CONSTRUCTION PLANS
for
VINEYARD ESTATES, UNIT IV-B
ALBUQUERQUE, NEW MEXICO
NOVEMBER, 2003

◦ LEGEND ◦

MATERIALS
- CONCRETE
- RIP-RAP

LINES
- SUBDIVISION BOUNDARY
- PROPERTY LINE (PLAN)
- PROPERTY LINE (SECTION)
- CENTERLINE
- EASEMENT LINE
- MATCH LINE
- SECTION CUT LINE (A — A)

EARTHWORK

	EXISTING	NEW
CONTOUR LINE	25	25
SPOT ELEVATION		
PROJECT / PHASE BOUNDARY		
FLOWLINE		
DIRECTION OF FLOW		

MISCELLANEOUS UTILITIES
- GAS LINE (G)
- UNDERGROUND TELEPHONE (UT)
- UNDERGROUND ELECTRICAL (UE)
- STORM DRAIN (SD)
- STORM DRAIN MANHOLE
- STORM DRAIN INLET

SANITARY SEWER
- SANITARY SEWER LINE (SAS)
- SANITARY SEWER MANHOLE
- SAS SERVICE CONNECTIONS
- SAS CAP OR PLUG
- ENCASEMENT

WATER
- WATER LINE (W)
- WATER SERVICE CONNECTIONS
- GATE VALVE
- FIRE HYDRANT
- BUTTERFLY VALVE
- REDUCER
- WATER PRESSURE ZONE BOUNDARY

WATER FITTINGS
- CAPS AND PLUGS
- ELBOW
- CROSS
- TEE

MISCELLANEOUS
- CHAINLINK FENCE
- FIELD FENCE
- COMMON YARD WALL
- RETAINING WALL
- POWER OR TELEPHONE POLE

SCANNED BY MESA REPRO

CERTIFICATE OF SUBSTANTIAL COMPLIANCE △1

I, J. GRAEME MEANS, NMPE 13676, OF THE FIRM JEFF MORTENSEN & ASSOCIATES, INC., HEREBY CERTIFY THAT THE INFRASTRUCTURE CONSTRUCTED AS PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR PERSONNEL UNDER MY DIRECT SUPERVISION AND, TO THE BEST OF MY KNOWLEDGE AND BELIEF, HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THE ORIGINAL DESIGN INTENT OF THE CITY ENGINEER APPROVED PLANS. THE RECORD INFORMATION EDITED ONTO THIS ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CHARLES G. CALA, JR., NMPS 11184, ALSO OF THE FIRM JEFF MORTENSEN & ASSOCIATES, INC. THIS RECORD INFORMATION IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THIS PROJECT. THOSE RELYING ON THIS DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR ACCEPTANCE OF THIS PROJECT BY THE CITY ENGINEER.

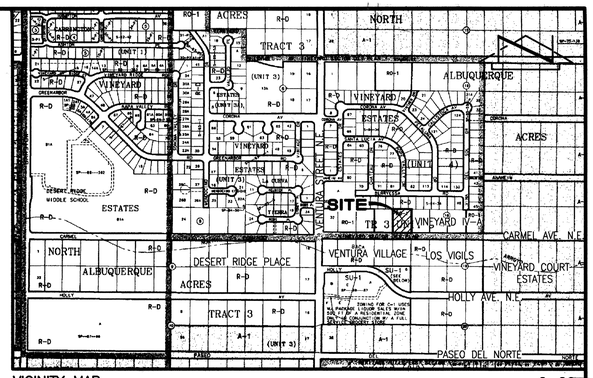
J. Graeme Means
J. GRAEME MEANS, NMPE 13676

04/02/2004
DATE

J. GRAEME MEANS — STATE OF NEW MEXICO — 13676 — REGISTERED PROFESSIONAL ENGINEER

INDEX OF DRAWINGS

SHEET	DESCRIPTION
1	COVER SHEET, VICINITY MAP, GENERAL NOTES, LEGEND AND INDEX OF DRAWINGS
2, 3	SUBDIVISION PLAT
4	DRB APPROVED GRADING PLAN
5	SECTIONS AND DETAILS
6	CARMEL AVENUE N.E. PAVING IMPROVEMENTS PLAN AND PROFILE
7	VISALIA WAY N.E. PAVING IMPROVEMENTS PLAN AND PROFILE
8	VISALIA WAY N.E. WATER AND SANITARY SEWER EXTENSIONS PLAN AND PROFILE



VICINITY MAP — C-20
SCALE: 1" = 750'

GENERAL NOTES:

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS–PUBLIC WORKS CONSTRUCTION–1986 – UPDATE NO. 7.
2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260–1990, (ALBUQUERQUE AREA) 1–800–321–ALERT (2537) (STATEWIDE) FOR LOCATION OF EXISTING UTILITIES.
3. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
4. SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
6. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH.
7. ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
8. BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
9. TACK COAT REQUIREMENTS SHALL BE DETERMINED DURING CONSTRUCTION BY THE PROJECT ENGINEER.
10. SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
11. IF CURB IS DEPRESSED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
12. ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
13. CONTRACTOR SHALL COORDINATE WITH THE WATER SYSTEM DIVISION FOR THE EXECUTION OF THE VALVE SHUT OFF PLAN, NOT LESS THAN SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT THE EXISTING PUBLIC WATER UTILITIES. ONLY WATER SYSTEM DIVISION PERSONNEL SHALL OPERATE EXISTING VALVES. REFER TO SECTION 18 OF THE SPECIFICATIONS. THE WATER SYSTEM DIVISION PHONE NUMBER IS 857–8200.
14. CONTRACTOR SHALL NOTIFY THE CITY SURVEYOR NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE SPECIFICATIONS.
15. FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION CO–ORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION CO–ORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924–3400) PRIOR TO OCCUPYING AN INTERSECTION. CONTRACTOR MUST REFER TO SECTION 19 OF THE STANDARD SPECIFICATION FOR TRAFFIC CONTROL.
16. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED STRIPING BY CONTRACTOR TO EXISTING LOCATION OR AS INDICATED BY THIS PLAN SET.
17. CAUTION: THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED–OUT IN ACCORDANCE WITH OSHA 29 CFR 1926, SUBPART P–EXCAVATIONS.
18. ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES TWENTY–FOUR HOUR CONSTRUCTION.
19. CONTRACTOR SHALL MAINTAIN A GRAFFITI–FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
20. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY CONSTRUCTION ENGINEER
DATE: 5/20/04

RECORD DRAWING

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26 70 52 . 83 01 04

J. GRAEME MEANS — STATE OF NEW MEXICO — 13676 — REGISTERED PROFESSIONAL ENGINEER
11/11/2003

2003.044.4 7

JEFF MORTENSEN & ASSOCIATES, INC.
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ALBUQUERQUE NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250
FAX: 505 345-4254 Email: jmainc@swcp.com

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
△1	1-8		4/2004				

ENGINEERS STAMP & SIGNATURE	APPROVALS	ENGINEER	DATE
	DRC Chairman		12-03-03
	Transportation		12/01/03
	Water/Wastewater		12/01/03
	Hydrology		11/21/03
	C.I.P.		
	Const. Mngmt.		
	Const. Coord.		12-03-03

★★★★★★★★★★★★★★ APPROVED FOR CONSTRUCTION
City Engineer — Date 4-05-04

City Project No. 705283

SHEET 1 OF 8

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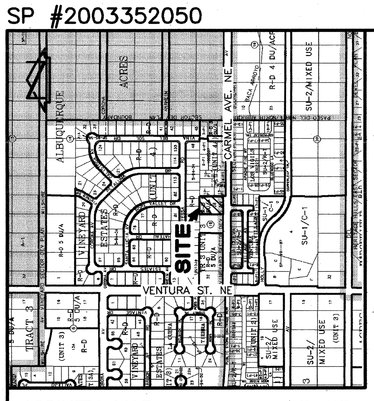
Plot Date: 11-07-2003
Plot Time: 12:52 pm

SP #2003352050


ACRES
ALBERTA
SITE
VENTURA ST. NE
SU-1/C-1
SU-2/MIXED USE
R-D 4 DU/AC
SU-2/MIXED USE
SU-2/MIXED USE
SU-2/MIXED USE
R-D
R-D
R-D

SCANNED BY
MESA REPRO

SP #2003352050

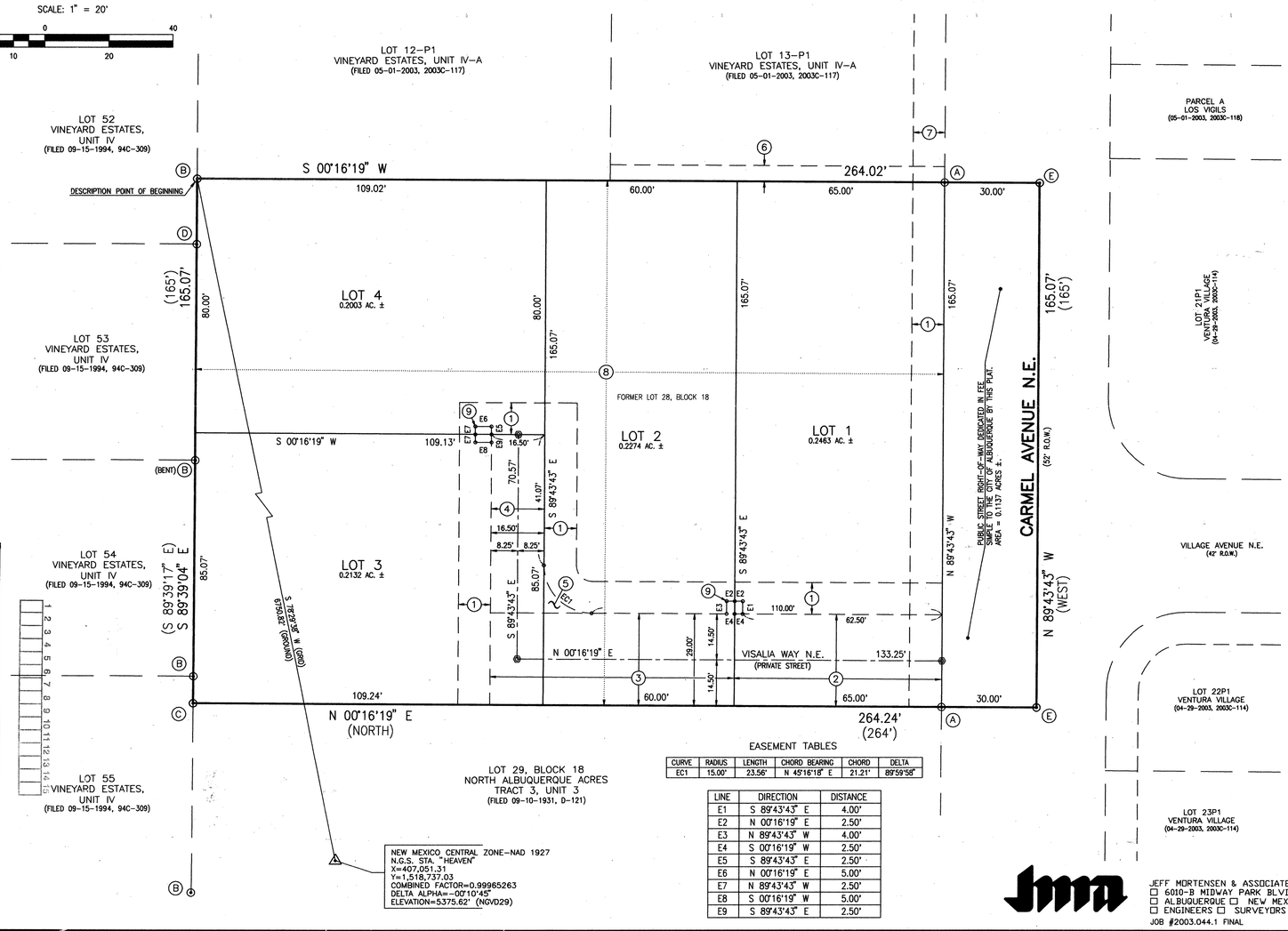
PLAT OF

VINEYARD ESTATES, UNIT IV-B

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
NOVEMBER, 2003

2003217365
2003217365
Page 3 of 3
12/04/2003 03:06P
Mary Herrera Bern. Co. PLAT R 17.00 B3-2003C Pg-364
BK-2003C PG 364
COUNTY CLERK FILING DATA

SCALE: 1" = 20'



EASEMENT TABLES

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
EC1	15.00'	23.56'	N 45°16'18" E	21.21'	89°59'58"

LINE	DIRECTION	DISTANCE
E1	S 89°43'43" E	4.00'
E2	N 00°16'19" E	2.50'
E3	N 89°43'43" W	4.00'
E4	S 00°16'19" W	2.50'
E5	S 89°43'43" E	2.50'
E6	N 00°16'19" E	5.00'
E7	N 89°43'43" W	2.50'
E8	S 00°16'19" W	5.00'
E9	S 89°43'43" E	2.50'

RECORD DRAWING

JEFF MORTENSEN & ASSOCIATES, INC.
☐ 6010-B MIDWAY PARK BLVD. N.E.
☐ ALBUQUERQUE ☐ NEW MEXICO 87109
☐ ENGINEERS ☐ SURVEYORS (505) 345-4250
JOB #2003.044.1 FINAL

City Project No. 705283

KEYED NOTES

NEW EASEMENTS (TO BE GRANTED BY PLAT)

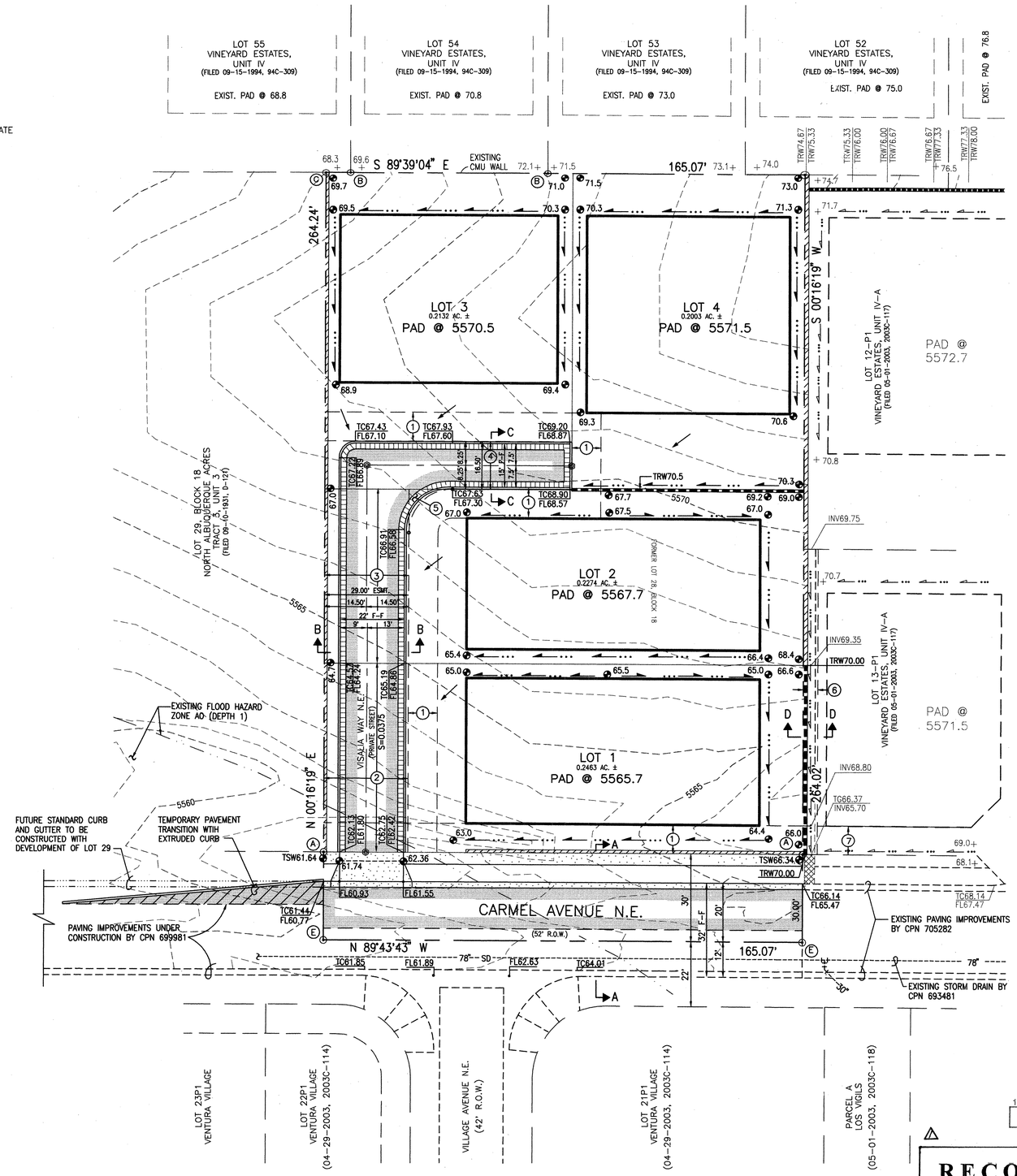
1. 10' PUBLIC UTILITY EASEMENT.
2. 29' PRIVATE ACCESS, PRIVATE STORM DRAINAGE, AND CITY OF ALBUQUERQUE PUBLIC WATER LINE AND PUBLIC SANITARY SEWER EASEMENTS SERVING LOTS 1, 2, 3 AND 4. MAINTENANCE OF THE PRIVATE EASEMENTS SHALL BE THE RESPONSIBILITY OF THE OWNERS OF LOTS 1, 2, 3 AND 4.
3. 29' PRIVATE ACCESS, PRIVATE STORM DRAINAGE, AND CITY OF ALBUQUERQUE PUBLIC WATER LINE AND PUBLIC SANITARY SEWER EASEMENTS SERVING LOTS 2, 3 AND 4. MAINTENANCE OF THE PRIVATE EASEMENTS SHALL BE THE RESPONSIBILITY OF THE OWNERS OF LOTS 2, 3 AND 4.
4. 16.50' PRIVATE ACCESS, PRIVATE STORM DRAINAGE, PRIVATE WATER LINE AND PRIVATE SANITARY SEWER EASEMENTS SERVING LOT 4. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS OF LOTS 3 AND 4.
5. PRIVATE ACCESS AND PRIVATE STORM DRAINAGE EASEMENT SERVING LOTS 3 AND 4. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS OF LOTS 2, 3 AND 4.

EXISTING EASEMENTS – OFFSITE

6. 5' PRIVATE DRAINAGE EASEMENT GRANTED BY PLAT 2003C-117
7. 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2003C-117

MONUMENTS

- Ⓐ #5 REBAR, NO I.D., TAGGED W/WASHER STAMPED "NMPS 11184"
- Ⓑ #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- Ⓒ #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- Ⓓ P.K. NAIL W/WASHER STAMPED "NMPS 11184"
- Ⓔ CALCULATED POSITION, NO POINT SET.



SCALE: 1" = 20'

PROJECT BENCHMARK

ACS STATION "HEAVEN" (TIED TO PASEO DEL NORTE ROADWAY CONSTRUCTION IN 1999)
PREVIOUS ELEVATION = 5378.79 FEET (NGVD 1929)

THIS BENCHMARK HAS BEEN USED TO PROVIDE UNIFORMITY BETWEEN THIS SURVEY AND THE PREVIOUS SURVEYS CONDUCTED FOR RELATED NORTH DOMINGO BACA ARROYO PROJECTS.

THE ELEVATION FOR ACS STATION "5-C20", AN ACS 1 3/4" ALUMINUM DISK STAMPED "ACS BM, 5-C20", EPOXIED TO THE TOP OF THE CONCRETE DROP INLET, AT THE NNE CURB RETURN IN THE NORTHEAST QUADRANT OF THE INTERSECTION OF VENTURA STREET AND ANAHEIM AVENUE N.E., BASED UPON THIS DATUM IS 5552.84 FEET (NGVD 1929). THE C.O.A. PUBLISHED ELEVATION IS 5552.71 FEET (NGVD 1929)

LEGEND

	EXISTING CONTOUR
+74.0	EXISTING SPOT ELEVATION
75.55	PROPOSED SPOT ELEVATION
	EXISTING FLOWLINE
	PROPOSED FLOWLINE
	DIRECTION OF FLOW
	EXISTING RETAINING WALL
	PROPOSED RETAINING WALL
	GARDEN WALL
	MOUNTABLE CURB
TC	TOP OF CURB
FL	FLOWLINE
INV	INVERT
TRW	TOP OF RETAINING WALL
TG	TOP OF GRATE
	PROPOSED ASPHALT PAVEMENT
	PROPOSED TEMPORARY PAVEMENT

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR INFORMATION ONLY. BOUNDARY DATA IS TAKEN FROM THE PRELIMINARY PLAT FOR THIS PROJECT PREPARED BY THIS OFFICE. EXISTING TOPOGRAPHY SHOWN HEREON IS FROM A TOPOGRAPHIC SURVEY CONDUCTED BY THIS OFFICE 09/02/03. IMPROVEMENTS AND GRADES FOR VINEYARD ESTATES UNIT IV-A AND FOR VENTURA VILLAGE ARE TAKEN FROM THE APPROVED PLANS FOR THESE PROJECTS, CPN'S 705282 AND 699981, RESPECTIVELY, AND SHOWN AS EXISTING (CONSTRUCTION CURRENTLY IN PROGRESS).

RECORD DRAWING

J. GRAEME MEANY NEW MEXICO 13676 REGISTERED PROFESSIONAL ENGINEER
08/28/2003

SCANNED BY MESA REPRO

File Path:	E:\MWORK\MOJMA\	Plot Date:	08-28-2003
File Name:	30443GP.DWG	Plot Time:	09:10 am

JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250
FAX: 505 345-4254 Email: jmainc@swcp.com

APPROVED FOR ROUGH GRADING

9/25/03

CITY HYDROLOGY DATE

GRADING PLAN

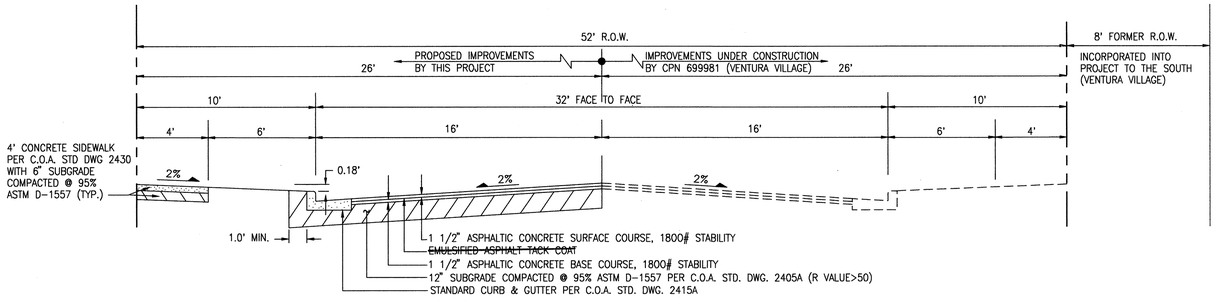
VINEYARD ESTATES, UNIT IV-B

DESIGNED BY G.M.
DRAWN BY S.G.H.
APPROVED BY G.M.

NO.	DATE	BY	REVISIONS
1	4/04	G.M.	RECORD DRAWING.

JOB NO. 2003.044.3
DATE 08-2003
SHEET 2 OF 3

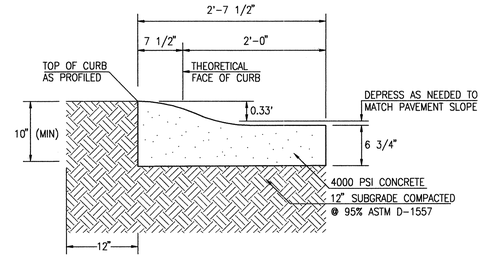
City Project No. 705283 Sheet 4 of 8



⚠ SECTION A–A (CARMEL AVENUE N.E.)

SCALE: 1" = 4'

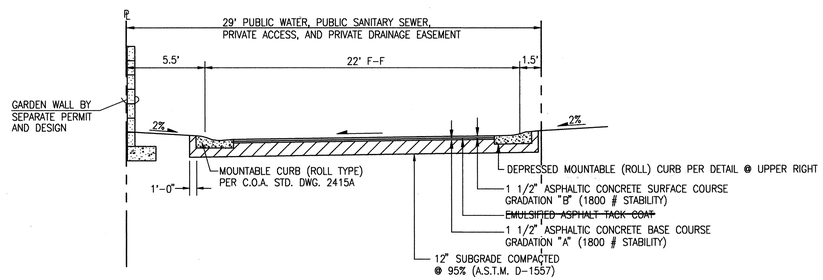
NOTE: SOUTH HALF PAVING IMPROVEMENTS CURRENTLY UNDER CONSTRUCTION BY CPN 699981 (VENTURA VILLAGE)



DEPRESSED ROLL CURB SECTION

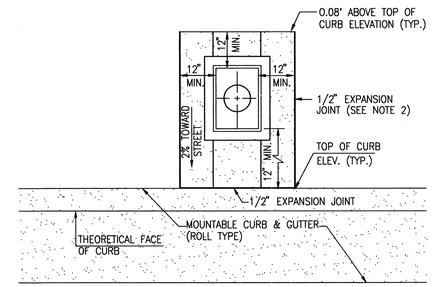
SCALE: 1" = 1'

SCANNED BY MESA REPRO



⚠ SECTION B–B (VISALIA WAY–SUPERELEVATED SECTION)

SCALE: 1" = 5'

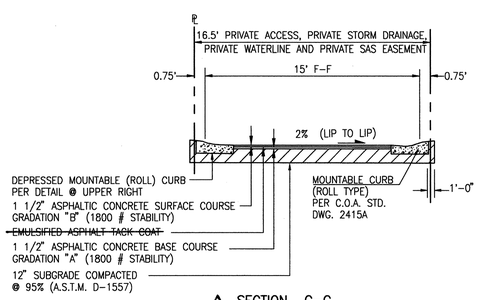


TYPICAL METER BOX INSTALLATION

SCALE: 1" = 2' – 0"

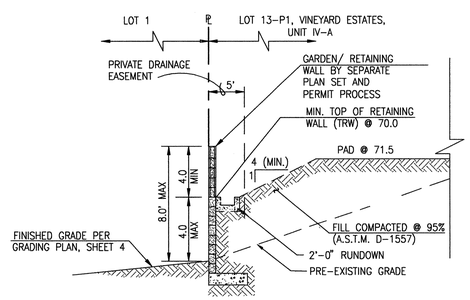
NOTE:

METER BOX SHALL BE HEAVYWEIGHT AND TRAFFIC RATED WHERE LOCATED ADJACENT TO MOUNTABLE CURB AND GUTTER, SEE C.O.A. STD. DWG. 2369.



⚠ SECTION C–C

SCALE: 1" = 5'



SECTION D–D (NOT PART OF WORK ORDER)

SCALE: 1"=10' (HORIZ.)
1"=5' (VERT.)

⚠

RECORD DRAWING

File Path:	E:\MWA\WORK\2003\MA\	Plot Date:	11-07-2003
File Name:	30444D.DWG	Plot Time:	1:12 pm

SURVEY INFORMATION

NO.	BY	DATE
30442	JMA	09/03

FIELD NOTES

BENCH MARKS

THE ACS STATION "HEAVEN" (TIED PRIOR TO 1999 PASEO DEL NORTE CONSTRUCTION) REPRESENTS THE "PROJECT DATUM". **PREVIOUS ELEV.= 5376.79 FEET (NGVD 1929).**

NOTE: THE ELEVATION OF ACS STATION "5-C20", AN ACS 1 3/4" ALUMINUM DISK EPOXIED TO THE TOP OF A STORM INLET AT THE N.W.E. CURB RETURN AT THE N.E. QUADRANT OF THE INTERSECTION OF VENTURA ST. AND ANAHEM AVE. BASED ON THE "PROJECT DATUM" **(5552.84 FEET (NGVD 1929).**

THE C.O.A. PUBLISHED ELEVATION FOR STA."5-C20" IS 5552.71 FEET (NGVD 1929) AND THEREFORE VARIES BY 0.13 FEET VERTICALLY FROM THE "PROJECT DATUM". FOR THE PURPOSES OF THIS PROJECT, USE "PROJECT DATUM" AS DESCRIBED ABOVE.

AS BUILT INFORMATION

		DATE
CONTRACTOR	J.R. Hale Contracting, Co.	
SURVEY BY	J.M.A.	1/12/04
INSPECTOR'S ACCEPTANCE BY	M.D.S. for Parsons	1/12/04
FIELD VERIFICATION BY	J.M.A.	3/17/04
DRAWING CORRECTED BY	J.M.A.	4/12/04

MICRO-FILM INFORMATION

RECORDED BY	DATE
NO.	

ENGINEER'S SEAL

J. DARLENE MEANS NEW MEXICO (3675) REGISTERED PROFESSIONAL ENGINEER 11/11/2003

G.M.

RECORDED DRAWING

NO.	DATE	REMARKS	BY
		Revisions	
		DESIGN	

		Date
Designed By	G.M	10/03
Drawn By	J.L.P	10/03
Checked By	G.M.	11/03

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

JMRA
JEFF MORTENSEN & ASSOCIATES, INC.
☐ 6010-B MIDWAY PARK BLVD. N.E.
☐ ALBUQUERQUE ☐ NEW MEXICO 87109
☐ ENGINEERS ☐ SURVEYORS (505) 345-4250
☐ FAX: 505 345-4254 ☐ Email: jmainc@swcp.com

2003.044.47

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

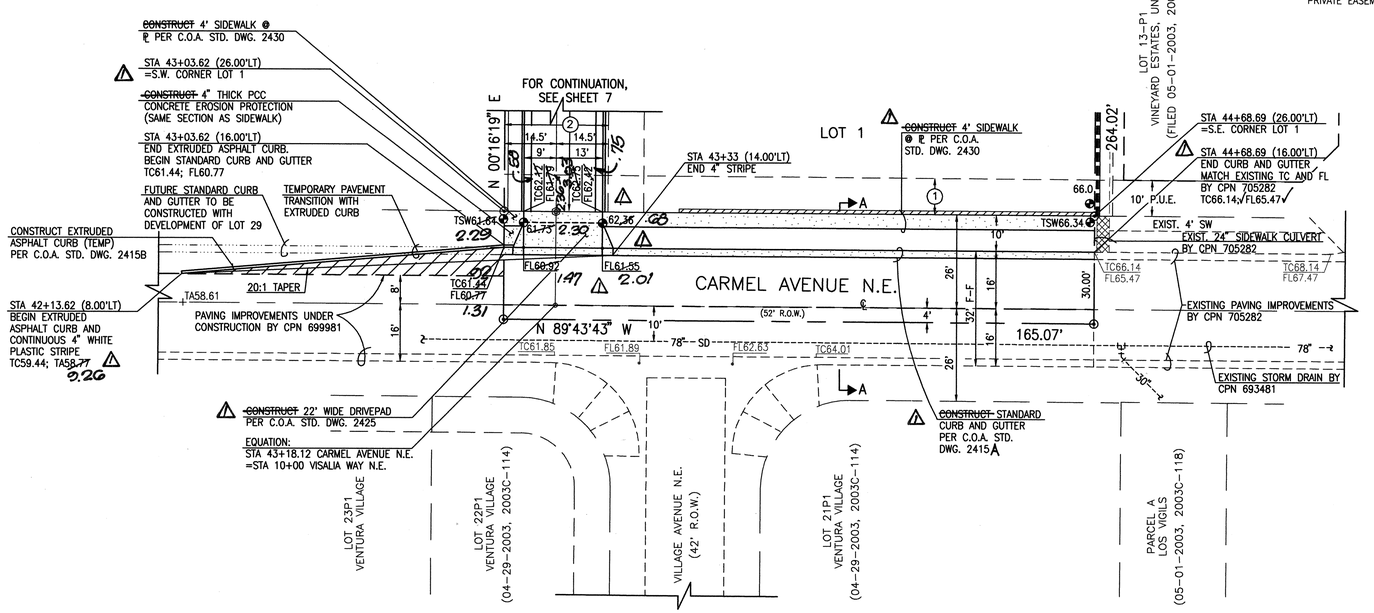
TITLE: VINEYARD ESTATES, UNIT IV–B
SECTIONS AND DETAILS

APPROVED Design Review Committee DEC – 3 2003 ~~CITY ENGINEER~~ Design Review Committee

City Engineer Approval

Last Design Update — Mo./Day/Yr. — Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet	Of
705283	C–20	5	8



KEYED NOTES

NEW EASEMENTS

1. 10' PUBLIC UTILITY EASEMENT
2. 29' PRIVATE ACCESS, PRIVATE STORM DRAINAGE, AND CITY OF ALBUQUERQUE PUBLIC WATERLINE AND PUBLIC SANITARY SEWER EASEMENTS SERVING LOTS 1, 2, 3 AND 4. MAINTENANCE OF THE PRIVATE EASEMENTS SHALL BE THE RESPONSIBILITY OF THE OWNERS OF LOTS 1, 2, 3 AND 4.

PAVING LEGEND

- GARDEN WALL
- MOUNTABLE CURB
- PROPOSED ASPHALT PAVEMENT
- PROPOSED TEMPORARY PAVEMENT
- PROPOSED CONCRETE

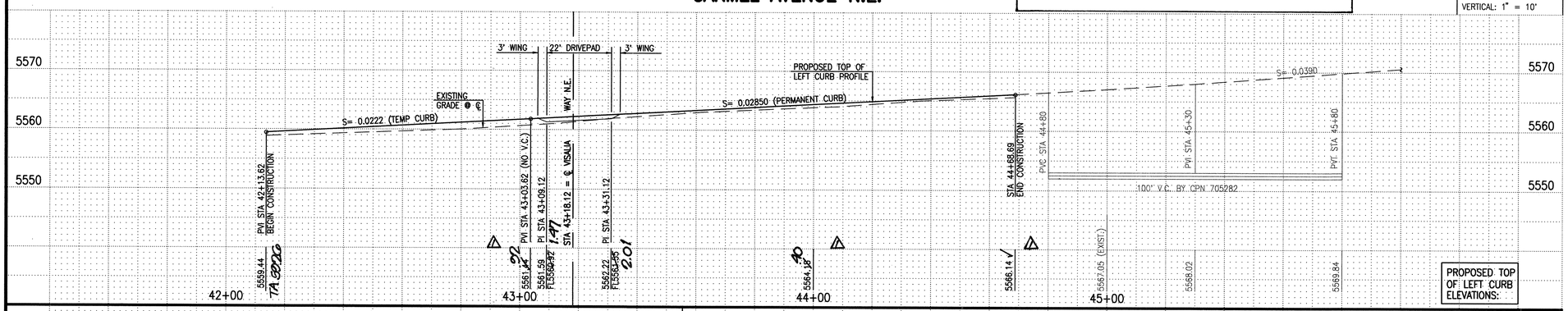
STREET PAVING IMPROVEMENTS:

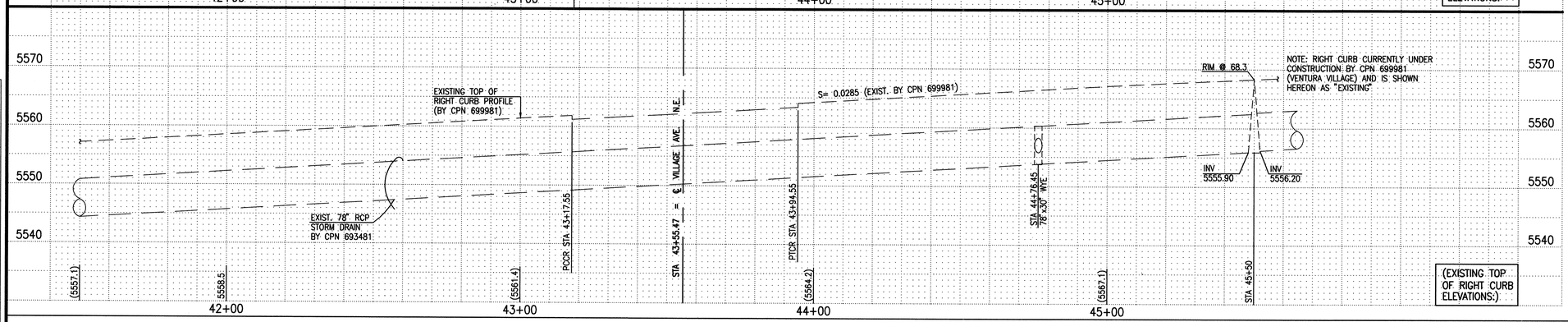
1. ALL SLOPES AS SHOWN ON PROFILES ARE BASED ON STREET CENTERLINE STATIONING EXCEPT CUL-DE-SACS AND EYEBROWS WHERE STATIONING IS ALONG FACE-OF-CURB.
2. WHERE REMOVAL OF EXISTING CURB AND GUTTER, SIDEWALK OR PAVEMENT IS REQUIRED, THE CONTRACTOR SHALL SAWCUT AND/OR REMOVE TO THE NEAREST JOINT. CURB AND GUTTER AND SIDEWALK SHOWN AS EXISTING AND NOT TO BE REMOVED UNDER THIS CONTRACT WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR PER C.O.A. STD. DWGS 2415 AND 2430, RESPECTIVELY, AT THE CONTRACTOR'S EXPENSE.
3. ALL DIMENSIONS OF CURB AND CURB RETURNS ARE SHOWN TO FACE-OF-CURB.
4. ALL WHEELCHAIR RAMPS MUST BE CONSTRUCTED UNDER THIS WORK ORDER.
5. ALL CURB AND GUTTER SHOWN HEREON SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD DRAWING 2415 UNLESS OTHERWISE NOTED.
6. UPON COMPLETION OF CONSTRUCTION, THE CITY OF ALBUQUERQUE WILL PROVIDE AND INSTALL ALL STREET SIGNS.
7. STRIPING BY CONTRACTOR WILL BE REQUIRED PRIOR TO FINAL ACCEPTANCE.

CARMEL AVENUE N.E.

RECORD DRAWING

SCALE:
HORIZONTAL: 1" = 20'
VERTICAL: 1" = 10'





ELEVATIONS ARE IN NGVD 1929

SCANNED BY MESA REPRO

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File Name:	30444P2.DWG	Plot Time:	1:14 pm

AS BUILT INFORMATION

CONTRACTOR: J.R. Hale Contracting Co. DATE: 1/2004
WORK STAKED BY: J.M.A. DATE: 1/2004
INSPECTORS ACCEPTANCE BY: M.D.S. DATE: 1/2004
VERIFICATION BY: J.M.A. DATE: 3/2004
DRAWINGS CORRECTED BY: J.M.A. DATE: 4/2004
MICRO-FILM INFORMATION
REORDERED BY: DATE
NO.

BENCH MARKS

THE ACS STATION "HEAVEY" (TIED PRIOR TO 1999 PASEO DEL NORTE CONSTRUCTION) REPRESENTS THE "PROJECT DATUM" PREVIOUS ELEV.= 5578.79 FEET (NGVD 1929). NOTE: THE ELEVATION OF ACS STATION "5-C20", AN ACS 1 3/4" ALUMINUM DISK EPOXIED TO THE TOP OF A STORM INLET AT THE N.E. QUADRANT OF THE INTERSECTION OF VENTURA ST. AND ANAHEM AVE. BASED ON THE "PROJECT DATUM" (5552.84 FEET (NGVD 1929). THE C.O.A. PUBLISHED ELEVATION FOR STA "5-C20" IS 5552.71 FEET (NGVD 1929) AND THEREFORE VARIES BY 0.13 FEET VERTICALLY FROM THE "PROJECT DATUM". FOR THE PURPOSES OF THIS PROJECT, USE "PROJECT DATUM" AS DESCRIBED ABOVE.

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE
20452	JMA	09/02

ENGINEER'S SEAL

J. GRAEME MEANS NEW MEXICO 13676 REGISTERED PROFESSIONAL ENGINEER
11/11/2003

G.M.

NO.	DATE	REMARKS	BY
1	4/2004	RECORD DRAWING	G.M.

Revisions

DESIGN

		Date
Designed By	G.M.	10/03
Drawn By	JLP	10/03
Checked By	G.M.	11/03

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

JEFF MORTENSEN & ASSOCIATES, INC.
☐ 6010-B MIDWAY PARK BLVD. N.E.
☐ ALBUQUERQUE ☐ NEW MEXICO 87109
☐ ENGINEERS ☐ SURVEYORS (505) 345-4250
☐ FAX: 505 345-4254 ☐ E mail: jmainc@swcp.com

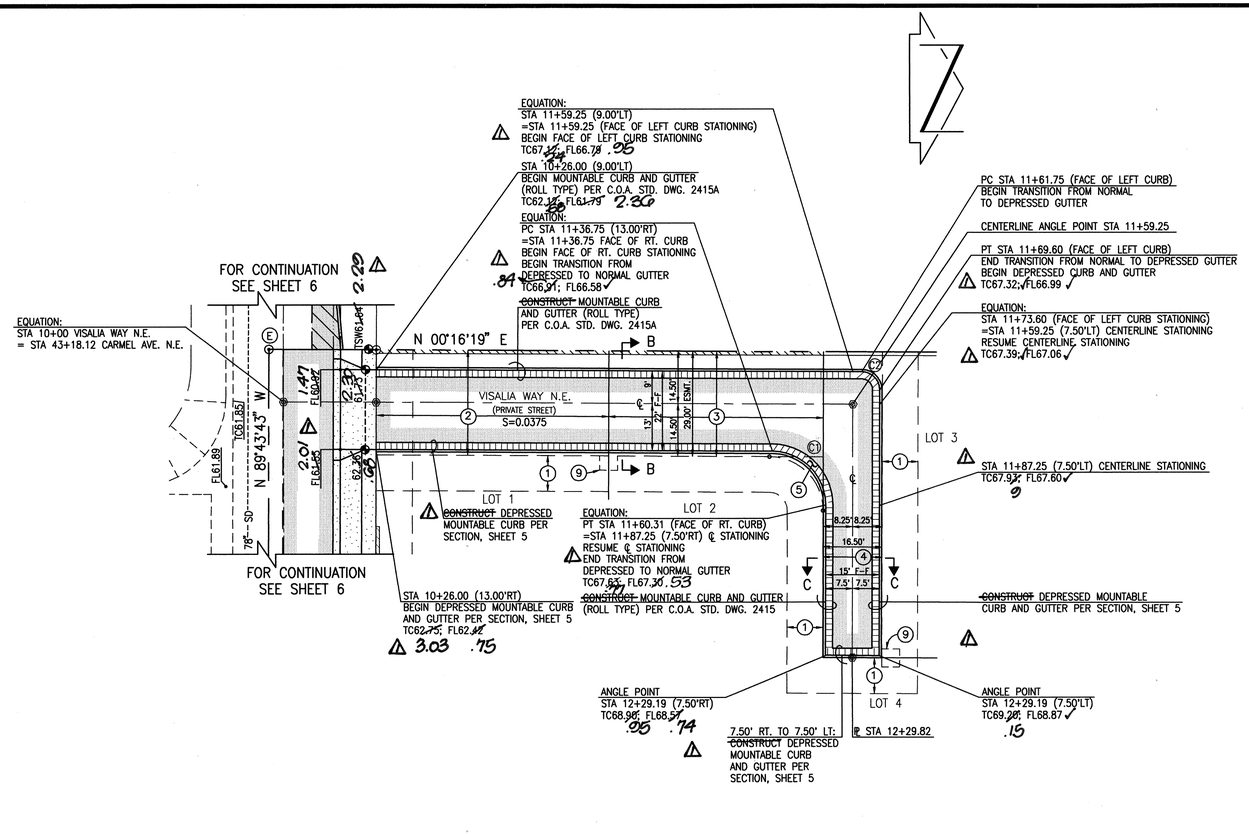
2003.044.47

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VINEYARD ESTATES, UNIT IV-B
PAVING IMPROVEMENTS PLAN AND PROFILE
CARMEL AVENUE N.E.

Design Review Committee: APPROVED DEC - 3 2003 Design Review Committee
City Engineer Approval
Last Design Update: Mo./Day/Yr. Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet	Of
705283	C-20	6	8



SCANNED BY
MESA REPRO

KEYED NOTES

NEW EASEMENTS

1. 10' PUBLIC UTILITY EASEMENT
2. 29' PRIVATE ACCESS, PRIVATE STORM DRAINAGE, AND CITY OF ALBUQUERQUE PUBLIC WATERLINE AND PUBLIC SANITARY SEWER EASEMENTS SERVING LOTS 1, 2, 3 AND 4. MAINTENANCE OF THE PRIVATE EASEMENTS SHALL BE THE RESPONSIBILITY OF THE OWNERS OF LOTS 1, 2, 3 AND 4.
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5. PRIVATE ACCESS AND PRIVATE STORM DRAINAGE EASEMENT SERVING LOTS 3 AND 4. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS OF LOTS 2, 3 AND 4.
9. PUBLIC CITY OF ALBUQUERQUE WATER METER EASEMENT

STREET PAVING IMPROVEMENTS:

1. ALL SLOPES AS SHOWN ON PROFILES ARE BASED ON STREET CENTERLINE STATIONING EXCEPT CUL-DE-SACS AND EYEBROWS WHERE STATIONING IS ALONG FACE-OF-CURB.
2. WHERE REMOVAL OF EXISTING CURB AND GUTTER, SIDEWALK OR PAVEMENT IS REQUIRED, THE CONTRACTOR SHALL SAWCUT AND/OR REMOVE TO THE NEAREST JOINT. CURB AND GUTTER AND SIDEWALK SHOWN AS EXISTING AND NOT TO BE REMOVED UNDER THIS CONTRACT WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR PER C.O.A. STD. DWGS 2415 AND 2430, RESPECTIVELY, AT THE CONTRACTOR'S EXPENSE.
3. ALL DIMENSIONS OF CURB AND CURB RETURNS ARE SHOWN TO FACE-OF-CURB.
4. ALL WHEELCHAIR RAMPS MUST BE CONSTRUCTED UNDER THIS WORK ORDER.
5. ALL CURB AND GUTTER SHOWN HEREON SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD DRAWING 2415 UNLESS OTHERWISE NOTED.
6. UPON COMPLETION OF CONSTRUCTION, THE CITY OF ALBUQUERQUE WILL PROVIDE AND INSTALL ALL STREET SIGNS.
7. STRIPING BY CONTRACTOR WILL BE REQUIRED PRIOR TO FINAL ACCEPTANCE.

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA
C1	15.00'	23.56'	89°59'58"
C2	5.00'	7.85'	89°59'58"

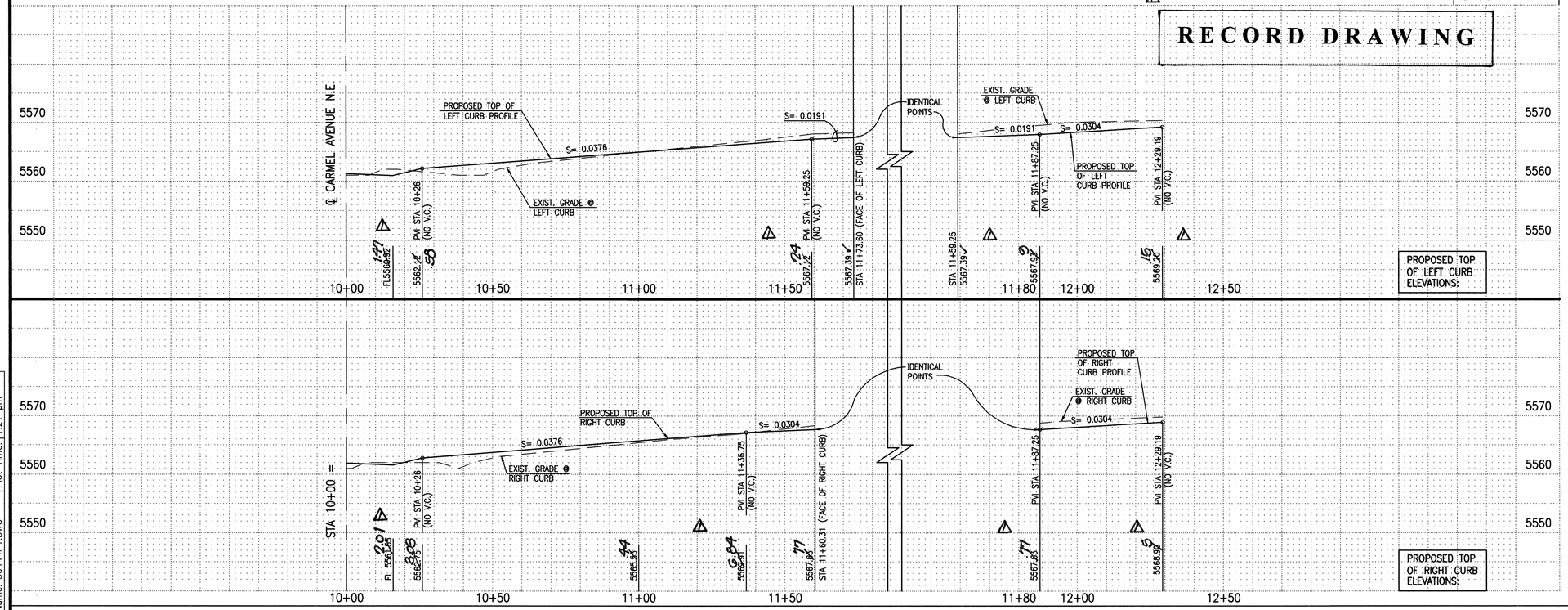
PAVING LEGEND

- GARDEN WALL
- MOUNTABLE CURB
- PROPOSED ASPHALT PAVEMENT
- PROPOSED TEMPORARY PAVEMENT
- PROPOSED CONCRETE

SCALE:
HORIZONTAL: 1" = 20'
VERTICAL: 1" = 10'

VISALIA WAY N.E. (PRIVATE STREET)

RECORD DRAWING



ELEVATIONS ARE IN NGVD 1929

BENCH MARKS

THE ACS STATION "HEAVEN" (TIED PRIOR TO 1999 PASEO DEL NORTE CONSTRUCTION) REPRESENTS THE "PROJECT DATUM". PREVIOUS ELEV.= 5378.79 FEET (NGVD 1929). NOTE: THE ELEVATION OF ACS STATION "5-C20", AN ACS 1 3/4" ALUMINUM DISK EPOXIED TO THE TOP OF A STORM INLET AT THE N.W.E. CURB RETURN AT THE N.E. QUADRANT OF THE INTERSECTION OF VENTURA ST. AND ANAHEM AVE. BASED ON THE "PROJECT DATUM" (5552.84 FEET (NGVD 1929). THE C.O.A. PUBLISHED ELEVATION FOR STA "5-C20" IS 5552.71 FEET (NGVD 1929) AND THEREFORE VARIES BY 0.13 FEET VERTICALLY FROM THE "PROJECT DATUM". FOR THE PURPOSES OF THIS PROJECT, USE "PROJECT DATUM" AS DESCRIBED ABOVE.

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE
20452	JMA	09/02

AS BUILT INFORMATION

		DATE
CONTRACTOR	J.E. Hale Contracting Co.	1/2004
STAKED BY	J.M.A.	1/2004
INSPECTOR'S ACCEPTANCE BY	M.D.S. FOR EXISTENCE	1/2004
FIELD VERIFICATION BY	J.M.A.	3/2004
DRAWINGS CORRECTED BY	J.M.A.	4/2004

MICRO-FILM INFORMATION

RECORDED BY	
DATE	
NO.	

ENGINEER'S SEAL

L. GRAEME MEANS
NEW MEXICO
13676
REGISTERED PROFESSIONAL ENGINEER
11/11/2003

4/2004 RECORD DRAWING G.M.

NO.	DATE	REMARKS	BY
		Revisions	
		DESIGN	

		Date
Designed By	G.M.	10/03
Drawn By	JLP	10/03
Checked By	G.M.	11/03

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

JEFF MORTENSEN & ASSOCIATES, INC.
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ALBUQUERQUE NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250
FAX: 505 345-4254 E mail: jmainc@swcp.com

2003.044.A7

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VINEYARD ESTATES, UNIT IV-B
PAVING IMPROVEMENTS PLAN AND PROFILE
VISALIA WAY N.E.

Design Review Committee: APPROVED DEC - 3 2003 DESIGN REVIEW COMMITTEE

City Engineer Approval

Last Design Update: Mo./Day/Yr. Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet	Of
705283	C-20	7	8

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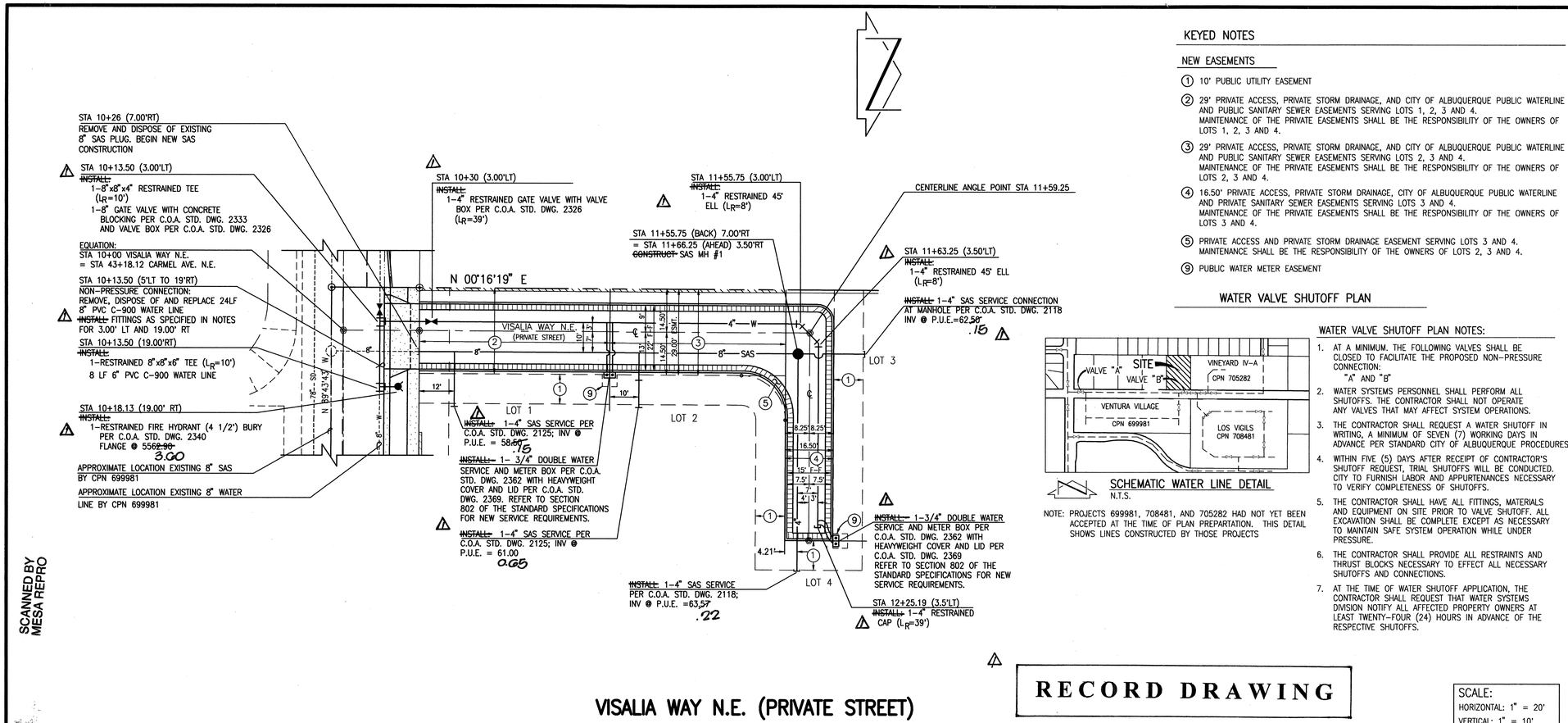
Plot Date: 11-07-2003
Plot Time: 1:21 pm



KEYED NOTES

NEW EASEMENTS

1. 10' PUBLIC UTILITY EASEMENT
2. 29' PRIVATE ACCESS, PRIVATE STORM DRAINAGE, AND CITY OF ALBUQUERQUE PUBLIC WATERLINE AND PUBLIC SANITARY SEWER EASEMENTS SERVING LOTS 1, 2, 3 AND 4. MAINTENANCE OF THE PRIVATE EASEMENTS SHALL BE THE RESPONSIBILITY OF THE OWNERS OF LOTS 1, 2, 3 AND 4.
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5. PRIVATE ACCESS AND PRIVATE STORM DRAINAGE EASEMENT SERVING LOTS 3 AND 4. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS OF LOTS 2, 3 AND 4.
9. PUBLIC WATER METER EASEMENT

WATER VALVE SHUTOFF PLAN

SCHEMATIC WATER LINE DETAIL
N.T.S.

NOTE: PROJECTS 699981, 708481, AND 705282 HAD NOT YET BEEN ACCEPTED AT THE TIME OF PLAN PREPARTATION. THIS DETAIL SHOWS LINES CONSTRUCTED BY THOSE PROJECTS

WATER VALVE SHUTOFF PLAN NOTES:

1. AT A MINIMUM. THE FOLLOWING VALVES SHALL BE CLOSED TO FACILITATE THE PROPOSED NON-PRESSURE CONNECTION:
   "A" AND "B"
2. WATER SYSTEMS PERSONNEL SHALL PERFORM ALL SHUTOFFS. THE CONTRACTOR SHALL NOT OPERATE ANY VALVES THAT MAY AFFECT SYSTEM OPERATIONS.
3. THE CONTRACTOR SHALL REQUEST A WATER SHUTOFF IN WRITING, A MINIMUM OF SEVEN (7) WORKING DAYS IN ADVANCE PER STANDARD CITY OF ALBUQUERQUE PROCEDURES.
4. WITHIN FIVE (5) DAYS AFTER RECEIPT OF CONTRACTOR'S SHUTOFF REQUEST, TRIAL SHUTOFFS WILL BE CONDUCTED. CITY TO FURNISH LABOR AND APPURTENANCES NECESSARY TO VERIFY COMPLETENESS OF SHUTOFFS.
5. THE CONTRACTOR SHALL HAVE ALL FITTINGS, MATERIALS AND EQUIPMENT ON SITE PRIOR TO VALVE SHUTOFF. ALL EXCAVATION SHALL BE COMPLETE EXCEPT AS NECESSARY TO MAINTAIN SAFE SYSTEM OPERATION WHILE UNDER PRESSURE.
6. THE CONTRACTOR SHALL PROVIDE ALL RESTRAINTS AND THRUST BLOCKS NECESSARY TO EFFECT ALL NECESSARY SHUTOFFS AND CONNECTIONS.
7. AT THE TIME OF WATER SHUTOFF APPLICATION, THE CONTRACTOR SHALL REQUEST THAT WATER SYSTEMS DIVISION NOTIFY ALL AFFECTED PROPERTY OWNERS AT LEAST TWENTY-FOUR (24) HOURS IN ADVANCE OF THE RESPECTIVE SHUTOFFS.

WATER LINE CONSTRUCTION NOTES:

1. ALL STATIONING IS BASED ON STREET CENTERLINE UNLESS INDICATED OTHERWISE.
2. FOR ALL LINES 12" AND SMALLER, WATER MAIN SHALL BE PVC C-900 PIPE OR AS APPROVED BY THE CITY OF ALBUQUERQUE CITY ENGINEER. DUCTILE IRON IS AN ACCEPTABLE PIPE MATERIAL IN LIEU OF PVC.
3. FOR ALL LINES 14" AND LARGER, WATER MAIN SHALL BE DUCTILE IRON OR PVC C-905 OR AS APPROVED BY THE CITY OF ALBUQUERQUE CITY ENGINEER. CONCRETE CYLINDER IS AN ACCEPTABLE PIPE MATERIAL IN LIEU OF DUCTILE IRON.
4. WATER LINE SHALL HAVE A MINIMUM COVER OF 3'-0" (FINISHED GRADE TO TOP OF PIPE). EXTRA DEPTH TRENCHING, IF REQUIRED, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
5. ELECTRONIC MARKER DISCS (EMD) SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD SPECIFICATION.
6. IN ACCORDANCE WITH SECTION 801 OF THE "STANDARD SPECIFICATIONS", METALIZED DETECTABLE WARNING TAPE SHALL BE INSTALLED 18" ABOVE ALL PVC PIPE INSTALLED ON THIS PROJECT.
7. VALVE STEM AND FIRE HYDRANT EXTENSIONS SHALL BE PROVIDED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS. THE COST OF EACH EXTENSION SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION THEREFORE NO SEPARATE PAYMENT WILL BE MADE.
8. JOINT RESTRAINT SHALL BE CONSIDERED INCIDENTAL TO WATER LINE CONSTRUCTION THEREFORE NO SEPARATE PAYMENT WILL BE MADE.
9. JOINT RESTRAINT SHALL BE PROVIDED ON ALL JOINTS OF FIRE HYDRANT LEGS FROM TEE TO FIRE HYDRANT INCLUDING THE TEE AND FIRE HYDRANT.
10. FOR THE PURPOSES OF THIS PROJECT, ALL RESTRAINED JOINTS AND JOINT RESTRAINT SHALL BE MECHANICALLY RESTRAINED. JOINT RESTRAINT LENGTHS SPECIFIED HEREON ARE THE LENGTHS TO BE RESTRAINED EACH SIDE OF THE FITTING.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND INSTALL PIPE SO AS TO NOT EXCEED RIGHT-OF-WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND REPLACING, IF DAMAGED, ALL OTHER UTILITIES ENCOUNTERED DURING CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
13. WHERE WATER AND SANITARY SEWER LINES CROSS, THE SANITARY SEWER LINE SHALL BE INSTALLED AS PRESSURE PIPE BETWEEN MANHOLES IF 18 INCHES OF VERTICAL SEPARATION DOES NOT EXIST.
14. ALL FIRE HYDRANTS SHALL BE SECURELY WRAPPED IN BLACK PLASTIC UNTIL SUCH TIME AS THE NEW WATER LINE IS PUT INTO SERVICE BY WATER SYSTEM DIVISION PERSONNEL.

SANITARY SEWER CONSTRUCTION NOTES:

1. ALL STATIONING IS BASED ON STREET CENTERLINE UNLESS INDICATED OTHERWISE.
2. ALL SEWER PIPE SHALL BE PVC (SDR-35).
3. SLOPES SHOWN ON THE PROFILES ARE BASED ON TRUE DISTANCES.
4. SEWER SERVICE LATERALS SHALL BE PROVIDED WITH ELECTRONIC MARKER DISCS (EMD) AS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2125. EMD SHALL BE PROVIDED IN ACCORDANCE WITH THE STANDARD SPECIFICATION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND INSTALL PIPE SO AS TO NOT EXCEED RIGHT-OF-WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
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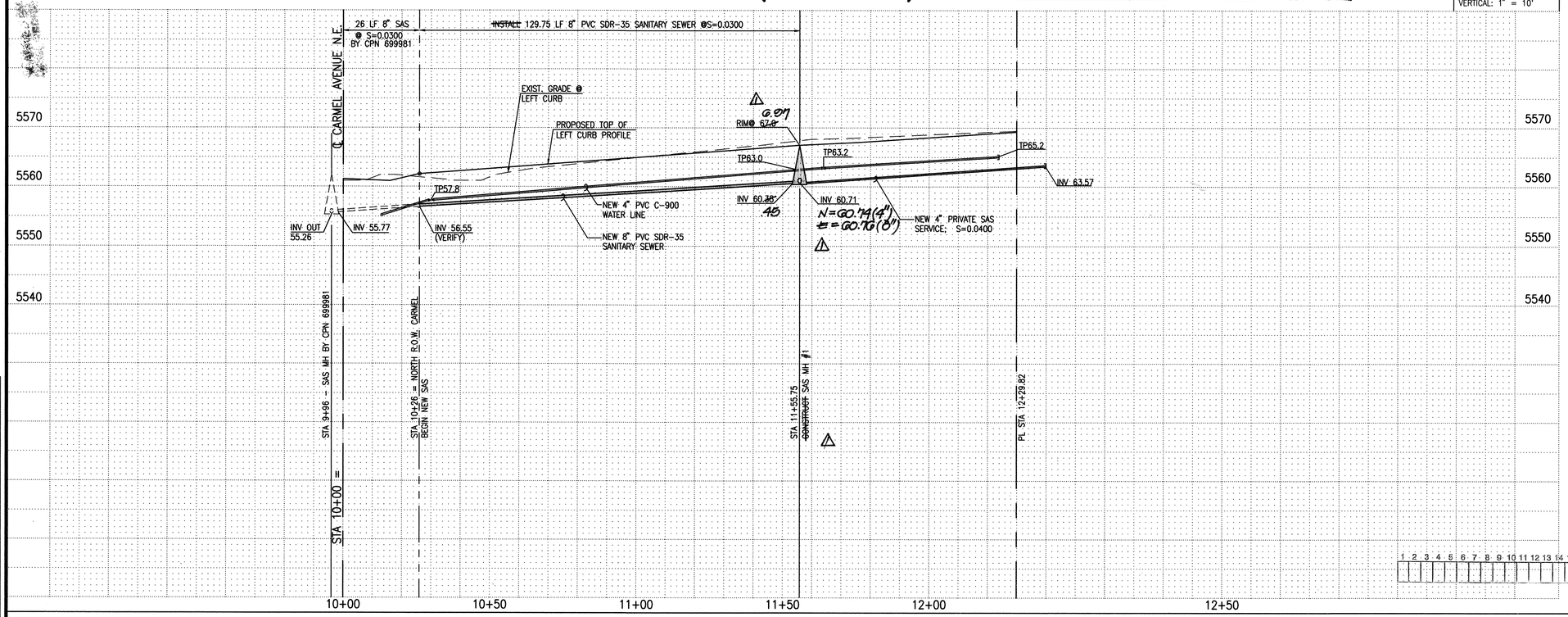
7. WHERE WATER AND SANITARY SEWER LINES CROSS, THE SANITARY SEWER LINE SHALL BE INSTALLED AS PRESSURE PIPE BETWEEN MANHOLES IF 18 INCHES OF VERTICAL SEPARATION DOES NOT EXIST.
8. ALL SANITARY SEWER MANHOLES SHALL BE 4' DIAMETER TYPE "C" MANHOLES PER C.O.A. STD. DWG. 2101 UNLESS OTHERWISE NOTED.

SCANNED BY MESA REPRO

RECORD DRAWING

SCALE:
HORIZONTAL: 1" = 20'
VERTICAL: 1" = 10'

VISALIA WAY N.E. (PRIVATE STREET)



ELEVATIONS ARE IN NGVD 1929

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File Name:	30444PTG.DWG	Plot Time:	1:45 pm

AS BUILT INFORMATION
CONTRACTOR J.R. Hale Contracting Co. DATE 1/04
WORK STAKED BY J.M.A. DATE
INSPECTOR'S ACCEPTANCE BY M.D.S. DATE 3/12/04
FIELD VERIFICATION BY J.M.A. DATE 4/12/04
DRAWINGS CORRECTED BY J.M.A. DATE
MICRO-FILM INFORMATION
RECORDED BY DATE
NO.

BENCH MARKS
THE ACS STATION "HEAVEN" (TIED PRIOR TO 1999 PASEO DEL NORTE CONSTRUCTION) REPRESENTS THE "PROJECT DATUM". PREVIOUS ELEV.= 5378.79 FEET (NGVD 1929). NOTE: THE ELEVATION OF ACS STATION "5-C20", AN ACS 1 3/4" ALUMINUM DISK EPOXIED TO THE TOP OF A STORM INLET AT THE N.E. CURB RETURN AT THE N.E. QUADRANT OF THE INTERSECTION OF VENTURA ST. AND ANAHEM AVE. BASED ON THE "PROJECT DATUM" (5555.84 FEET (NGVD 1929)). THE C.O.A. PUBLISHED ELEVATION FOR STA. "5-C20" IS 5552.71 FEET (NGVD 1929) AND THEREFORE, VARIES BY 0.13 FEET VERTICALLY FROM THE "PROJECT DATUM", FOR THE PURPOSES OF THIS PROJECT, USE "PROJECT DATUM" AS DESCRIBED ABOVE.

SURVEY INFORMATION

NO.	FIELD NOTES	BY	DATE
20452		JMA	09/02

ENGINEER'S SEAL
J. GRAEME MEANS NEW MEXICO 13676 PROFESSIONAL ENGINEER REGISTERED 11/7/2003

G.M.

NO.	DATE	REMARKS	BY
1	4/12/04	RECORD DRAWING	G.M.

Revisions

DESIGN		
Designed By	G.M.	Date 10/03
Drawn By	JLP	Date 10/03
Checked By	G.M.	Date 11/03

jma
JEFF MORTENSEN & ASSOCIATES, INC.
☐ 6010-B MIDWAY PARK BLVD. N.E.
☐ ALBUQUERQUE ☐ NEW MEXICO 87109
☐ ENGINEERS ☐ SURVEYORS (505) 345-4250
☐ FAX: 505 345-4254 ☐ E mail: jmainc@swcp.com

2003.044.47

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VINEYARD ESTATES, UNIT IV-B
WATER AND SANITARY SEWER IMPROVEMENTS PLAN AND PROFILE
VISALIA WAY N.E.

Design Review Committee: APPROVED DEC - 3 2003 DESIGN REVIEW COMMITTEE
City Engineer Approval
Last Design Update: Mo./Day/Yr. Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet	Of
705283	C-20	8	8

SCANNED BY PLANNING

24-705 21.1831-2001 12

KEYED NOTES

NEW EASEMENTS (TO BE GRANTED BY PLAT)

1. 10' PUBLIC UTILITY EASEMENT.
2. 29' PRIVATE ACCESS, PRIVATE STORM DRAINAGE, AND CITY OF ALBUQUERQUE PUBLIC WATER LINE AND PUBLIC SANITARY SEWER EASEMENTS SERVING LOTS 1, 2, 3 AND 4. MAINTENANCE OF THE PRIVATE EASEMENTS SHALL BE THE RESPONSIBILITY OF THE OWNERS OF LOTS 1, 2, 3 AND 4.
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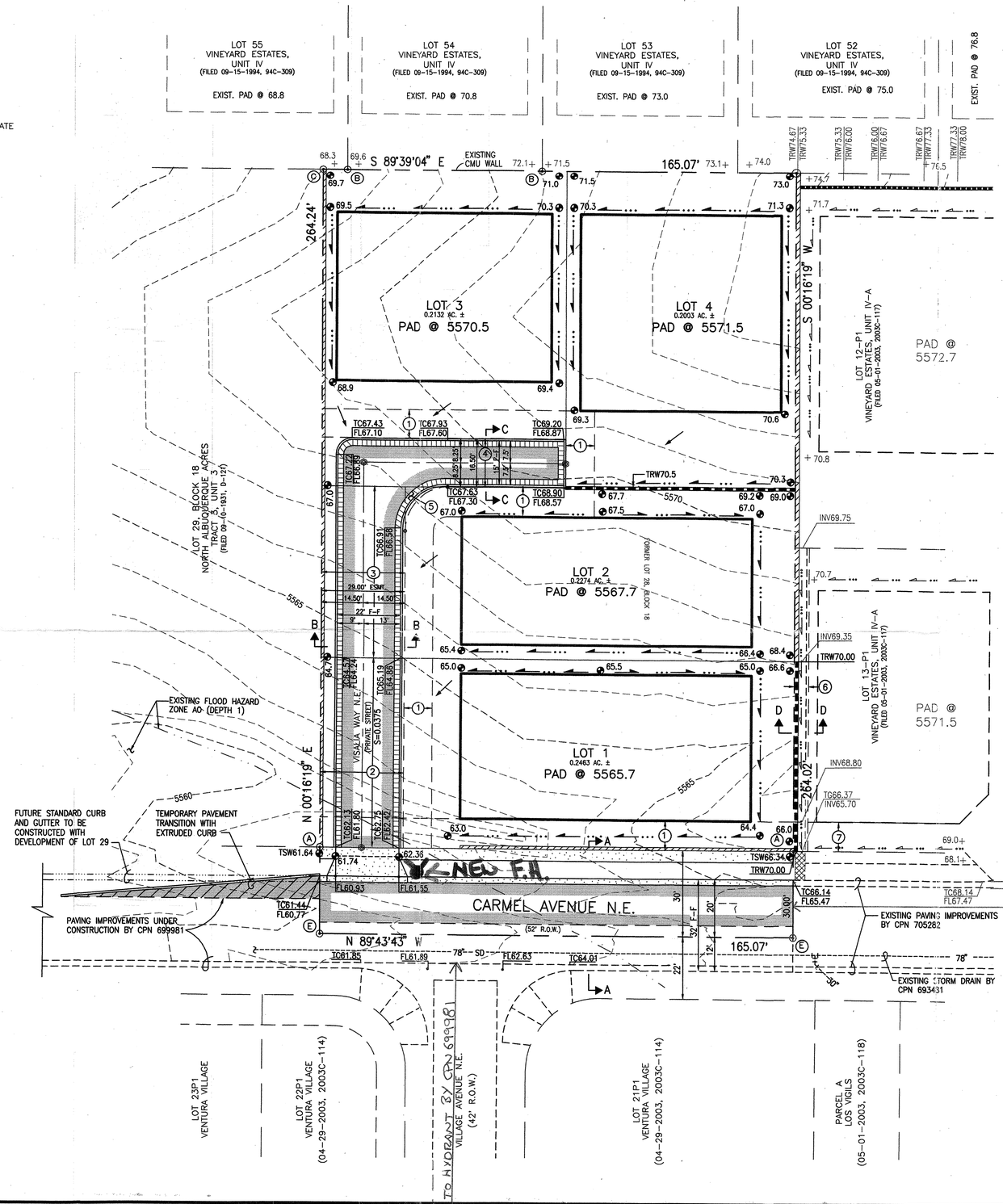
4. 16.50' PRIVATE ACCESS, PRIVATE STORM DRAINAGE, PRIVATE WATER LINE AND PRIVATE SANITARY SEWER EASEMENTS SERVING LOT 4. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS OF LOTS 3 AND 4.
5. PRIVATE ACCESS AND PRIVATE STORM DRAINAGE EASEMENT SERVING LOTS 3 AND 4. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS OF LOTS 2, 3 AND 4.

EXISTING EASEMENTS – OFFSITE

6. 5' PRIVATE DRAINAGE EASEMENT GRANTED BY PLAT 2003C-117
7. 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2003C-117

MONUMENTS

- (A) #5 REBAR, NO I.D., TAGGED W/WASHER STAMPED "NMPS 11184"
- (B) #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- (C) #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- (D) P.K. NAIL W/WASHER STAMPED "NMPS 11184"
- (E) CALCULATED POSITION, NO POINT SET.



SCALE: 1" = 20'

20' 0 40'
10' 20'

PROJECT BENCHMARK

ACS STATION "HEAVEN" (TIED TO PASEO DEL NORTE ROADWAY CONSTRUCTION IN 1999)
PREVIOUS ELEVATION = 5378.79 FEET (NGVD 1929)

THIS BENCHMARK HAS BEEN USED TO PROVIDE UNIFORMITY BETWEEN THIS SURVEY AND THE PREVIOUS SURVEYS CONDUCTED FOR RELATED NORTH DOMINGO BACA ARROYO PROJECTS.

THE ELEVATION FOR ACS STATION "5-C20", AN ACS 1 3/4" ALUMINUM DISK STAMPED "ACS BM, 5-C20", EPOXIED TO THE TOP OF THE CONCRETE DROP INLET, AT THE NNE CURB RETURN IN THE NORTHEAST QUADRANT OF THE INTERSECTION OF VENTURA STREET AND ANAHEIM AVENUE N.E., BASED UPON THIS DATUM IS 5552.84 FEET (NGVD 1929). THE C.O.A. PUBLISHED ELEVATION IS 5552.71 FEET (NGVD 1929)

LEGEND

	EXISTING CONTOUR
+ 74.0	EXISTING SPOT ELEVATION
75.55	PROPOSED SPOT ELEVATION
	EXISTING FLOWLINE
	PROPOSED FLOWLINE
	DIRECTION OF FLOW
	EXISTING RETAINING WALL
	PROPOSED RETAINING WALL
	GARDEN WALL
	MOUNTABLE CURB
TC	TOP OF CURB
FL	FLOWLINE
INV	INVERT
TRW	TOP OF RETAINING WALL
TG	TOP OF GRATE
	PROPOSED ASPHALT PAVEMENT
	PROPOSED TEMPORARY PAVEMENT

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR INFORMATION ONLY. BOUNDARY DATA IS TAKEN FROM THE PRELIMINARY PLAT FOR THIS PROJECT PREPARED BY THIS OFFICE. EXISTING TOPOGRAPHY SHOWN HEREON IS FROM A TOPOGRAPHIC SURVEY CONDUCTED BY THIS OFFICE 09/02/03. IMPROVEMENTS AND GRADES FOR VINEYARD ESTATES UNIT IV-A AND FOR VENTURA VILLAGE ARE TAKEN FROM THE APPROVED PLANS FOR THESE PROJECTS, CPN'S 705282 AND 699981, RESPECTIVELY, AND SHOWN AS EXISTING (CONSTRUCTION CURRENTLY IN PROGRESS).

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
SIGNATURE & DATE

J. GRAEME MEANS NEW MEXICO 13676 REGISTERED PROFESSIONAL ENGINEER
08/28/2003

CPN# 705283

File Path:	E:\MWA\WORK\2003\44.3
File Name:	2044.3GP.DWG
Plot Date:	08-28-2003
Plot Time:	09:10 am

JEFF MORTENSEN & ASSOCIATES, INC.
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ALBUQUERQUE NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250
FAX: 505 345-4254 Email: jmainc@swcp.com

GRADING PLAN
VINEYARD ESTATES, UNIT IV-B

DESIGNED BY G.M.
DRAWN BY S.G.H.
APPROVED BY G.M.

NO.	DATE	BY	REVISIONS

JOB NO. 2003.044.3
DATE 08-2003
SHEET 2 OF 3