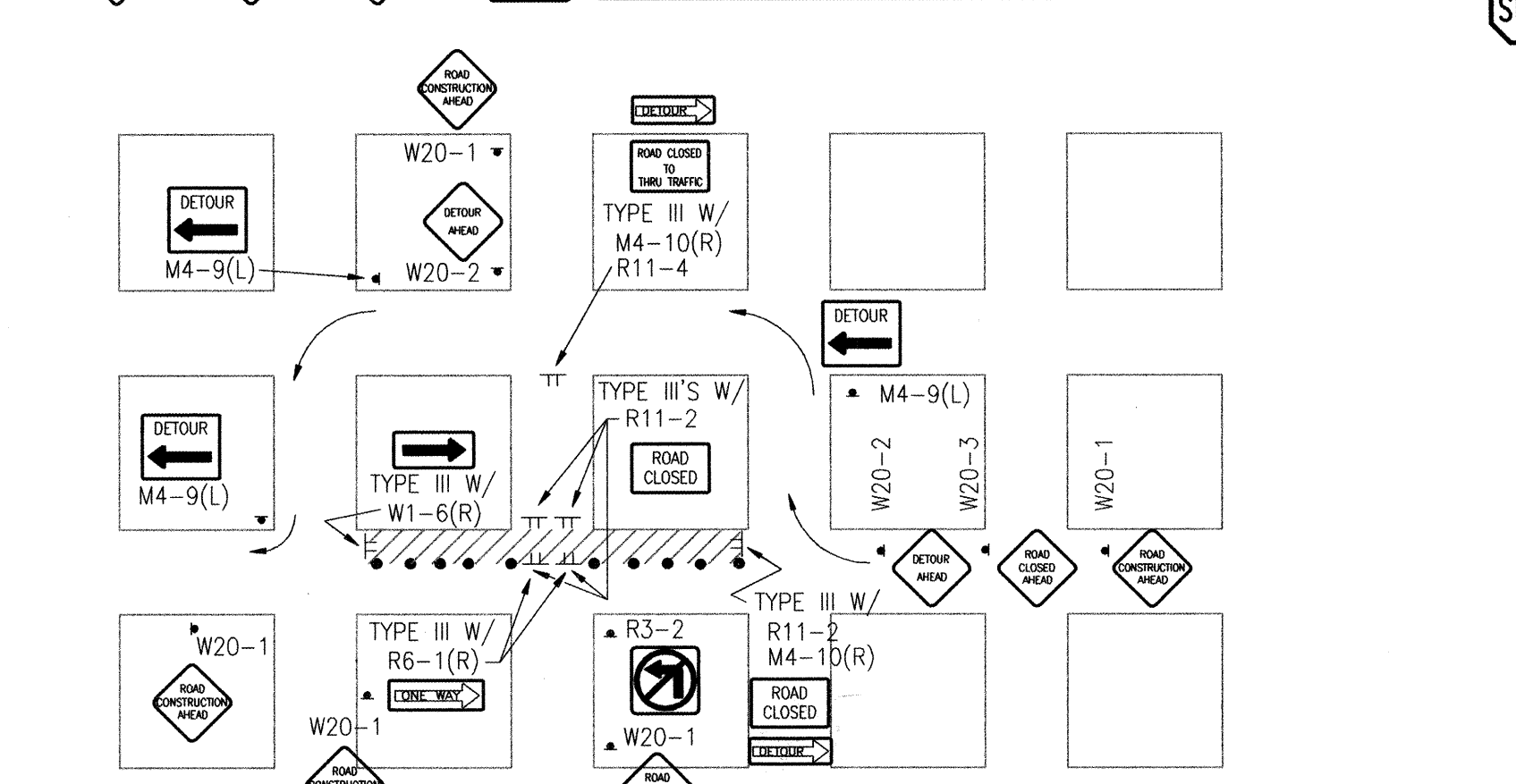
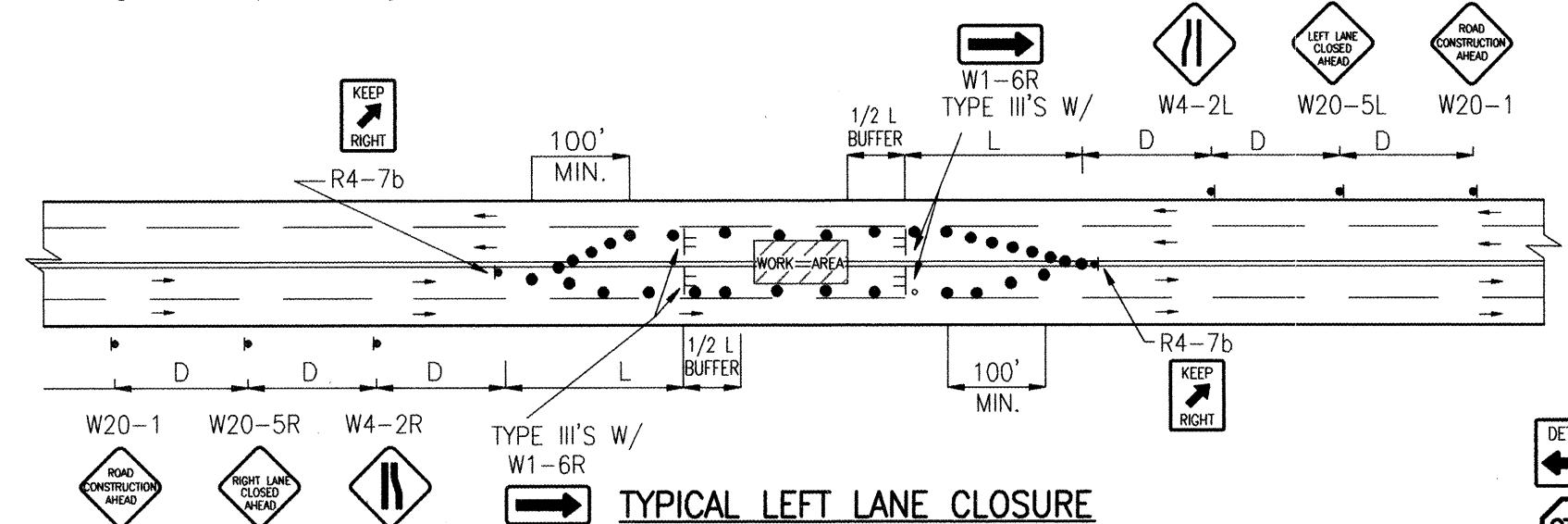
Design Review Committee	City Engineer Approval	Ms./Date/Year	Ms./Date/Year
C.O.A. STD.	C.O.A. STD.		
City Project No. 705282	Zone Map No. C-20	Sheet 14	Of 15

SIGN FACE DETAILS

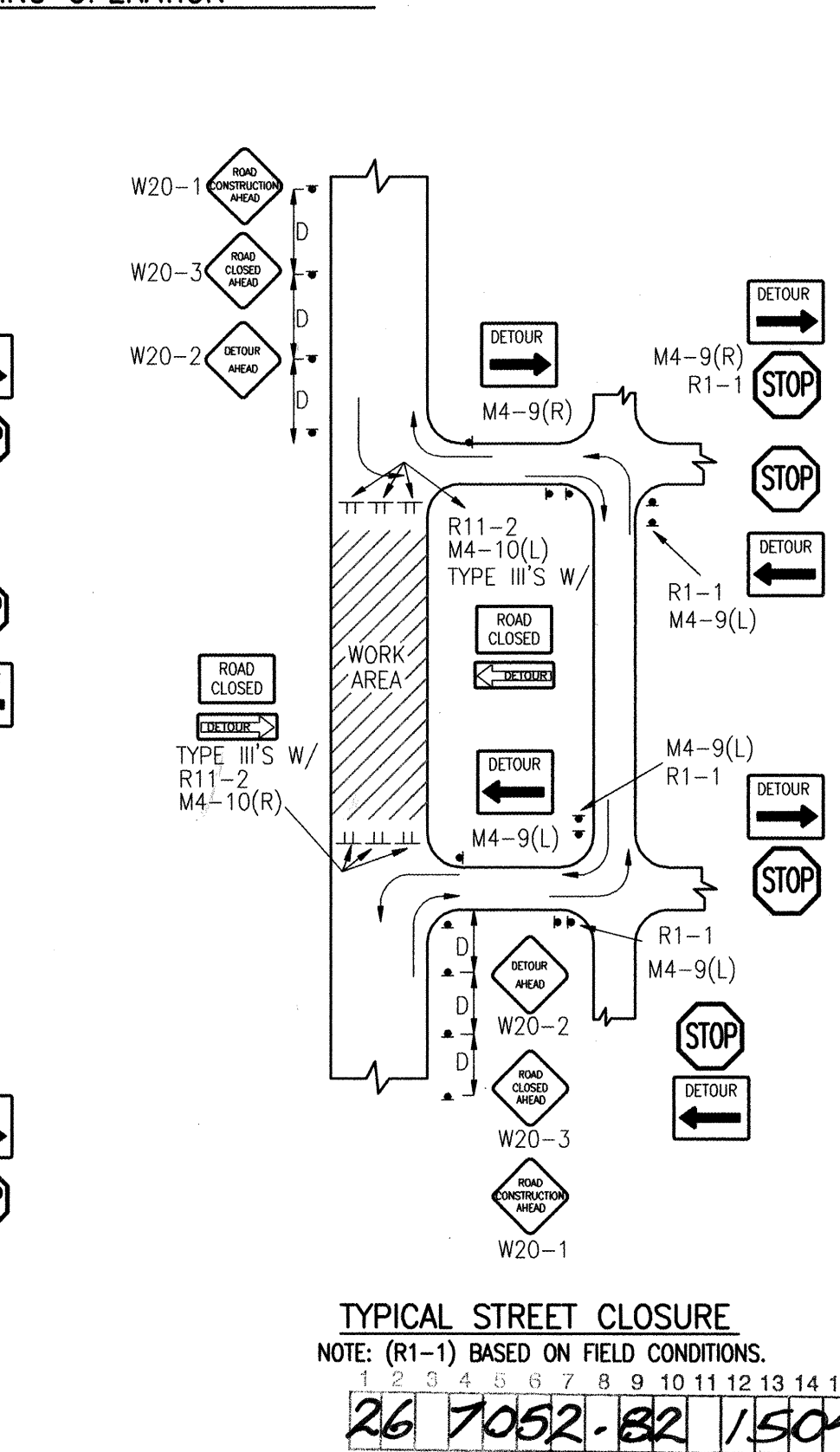
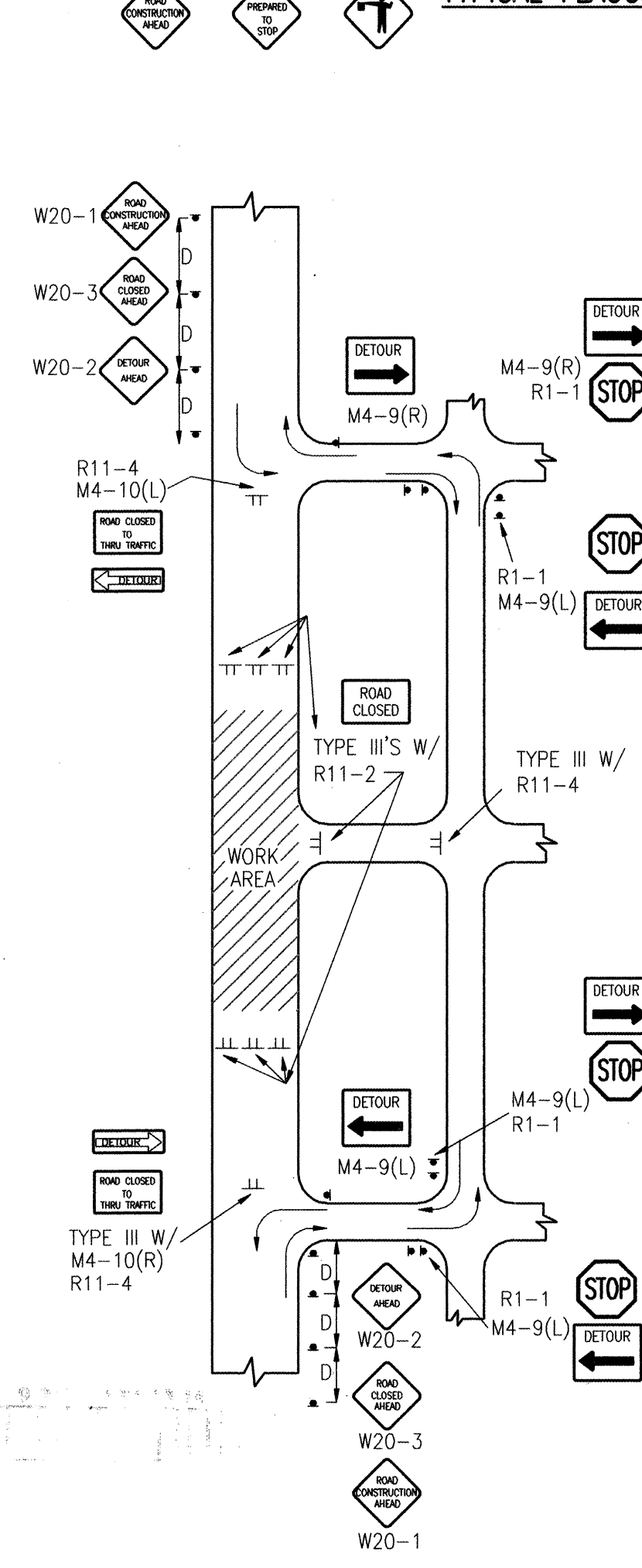
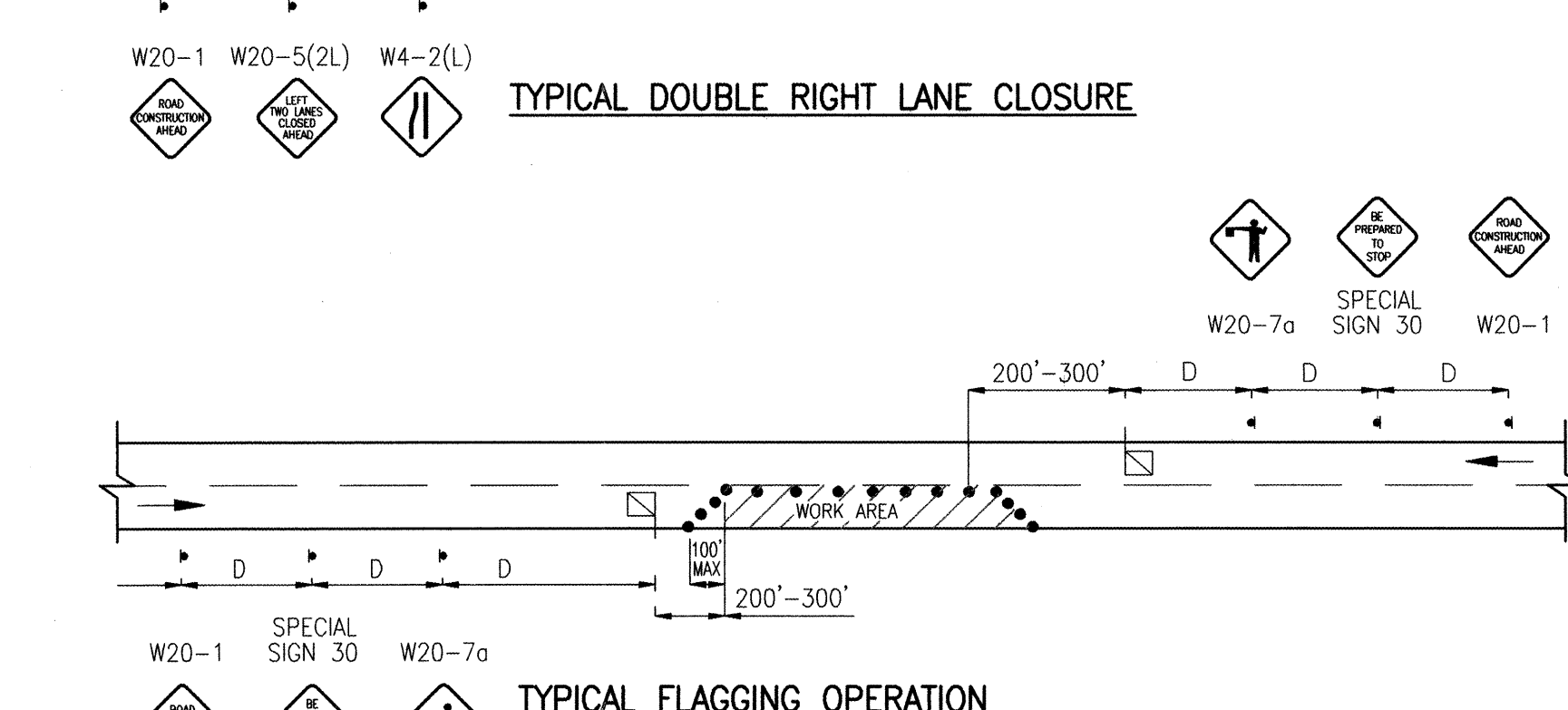
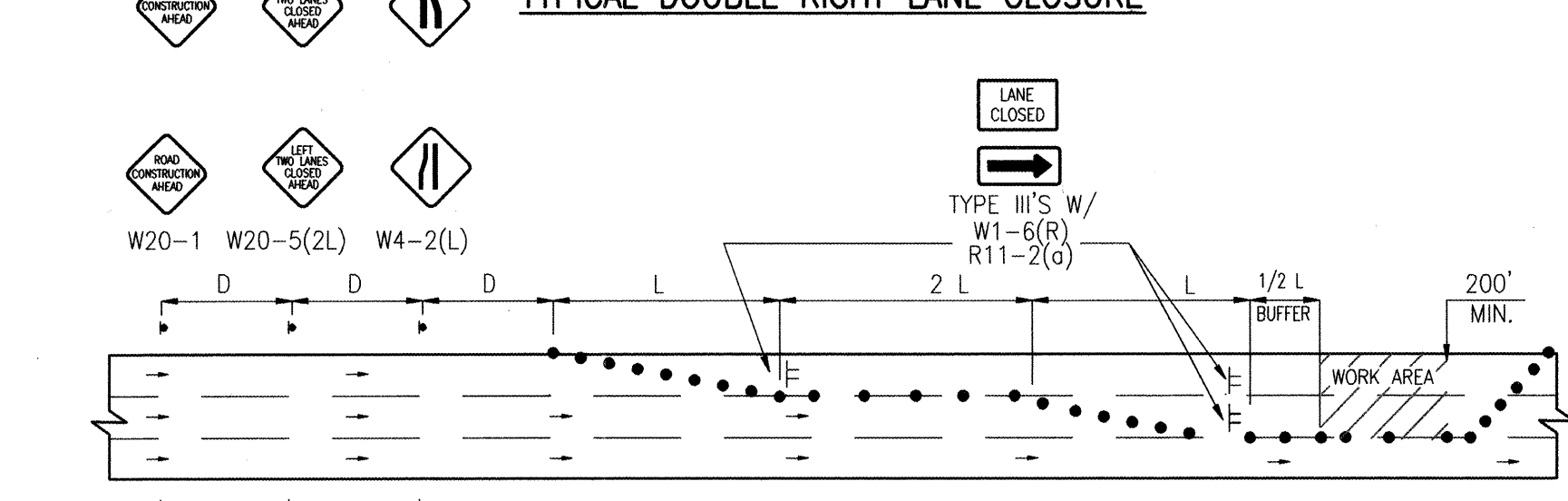
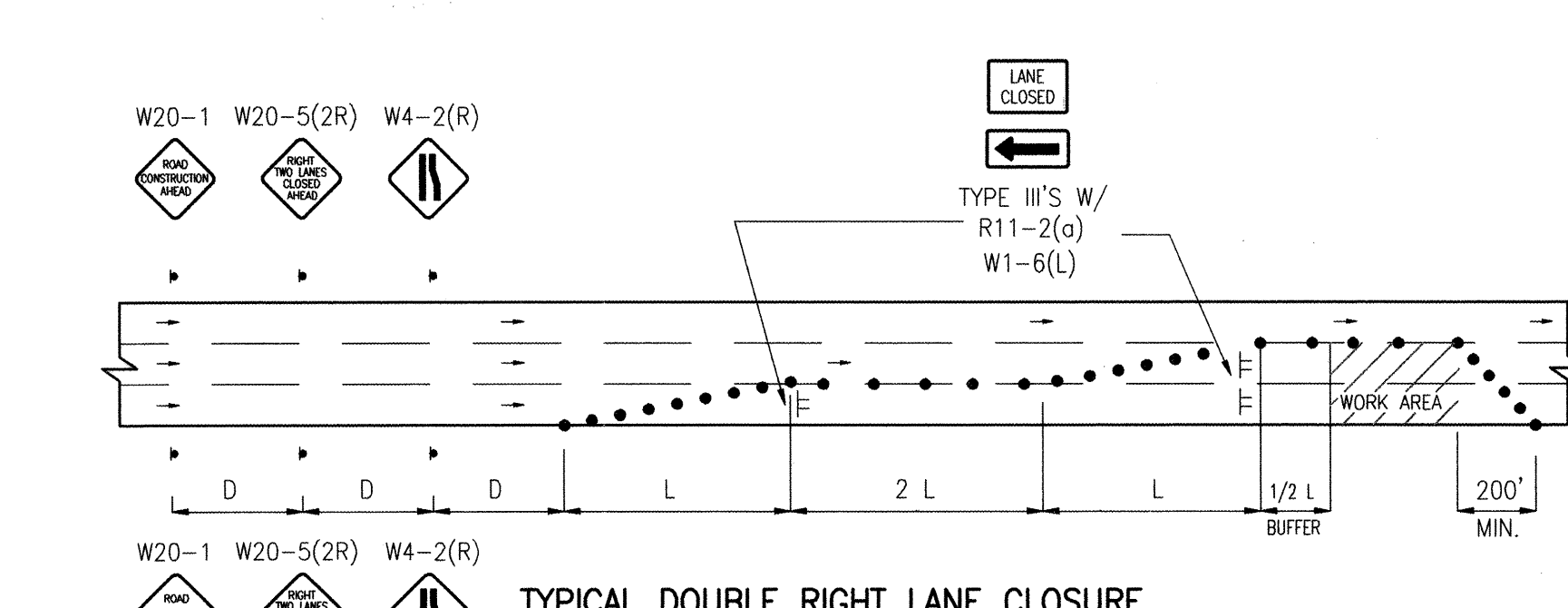
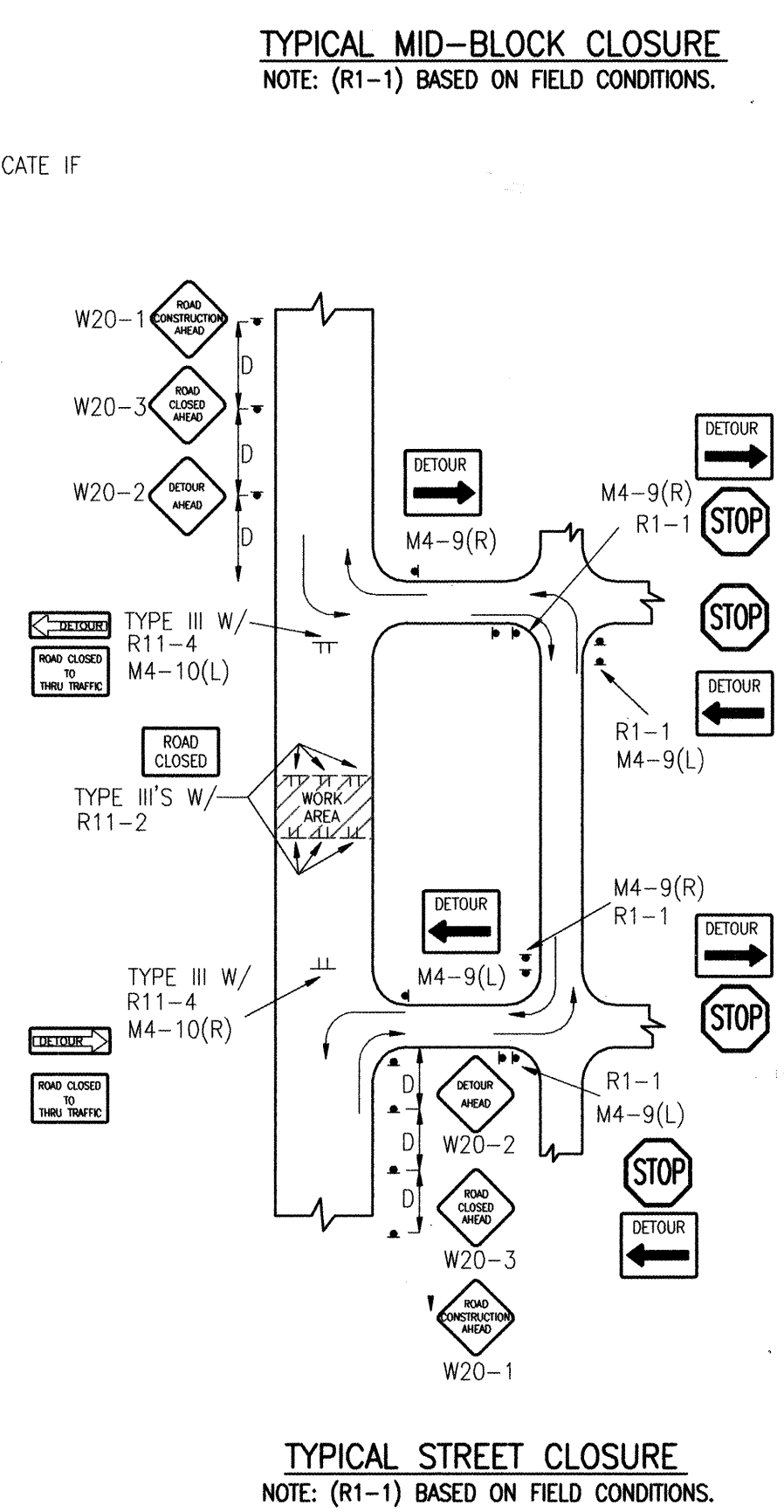
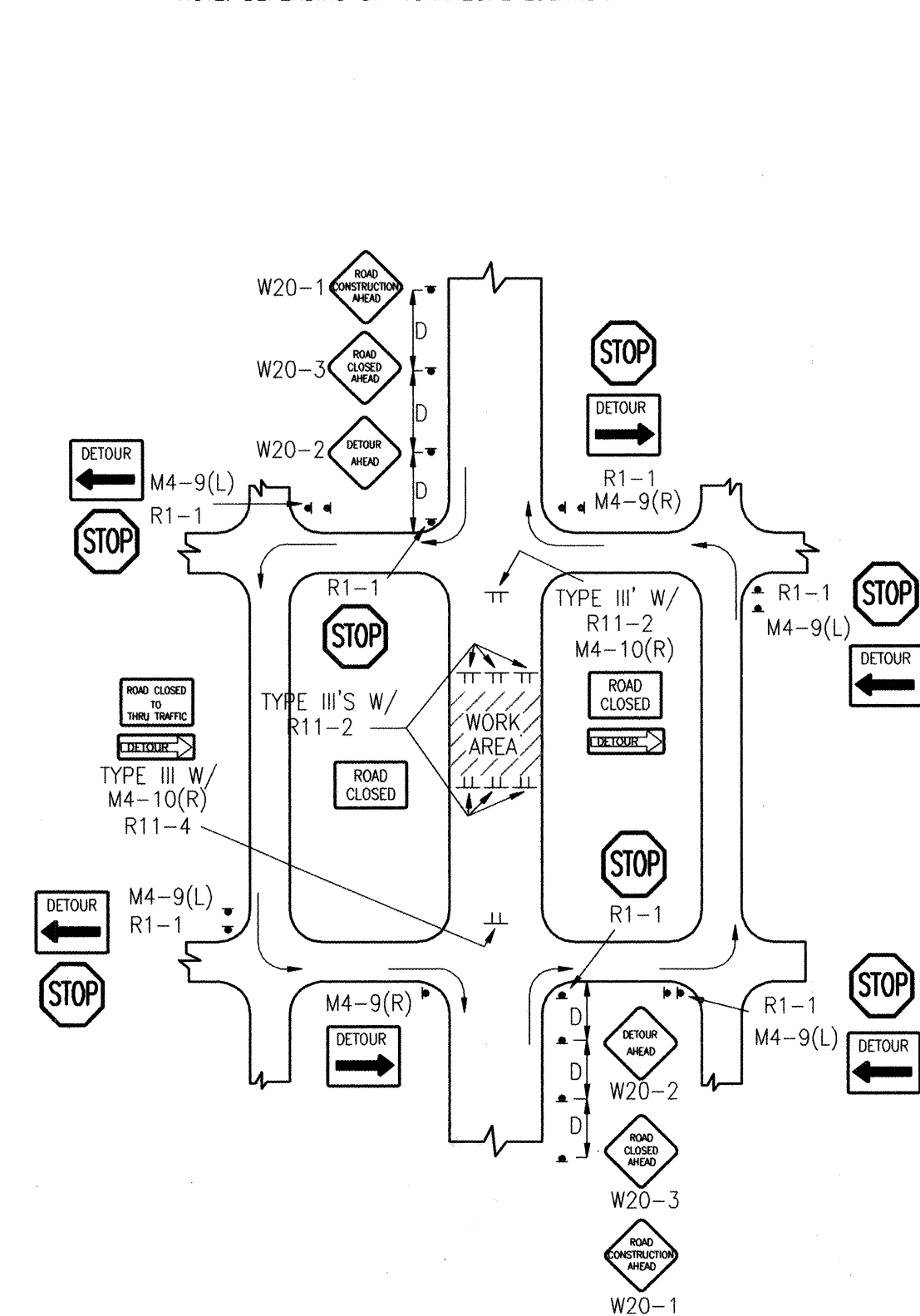
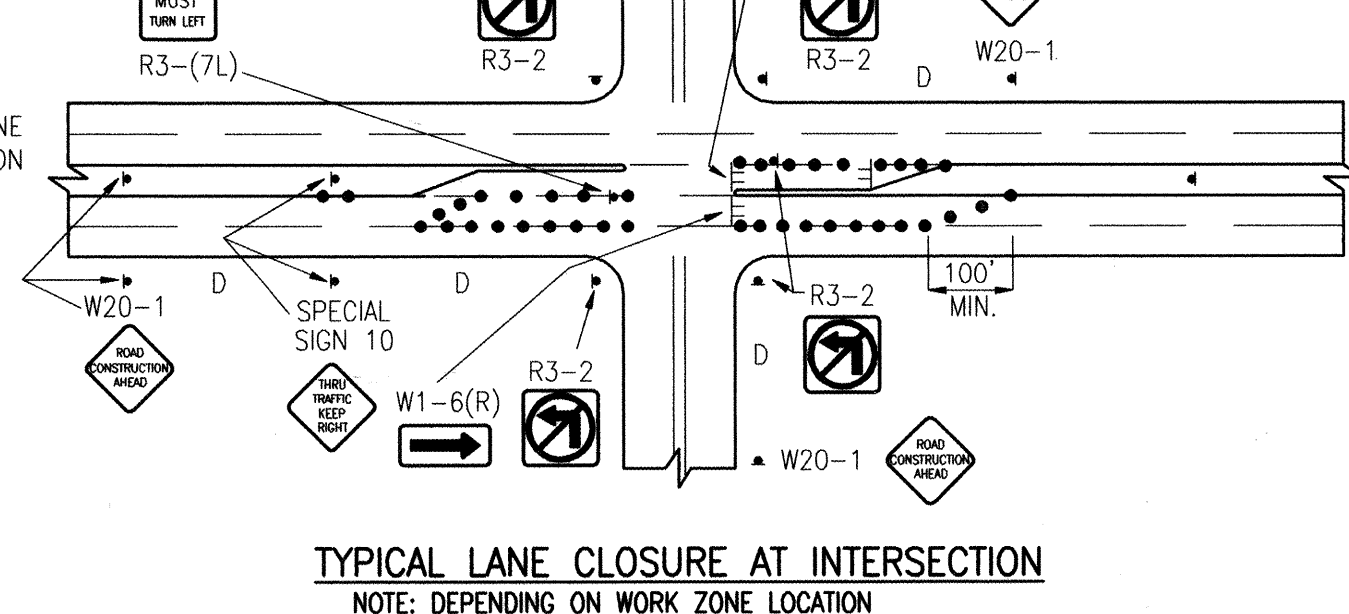
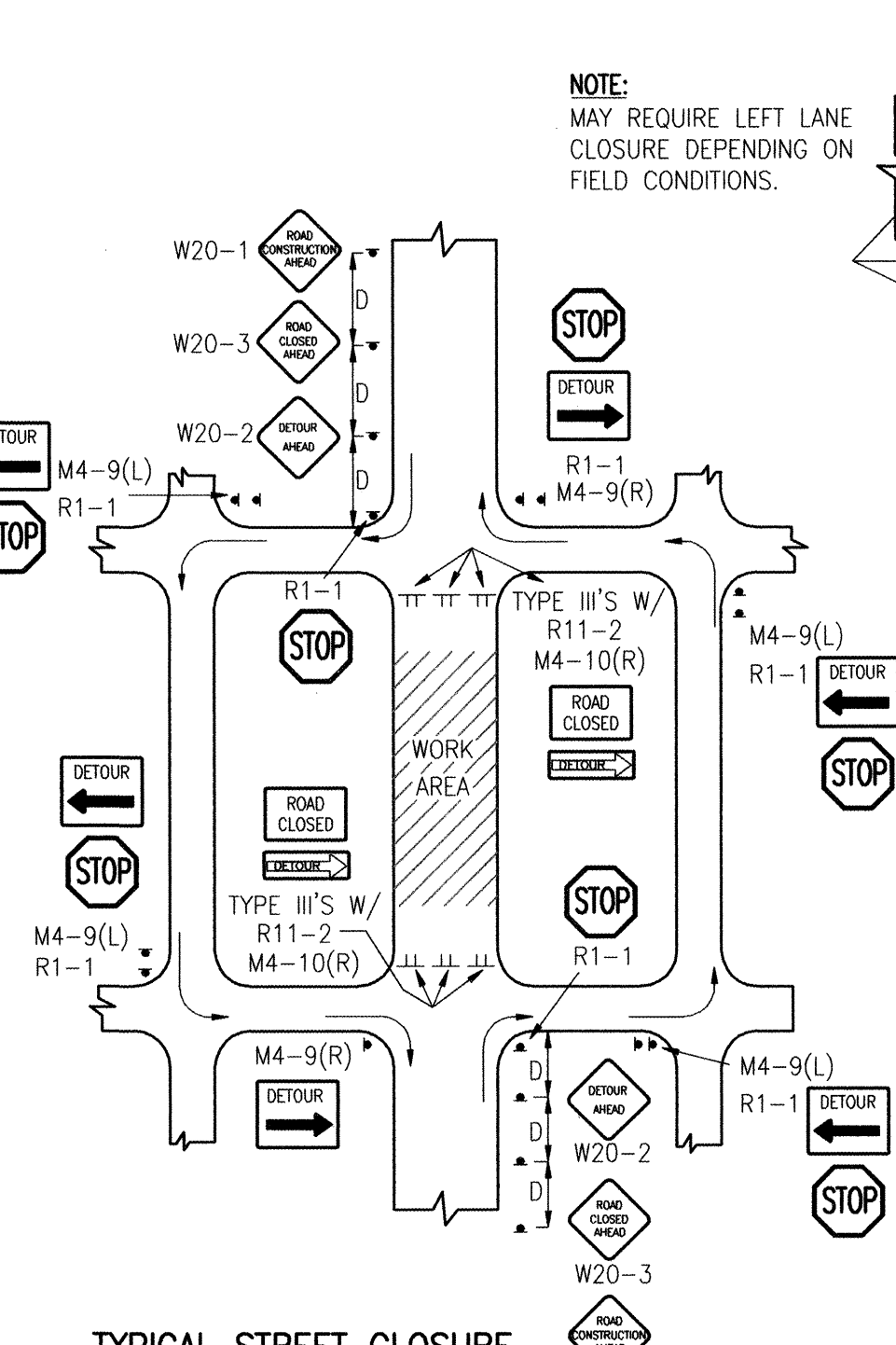
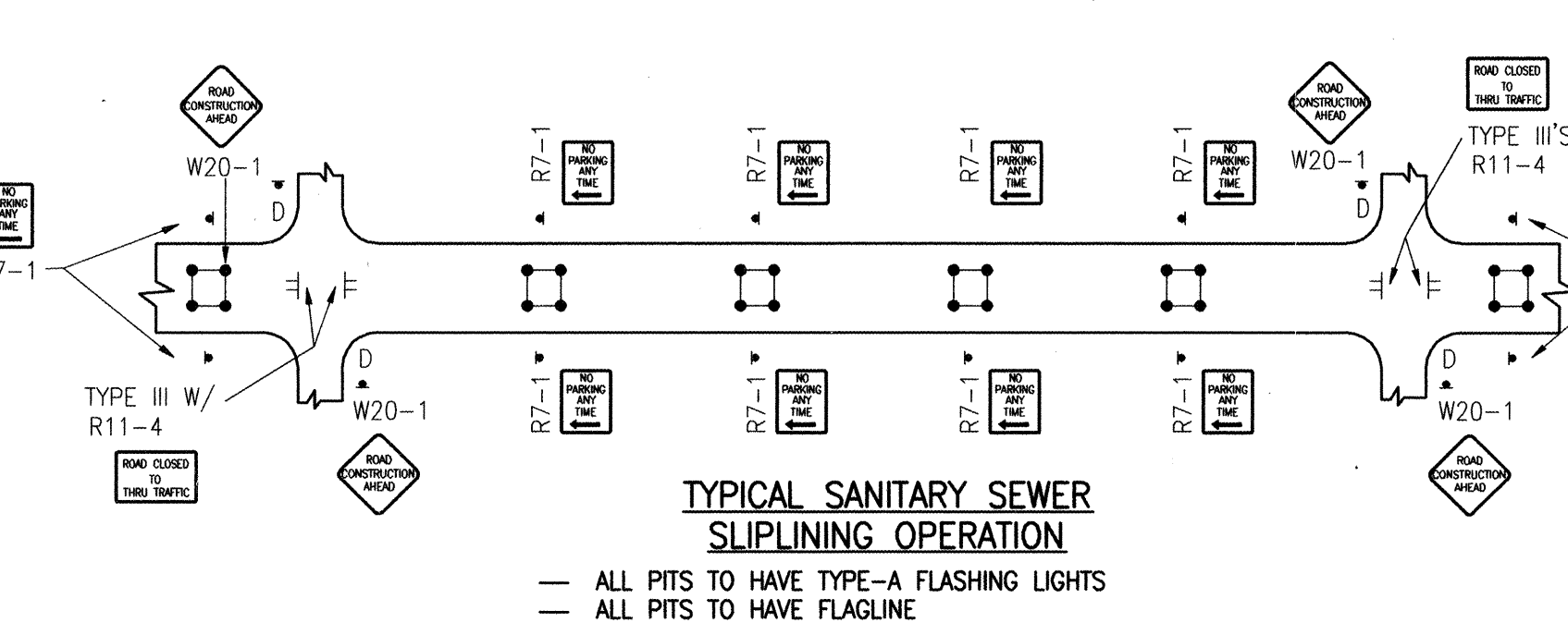


ALL CONSTRUCTION WARNING SIGNS SHALL HAVE A BLACK LEGEND ON A ORANGE BACKGROUND.

RECORD DRAWING



- TRAFFIC SPLIT NOTES:
1. THE OFFSET DISTANCES MUST BE CALCULATED IN ALL SHIFTING TAPERS. THE OFFSET DISTANCES SHALL INCLUDE LANE WIDTHS PLUS MEDIAN WIDTHS.
 2. $1/2 L$ IS MINIMUM DISTANCE FOR SHIFTING TAPERS.
 3. REVERSE CURVES MAY BE IMPLEMENTED. ALL CURVE DATA SHALL BE CALCULATED.
 4. MEDIAN REMOVAL SHALL BE REQUIRED IF $1/2 L$ OR REVERSE CURVE IS NOT SUFFICIENT. MEDIAN REMOVAL SHALL TAKE PLACE BEFORE SPLITS.
 5. REDUCED SPEED MAY BE CONSIDERED.
 6. * USE W1-3 FOR 30 MPH OR LESS, W1-4 FOR SPEED 35 MPH OR GREATER.



2001.056.6

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VINEYARD ESTATES, UNIT IV-A
TYPICAL TRAFFIC CONTROL & SIGNING EXAMPLES (REF. M.U.T.C.D.)

Design Review Committee	City Engineer Approval	Last Design Update	Mr. / Pagar / Jr.	Mr. / Pagar / Jr.
C.O.A. STD.	C.O.A. STD.			
City Project No.	705282	Zone Map No.	C-20	Sheet 15 Of 1

ENGINEER'S SEAL

C.O.A.

STANDARDS

RECORD DRAWING

TYPICAL STREET CLOSURE
NOTE: (R1-1) BASED ON FIELD CONDITIONS.