CONSTRUCTION PLANS

FOR

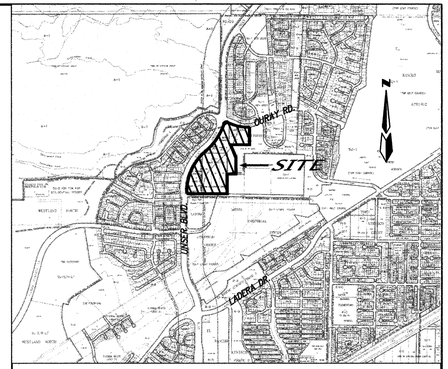
WEST RIDGE SUBIDIVISION

UNIT 2

ALBUQUERQUE, NEW MEXICO

SCANNED BY
MESA REPRO

F:\AQ2JOBS\A2031WRD\PLANS\UNIT2\A2031COVER.dwg Fri Mar 28 11:26:30 2003 D. MARK GOODWIN & ASSOCIATES; PLITED BY: ACH



VICINITY MAP — ZONE ATLAS H-9 & H-10

SCALE: NONE

GENERAL NOTES

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #6.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. FIVE (5) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
6. ALL WORK AFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
7. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
8. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT TO COVER THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.

   CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAVE BEEN RECORDED.
10. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
11. CONTRACTOR SHALL COORDINATE WITH THE CITY OF ALBUQUERQUE WATER SYSTEMS DIVISION (857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER OR SEWER UTILITIES. EXISTING VALVES TO BE OPERATED BY CITY PERSONNEL ONLY. CONTRACTOR SHALL CONTACT THE WATER SYSTEMS DIVISION SEVEN (7) WORKING DAYS PRIOR TO NEEDING VALVES TURNED ON OR OFF.
12. FOR STORM DRAIN CONSTRUCTION, RCP JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.
13. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- [x] ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- [x] BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- [ ] TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE ENGINEER.
- [x] SIDEWALK AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- [ ] IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- [x] ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P. O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

INDEX TO DRAWINGS

SHEET NO.	SHEET
1	COVER SHEET
2-5	PLAT
6-7	GRADING AND DRAINAGE PLAN
8	MASTER PAVING PLAN
9	AUSTIN AVE. PAVING
10	WOODHILL DR. & BIXBY ST. PAVING
11	KYLE RD. & WEXFORD ST. PAVING
12	ANGEL DR. PAVING
13	UTILITY MASTER PLAN
14	AUSTIN AVE. UTILITY
15	WOODHILL DR. & BIXBY ST. UTILITY
16	KYLE RD. & WEXFORD ST. UTILITY
17	ANGEL DR. UTILITY
18	WATER DETAILS

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY CONSTRUCTION ENGINEER
DATE: 2/7/03

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26 70 82 . 82 05

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, James D. Hughes, NMPE 11674, of the firm Mark Goodwin & Associates, PA, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 7719.

12-14-00

JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the 'as-built' information shown on these drawings was obtained from field construction and 'as-built' surveys performed by me or under my supervision, that the 'as-built' information shown on these drawings was added by me or under my supervision, and that this 'as-built' information is true and correct to the best of my knowledge and belief." Aldrich Land Surveying is not responsible for any of the design concepts, calculations, engineering, or intent of the record drawings.

Timothy Aldrich, N.M.P.S. No. 7719 — Date 05-12-04

7719 NEW MEXICO LICENSED LAND SURVEYOR

DRB NO. 1001932

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
1	8, 9, 10, 13, 14, 15		1-28-04		1-8-04		

ENGINEERS STAMP & SIGNATURE

JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER
4-1-03

APPROVALS	ENGINEER	DATE
DRC CHAIRMAN		5-13-03
TRANSPORTATION		4/22/03
WATER/WASTEWATER		4/22/03
HYDROLOGY		4/22/03
CIP		
CONSTR. MNGMT.		
CONSTR. COORD.		5-13-03

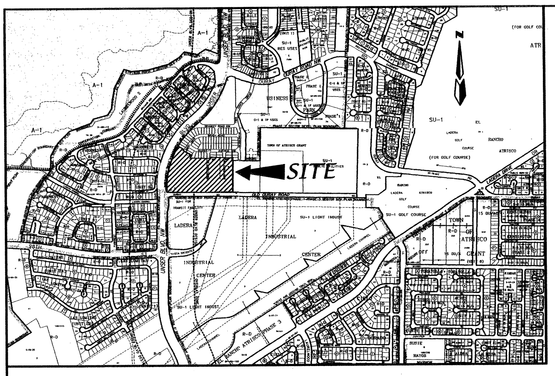
APPROVED FOR CONSTRUCTION

12.16.03
CITY ENGINEER DATE

CITY PROJECT NO. 708282

SHEET 1 OF 18 21

HAB



LOCATION MAP

ZONE ATLAS G-9, G-10, H-9 & H-10

SCALE: NONE

SUBDIVISION DATA

Plat Case No's. ..... DRB Project No. 1001932
Case No.'s 02DRB-01578, 02DRB-01579
02DRB-01580, 02DRB-01581
03DRB-00220, 03DRB-00353

Gross Acreage ..... 13.4549 AC.
Zone Atlas No. ..... G-9, G-10, H-9, & H-10
No. of existing Tracts/Lots ..... 1 Tract
No. of Tracts/Lots created ..... 100 Lots
No. of Tracts/Lots eliminated ..... 1 Tract
Miles of full width streets created 0.57
Area dedicated to the City of Albuquerque ..... 3.0375 AC.
Date of Survey ..... JUNE 2002
Utility Control Location System Log Number 2002240820
Zoning SU-1/RD

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

OWNER: KB HOME New Mexico, Inc., a New Mexico Corporation
BY: Greg Breedlove, Vice-President of Land Development

Greg Breedlove — 3/21/03 DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
SS
COUNTY OF BERNALILLO

This instrument was acknowledged before me on _____
By Greg Breedlove, Vice-President of Land Development for KB HOMES New Mexico, Inc.,
A New Mexico Corporation on behalf of said corporation

NOTARY PUBLIC — MY COMMISSION EXPIRES

LEGAL DESCRIPTION (SEE SHEET 2)

NOTES: (SEE SHEET 2)

PURPOSE OF PLAT

1. Subdivide one existing tract into 100 Residential Lots.
2. Grant easements as shown hereon.
3. Dedicate right-of-way as shown hereon.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance,and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilites reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate. Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

PLAT FOR
WEST RIDGE SUBDIVISION
UNIT 2

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2003

SCANNED BY MESA REPRO

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

DRB Project No. 1001932

Application No. _____

Planning Director, City of Albuquerque, N.M. — Date

City Engineer, City of Albuquerque, N.M. — Date

Albuquerque Metropolitan Arroyo Flood Control Authority — Date

Transportation Development, City of Albuquerque, N.M. — Date

Utility Development Division, City of Albuquerque, N.M. — Date

Parks and Recreation — Date

City Surveyor, City of Albuquerque, N.M. — Date

Property Management, City of Albuquerque, N.M. — Date

PNM Gas — Date

PNM Electric — Date

Qwest Telecommunications — Date

Comcast Cable — Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich P.S. No. 7719 — Date

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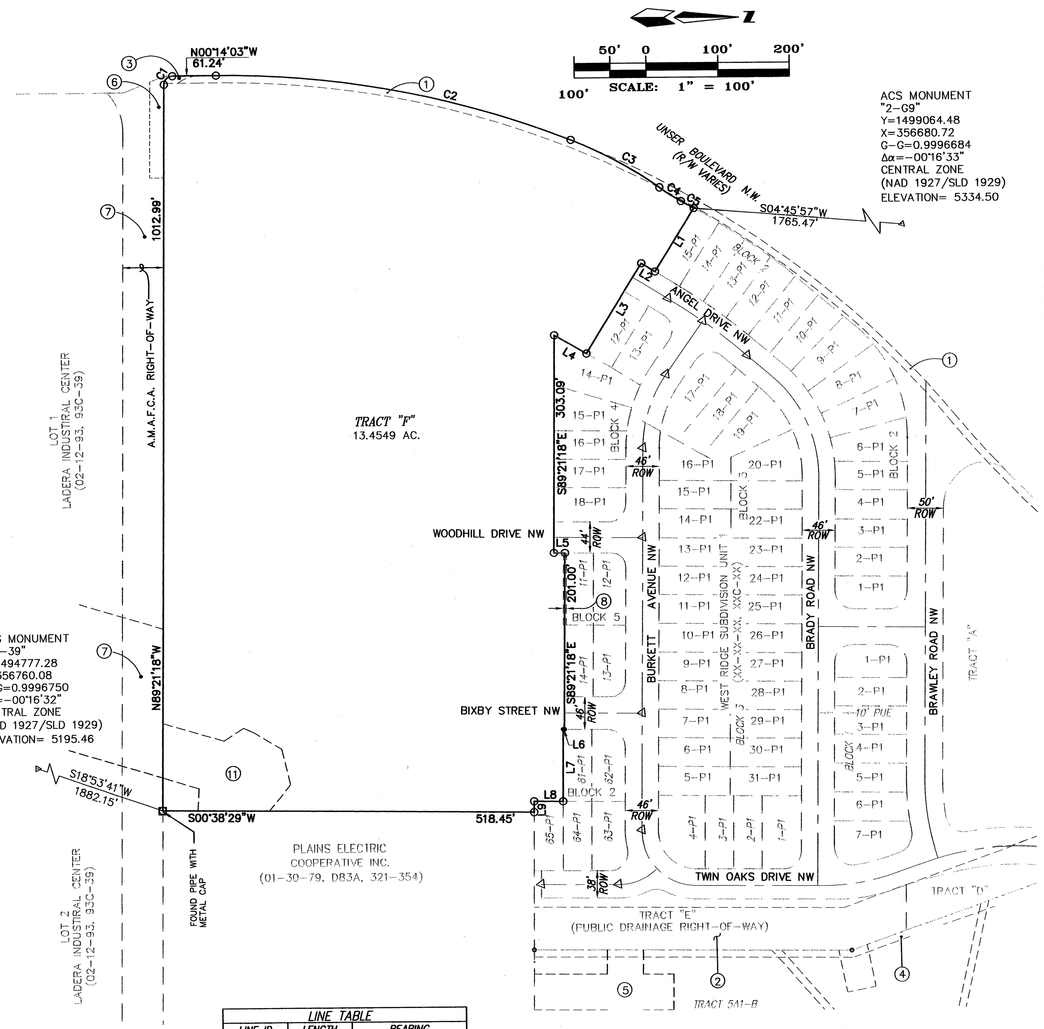
Scale: N/A	Date: 03/21/03	Job: A02031	



LINE TABLE		
LINE ID	LENGTH	BEARING
L1	104.54	S58°18'48"E
L2	22.41	N31°41'12"E
L3	147.17	N58°18'48"W
L4	51.44	N30°00'20"E
L5	15.00	N00°38'42"E
L6	1.55	S00°38'42"W
L7	100.00	N89°21'18"W
L8	40.00	N00°38'42"E
L9	15.00	N89°21'18"W

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C1	12.00	18.67	89°07'15"	11.82	S44°47'40"E	16.84
C2	1322.00	504.75	21°52'34"	255.49	S10°42'14"W	501.69
C3	577.00	140.36	13°56'16"	70.53	S28°35'46"W	140.01
C4	323.00	35.50	6°17'50"	17.77	N32°24'59"E	35.48
C5	1310.00	20.55	0°53'56"	10.28	S29°43'02"W	20.55

PLAT FOR
WEST RIDGE SUBDIVISION
UNIT 2

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2003

LEGAL DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 9 and 10, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT "F", WEST RIDGE SUBDIVISION UNIT 1 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on _____, 2003 in Book 2003C, Page ____ and containing 13.4549 acres more or less.

NOTES:

1. Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plats of record entitled:

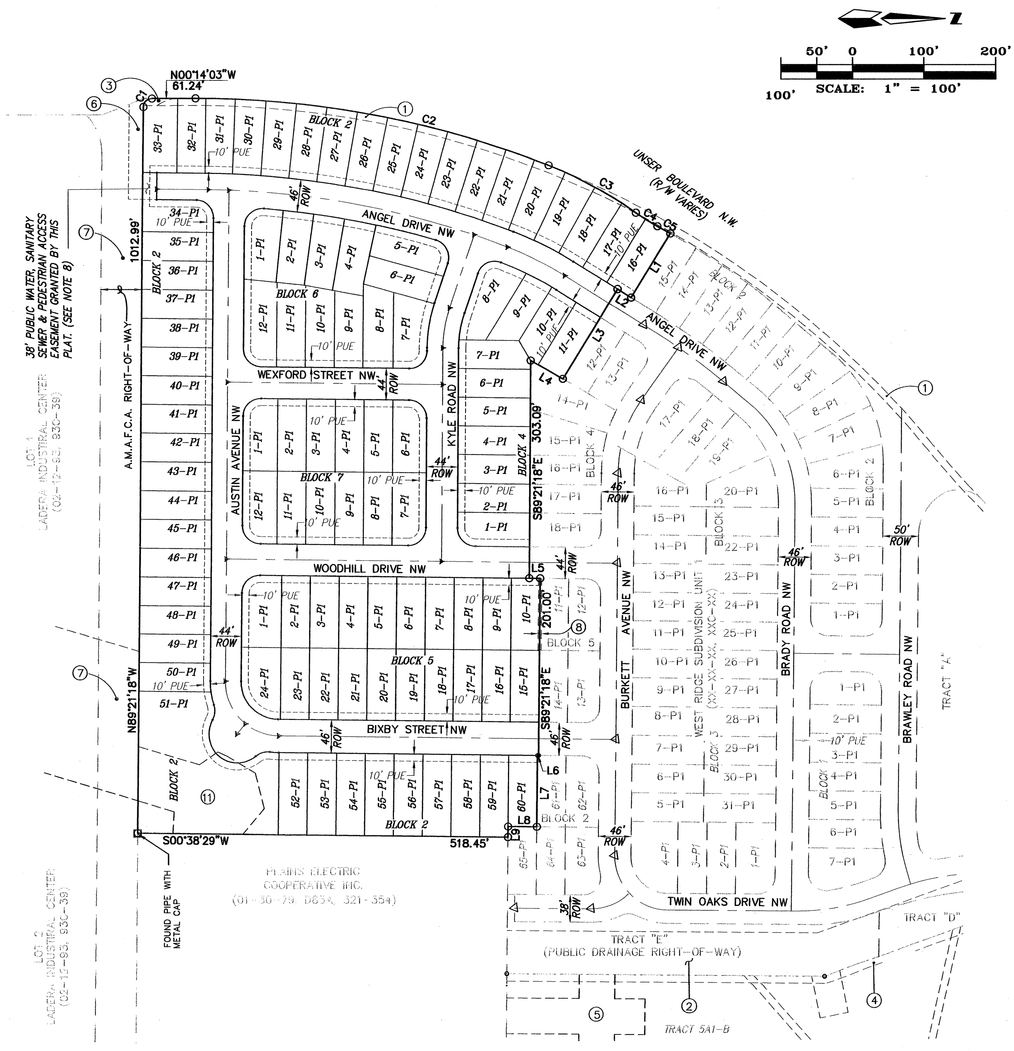
   PLAT FOR "LADERA INDUSTRIAL CENTER, LOTS 1 AND 2", (02-12-93, 93C-39)
   PLAT FOR "VOLCANO BUSINESS PARK", (03-26-02, 02C-96)
   PLAT FOR "VOLCANO BUSINESS PARK, PHASE I", (04-24-86, C30-78)
   PLAT FOR "VOLCANO BUSINESS PARK, PHASE II", (04-03-98, 98C-89)
   PLAT FOR "EL RANCHO ATRISCO, PHASE 3, TRACTS 5-A & 6-A", (02-12-87, C32-184)
   PLAT FOR "EL RANCHO ATRISCO, PHASE 2, TRACTS A-1 & B-1", (02-12-87, C32-185)
   PNM SWITCHING STATION (WD: 05-04-61, BK. D593, PG. 223)
   PLAINS ELECTRIC COOPERATIVE, INC. (WD: 09-14-64, BK. D756, PG. 258)
   PLAINS ELECTRIC COOPERATIVE, INC. (QCD: 01-30-79, BK. D83A, PGS. 321-354)
   all being records of Bernalillo County, New Mexico.
5. Title Report: provided by First American Title Insurance Company, Commitment No.: 05020221 (Effective date: 04-25-02) (TRI-STATE TRACT)
6. Total remaining Open Space requirements are met via a cash payment to the City of Albuquerque per the provisions of Section 14-16-3-8 (A) (3).
7. Setbacks are as shown and noted on the Amended Site Development Plan for Subdivision. (Case No. 02DRB-01581)
8. New 38' Public Water, Sanitary Sewer and Pedestrian Access Easement granted to, for the benefit of, and to be maintained by the City of Albuquerque.

SEE EASEMENT KEYED NOTES ON SHEET 3

Dwg: A2031U2SHT2&3.dwg	Drawn: RICHARD	Checked: ALS	Sheet 2 of 5
Scale: 1"=100'	Date: 03/21/03	Job: A02031	

For Information Only
City Project # 708282 Map H9 & 10 Sheet 2 of 18

SCANNED BY
MESA REPRO



PLAT FOR

WEST RIDGE SUBDIVISION UNIT 2

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2003

EASEMENTS:

1. Existing 10' PNM and Mountain Bell Easement (Buried utilities only) (02-12-87, C32-185)
2. Existing 60' Plains Electric Easement (02-12-87, C32-185) {12-23-87, BK. MISC. 571A, PG. 394)
3. Existing 10' (PUE) Public Utility Easement. (XX-XX-03, 03C-XX)
4. Existing 10' PNM Easement (03-26-02, 02C-96)
5. Existing 50' PNM Easement (04-24-86, C30-78)
6. Existing 20' Pedestrian Access Easement granted to, for the benefit of, and to be maintained by the City of Albuquerque. Existing 20' (PUE) Public Utility Easement. (XX-XX-03, 03C-XX)
7. Existing A.M.A.F.C.A. Drainage Right-of-way. Existing City of Albuquerque Public Water, Sanitary Sewer, and Drainage Easement. Existing Private Access Easement granted to the owners of the Lands of Plains Electric Generation and Transmition Co-op, Inc. (01-30-79, Bk d83a, Pg. 321-354) and the Lands of PNM (05-04-61, Bk. D-593, Pg 223), its successors and assigns, and to be jointly maintained by said owners. access by beneficiaries shall be free and unrestricted. (xx-xx-03, 03c-xx)
8. Existing 2' Private Drainage Easement centered on lot line (xx-xx-03, 2003c-xx)

NOTE: ▲

CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PIC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT

ROW = RIGHT-OF-WAY

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

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Scale: 1"=100'	Date: 03/21/03	Job: A02031	

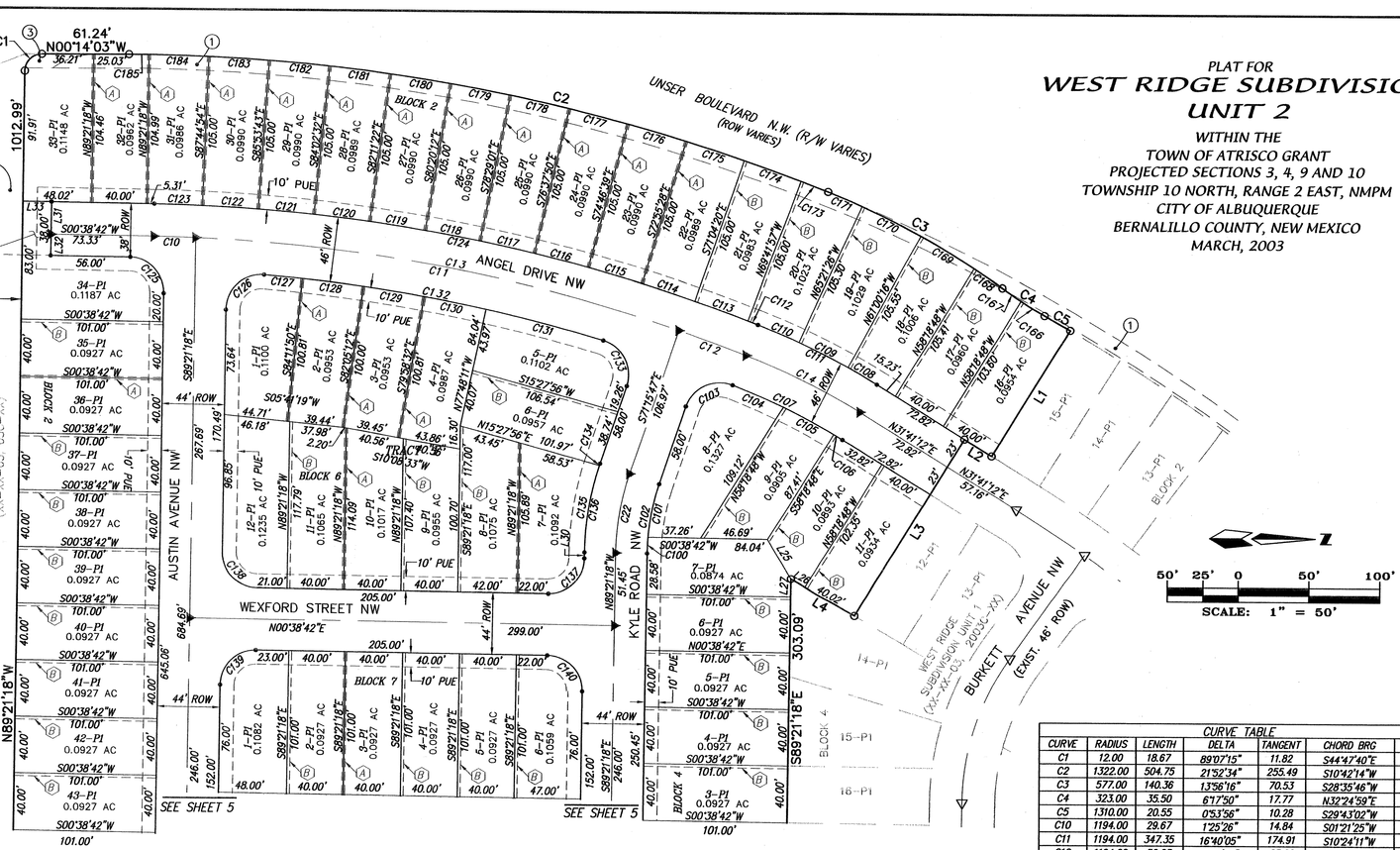
For Information Only
City Project #708292 Map #19&10 Sht 3 of 18

SCANNED BY MEGA REPRO

PLAT FOR

WEST RIDGE SUBDIVISION UNIT 2

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 3, 4, 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2003



CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C1	12.00	18.67	89°07'15"	11.82	S44°47'40"E	16.84
C2	1322.00	504.75	21°52'34"	255.49	S10°42'14"W	501.69
C3	577.00	140.36	13°56'16"	70.53	S28°35'46"W	140.01
C4	323.00	35.50	6°17'50"	17.77	N32°24'59"E	35.48
C5	1310.00	20.55	0°53'56"	10.28	S29°43'02"W	20.55
C10	1194.00	29.67	1°25'26"	14.84	S01°21'25"W	29.67
C11	1194.00	347.35	16°40'05"	174.91	S10°24'11"W	346.12
C12	1194.00	50.03	2°24'02"	25.02	S19°56'14"W	50.02
C13	1194.00	427.05	20°29'33"	215.83	S10°53'28"W	424.77
C14	484.04	89.12	10°32'58"	44.69	S26°24'44"W	89.00
C22	180.00	56.84	18°05'31"	28.66	S80°18'32"E	56.60
C23	180.00	108.96	34°41'04"	56.21	S72°00'46"E	107.31
C24	75.00	67.48	51°32'54"	36.21	N64°52'15"E	65.22
C25	75.00	50.33	38°27'06"	26.16	N19°52'15"E	49.39
C26	75.00	117.81	90°00'00"	75.00	N45°38'42"E	106.07
C99	25.00	39.27	90°00'00"	25.00	N45°38'42"E	35.36
C100	158.00	6.08	2°55'51"	4.04	S87°53'22"E	6.08
C101	158.00	38.46	13°56'55"	19.33	S78°14'15"E	38.37
C102	158.00	49.89	18°05'31"	25.15	S80°18'32"E	49.68
C103	25.00	40.26	92°16'08"	26.01	S25°17'43"E	36.05
C104	461.04	38.68	4°48'26"	19.35	S23°24'34"W	38.67
C105	461.04	40.08	4°58'52"	20.05	S28°18'13"W	40.07
C106	461.04	7.18	0°53'33"	3.59	S31°14'26"W	7.18
C107	461.04	85.95	10°40'51"	43.10	S26°20'47"W	85.82
C108	507.04	23.82	2°41'29"	11.91	S30°20'28"W	23.82
C109	507.04	38.52	4°21'10"	19.27	S26°49'09"W	38.51

NOTE:

CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT

ROW = RIGHT-OF-WAY

PRIVATE DRAINAGE EASEMENTS:

2' wide private drainage easements are located in some side yards as shown hereon. Where the difference in elevation between the two adjacent pads is 0.8' or less the easement is centered on the lot line. Where the difference is more than 0.8' but less than 1.4' the easement is entirely on the low side of the lot line and immediately adjacent to that lot line. Where the easement is centered on the lot line it is for the mutual benefit of both lot owners and is to be jointly maintained. Where the easement is entirely on the low side of the lot line the easement is for the benefit of the adjacent "high side" lot owner and shall be maintained by the underlying "low side" lot owner. Neither lot owner is allowed to change the planned grade within the 2' wide private drainage easement, nor shall either lot owner place any loose material adjacent to the easement that has the potential to be moved into the drainage easement or in any other way block drainage in any portion of the easement, except that a fence or block wall may be centered on the lot line. Under no circumstances shall the grade adjacent to the easement on either side of the easement be changed except by a structurally sound retaining wall, as designed by a registered professional engineer or architect. Where no easement is shown on the plat each lot owner must construct, operate and maintain his own separate swale all the way to the street and cross lot drainage will be prevented by some combination of walls and berms on the common lot line to be jointly maintained by both lot owners.

EASEMENTS

(A) 2' PRIVATE DRAINAGE EASEMENT CENTERED ON LOT LINE (SEE NOTE THIS SHEET)

(B) 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE NOTE THIS SHEET)

Dwg: A2031U2BASE.dwg	Drawn: RICHARD	Checked: ALS	Sheet 4 of 5
Scale: 1"=50'	Date: 03/21/03	Job: A02031	

Fr. Infrastructure Only. City Project # 708282. Map # H9 & 10 Sht 4 of 18

SCANNED BY MESA REPRO

NOTE:

CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

EASEMENTS

(A) 2' PRIVATE DRAINAGE EASEMENT CENTERED ON LOT LINE (SEE NOTE ON SHEET 4)

(B) 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE NOTE ON SHEET 4)

50' 25' 0 50' 100'

SCALE: 1" = 50'

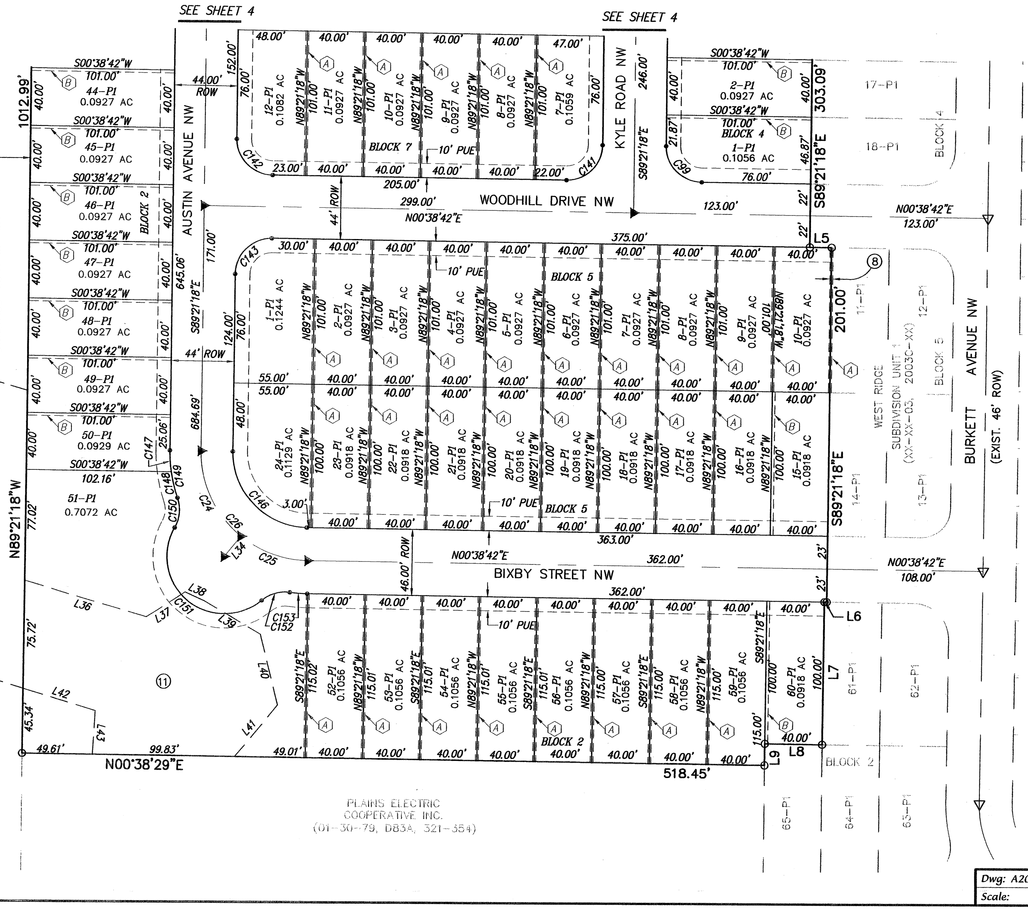
LINE TABLE

LINE ID	LENGTH	BEARING	LINE ID	LENGTH	BEARING
L1	104.54	S58°18'48"E	L31	23.00	N89°21'18"W
L2	22.41	N31°41'12"E	L32	15.00	N89°21'18"W
L3	147.17	N58°18'48"W	L33	20.00	S00°38'42"W
L4	51.44	N30°00'20"E	L36	89.38	N16°22'38"E
L5	15.00	N00°38'42"E	L37	32.42	N33°03'06"W
L6	1.55	S00°38'42"W	L38	14.96	N23°50'44"E
L7	100.00	N89°21'18"W	L39	45.32	N31°07'45"E
L8	40.00	N00°38'42"E	L40	50.93	N76°13'00"E
L9	15.00	N89°21'18"W	L41	46.73	S50°54'18"E
L25	32.38	N59°43'02"E	L42	53.15	N16°40'26"E
L26	11.42	N30°00'20"E	L43	30.70	S86°36'04"E
L27	12.22	S89°21'18"E	L44	10.01	N00°30'08"E
L30	4.45	S89°21'18"E			

PLAT FOR

WEST RIDGE SUBDIVISION UNIT 2

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 3, 4, 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2003



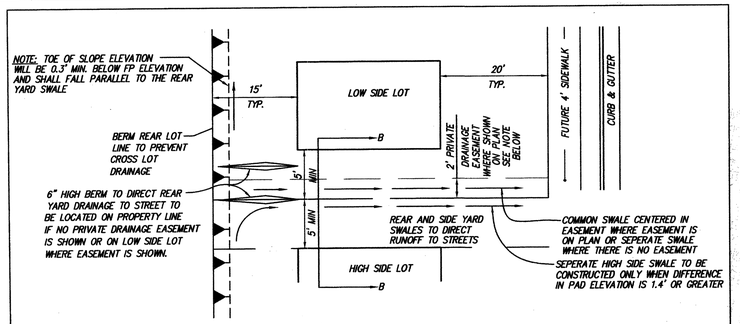
CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C110	507.04	31.02	3°30'19"	15.52	S22°53'24"W	31.02
C111	507.04	93.36	10°32'58"	46.81	S26°24'44"W	93.22
C112	1217.00	7.40	0°20'55"	3.70	S20°57'47"W	7.40
C113	1217.00	39.53	1°51'39"	19.77	S19°51'30"W	39.53
C114	1217.00	39.34	1°51'08"	19.67	S18°00'06"W	39.34
C115	1217.00	39.36	1°51'11"	19.68	S16°08'57"W	39.36
C116	1217.00	39.36	1°51'11"	19.68	S14°17'46"W	39.36
C117	1217.00	39.36	1°51'11"	19.68	S12°26'35"W	39.36
C118	1217.00	39.36	1°51'11"	19.68	S10°35'23"W	39.36
C119	1217.00	39.35	1°51'10"	19.68	S08°44'13"W	39.35
C120	1217.00	39.35	1°51'10"	19.68	S06°53'03"W	39.35
C121	1217.00	39.36	1°51'11"	19.68	S05°01'52"W	39.36
C122	1217.00	39.36	1°51'11"	19.68	S03°10'41"W	39.36
C123	1217.00	34.12	1°36'24"	17.06	S01°26'54"W	34.12
C124	1217.00	435.27	20°29'33"	219.99	S10°53'28"W	432.96
C125	25.00	39.27	90°00'00"	25.00	S45°38'42"W	35.36
C126	25.00	40.94	93°49'56"	26.73	S42°26'20"E	36.52
C127	1171.00	27.01	1°19'18"	13.51	S05°08'31"W	27.01
C128	1171.00	43.14	2°06'38"	21.57	S06°51'29"W	43.13
C129	1171.00	43.15	2°06'40"	21.58	S08°58'08"W	43.14
C130	1171.00	44.40	2°10'21"	22.20	S11°06'39"W	44.40
C131	1171.00	85.63	4°11'22"	42.83	S14°17'30"W	85.61
C132	1171.00	243.32	11°54'19"	122.10	S10°26'02"W	242.88
C133	25.00	40.29	92°20'48"	26.05	S62°33'49"W	36.07
C134	202.00	1.33	0°22'35"	0.66	S71°27'04"E	1.33
C135	202.00	62.46	17°42'56"	31.48	S80°29'50"E	62.21
C136	202.00	63.78	18°05'31"	32.16	S80°18'32"E	63.52
C137	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C138	25.00	39.27	90°00'00"	25.00	N45°38'42"E	35.36
C139	25.00	39.27	90°00'00"	25.00	S44°21'18"E	35.36
C140	25.00	39.27	90°00'00"	25.00	S45°38'42"W	35.36
C141	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C142	25.00	39.27	90°00'00"	25.00	N45°38'42"E	35.36
C143	25.00	39.27	90°00'00"	25.00	S44°21'18"E	35.36
C146	52.00	81.68	90°00'00"	52.00	N45°38'42"E	73.54
C147	97.00	15.00	8°51'42"	7.52	N86°12'51"E	14.99
C148	97.00	18.55	10°57'32"	9.30	N78°18'14"E	18.52
C149	97.00	33.56	19°49'14"	16.95	N80°44'05"E	33.39
C150	25.00	21.40	49°02'19"	11.40	N84°39'22"W	20.75
C151	40.00	111.95	160°21'31"	231.08	N39°41'02"E	78.83
C152	25.00	21.06	48°16'34"	11.20	S16°21'27"E	20.45
C153	98.00	12.20	7°08'08"	6.11	N04°12'46"E	12.20
C166	323.00	19.46	3°27'08"	9.73	N30°59'38"E	19.46
C167	323.00	16.04	2°50'42"	8.02	N34°08'33"E	16.04
C168	577.00	24.01	2°23'02"	12.00	S34°22'23"W	24.00
C169	577.00	44.01	4°22'12"	22.02	S30°59'46"W	44.00
C170	577.00	46.53	4°37'14"	23.28	S26°30'03"W	46.52
C171	577.00	25.81	2°33'48"	12.91	S22°54'33"W	25.81
C173	1322.00	20.58	0°53'30"	10.29	S21°11'46"W	20.58
C174	1322.00	42.04	1°49'20"	21.02	S19°50'20"W	42.04
C175	1322.00	42.74	1°51'08"	21.37	S18°00'06"W	42.73
C176	1322.00	42.76	1°51'11"	21.38	S16°08'57"W	42.75
C177	1322.00	42.76	1°51'11"	21.38	S14°17'46"W	42.76
C178	1322.00	42.76	1°51'11"	21.38	S12°26'35"W	42.75
C179	1322.00	42.76	1°51'11"	21.38	S10°35'23"W	42.76
C180	1322.00	42.75	1°51'10"	21.38	S08°44'13"W	42.75
C181	1322.00	42.75	1°51'10"	21.38	S06°53'03"W	42.75
C182	1322.00	42.76	1°51'11"	21.38	S05°01'52"W	42.75
C183	1322.00	42.76	1°51'11"	21.38	S03°10'41"W	42.76
C184	1322.00	42.38	1°50'12"	21.19	S01°20'00"W	42.37
C185	1322.00	14.98	0°38'57"	7.49	S00°05'25"W	14.98

Dwg: A2031U2BASE.dwg	Drawn: RICHARD	Checked: ALS	Sheet 5 of 5	
Scale: 1"=50'	Date: 03/21/03	Job: A02031		

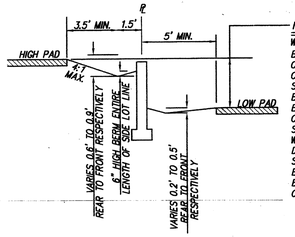
LEGEND

- 5180 — EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- EXISTING SPOT ELEVATION
- EXISTING CONCRETE CURB
- EXISTING WALL OR HEAD WALL
- EXISTING SIGN
- EXISTING WOOD FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING TREE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING ELECTRIC TRANSFORMER
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING GUY WIRE
- EXISTING POWER POLE
- EXISTING TELEPHONE BOX
- EXISTING SPRINKLER CONTROL
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING DROP INLET
- EXISTING TRAFFIC LIGHT
- EXISTING PULLBOX
- EXISTING STREET LIGHT
- EXISTING BOLLARD
- NEW CURB & GUTTER
- NEW STANDARD CURB & GUTTER
- NEW SIDEWALK
- NEW RIGHT-OF-WAY
- NEW CENTERLINE
- NEW LOT LINES
- NEW EASEMENTS
- NEW GARDEN WALL
- NEW PERIMETER RETAINING WALL
- NEW SIDE LOT RETAINING WALL
- 20.00 NEW SPOT ELEVATIONS
- NEW FLOW
- NEW ROCK SWALE
- NEW SLOPE
- 10' ASPHALT TRAIL THIS PRJECT
- NATIVE SEED & GRAVEL MULCH WITH FERTELIZER AND SUPPLIMENTAL WATER ON 2:1 SLOPE.
- NEW 4' SIDEWALK CONSTRUCTED THIS PRJECT



TYPICAL LOT GRADING DETAILS

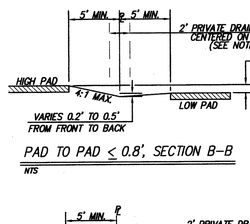
NTS



NOTE:
WHERE THE DIFFERENCE IN ELEVATION BETWEEN THE ADJACENT PADS IS 1.4' OR MORE A RETAINING WALL MUST BE CONSTRUCTED BETWEEN THE LOTS AS SHOWN ON THE PLAN AND THERE WILL BE NO PRIVATE DRAINAGE EASEMENT. EACH LOT OWNER MUST CONSTRUCT, OPERATE, AND MAINTAIN HIS OWN SEPARATE DRAINAGE SWALE ALL THE WAY TO THE STREET AND CROSS LOT DRAINAGE WILL BE PREVENTED BY SOME COMBINATION OF WALLS AND BERMS ON THE COMMON LOT LINE TO BE JOINTLY MAINTAINED BY BOTH LOT OWNERS.

PAD TO PAD ≥ 1.4', SECTION B–B

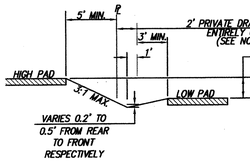
NTS



NOTE:
WHERE THE DIFFERENCE IN ELEVATION BETWEEN THE ADJACENT PADS IS 0.8' OR LESS, THE INVERT OF THE COMMON SWALE SHALL BE LOCATED ON THE PROPERTY LINE AND A 2' WIDE PRIVATE DRAINAGE EASEMENT IS TO BE CENTERED ON THE LOT LINE.

PAD TO PAD ≤ 0.8', SECTION B–B

NTS



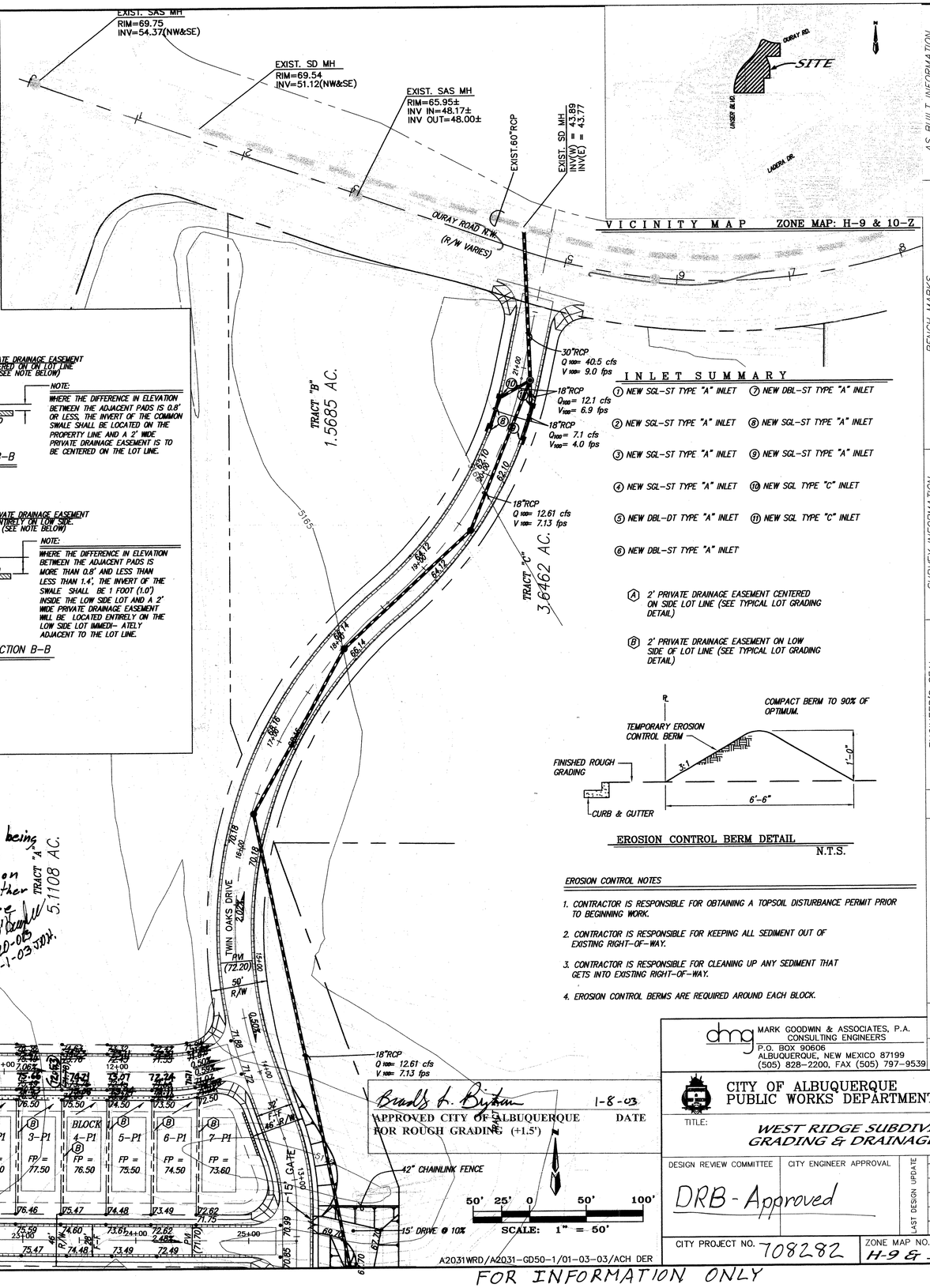
NOTE:
WHERE THE DIFFERENCE IN ELEVATION BETWEEN THE ADJACENT PADS IS MORE THAN 0.8' AND LESS THAN LESS THAN 1.4', THE INVERT OF THE SWALE SHALL BE 1 FOOT (1.0') INSIDE THE LOW SIDE LOT AND A 2' WIDE PRIVATE DRAINAGE EASEMENT WILL BE LOCATED ENTIRELY ON THE LOW SIDE LOT IMMEDI– ATELY ADJACENT TO THE LOT LINE.

0.8' < PAD TO PAD < 1.4'. SECTION B–B

NTS

PRIVATE DRAINAGE EASEMENTS

2' WIDE PRIVATE DRAINAGE EASEMENTS ARE LOCATED IN SOME SIDE YARDS AS SHOWN HEREON. WHERE THE DIFFERENCE IN ELEVATION BETWEEN THE TWO ADJACENT PADS IS 0.8' OR LESS THE EASEMENT IS CENTERED ON THE LOT LINE. WHERE THE DIFFERENCE IS MORE THAN 0.8' BUT LESS THAN 1.4' THE EASEMENT IS ENTIRELY ON THE LOW SIDE OF THE LOT LINE AND IMMEDIATELY ADJACENT TO THAT LOT LINE. WHERE THE EASEMENT IS CENTERED ON THE LOT LINE IT IS FOR THE MUTUAL BENEFIT OF BOTH LOT OWNERS AND IS TO BE JOINTLY MAINTAINED. WHERE THE EASEMENT IS ENTIRELY ON THE LOW SIDE OF THE LOT LINE THE EASEMENT IS FOR THE BENEFIT OF THE ADJACENT "HIGH SIDE" LOT OWNER AND SHALL BE MAINTAINED BY THE UNDERLYING "LOW SIDE" LOT OWNER. NEITHER LOT OWNER IS ALLOWED TO CHANGE THE PLANNED GRADE WITHIN THE 2' WIDE PRIVATE DRAINAGE EASEMENT, NOR SHALL EITHER LOT OWNER PLACE ANY LOOSE MATERIAL ADJACENT TO THE EASEMENT THAT HAS THE POTENTIAL TO BE MOVED INTO THE DRAINAGE EASEMENT OR IN ANY OTHER WAY BLOCK DRAINAGE IN ANY PORTION OF THE EASEMENT, EXCEPT THAT A FENCE OR BLOCK WALL MAY BE CENTERED ON THE LOT LINE. UNDER NO CIRCUMSTANCES SHALL THE GRADE ADJACENT TO THE EASEMENT ON EITHER SIDE OF THE EASEMENT BE CHANGED EXCEPT BY A STRUCTURALLY SOUND RETAINING WALL, AS DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT. WHERE NO EASEMENT IS SHOWN ON THE PLAT EACH LOT OWNER MUST CONSTRUCT, OPERATE AND MAINTAIN HIS OWN SEPARATE SWALE ALL THE WAY TO THE STREET AND CROSS LOT DRAINAGE WILL BE PREVENTED BY SOME COMBINATION OF WALLS AND BERMS ON THE COMMON LOT LINE TO BE JOINTLY MAINTAINED BY BOTH LOT OWNERS.



Note: All onsite elevations are being Constructed 0.3' Lower than shown here on, but the corrected elevations on Brawley Rd. are true and need no further adjustment. The Infrastructure Plans are also true and do not need Lowered.

Lowell D. Hunt 02-20-03 Rev 4-1-03 JDH.

VICINITY MAP ZONE MAP: H–9 & 10–Z

INLET SUMMARY

1. NEW SGL–ST TYPE "A" INLET
2. NEW SGL–ST TYPE "A" INLET
3. NEW SGL–ST TYPE "A" INLET
4. NEW SGL–ST TYPE "A" INLET
5. NEW DBL–DT TYPE "A" INLET
6. NEW DBL–ST TYPE "A" INLET
7. NEW DBL–ST TYPE "A" INLET
8. NEW SGL–ST TYPE "A" INLET
9. NEW SGL–ST TYPE "A" INLET
10. NEW SGL TYPE "C" INLET
11. NEW SGL TYPE "C" INLET

(A) 2' PRIVATE DRAINAGE EASEMENT CENTERED ON SIDE LOT LINE (SEE TYPICAL LOT GRADING DETAIL)

(B) 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE TYPICAL LOT GRADING DETAIL)

EROSION CONTROL BERM DETAIL

N.T.S.

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT–OF–WAY.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT–OF–WAY.
4. EROSION CONTROL BERMS ARE REQUIRED AROUND EACH BLOCK.

Brad S. Bytum 1-8-03
APPROVED CITY OF ALBUQUERQUE FOR ROUGH GRADING (+1.5') DATE

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828–2200, FAX (505) 797–9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: WEST RIDGE SUBDIVISION GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
DRB - Approved				

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
708282	H-9 & 10	6	18

A2031WRD/A2031–GD50–1/01–03–03/ACH DER

FOR INFORMATION ONLY

AS BUILT INFORMATION

CONTRACTOR Sells
WORK INSPECTOR'S ACCEPTANCE BY: Al DATE 8/4
VERIFICATION BY Al DATE 8/4
DRAWINGS COMPILED BY Al DATE 8/4
MICRO–FILM INFORMATION
RECORDED BY DATE

BENCH MARKS
ACS BRASS CAP STAMPED "BH–39" FROM THE INTERSECTION OF COORS RD. N.W. AND I–40, 0.4 MILES NORTH ON OURAY RD. THEN LEFT 0.7 MILES TO END OF PAVEMENT, CONTINUING ON DIRT ROAD 0.9 MILES PASSED A POWER SUBSTATION TO A CROSSROAD, TURN LEFT 0.4 MILES TO A CROSSROAD, THEN LEFT 0.1 MILES TO THE STATION ON THE RIGHT.
GEOGRAPHIC POSITION (NAD 1927), IN FT.
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
X=356,760.08, Y=1,494,777.28 ELEVATION=5195.46, NGVD29, IN FT.

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL
JAMES D. HUNT NEW MEXICO 11674 REGISTERED PROFESSIONAL ENGINEER 1-2-03

REVISIONS

NO.	DATE	REMARKS	BY

DESIGN

		DATE
DESIGNED BY	JDH	08/02
DRAWN BY	ACH	08/02
CHECKED BY	DMG	08/02

9 6 5

50' 25' 0 50' 100'
SCALE: 1" = 50'

(A) 2' PRIVATE DRAINAGE EASEMENT CENTERED ON SIDE LOT LINE (SEE TYPICAL LOT GRADING DETAIL)

(B) 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE TYPICAL LOT GRADING DETAIL)

UNSER BOULEVARD N.W. (R/W VARIES)
BRADY RD. NW
BURKETT AVE. NW
WOODHILL DR. NW
KYLE RD. NW
AUSTIN AVE. NW
BIXBY ST. NW
WEYGOLD ST. NW
ANGEL DR.
TWIN OAKS
PUBLIC DRAINAGE RIGHT-OF-WAY
OLD OURAY ROAD N.W. (R/W VARIES)
BLOCK 1
BLOCK 2
BLOCK 3
BLOCK 4
UNIT 1
UNIT 2
TRACT 1

1 1/2" ASPHALT OVERLAY ON EXISTING AC TRAIL

NEW HANDICAP RAMP

REMOVE EXISTING HANDICAP RAMP

CONCRETE TO BE REMOVED & DISPOSED MATCH PAVEMENT PER COA DWG 24

PUBLIC WATER, SANITARY SEWER & PEDESTRIAN ACCESS EASEMENT GRANTED BY THIS PLAT

RIP-RAP

ASPHALT TRAIL

"GRADE TO DRAIN"

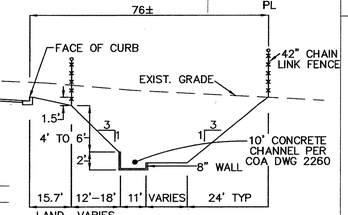
WALL MAY BE REPLACED WITH 3:1 SLOPE ON ADJACENT PROPERTY ONLY WITH WRITTEN PERMISSION FROM ADJACENT OWNER.

30" RCP Q_{100}= 37.5 cfs V_{100}= 7.7 fps
15' DRIVE @ 10%
24" RCP Q_{100}= 18.75 cfs V_{100}= 6.0 fps
18" RCP Q_{100}= 7.3 cfs V_{100}= 4.1 fps
24" RCP Q_{100}= 30.8 cfs V_{100}= 9.8 fps
18" RCP Q_{100}= 14.6 cfs V_{100}= 8.3 fps
18" RCP Q_{100}= 8.1 cfs V_{100}= 4.6 fps

INV = 63.3
INV = 63.5
64.50 INV.

42" CHAINLINK FENCE OR PERIMETER WALL
8" WALL TYPICAL
2' WALL TYPICAL
10' CONCRETE CHANNEL PERSTD. DWG #2260

PLAINS ELECTRIC COOPERATIVE INC.
(01-30-79, D83A, 321-354)



SECTION A-A
NTS

dmg MARK GOODWIN & ASSOCIATES, P.A.
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE:

WEST RIDGE SUBDIVISION GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
DRB Approved				

APPROVED CITY OF ALBUQUERQUE FOR ROUGH GRADING (1-13-03) DATE 1-8-03

CITY PROJECT NO.	ZONE MAP NO.	SHEET
708282	H-9 & 10	7 OF 18

A2031WRD/A2031-GD50-2/01-03-03/ACH DER

FOR INFORMATION ONLY

AS BUILT INFORMATION

CONTRACTOR	SAIS	DATE
WORK STAKED BY		DATE
WORK INSPECTED BY	DMG	DATE 5-04
ACCEPTANCE BY	AIS	DATE 5-04
FIELD VERIFICATION BY		DATE
DRAWINGS CORRECTED BY	AIS	DATE 5-04

MICRO-FILM INFORMATION

RECORDED BY: DATE
NO.

BENCH MARKS

ACS BRASS CAP STAMPED "8H-39" FROM THE INTERSECTION OF COORS RD. N.W. AND I-40, 0.4 MILES NORTH ON OURAY RD. THEN LEFT 0.7 MILES TO END OF PAVEMENT, CONTINUING ON DIRT ROAD 0.9 MILES PASSED A POWER SUBSTATION TO A CROSSROAD. TURN LEFT 0.4 MILES TO A CROSSROAD. THEN LEFT 0.1 MILES TO THE STATION ON THE RIGHT.
GEOGRAPHIC POSITION (NAD 1927), IN FT
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
X=356,760.08, Y=1,494,777.28 ELEVATION=5195.46, NGVD29, IN FT.

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL
JAMES D. HOLLIS
NEW MEXICO
14314
REGISTERED PROFESSIONAL ENGINEER
1-2-03

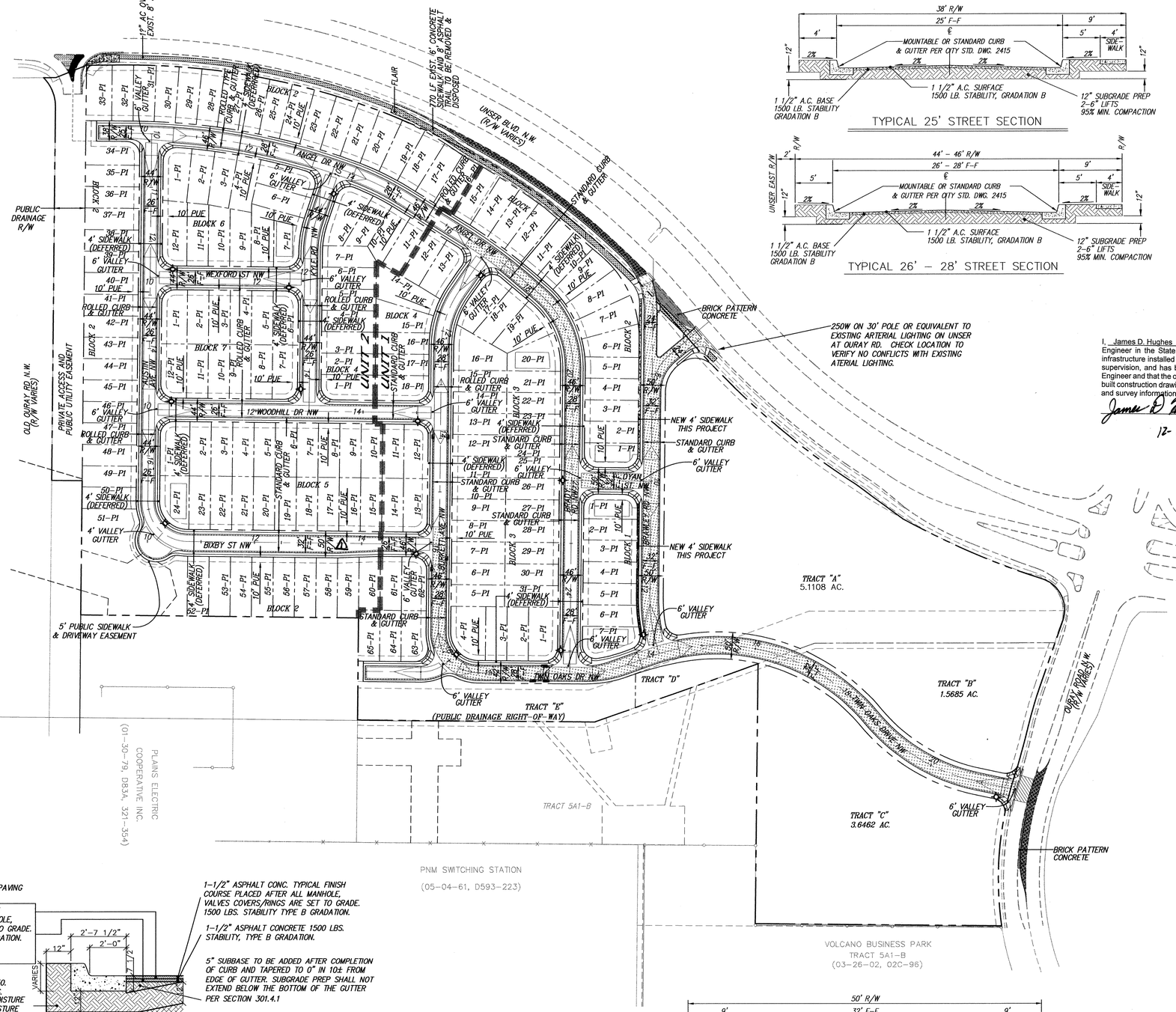
NO.	DATE	REMARKS	BY
		REVISIONS	

		DESIGN	DATE
DESIGNED BY	JDH		08/02
DRAWN BY	ACH		08/02
CHECKED BY	DMG		08/02

F:\A02JOBS\A2031WRD\A2031-D050-2.dwg Mon Jan 06 08:35:02 2003 D. MARK GOODWIN & ASSOCIATES; PLTTED BY: DER

SCANNED BY MEGA REPRO

SCANNED BY
MESA REPRO



TYPICAL 25' STREET SECTION

TYPICAL 26' - 28' STREET SECTION

NOTES

1. ALL 4' VALLEY GUTTERS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2421 AT KNUCKLES AND 6' VALLEY GUTTERS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2420 AT ALL INTERSECTIONS, EXCEPT 10' VALLEY GUTTERS PER ALBUQUERQUE STANDARD DRAWING 2422.
2. TRANSITION FROM ROLL CURB TO STANDARD CURB SHALL BE PER CITY OF ALBUQUERQUE DRAWING 2418, UNLESS OTHERWISE SPECIFIED.
3. ALL HANDICAP RAMPS TO BE CASE II PER CITY OF ALBUQUERQUE STANDARD DRAWING 2441. WHERE GRADES DO NOT PERMIT A MAXIMUM SLOPE OF 12:1 TO BE MAINTAINED WITHIN THE 7' LENGTH AS SPECIFIED. THEN THE "F" LENGTH AS SHOWN IN DRAWING 2441 SHALL MUST BE INCREASED TO MAINTAIN A SLOPE < 12:1.
4. TRANSITION SECTION FROM FULL CROWN TO NO CROWN TO BE A MINIMUM OF 50' AND TRANSITIONS SECTIONS FROM FULL TO HALF CROWN TO BE A MINIMUM OF 25', PER CITY OF ALBUQUERQUE STANDARD DRAWING 2401.
5. ALL PROPOSED SIDEWALKS ARE PER CITY OF ALBUQUERQUE STANDARD DETAIL #2430.
6. SOIL NOT HAVING A MINIMUM R-VALUE OF 60 WILL BE REMOVED TO A DEPTH OF 2 FEET AND REPLACED BY THE CONTRACTOR WITH A SUITABLE MATERIAL OR PAVEMENT SECTION SHALL BE DESIGNED BY THE CONSULTANT ACCOMADATING THE EXISTING R-VALUE PER COA STANDARD SPECIFICATIONS.

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, James D. Hughes, NMPE 11674, of the firm Mark Goodwin & Associates, PA, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS Inc., NMPS number 7719.

James D. Hughes
12-12-04

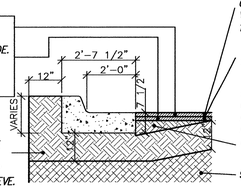
JAMES D. HUGHES
11674
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER

LEGEND

- STANDARD CURB & GUTTER
- MOUNTABLE CURB & GUTTER, ROLL TYPE
- 4" AC PAVEMENT
- ARTERIAL PAVEMENT
- MEDIAN PAVING PER COA STD DWG 2408
- EXIST. CABLE T.V. PEDESTAL
- EXIST. OVERHEAD ELECTRIC LINE
- EXIST. OVERHEAD TELEPHONE LINE
- EXIST. P.P.
- EXIST. DROP INLET
- EXISTING EDGE OF PAVEMENT
- EXISTING CURB & GUTTER
- FUTURE CURB & GUTTER
- NEW STREET LIGHTS

100' 50' 0 100' 200'
SCALE: 1" = 100'

NOTE:
REQUIRED WHERE 4" RESIDENTIAL PAVING IS INDICATED THIS SHEET



2" ASPHALT CONC. TYPICAL FINISH COURSE PLACED AFTER ALL MANHOLE, VALVES COVERS/RINGS ARE SET TO GRADE. 1500 LBS. STABILITY TYPE B GRADATION.

2" ASPHALT CONCRETE 1500 LBS. STABILITY, TYPE B GRADATION.

12" SUBGRADE SOIL. R-VALUE > 50. PLACED IN 2-6" COMPACTED LIFTS. 95% MIN. COMPACTION, AT OPT. MOISTURE ± 2.0%, ASTM D1557, OR OPT MOISTURE TO +4%, ASTM D698 FOR SOIL W/35% OR MORE MATERIAL PASSING THE NO. 200 SIEVE. TO EXTEND FULL WIDTH OF ROADWAY TO 1.0' BACK OF NEW CURB PER SECTION 301.4.1.1

1-1/2" ASPHALT CONC. TYPICAL FINISH COURSE PLACED AFTER ALL MANHOLE, VALVES COVERS/RINGS ARE SET TO GRADE. 1500 LBS. STABILITY TYPE B GRADATION.

1-1/2" ASPHALT CONCRETE 1500 LBS. STABILITY, TYPE B GRADATION.

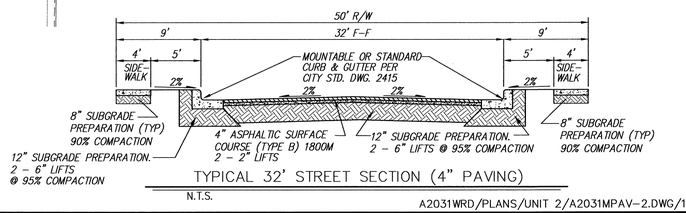
5" SUBBASE TO BE ADDED AFTER COMPLETION OF CURB AND TAPERED TO 0" IN 10± FROM EDGE OF GUTTER. SUBGRADE PREP SHALL NOT EXTEND BELOW THE BOTTOM OF THE GUTTER PER SECTION 301.4.1

90% MIN. COMPACTION

RESIDENTIAL PAVEMENT SECTION

N.T.S. (PER CITY STD. DWG. 2405)

NOTE: IF R-VALUE IS LESS THAN 50 CONTRACTOR WILL REPLACE 12" OF SUBGRADE WITH MATERIAL WITH AN R-VALUE OF 50 OR GREATER.



TYPICAL 32' STREET SECTION (4" PAVING)

N.T.S.

A2031WRD/PLANS/UNIT 2/A2031MPAV-2.DWG/12-17-03 KJS ACH DER

AS BUILT INFORMATION

CONTRACTOR	Sells	DATE
WORK STAKED BY	ALS	
INSPECTOR'S ACCEPTANCE BY	Dmg	DATE 8A
FIELD VERIFICATION BY	ALS	DATE 5/04
DRAWINGS CORRECTED BY	ALS	DATE 5/04

MICRO-FILM INFORMATION

RECORDED BY	DATE
NO.	

BENCH MARKS

ACS BRASS CAP STAMPED "BH-39" FROM THE INTERSECTION OF COORS RD. N.W. AND I-40, 0.4 MILES NORTH ON QURAY RD. THEN LEFT 0.7 MILES TO END OF PAVEMENT, CONTINUING ON DIRT ROAD 0.9 MILES PASSED A POWER SUBSTATION TO A CROSSROAD, TURN LEFT 0.4 MILES TO A CROSSROAD, THEN LEFT 0.1 MILES TO THE STATION ON THE RIGHT.
GEOGRAPHIC POSITION (NAD 1927), IN FT
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
X=356,760.08, Y=1,494,777.28 ELEVATION=5195.46, NGVD29, IN FT.

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL

JAMES D. HUGHES
11674
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
4-1-03
Rev 12-18-03

NO.	DATE	REMARKS	BY
1	12-18-03	4' Wider	JDH

REVISIONS

		DATE
DESIGNED BY	JDH	12/02
DRAWN BY	KJS	12/02
CHECKED BY	DMG	12/02

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

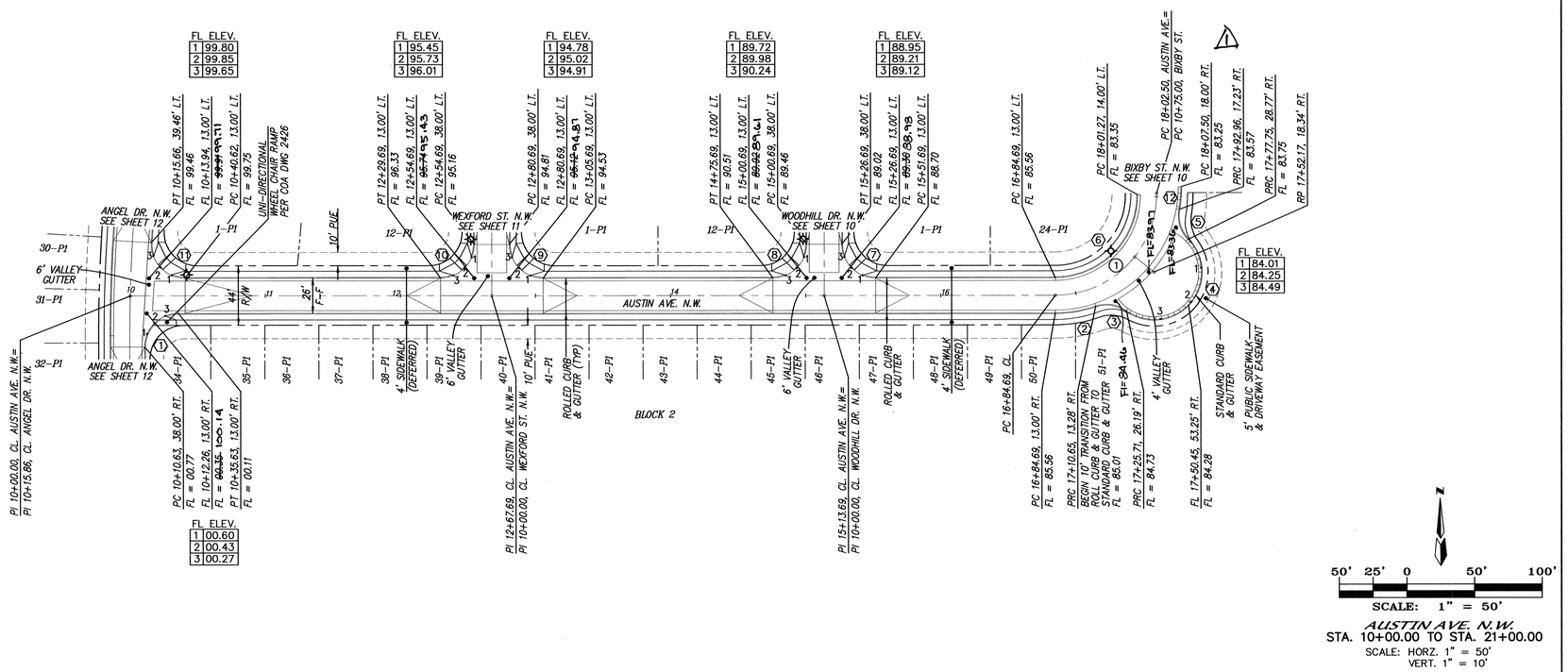
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

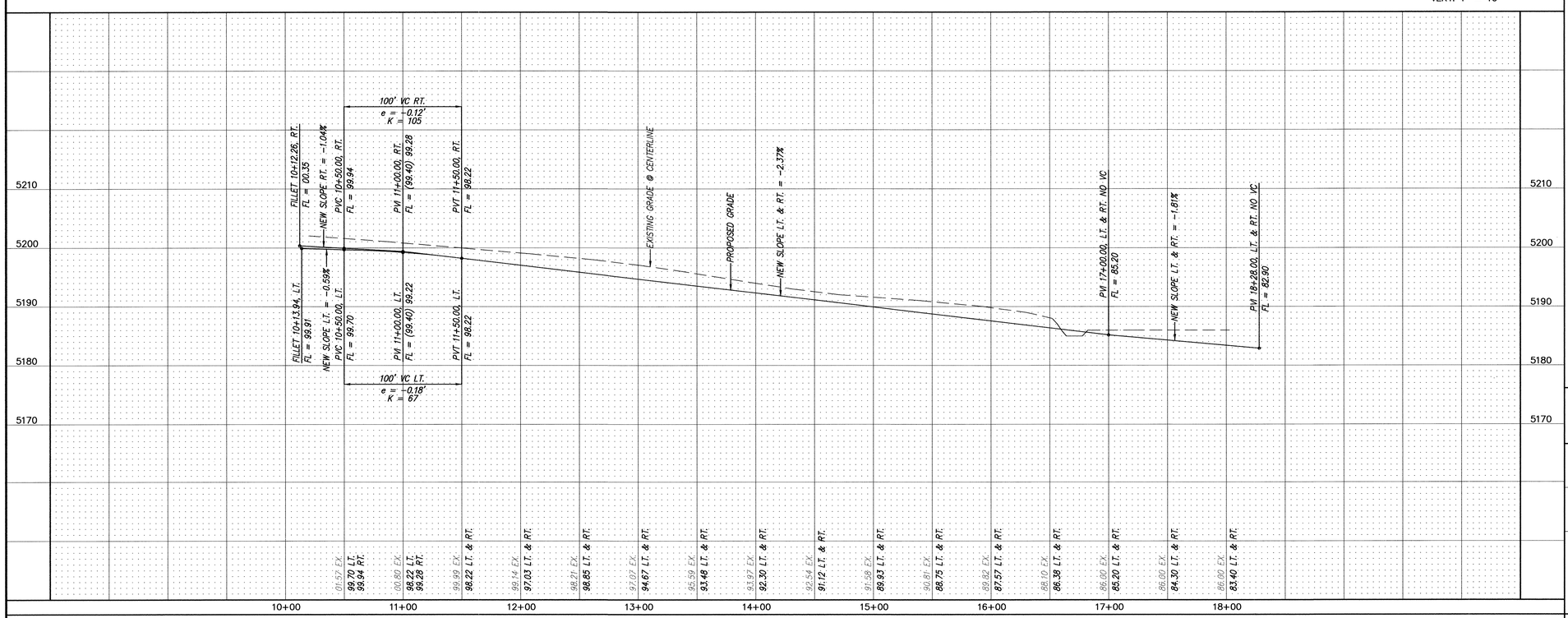
TITLE: WEST RIDGE SUBDIVISION - UNIT 2
MASTER PAVING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
APPROVED JAN - 8 2004 DESIGN REVIEW COMMITTEE	APPROVED JAN - 8 2004 CITY ENGINEER			

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
708282	H-9 & 10	8	18

F:\A02\DGS\A2031WRD\PLANS\UNIT2\A2031MPAV-2.dwg Wed Dec 17 16:57:46 2003 D. MARK GOODWIN & ASSOCIATES, PLTTED BY: DER





A2031WRD/PLANS/UNIT 2/A2031PP-1.dwg/12-17-03/ACH DER

NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.

CURVE DATA – DESCRIBES FACE OF CURB

① Δ = 90°00'00"	② Δ = 18°47'21"
R = 25.00'	R = 93.00'
L = 39.27'	L = 30.50'
T = 25.00'	T = 15.39'
③ Δ = 54°34'49"	④ Δ = 170°01'45"
R = 25.00'	R = 35.00'
L = 23.82'	L = 103.86'
T = 12.90'	T = 401.23'
⑤ Δ = 55°34'49"	⑥ Δ = 90°00'00"
R = 25.00'	R = 61.00'
L = 23.82'	L = 95.82'
T = 12.90'	T = 61.00'
⑦ Δ = 90°00'00"	⑧ Δ = 90°00'00"
R = 25.00'	R = 25.00'
L = 39.27'	L = 39.27'
T = 25.00'	T = 25.00'
⑨ Δ = 90°00'00"	⑩ Δ = 90°00'00"
R = 25.00'	R = 25.00'
L = 39.27'	L = 39.27'
T = 25.00'	T = 25.00'
⑪ Δ = 93°21'32"	⑫ Δ = 10°20'32"
R = 25.00'	R = 93.00'
L = 40.74'	L = 16.79'
T = 26.44'	T = 8.42'

CURVE DATA – DESCRIBES CENTERLINE

① Δ = 90°00'00"
R = 75.00'
L = 117.81'
T = 75.00'

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, James D. Hughes, NMPE 11674, of the firm Mark Goodwin & Associates, PA, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 7719.

James D. Hughes
12-14-04

JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER

SCANNED BY MESA REPRO

F:\A02JOBS\A2031WRD\PLANS\UNIT2\A2031PP-1.dwg Wed Dec 17 16:58:19 2003 D. MARK GOODWIN & ASSOCIATES, PLTTED BY: DER

AS BUILT INFORMATION

CONTRACTOR	SALLS	DATE
WORK STAKED BY	ALS	
INSPECTOR'S ACCEPTANCE BY	Dmg	DATE 6-4
FIELD VERIFICATION BY	ALS	DATE 5-04
DRAWINGS CORRECTED BY	ALS	DATE 5-04

MICRO-FILM INFORMATION

RECORDED BY	DATE
NO.	

BENCH MARKS

ACS BRASS CAP STAMPED "BH-39" FROM THE INTERSECTION OF COORS RD. N.W. AND I-40, 0.4 MILES NORTH ON QURAY RD. THEN LEFT 0.7 MILES TO END OF PAVEMENT. CONTINUING ON DIRT ROAD 0.9 MILES PASSED A POWER SUBSTATION TO A CROSSROAD. TURN LEFT 0.4 MILES TO A CROSSROAD. THEN LEFT 0.1 MILES TO THE STATION ON THE RIGHT.

GEOGRAPHIC POSITION (NAD 1927), IN FT

N.M. STATE PLANE COORDINATES (CENTRAL ZONE)

X=356,760.08, Y=1,494,777.28 ELEVATION=5195.46, NGVD29, IN FT.

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL

JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER
James D. Hughes 4-1-03 for 12-15-03 JDH

NO.	DATE	REMARKS	BY
1	12-15-03	Bixby & Wider	JDH

REVISIONS

DESIGNED BY	JDH	DATE 12/02
DRAWN BY	ACH	DATE 12/02
CHECKED BY	DMG	DATE 12/02

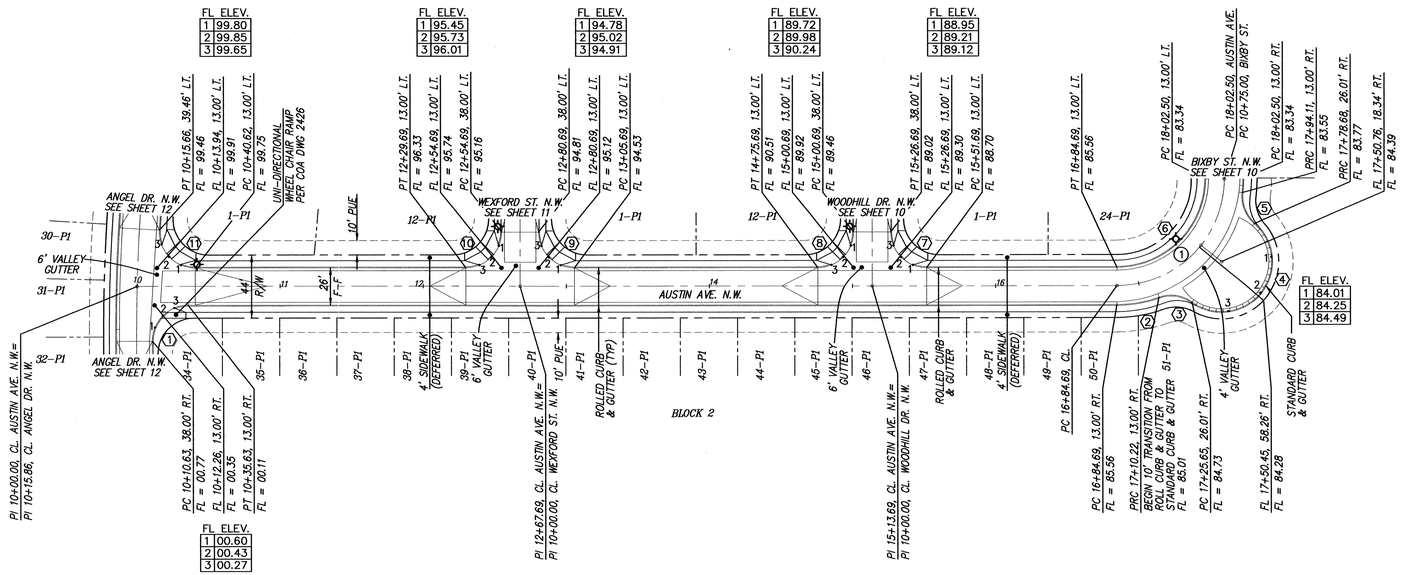
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

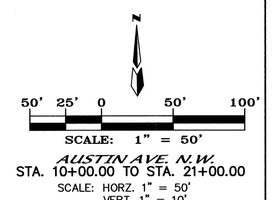
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: WEST RIDGE SUBDIVISION - UNIT 2
AUSTIN AVE. N.W.
PAVING IMPROVEMENTS

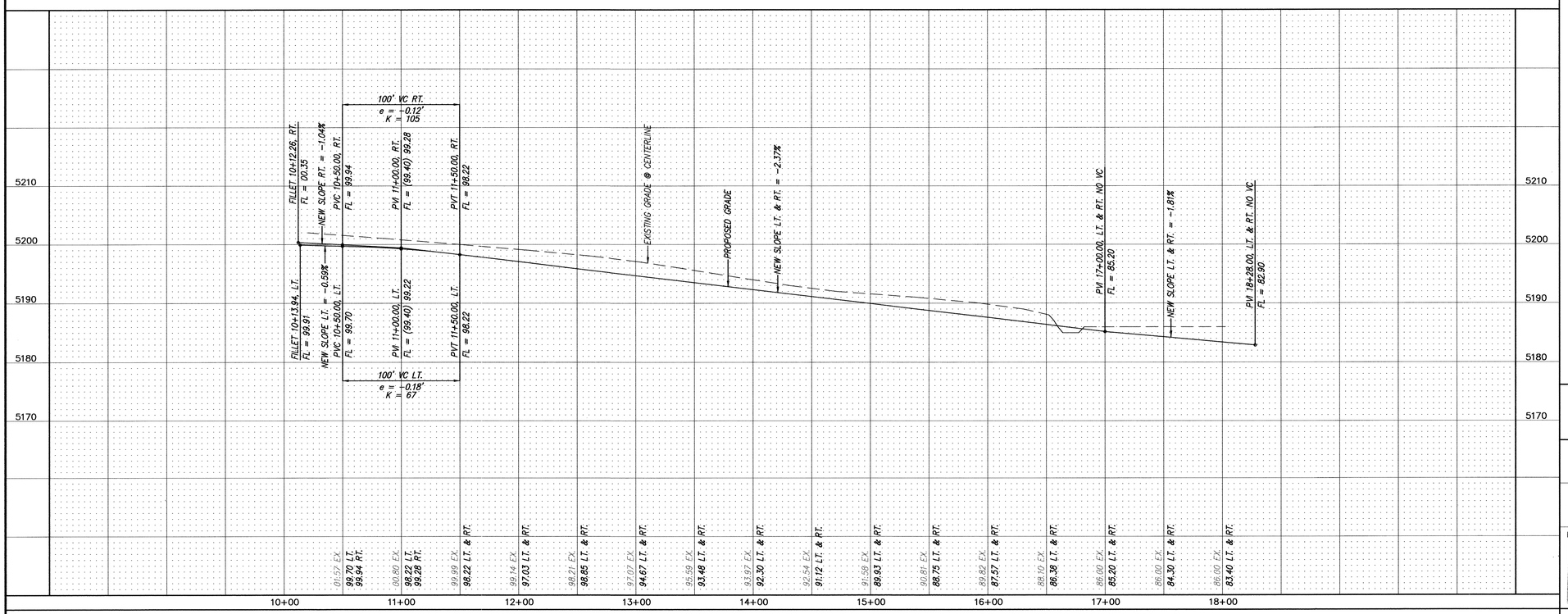
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
APPROVED JAN - 8 2004 DESIGN REVIEW COMMITTEE	APPROVED JAN - 8 2004 CITY ENGINEER			

CITY PROJECT NO. 708282 | ZONE MAP NO. H-9 & 10 | SHEET 9 OF 18





AUSTIN AVE. N.W.
STA. 10+00.00 TO STA. 21+00.00
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'



A2031WRD/PLANS/UNIT 2/A2031PP-1/03-21-03/ACH

NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.

CURVE DATA – DESCRIBES FACE OF CURB

① Δ = 90°00'00"
R = 25.00'
L = 39.27'
T = 25.00'

② Δ = 19°30'25"
R = 88.00'
L = 29.96'
T = 14.96'

③ Δ = 55°37'12"
R = 25.00'
L = 24.27'
T = 13.12'

④ Δ = 174°25'32"
R = 35.00'
L = 106.55'
T = N/A

⑤ Δ = 55°37'12"
R = 25.00'
L = 24.27'
T = 13.12'

⑥ Δ = 90°00'00"
R = 62.00'
L = 97.39'
T = 62.00'

⑦ Δ = 90°00'00"
R = 25.00'
L = 39.27'
T = 25.00'

⑧ Δ = 90°00'00"
R = 25.00'
L = 39.27'
T = 25.00'

⑨ Δ = 90°00'00"
R = 25.00'
L = 39.27'
T = 25.00'

⑩ Δ = 90°00'00"
R = 25.00'
L = 39.27'
T = 25.00'

⑪ Δ = 93°21'32"
R = 25.00'
L = 40.74'
T = 26.44'

CURVE DATA – DESCRIBES CENTERLINE

① Δ = 90°00'00"
R = 75.00'
L = 117.81'
T = 75.00'

BENCH MARKS

ACS BRASS CAP STAMPED "BH-39" FROM THE INTERSECTION OF COORS RD. N.W. AND I-40, 0.4 MILES NORTH ON QURAY RD. THEN LEFT 0.7 MILES TO END OF PAVEMENT. CONTINUING ON DIRT ROAD 0.9 MILES PASSED A POWER SUBSTATION TO A CROSSROAD. TURN LEFT 0.4 MILES TO A CROSSROAD. THEN LEFT 0.1 MILES TO THE STATION ON THE RIGHT.
GEOGRAPHIC POSITION (NAD 1927), IN FT.
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
X=356,760.08, Y=1,494,777.28 ELEVATION=5195.46, NGVD29, IN FT.

AS BUILT INFORMATION

		DATE
CONTRACTOR	Sails	
WORK STAKED BY	ALS	
INSPECTOR'S ACCEPTANCE BY	Dmg	04
FIELD VERIFICATION BY	ALS	5/04
DRAWINGS CORRECTED BY	ALS	5/04

MICRO-FILM INFORMATION

	DATE
RECORDED BY	
NO.	

SURVEY INFORMATION

NO.	BY	DATE

FIELD NOTES

ENGINEER'S SEAL

JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER
12-1-03

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, James D. Hughes, NMPE 11674, of the firm Mark Goodwin & Associates, PA, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 7719.

James D. Hughes
12-14-04

JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER

NO.	DATE	REMARKS	BY
		REVISIONS	

		DATE
DESIGNED BY	JDH	12/02
DRAWN BY	ACH	12/02
CHECKED BY	DMG	12/02

dmg
MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

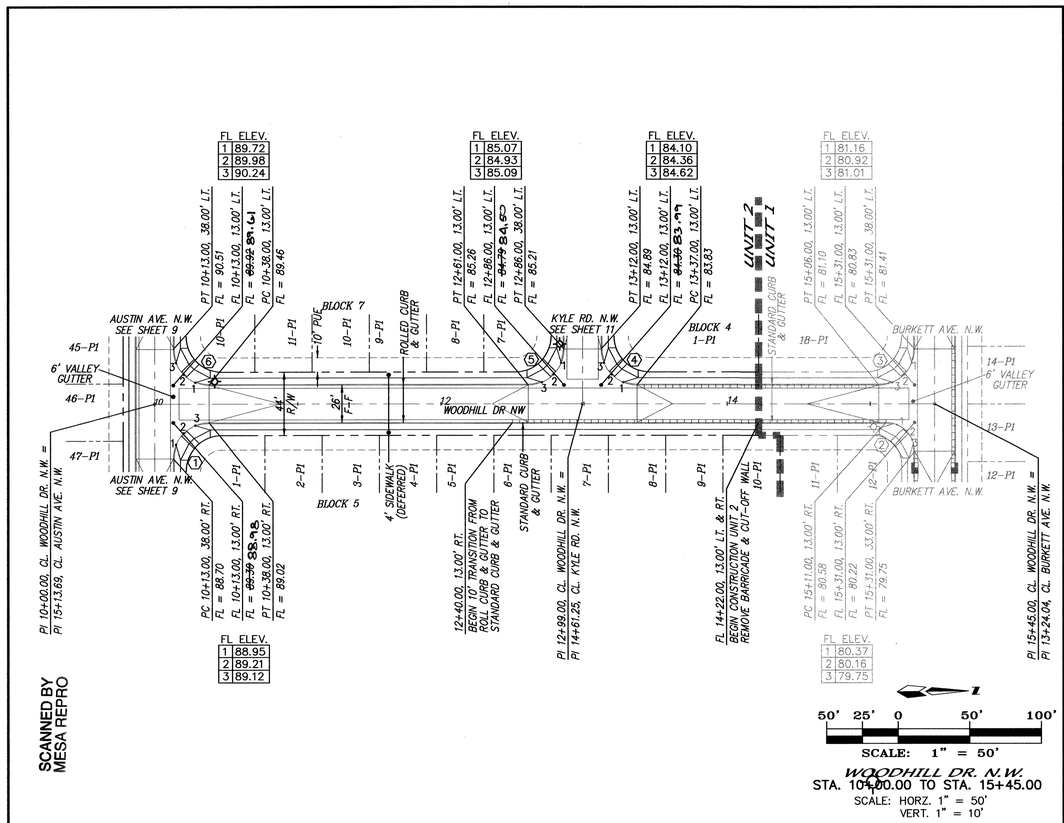
TITLE: WEST RIDGE SUBDIVISION - UNIT 2
AUSTIN AVE. N.W.
PAVING IMPROVEMENTS

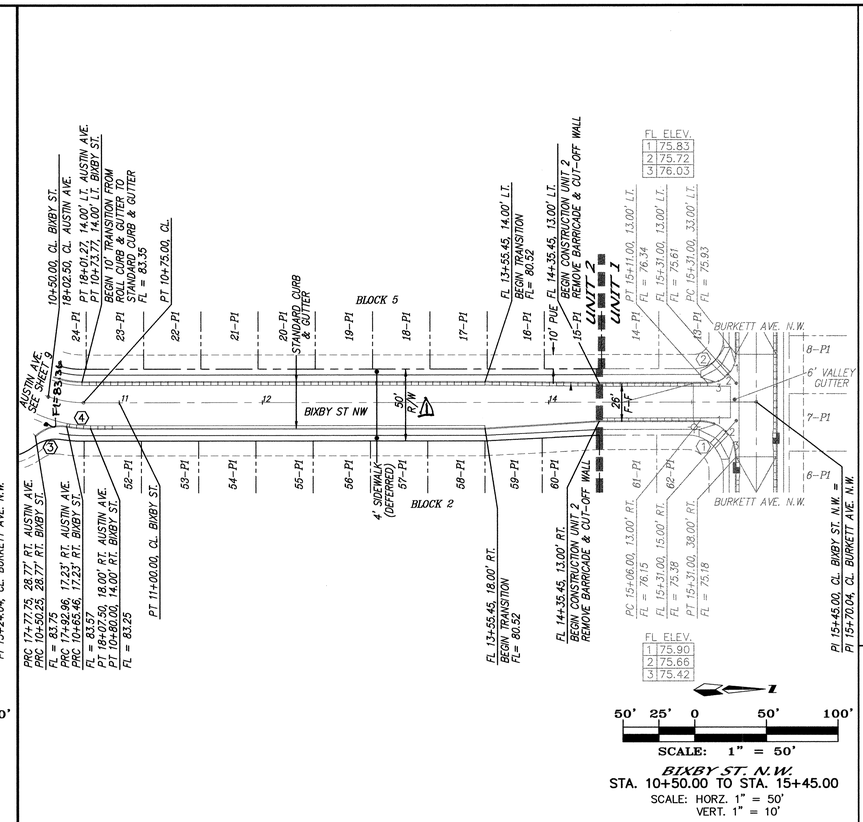
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
APPROVED MAY 13 2003 DESIGN REVIEW COMMITTEE	APPROVED DEC 16 2003 CITY ENGINEER			

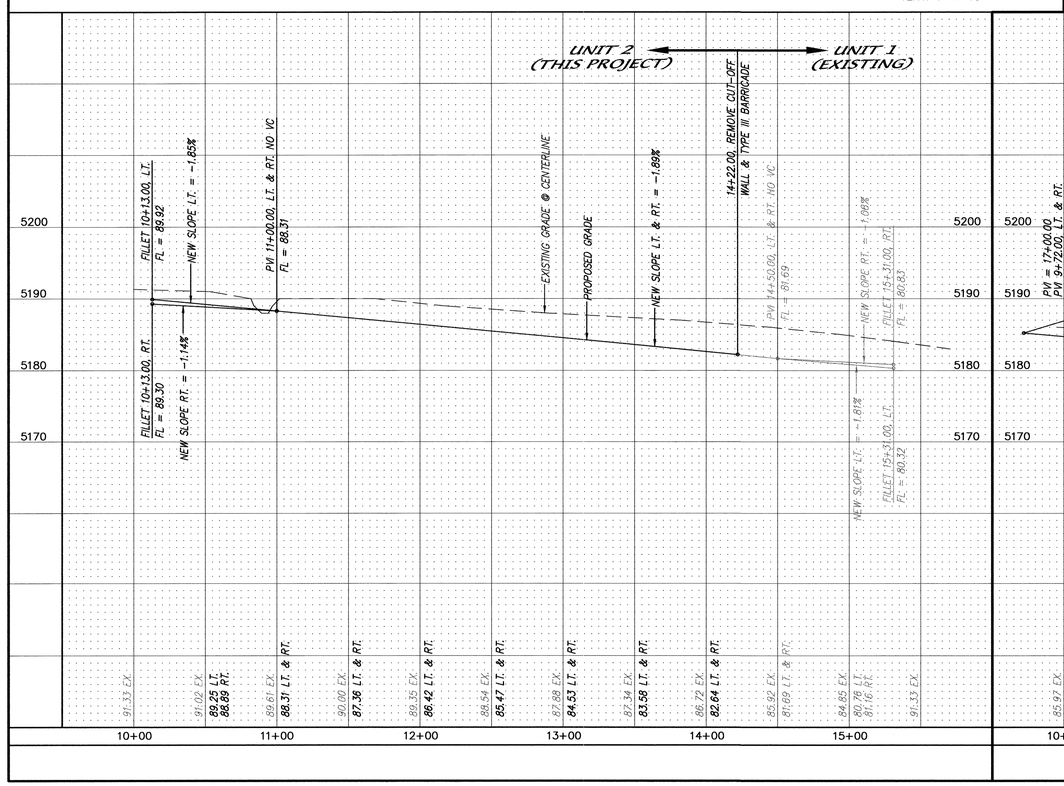
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
708282	H-9 & 10	9	18

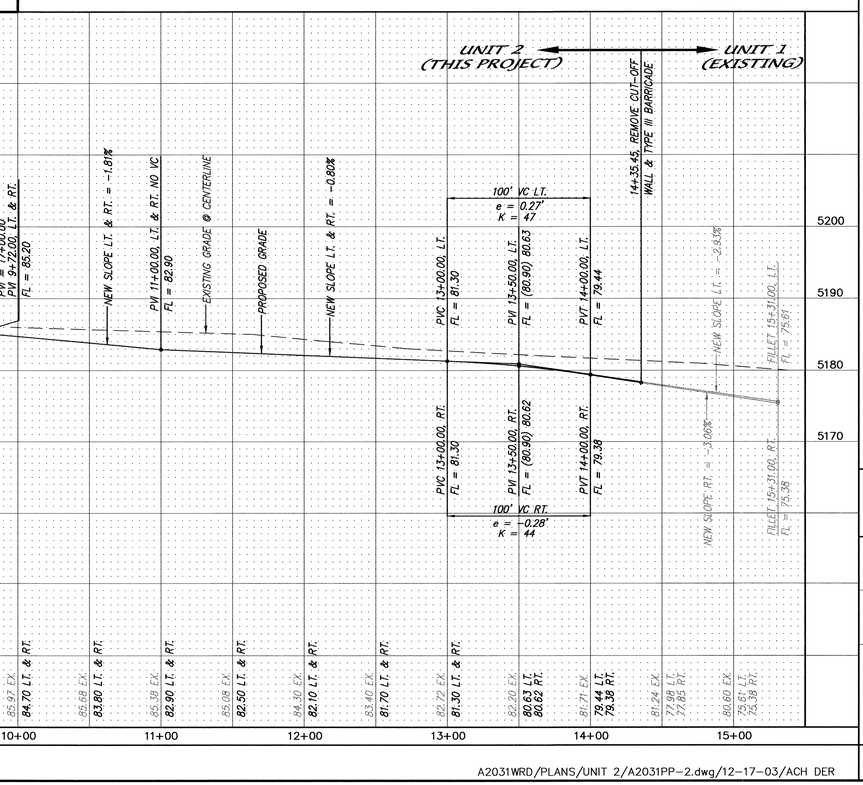
SCANNED BY
MESA REPRO

F:\A02JOBS\A2031WRD\PLANS\UNIT2\A2031PP-1.dwg Fri Mar 28 11:27:00 2003 D: MARK GOODWIN & ASSOCIATES: PLITTED BY: ACH









SCANNED BY MESA REPRO

NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.

WOODHILL DR. N.W.
CURVE DATA – DESCRIBES FACE OF CURB

① Δ = 90°00'00" R = 25.00' L = 39.27' T = 25.00'
② Δ = 90°00'00" R = 20.00' L = 31.42' T = 20.00'
③ Δ = 90°00'00" R = 25.00' L = 39.27' T = 25.00'
④ Δ = 90°00'00" R = 25.00' L = 39.27' T = 25.00'
⑤ Δ = 90°00'00" R = 25.00' L = 39.27' T = 25.00'
⑥ Δ = 90°00'00" R = 25.00' L = 39.27' T = 25.00'

BIXBY ST. N.W.
CURVE DATA – DESCRIBES FACE OF CURB

① Δ = 90°00'00" R = 25.00' L = 39.27' T = 25.00'
② Δ = 90°00'00" R = 20.00' L = 31.42' T = 20.00'
③ Δ = 55°34'49" R = 25.00' L = 23.82' T = 12.90'
④ Δ = 10°20'32" R = 93.00' L = 16.79' T = 8.42'

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, James D. Hughes, NMPE 11674, of the firm Mark Goodwin & Associates, PA, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 7719.

James D. Hughes 12-14-04

JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER

AS BUILT INFORMATION

CONTRACTOR	SALS	DATE
WORK STAKED BY	ALS	DATE 9-4
INSPECTOR'S ACCEPTANCE BY	DMG	DATE 9-04
FIELD VERIFICATION BY	ALS	DATE 9-04
DRAWINGS CORRECTED BY	ALS	DATE 9-04

MICRO-FILM INFORMATION

RECORDED BY	DATE
NO.	

BENCH MARKS

ACS BRASS CAP STAMPED "BH-39" FROM THE INTERSECTION OF COORS RD. N.W. AND I-40, 0.4 MILES NORTH ON QURAY RD. THEN LEFT 0.7 MILES TO END OF PAVEMENT. CONTINUING ON DIRT ROAD 0.9 MILES PASSED A POWER SUBSTATION TO A CROSSROAD. TURN LEFT 0.4 MILES TO A CROSSROAD. THEN LEFT 0.1 MILES TO THE STATION ON THE RIGHT.

GEOGRAPHIC POSITION (NAD 1927), IN FT
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
X=356,760.08, Y=1,494,777.28 ELEVATION=5195.46, NGVD29, IN FT.

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL

JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 12-18-03

JDH

NO.	DATE	REMARKS	BY
Δ	12-18-03	Bixby & Wider	JDH

REVISIONS

DESIGN		
DESIGNED BY	JDH	DATE 12/02
DRAWN BY	ACH	DATE 12/02
CHECKED BY	DMG	DATE 12/02

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: WEST RIDGE SUBDIVISION - UNIT 2
WOODHILL DR. N.W. & BIXBY ST. N.W.
PAVING IMPROVEMENTS

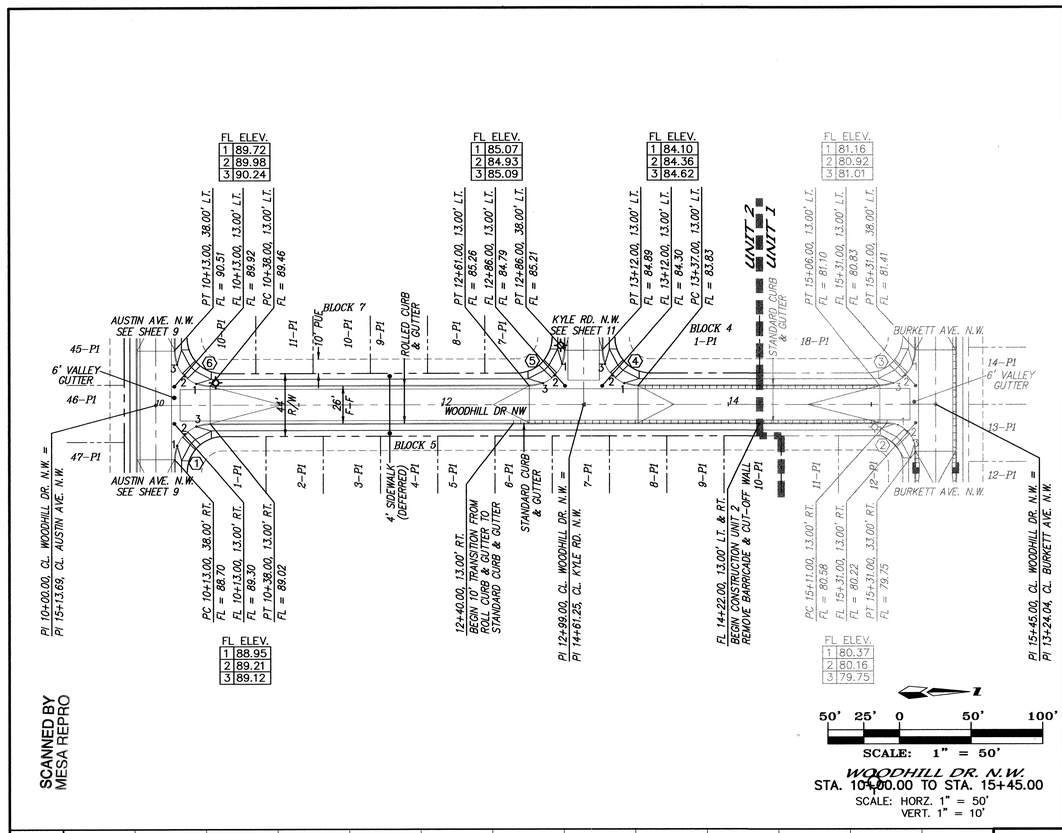
DESIGN REVIEW COMMITTEE: APPROVED JAN - 8 2004 DESIGN REVIEW COMMITTEE

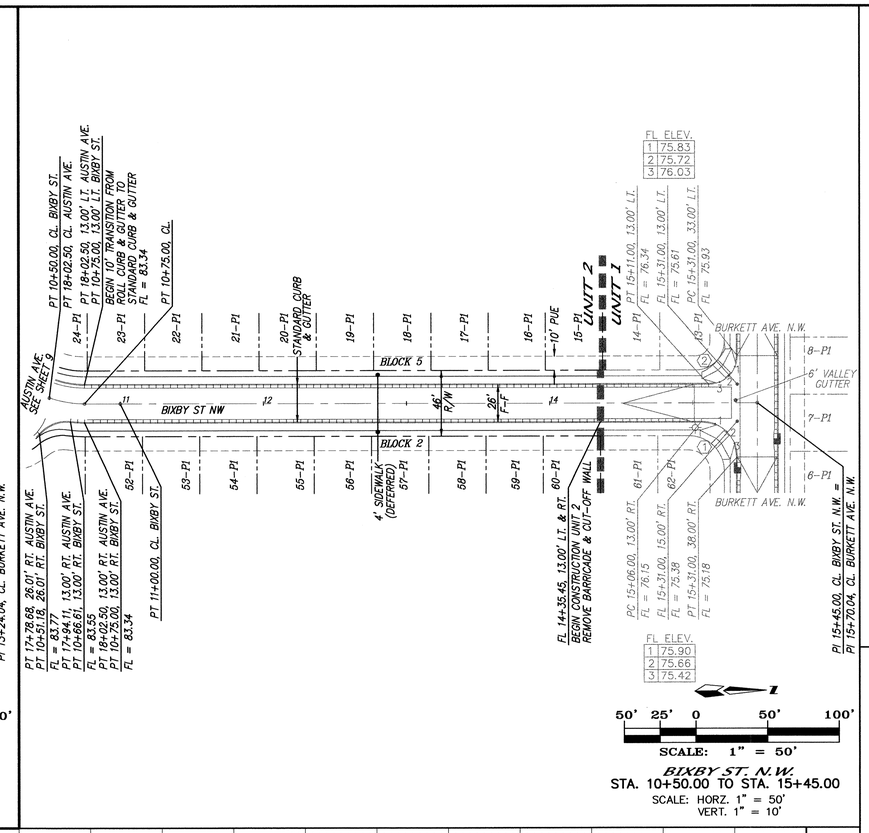
CITY ENGINEER APPROVAL: APPROVED JAN - 8 2004 CITY ENGINEER

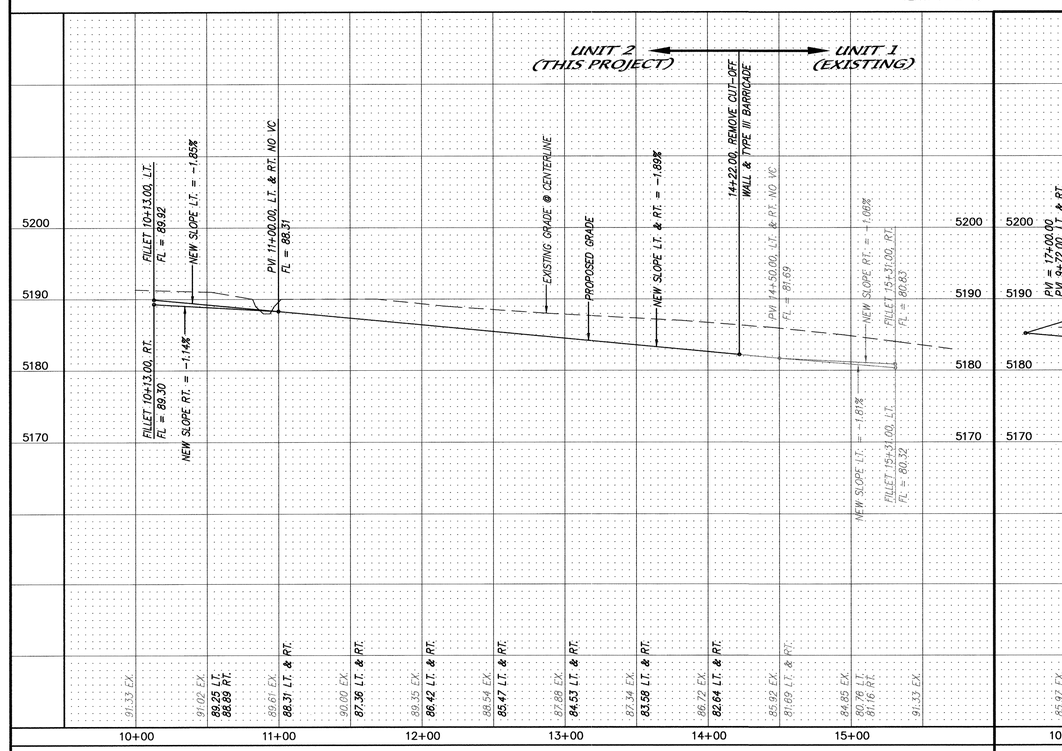
LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

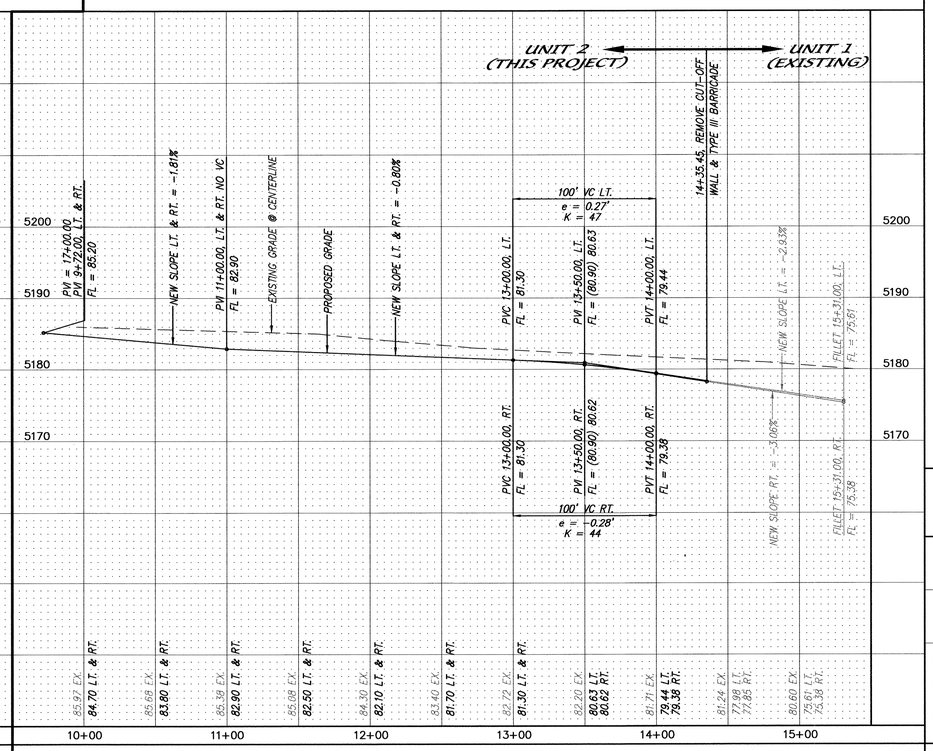
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
708282	H-9 & 10	10	18

F:\A02JOBS\A2031WRD\PLANS\UNIT2\A2031PP-2.dwg Wed Dec 17 16:58:42 2003 D. MARK GOODWIN & ASSOCIATES: PLTTED BY: DER









SCANNED BY MESA REPRO

NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.

WOODHILL DR. N.W.
CURVE DATA – DESCRIBES FACE OF CURB

① Δ = 90°00'00" R = 25.00' L = 39.27' T = 25.00'	② Δ = 90°00'00" R = 20.00' L = 31.42' T = 20.00'
③ Δ = 90°00'00" R = 25.00' L = 39.27' T = 25.00'	④ Δ = 90°00'00" R = 25.00' L = 39.27' T = 25.00'
⑤ Δ = 90°00'00" R = 25.00' L = 39.27' T = 25.00'	⑥ Δ = 90°00'00" R = 25.00' L = 39.27' T = 25.00'

BIXBY ST. N.W.
CURVE DATA – DESCRIBES FACE OF CURB

① Δ = 90°00'00" R = 25.00' L = 39.27' T = 25.00'	② Δ = 90°00'00" R = 20.00' L = 31.42' T = 20.00'

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, James D. Hughes, NMPE 11674, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 7719.

12-19-03

JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

AS BUILT INFORMATION

CONTRACTOR	SALS	
WORK STAKED BY	ALS	DATE
INSPECTED BY ACCEPTANCE	Dmg	DATE 9/04
FIELD VERIFICATION BY	ALS	DATE 5/04
DRAWINGS CORRECTED BY	ALS	DATE 5/04

MICRO-FILM INFORMATION

RECORDED BY	DATE
NO.	

BENCH MARKS

ACS BRASS CAP STAMPED "BH-39"	FROM THE INTERSECTION OF
COORS RD. N.W. AND I-40, 0.4 MILES NORTH ON QURAY RD. THEN	
LEFT 0.7 MILES TO END OF PAVEMENT. CONTINUING ON DIRT ROAD	
0.9 MILES PASSED A POWER SUBSTATION TO A CROSSROAD. TURN	
LEFT 0.4 MILES TO A CROSSROAD. THEN LEFT 0.1 MILES TO THE	
STATION ON THE RIGHT.	
GEOGRAPHIC POSITION (NAD 1927), IN FT.	
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	
X=556,760.08, Y=1,494,777.28 ELEVATION=5195.46, NGVD29, IN FT.	

SURVEY INFORMATION

NO.	BY	DATE	FIELD NOTES

ENGINEER'S SEAL

JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 12-1-03

NO.	DATE	REMARKS REVISIONS	BY

		DATE
DESIGNED BY	JDH	12/02
DRAWN BY	ACH	12/02
CHECKED BY	DMG	12/02

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: WEST RIDGE SUBDIVISION - UNIT 2
WOODHILL DR. N.W. & BIXBY ST. N.W.
PAVING IMPROVEMENTS

DESIGN REVIEW COMMITTEE: APPROVED MAY 13 2003 DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL: APPROVED DEC 16 2003 CITY ENGINEER

LAST DESIGN UPDATE | MO./DAY/YR. | MO./DAY/YR.

CITY PROJECT NO. 708282 | ZONE MAP NO. H-9 & 10 | SHEET 10 OF 18

A2031WRD/PLANS/UNIT 2/A2031PP-2/03-21-03/ACH

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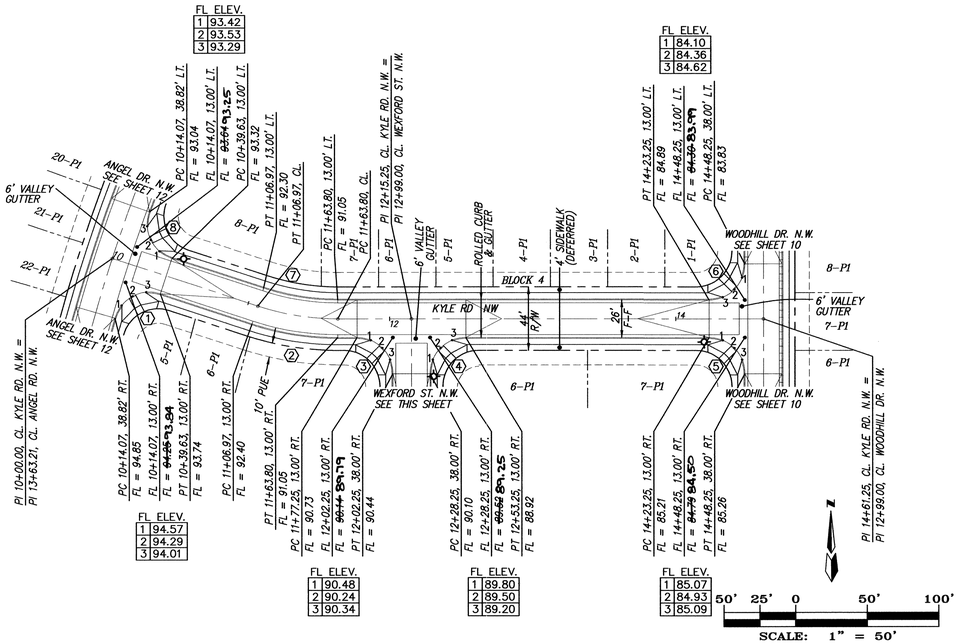
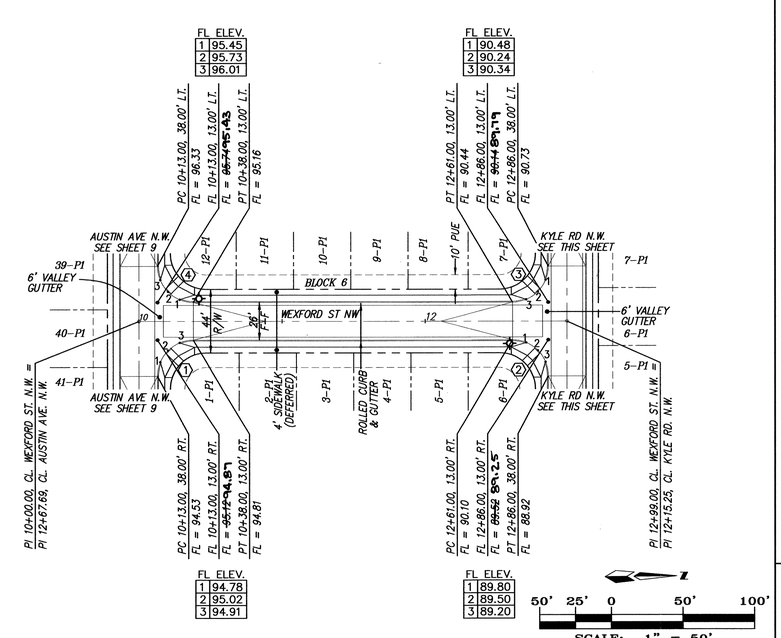
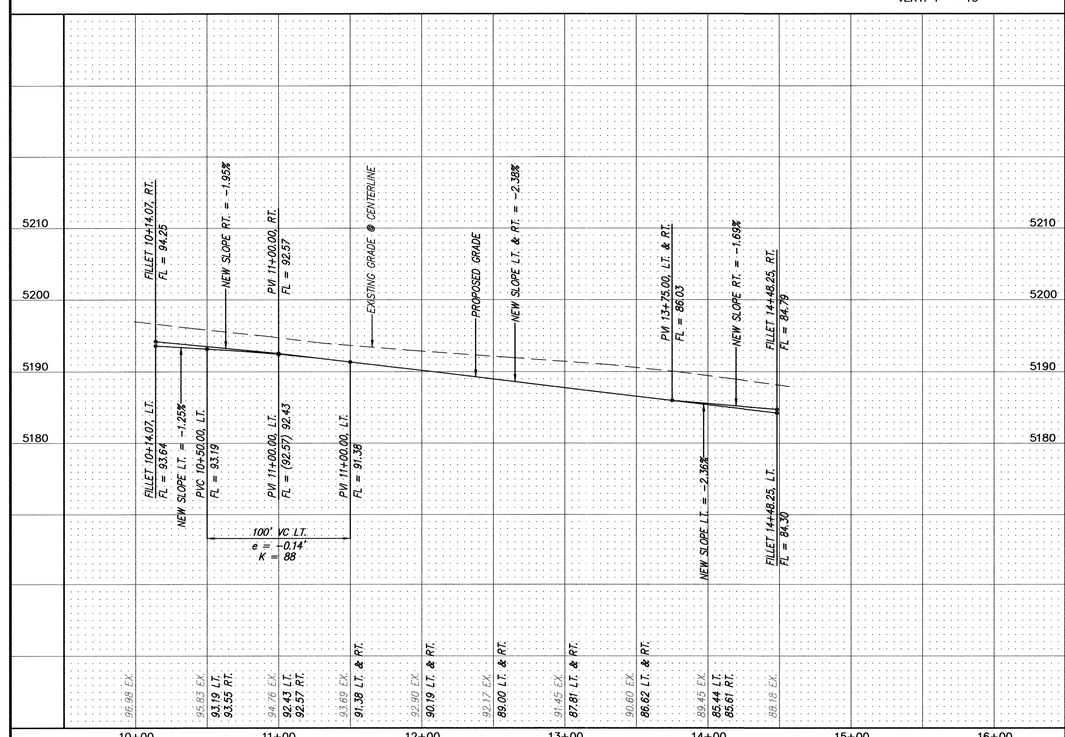
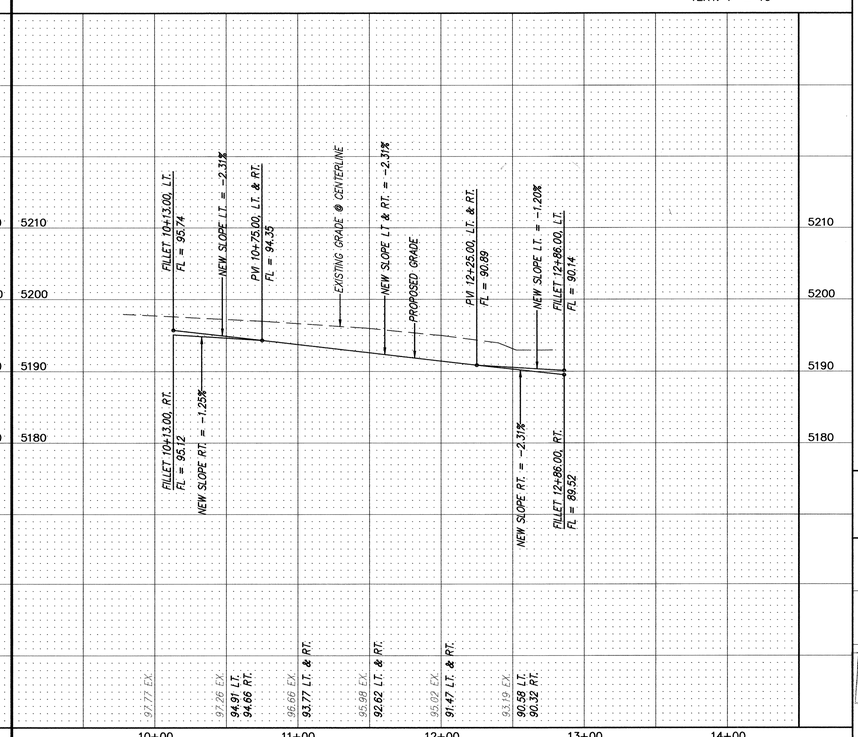








NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.

KYLE RD.
CURVE DATA – DESCRIBES FACE OF CURB

① Δ = 91°53'07" R = 25.00' L = 40.09' T = 25.68'	② Δ = 18°05'31" R = 193.00' L = 60.94' T = 30.66'
③ Δ = 90°00'00" R = 25.00' L = 39.27' T = 25.00'	④ Δ = 90°00'00" R = 25.00' L = 39.27' T = 25.00'
⑤ Δ = 90°00'00" R = 25.00' L = 39.27' T = 25.00'	⑥ Δ = 90°00'00" R = 25.00' L = 39.27' T = 25.00'
⑦ Δ = 18°05'31" R = 167.00' L = 52.73' T = 26.53'	⑧ Δ = 91°53'07" R = 25.00' L = 40.09' T = 25.68'

CURVE DATA – DESCRIBES CENTERLINE

① Δ = 90°04'43"
R = 75.00'
L = 117.83'
T = 75.02'

WEXFORD ST.
CURVE DATA – DESCRIBES FACE OF CURB

① Δ = 90°00'00" R = 25.00' L = 39.27' T = 25.00'	② Δ = 90°00'00" R = 25.00' L = 39.27' T = 25.00'
③ Δ = 90°00'00" R = 25.00' L = 39.27' T = 25.00'	④ Δ = 90°00'00" R = 25.00' L = 39.27' T = 25.00'

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, James D. Hughes, NMPE 11674, of the firm Mark Goodwin & Associates, PA, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 7719.

12-14-04

JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER

AS BUILT INFORMATION

CONTRACTOR	Sells	DATE
WORK STAKED BY	ALS	
INSPECTOR'S ACCEPTANCE BY	Dmg	DATE 5/24
FIELD VERIFICATION BY	ALS	DATE 5/24
DRAWINGS CORRECTED BY	ALS	DATE 5/24

MICRO-FILM INFORMATION

RECORDED BY	DATE
NO.	

BENCH MARKS

ACS BRASS CAP STAMPED "BH-39" FROM THE INTERSECTION OF COORS RD. N.W. AND I-40, 0.4 MILES NORTH ON QURAY RD. THEN LEFT 0.7 MILES TO END OF PAVEMENT, CONTINUING ON DIRT ROAD 0.9 MILES PASSED A POWER SUBSTATION TO A CROSSROAD. TURN LEFT 0.4 MILES TO A CROSSROAD. THEN LEFT 0.1 MILES TO THE STATION ON THE RIGHT.
GEOGRAPHIC POSITION (NAD 1927), IN FT
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
X=356,760.08 Y=1,494,777.28 ELEVATION=5195.46, NGVD29, IN FT.

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL

JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 12-1-04

NO.	DATE	REMARKS	BY

REVISIONS

DESIGN			
DESIGNED BY	JDH	DATE	12/02
DRAWN BY	ACH	DATE	12/02
CHECKED BY	DMG	DATE	12/02

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: WEST RIDGE SUBDIVISION - UNIT 2
KYLE RD. N.W. & WEXFORD ST. N.W.
PAVING IMPROVEMENTS

DESIGN REVIEW COMMITTEE: APPROVED MAY 13 2003 DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL: APPROVED DEC 16 2003 CITY ENGINEER

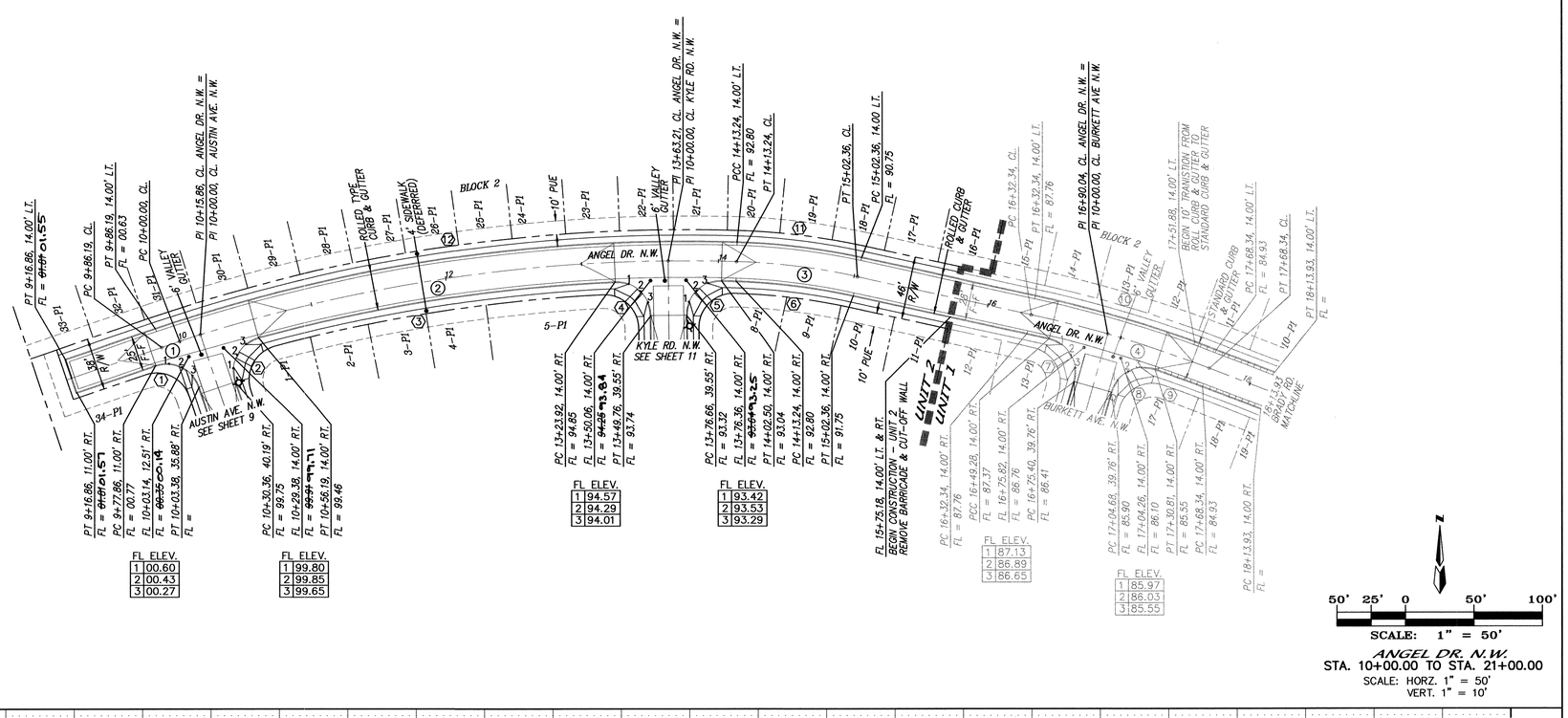
LAST DESIGN UPDATE: MO./DAY/YR. | MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
708282	H-9 & 10	11	18

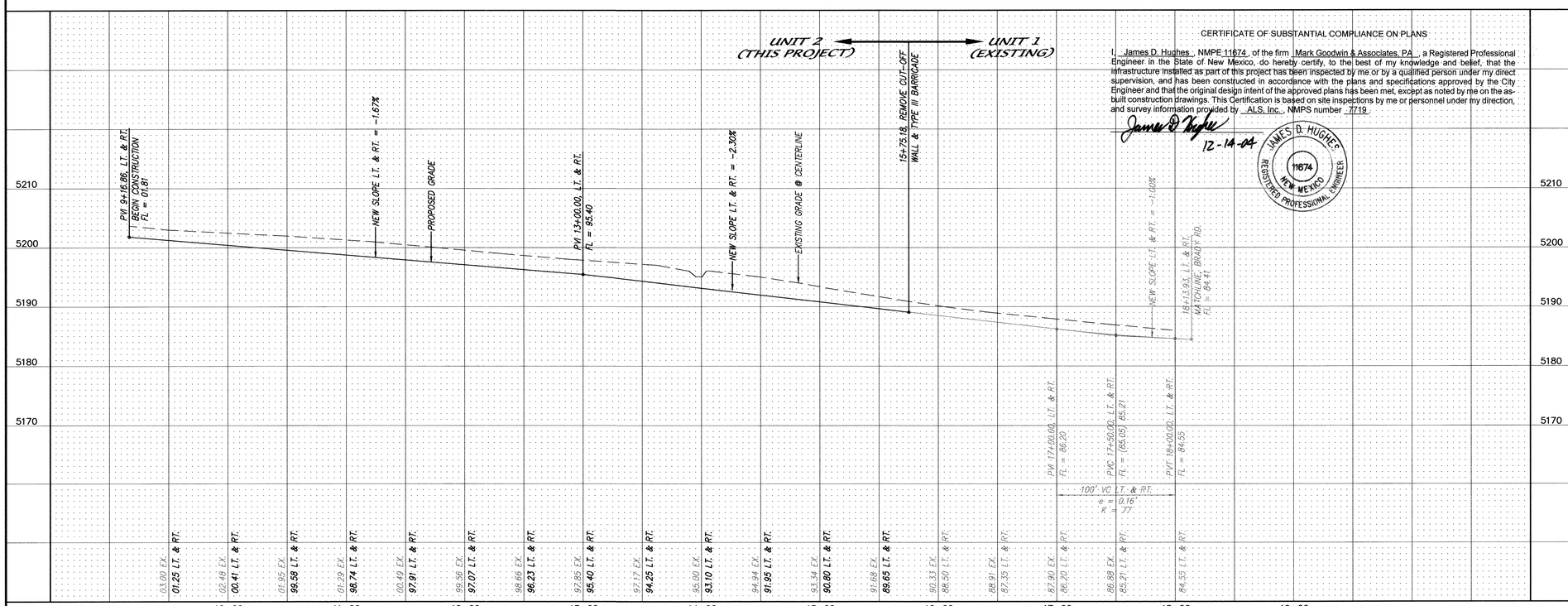
A2031WRD/PLANS/UNIT 2/A2031PP-3/03-26-03/ACH

SCANNED BY
MESA REPRO

F:\A02JOBS\A2031WRD\PLANS\UNIT2\A2031PP-3.dwg Fri Mar 28 11:27:49 2003 D. MARK GOODWIN & ASSOCIATES, PLTTED BY: ACH



ANGEL DR. N.W.
STA. 10+00.00 TO STA. 21+00.00
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'



A2031WRD/PLANS/UNIT 2/A2031PP-7/03-26-03/ACH

NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.

CURVE DATA – DESCRIBES FACE OF CURB

① Δ = 90°00'00" R = 25.00' L = 39.27' T = 25.00'	② Δ = 93°21'32" R = 25.00' L = 40.74' T = 26.44'
③ Δ = 12°50'52" R = 1180.00' L = 264.60' T = 129.29'	④ Δ = 91°53'07" R = 25.00' L = 40.09' T = 25.68'
⑤ Δ = 91°53'07" R = 25.00' L = 40.39' T = 25.68'	⑥ Δ = 10°32'58" R = 470.04' L = 86.54' T = 42.47'
⑦ Δ = 92°34'25" R = 25.00' L = 110.80' T = 26.04'	⑧ Δ = 92°34'25" R = 25.00' L = 110.80' T = 26.04'
⑨ Δ = 2°22'11" R = 893.58' L = 36.96' T = 17.32'	⑩ Δ = 8°35'10" R = 921.58' L = 138.10' T = 67.28'
⑪ Δ = 10°32'58" R = 498.04' L = 91.70' T = 45.00'	⑫ Δ = 20°29'33" R = 1208.00' L = 432.05' T = 216.19'

CURVE DATA – DESCRIBES CENTERLINE

① Δ = 0°39'46" R = 1194.00' L = 13.81' T = 4.11'	② Δ = 19°49'47" R = 1194.00' L = 413.24' T = 205.11'
③ Δ = 10°32'58" R = 484.04' L = 89.12' T = 43.74'	④ Δ = 8°35'10" R = 907.58' L = 136.01' T = 66.26'

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I James D. Hughes, NMPE 11674, of the firm Mark Goodwin & Associates, PA, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 7719.

James D. Hughes 12-14-04

JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER

SCANNED BY MESA REPRO

F:\MGJOBS\A2031WRD\PLANS\UNIT2\A2031PP-7.dwg Fri Mar 28 11:26:07 2003 D. MARK GOODWIN & ASSOCIATES PLTTED BY: ACH

SURVEY INFORMATION

NO.	FIELD NOTES BY	DATE

BENCH MARKS

AGS BRASS CAP STAMPED "BH-39" FROM THE INTERSECTION OF COORS RD. N.W. AND I-40, 0.4 MILES NORTH ON QURAY RD. THEN LEFT 0.7 MILES TO END OF PAVEMENT. CONTINUING ON DIRT ROAD 0.9 MILES PASSED A POWER SUBSTATION TO A CROSSROAD. TURN LEFT 0.4 MILES TO A CROSSROAD. THEN LEFT 0.1 MILES TO THE STATION ON THE RIGHT.

GEOGRAPHIC POSITION (NAD 1927), IN FT.
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
X=356,760.08, Y=1,494,777.28 ELEVATION=5195.46, NGVD29, IN FT.

AS BUILT INFORMATION

CONTRACTOR	Balls	DATE
WORK STAKED BY	ALS	DATE
INSPECTOR'S ACCEPTANCE BY	Dmg	DATE 5-6-04
FIELD VERIFICATION BY	ALS	DATE 5-6-04
DRAWINGS CORRECTED BY	ALS	DATE 5-6-04

MICRO-FILM INFORMATION

RECORDED BY DATE
NO.

ENGINEER'S SEAL

JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 4-1-03

NO.	DATE	REMARKS	BY
		REVISIONS	

		DATE
DESIGN		
DESIGNED BY	JDH	12/02
DRAWN BY	ACH	12/02
CHECKED BY	DMG	12/02

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: WEST RIDGE SUBDIVISION - UNIT 2
ANGEL DR. N.W.
PAVING IMPROVEMENTS

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
APPROVED MAY 13 2003 DESIGN REVIEW COMMITTEE	APPROVED DEC 16 2003 CITY ENGINEER			

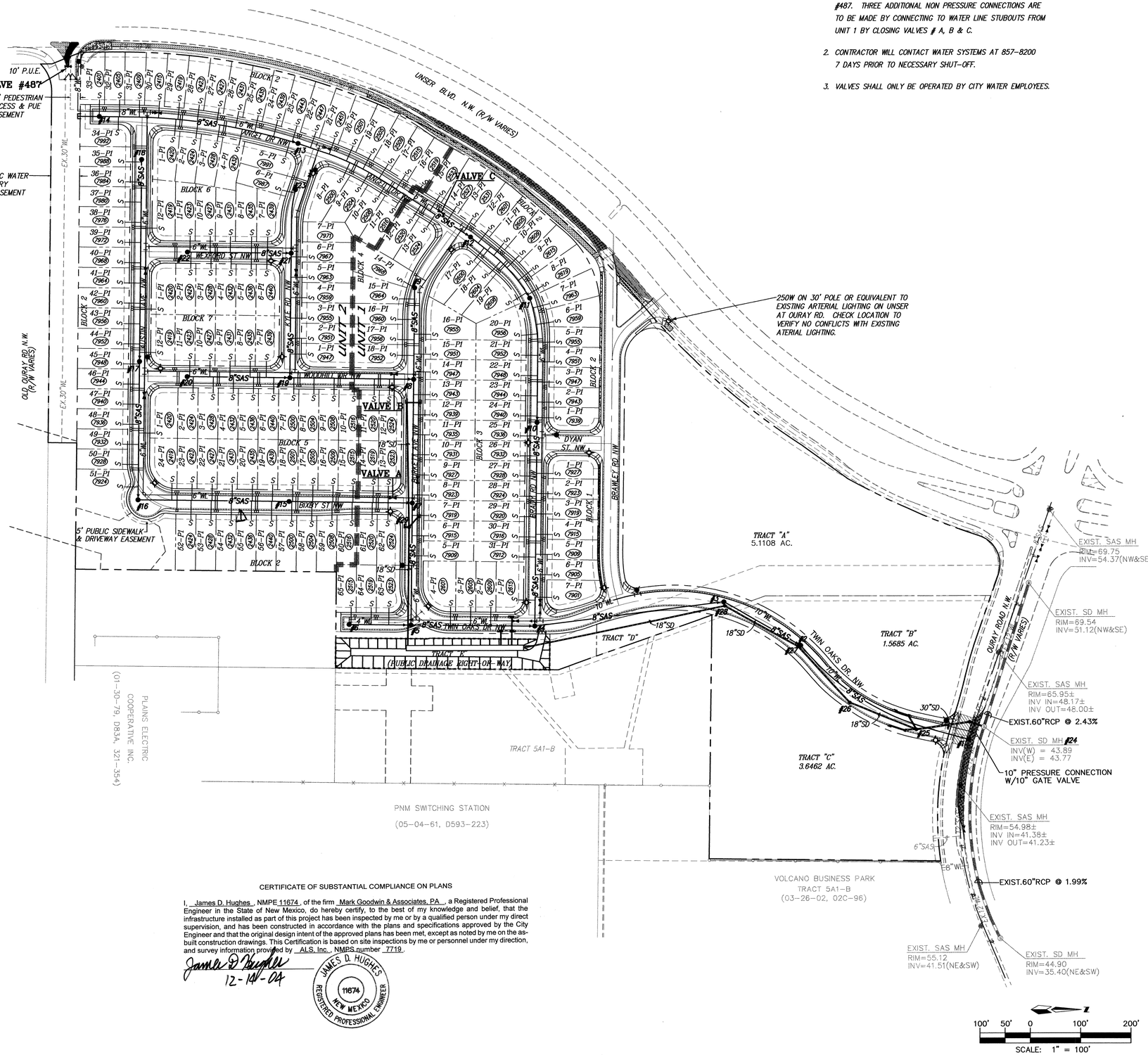
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
708282	H-9 & 10	12	18

WATER SHUT-OFF PLAN

1. ONE PRESSURE CONNECTION IS TO BE MADE ON AN EXISTING FIRE HYDRANT LINE IN OLD OURAY RD. BY SHUTTING VALVE #487. THREE ADDITIONAL NON PRESSURE CONNECTIONS ARE TO BE MADE BY CONNECTING TO WATER LINE STUBOUTS FROM UNIT 1 BY CLOSING VALVES # A, B & C.
2. CONTRACTOR WILL CONTACT WATER SYSTEMS AT 857-8200 7 DAYS PRIOR TO NECESSARY SHUT-OFF.
3. VALVES SHALL ONLY BE OPERATED BY CITY WATER EMPLOYEES.

LEGEND

- NEW MOUNTABLE CURB & GUTTER
- NEW STANDARD 8" CURB & GUTTER
- NEW FIRE HYDRANT
- NEW SAS MH
- 20 NEW LOT NUMBERS
- NEW GATE VALVE
- NEW TEE
- NEW BEND
- NEW LOT BOUNDARY
- NEW RIGHT OF WAY
- NEW EASEMENTS
- W NEW WATERLINE
- SAS NEW SANITARY SEWER
- NEW STORM SEWER
- NEW CENTERLINE OF ROAD
- EXISTING CURB AND GUTTER
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER VALVE
- 8"W EXISTING WATERLINE
- EXISTING FIRE HYDRANT
- EXISTING STORM SEWER MANHOLE
- SAS EXISTING SANITARY SEWER
- EXISTING EDGE OF PAVEMENT
- NEW SIDEWALK
- (8309) NEW LOT ADDRESS
- NEW STREET LIGHTS



A2031WRD/PLANS/UNIT 2/A2031MUTIL.dwg/12-17-03/ KJS ACH DER

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, James D. Hughes, NMPE 11674, of the firm Mark Goodwin & Associates, PA, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 7719.

James D. Hughes 12-19-04

JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER

AS BUILT INFORMATION

CONTRACTOR	SAILS	DATE
WORK STAKED BY	ALS	
INSPECTOR'S ACCEPTANCE BY	Dana	DATE 5-6-04
FIELD VERIFICATION BY	ALS	DATE 5-6-04
DRAWINGS CORRECTED BY	ALS	DATE 5-6-04

MICRO-FILM INFORMATION

RECORDED BY DATE

NO.

BENCH MARKS

ACS BRASS CAP STAMPED "BH-39" FROM THE INTERSECTION OF COORS RD. N.W. AND I-40, 0.4 MILES NORTH ON OURAY RD. THEN LEFT 0.7 MILES TO END OF PAVEMENT. CONTINUING ON DIRT ROAD 0.9 MILES PASSED A POWER SUBSTATION TO A CROSSROAD. TURN LEFT 0.4 MILES TO A CROSSROAD. THEN LEFT 0.1 MILES TO THE STATION ON THE RIGHT.

GEOGRAPHIC POSITION (NAD 1927), IN FT.
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
X=356,760.08, Y=1,494,777.28 ELEVATION=5195.46, NGVD29, IN FT.

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL

JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER
12-19-03

NO.	DATE	REMARKS	BY
1	12-19-03	Bixby & Wider	JDH

REVISIONS

DESIGNED BY	JDH	DATE 12/02
DRAWN BY	KJS	DATE 12/02
CHECKED BY	DMG	DATE 12/02

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

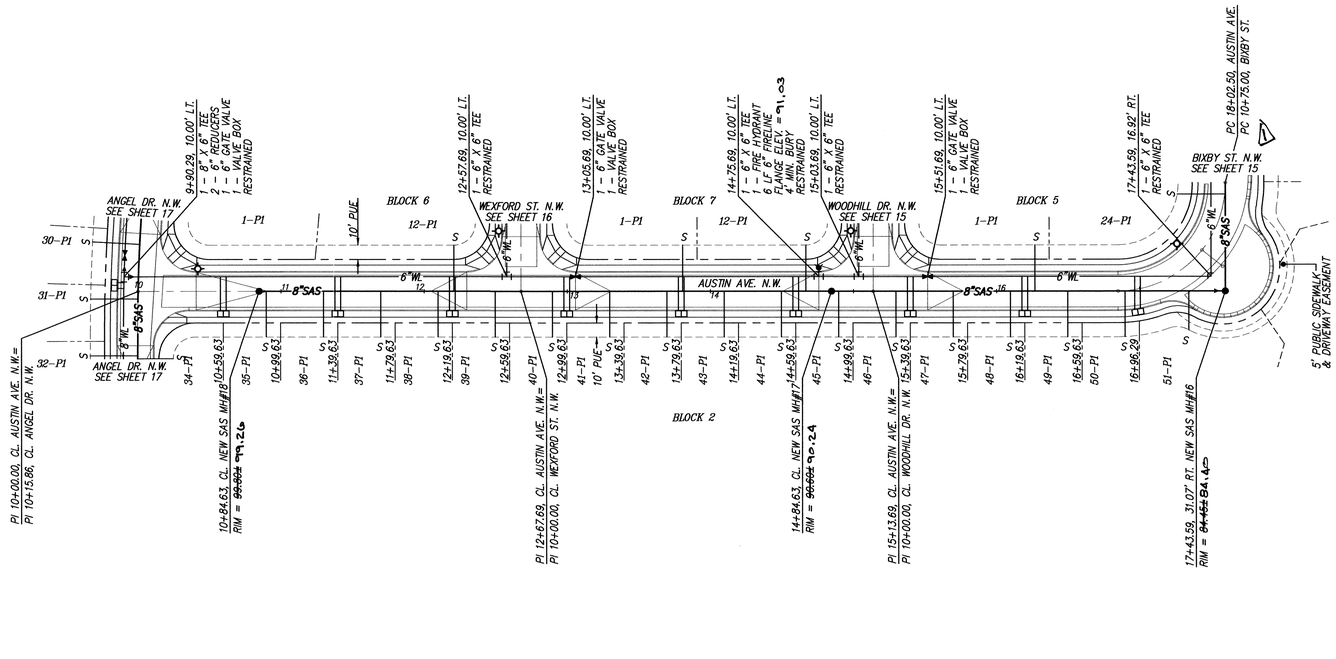
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: WEST RIDGE SUBDIVISION - UNIT 2
MASTER UTILITY PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
APPROVED JAN - 8 2004 DESIGN REVIEW COMMITTEE	APPROVED JAN - 8 2004 CITY ENGINEER			

708282 | ZONE MAP NO. H-9 & 10 | SHEET 13 OF 18

SCANNED BY MESA REPRO
F:\A02JOBS\A2031WRD\PLANS\UNIT2\A2031MUTIL-2.dwg Wed Dec 17 16:59:10 2003 D. MARK GOODWIN & ASSOCIATES, PLTTED BY: DER

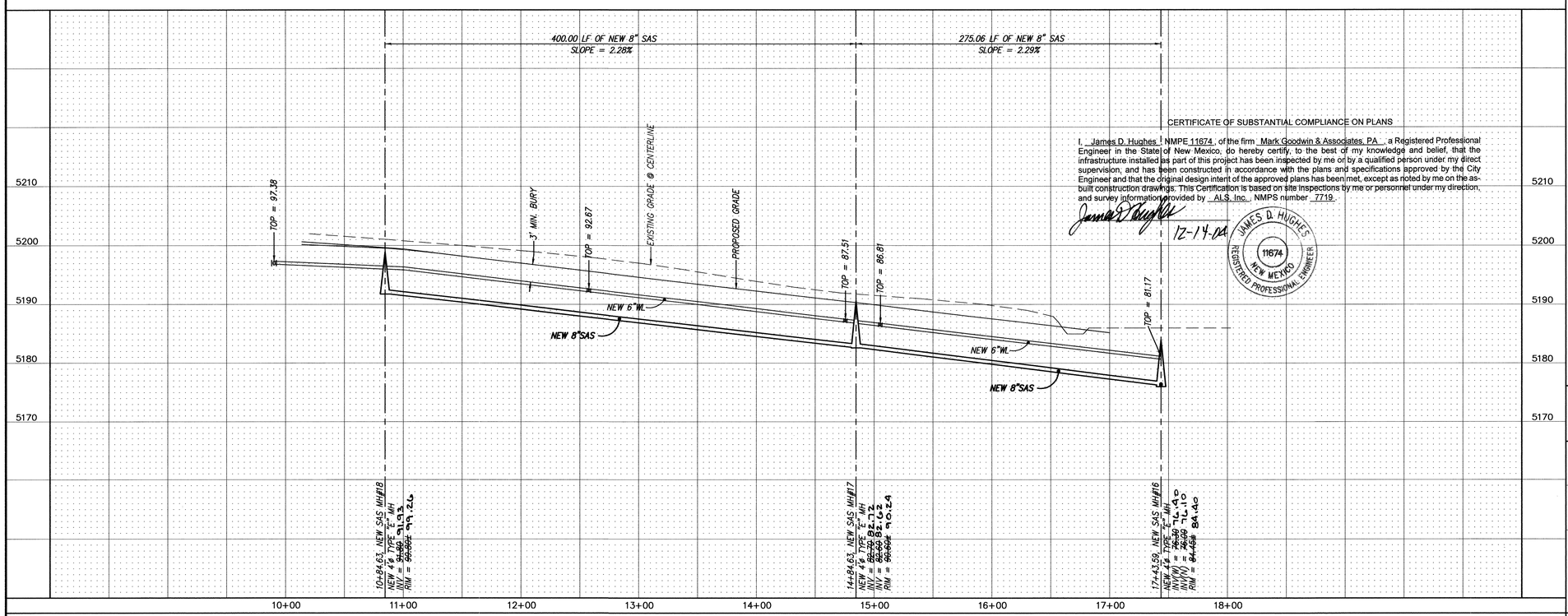


SCANNED BY
MESA REPRO

50' 25' 0 50' 100'

SCALE: 1" = 50'

AUSTIN AVE. N.W.
STA. 10+00.00 TO STA. 18+02.50
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'



CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, James D. Hughes NMPE 11674, of the firm Mark Goodwin & Associates, PA, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 7719.

12-14-04

JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER

A2031WRD/PLANS/UNIT 2/A2031UP-1.dwg/12-17-03/ACH DER

NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.
2. SEE GATE VALVE BOX DETAIL ON SHEET ##.

SANITARY SEWER SERVICES

BLOCK	LOT	STATION AT PUE	INV. ELEV. AT PUE	LENGTH AT PUE
2	35	10+89.63	94.70	32.00'
2	36	11+29.63	93.90	32.00'
2	37	11+69.63	92.90	32.00'
2	38	12+09.63	92.00	32.00'
2	39	12+49.63	91.00	32.00'
2	40	12+89.63	90.10	32.00'
2	41	13+29.63	89.10	32.00'
2	42	13+69.63	88.20	32.00'
2	43	14+09.63	87.20	32.00'
2	44	14+49.63	86.30	32.00'
2	45	14+89.63	85.30	32.00'
2	46	15+29.63	84.40	32.00'
2	47	15+69.63	83.40	32.00'
2	48	16+09.63	82.50	32.00'
2	49	16+49.63	81.50	32.00'
2	50	16+88.15	80.50	31.89'
2	51	17+18.58	80.20	27.17'
5	1	16+26.69	81.70	32.00'
6	12	12+20.69	91.30	32.00'
7	1	13+80.69	87.50	32.00'
7	12	14+66.69	85.70	32.00'

RESTRAINED JOINT LENGTH FOR BENDS, VALVES, DEAD ENDS (FT.)

PIPE SIZE	90°	45°	22.5°	11.25°	VALVE
6"	17'	7'	–	–	46'
10"	–	11'	5'	3'	72'

LENGTH OF RESTRAINED PIPE ON EACH SIDE OF THE BEND. RESTRAIN BRANCH AT FITTING ONLY MINIMUM ATTACHED PIPE LENGTH, RUN SIDE OF TEE: 10.00 FEET.

RESTRAINED JOINT LENGTHS FOR REDUCERS (FT.)

PIPE SIZE	LARGE SIDE	SMALL SIDE
10" X 6"	44'	–

RESTRAINED JOINT LENGTH FOR TEES (FT.)

PIPE SIZE	RUN	BRANCH
10"x10"x10"	15'	5'
10"x10"x6"	6'	1'
6"x6"x6"	10'	2'

AS BUILT INFORMATION

		DATE
CONTRACTOR	SALLS	
WORK STAKED BY	ALS	
INSPECTOR'S ACCEPTANCE BY	DMG	04
FIELD VERIFICATION BY	ALS	5/04
DRAWINGS CORRECTED BY	ALS	5/04

MICRO-FILM INFORMATION

RECORDED BY DATE

NO.

BENCH MARKS

ACS BRASS CAP STAMPED "BH-39" FROM THE INTERSECTION OF COORS RD. N.W. AND I-40, 0.4 MILES NORTH ON QURAY RD. THEN LEFT 0.7 MILES TO END OF PAVEMENT. CONTINUING ON DIRT ROAD 0.9 MILES PASSED A POWER SUBSTATION TO A CROSSROAD. TURN LEFT 0.4 MILES TO A CROSSROAD. THEN LEFT 0.1 MILES TO THE STATION ON THE RIGHT.

GEOGRAPHIC POSITION (NAD 1927), IN FT

N.M. STATE PLANE COORDINATES (CENTRAL ZONE)

X=356,760.08, Y=1,494,777.28 ELEVATION=5195.46, NGVD29, IN FT.

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL

JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER

4-1-03
Rev 12-19-03
JDH

NO.	DATE	REMARKS	BY
1	12-18-03	Bixby & Wilder	

REVISIONS

		DATE
DESIGNED BY	JDH	12/02
DRAWN BY	ACH	12/02
CHECKED BY	DMG	12/02

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: *WEST RIDGE SUBDIVISION - UNIT 2*
AUSTIN AVE. N.W.
UTILITY IMPROVEMENTS

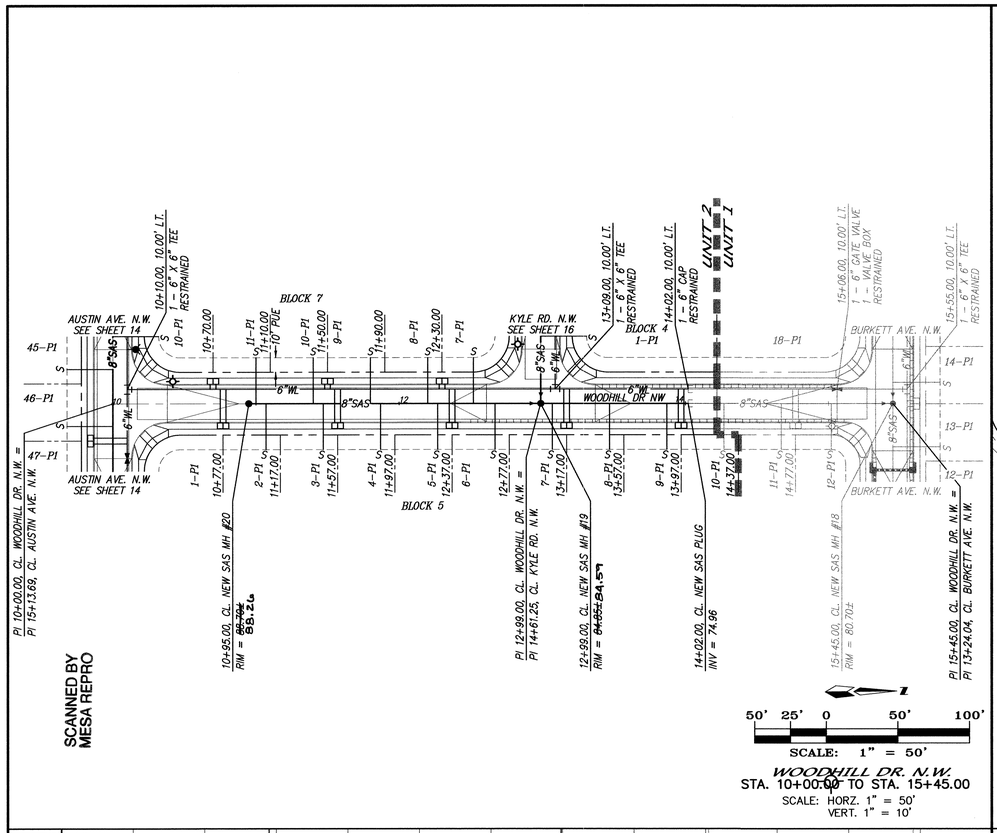
DESIGN REVIEW COMMITTEE: APPROVED JAN - 8 2004 DESIGN REVIEW COMMITTEE

CITY ENGINEER: APPROVED JAN - 8 2004 CITY ENGINEER

LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

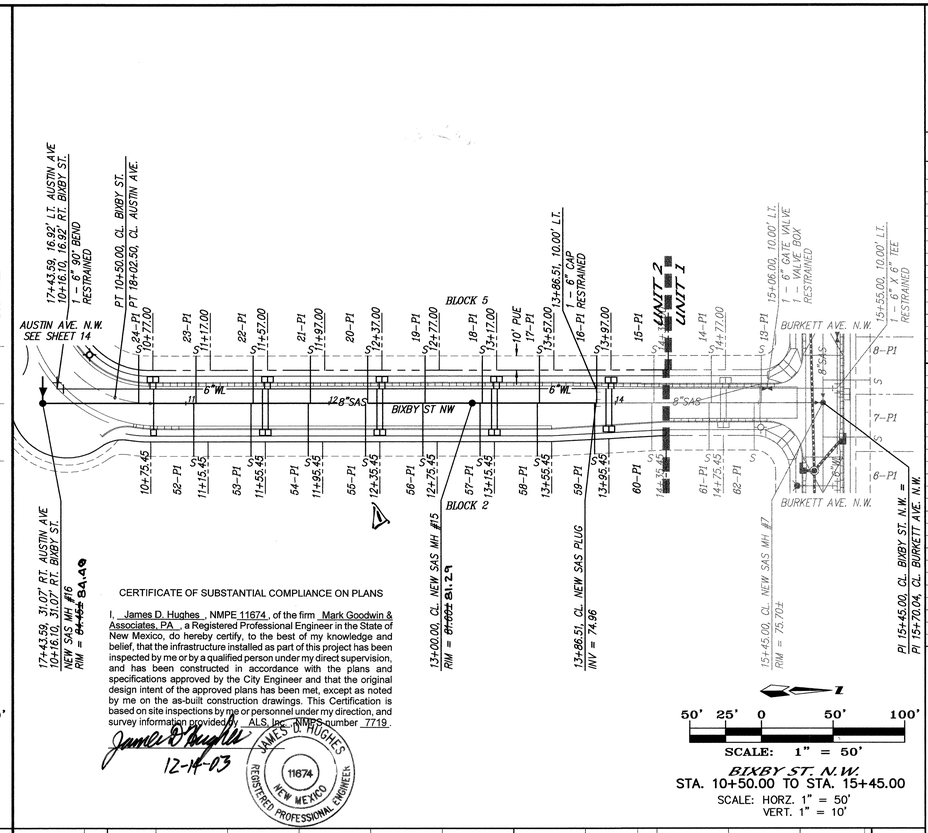
CITY PROJECT NO. 708282 | ZONE MAP NO. H-9 & 10 | SHEET 14 OF 18

F:\AO2JOBS\A2031WRD\PLANS\UNIT2\A2031UP-1.dwg Wed Dec 17 16:59:42 2003 D. MARK GOODWIN & ASSOCIATES: PLTTED BY: DER



SCANNED BY MESA REPRO

WOODHILL DR. N.W.
STA. 10+00.00 TO STA. 15+45.00
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'



CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, James D. Hughes, NMPE 11674, of the firm Mark Goodwin & Associates, PA, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc. NMPLS number 7719.

James D. Hughes
12-14-03

JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER

BIXBY ST. N.W.
STA. 10+50.00 TO STA. 15+45.00
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'

NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.
2. SEE GATE VALVE BOX DETAIL ON SHEET ##.

SANITARY SEWER SERVICES

BLOCK	LOT	STATION AT PUE	INV. ELEV. AT PUE	LENGTH AT PUE
5	2	11+07.00	83.40	32.00'
5	3	11+47.00	82.60	32.00'
5	4	11+87.00	81.90	32.00'
5	5	12+27.00	81.10	32.00'
5	6	12+67.00	80.60	32.00'
5	7	13+07.00	79.80	32.00'
5	8	13+47.00	79.10	32.00'
5	9	13+87.00	78.40	32.00'
5	10	14+27.00	77.60	32.00'
5	11	14+67.00	76.90	32.00'
5	12	15+02.00	76.00	32.00'
7	7	12+52.00	80.20	32.00'
7	8	12+20.00	80.80	32.00'
7	9	11+80.00	81.60	32.00'
7	10	11+40.00	82.30	32.00'
7	11	11+00.00	83.10	32.00'
2	52	11+05.45	78.50	37.00'
2	53	11+45.45	78.20	37.00'
2	54	11+85.45	77.90	37.00'
2	55	12+25.45	77.60	37.00'
2	56	12+65.45	77.30	37.00'
2	57	13+05.45	77.00	37.00'
2	58	13+45.45	76.30	37.00'
2	59	13+85.45	75.30	35.51'
2	60	14+25.45	74.10	33.00'
2	61	14+65.45	72.80	33.00'
2	62	14+97.00	71.70	33.00'
5	13	15+02.00	72.00	33.00'
5	14	14+67.00	72.30	33.00'
5	15	14+27.00	73.40	33.00'
5	16	13+87.00	74.50	33.00'
5	17	13+47.00	75.60	33.00'
5	18	13+07.00	76.20	33.00'
5	19	12+67.00	76.50	33.00'
5	20	12+27.00	76.80	33.00'
5	21	11+87.00	77.20	33.00'
5	22	11+47.00	77.50	33.00'
5	23	11+07.00	77.80	33.00'
5	24	10+60.69	78.20	33.59'

RESTRAINED JOINT LENGTH FOR BENDS, VALVES, DEAD ENDS (FT.)

PIPE SIZE	90°	45°	22.5°	11.25°	VALVE
6"	17'	7'	–	–	46'
10"	–	11'	5'	3'	72'

LENGTH OF RESTRAINED PIPE ON EACH SIDE OF THE BEND. RESTRAIN BRANCH AT FITTING ONLY MINIMUM ATTACHED PIPE LENGTH, RUN SIDE OF TEE: 10.00 FEET.

RESTRAINED JOINT LENGTHS FOR REDUCERS (FT.)

PIPE SIZE	LARGE SIDE	SMALL SIDE
10" X 6"	44'	–

RESTRAINED JOINT LENGTH FOR TEES (FT.)

PIPE SIZE	RUN	BRANCH
10"x10"x10"	15'	5'
10"x10"x6"	6'	1'
6"x6"x6"	10'	2'

AS BUILT INFORMATION

CONTRACTOR	SALS	DATE
WORK STAKED BY	ALS	
INSPECTOR'S ACCEPTANCE BY	DMG	DATE 04
FIELD VERIFICATION BY	ALS	DATE 5/04
DRAWINGS CORRECTED BY	ALS	DATE 5/04
MICRO-FILM INFORMATION		
RECORDED BY		DATE
NO.		

BENCH MARKS

ACS BRASS CAP STAMPED "BH-39" FROM THE INTERSECTION OF COORS RD. N.W. AND I-40, 0.4 MILES NORTH ON QURAY RD. THEN LEFT 0.7 MILES TO END OF PAVEMENT. CONTINUING ON DIRT ROAD 0.9 MILES PASSED A POWER SUBSTATION TO A CROSSROAD. TURN LEFT 0.4 MILES TO A CROSSROAD. THEN LEFT 0.1 MILES TO THE STATION ON THE RIGHT.

GEOGRAPHIC POSITION (NAD 1927), IN FT.
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
X=356,760.08, Y=1,494,777.28 ELEVATION=5195.46, NGVD29, IN FT.

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

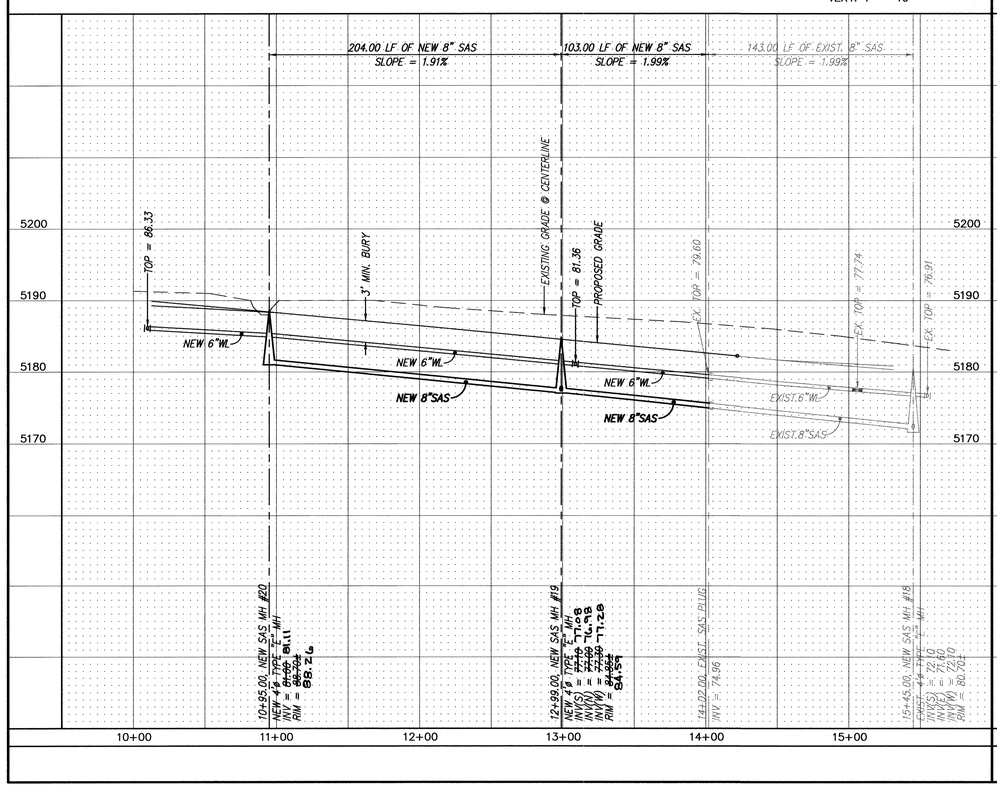
ENGINEER'S SEAL

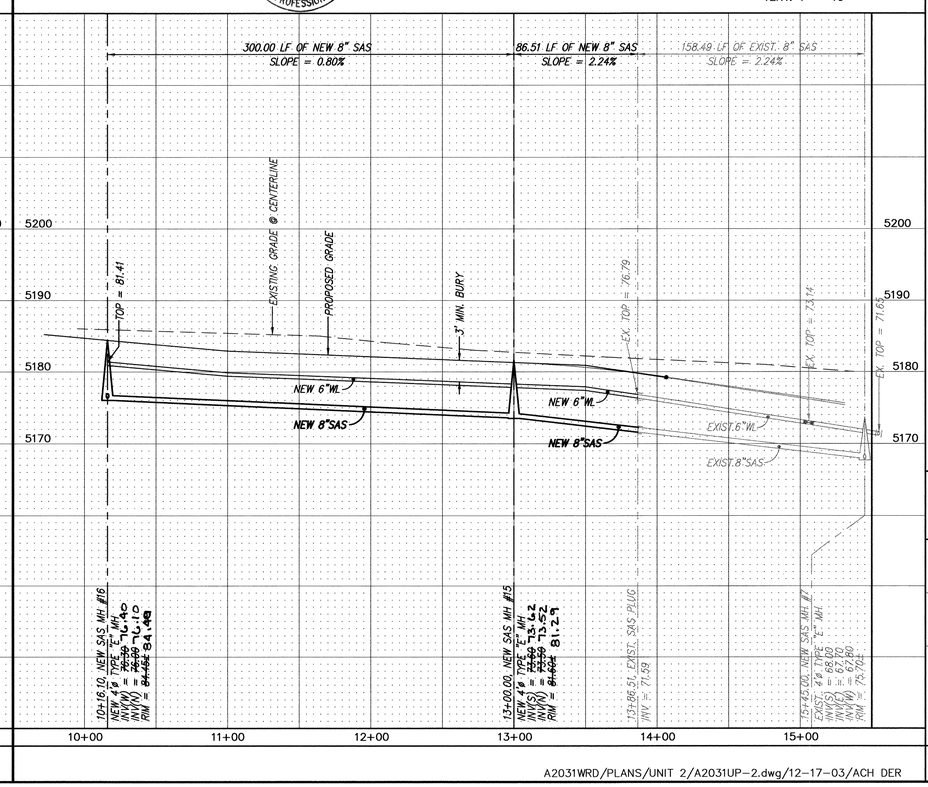
JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER
4-1-03
12-17-03 JDH

NO.	DATE	REMARKS	BY
		REVISIONS	
		DESIGN	

		DATE
DESIGNED BY	JDH	12/02
DRAWN BY	ACH	12/02
CHECKED BY	DMG	12/02

12-14-03 15,16,17,18





A2031WRD/PLANS/UNIT 2/A2031UP-2.dwg/12-17-03/ACH DER

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

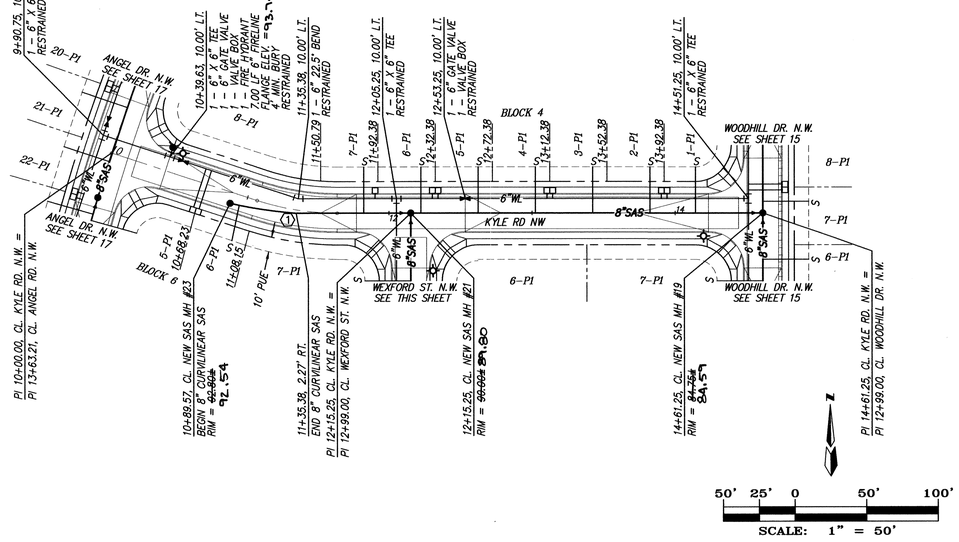
TITLE: WEST RIDGE SUBDIVISION - UNIT 2
WOODHILL DR. N.W. & BIXBY ST. N.W.
UTILITY IMPROVEMENTS

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
APPROVED JAN - 8 2004 CITY ENGINEER	APPROVED JAN - 8 2004 CITY ENGINEER			

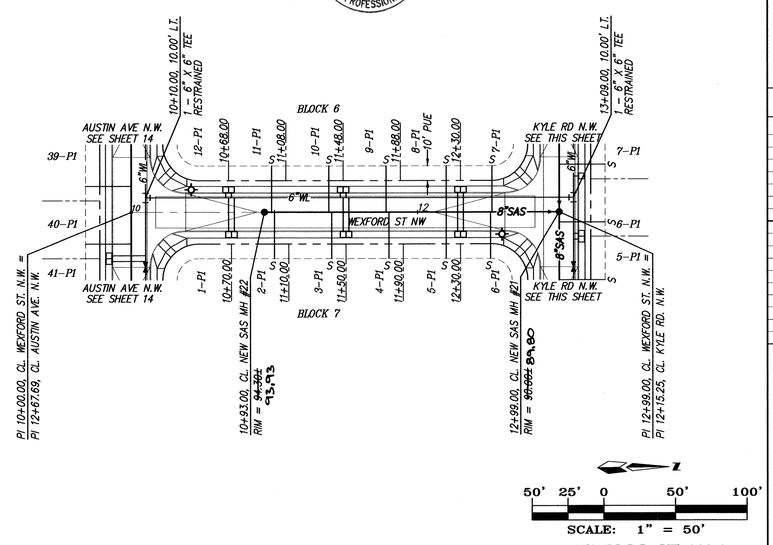
CITY DRAWING NO.	ZONE MAP NO.	SHEET	OF
708282	H-9 & 10	15	18

F:\A02JOBS\A2031WRD\PLANS\UNIT2\A2031UP-2.dwg Wed Dec 17 17:01:31 2003 D. MARK GOODWIN & ASSOCIATES, PLTTED BY: DER

SCANNED BY
MESA REPRO



KYLE RD. N.W.
STA. 10+00.00 TO STA. 14+61.25
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'



WEXFORD ST. N.W.
STA. 10+00.00 TO STA. 12+99.00
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

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12-14-04

JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER

NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.
2. SEE GATE VALVE BOX DETAIL ON SHEET ##.

KYLE RD.
CURVE DATA – DESCRIBES SAS

① Δ = 8°55'27"
R = 300.00'
L = 46.73'
T = 22.43'

SANITARY SEWER SERVICES

BLOCK	LOT	STATION AT PUE	INV. ELEV. AT PUE	LENGTH AT PUE
4	1	14+14.25	80.00	32.00'
4	2	13+82.38	80.60	32.00'
4	3	13+42.38	81.60	32.00'
4	4	13+02.38	82.60	32.00'
4	5	12+62.38	83.50	32.00'
4	6	12+22.38	84.50	32.00'
4	7	11+82.38	85.40	32.00'
6	6	10+98.85	87.80	25.13'
6	7	12+52.00	85.50	32.00'
6	8	12+20.00	85.90	32.00'
6	9	11+78.00	86.80	32.00'
6	10	11+38.00	87.70	32.00'
6	11	10+98.00	88.60	32.00'
7	2	11+00.00	88.90	32.00'
7	3	11+40.00	88.00	32.00'
7	4	11+80.00	87.10	32.00'
7	5	12+20.00	86.20	32.00'
7	6	12+51.00	85.20	32.00'

RESTRAINED JOINT LENGTH FOR BENDS, VALVES, DEAD ENDS (FT.)

PIPE SIZE	90°	45°	22.5°	11.25°	VALVE
6"	17'	7'	–	–	46'
10"	–	11'	5'	3'	72'

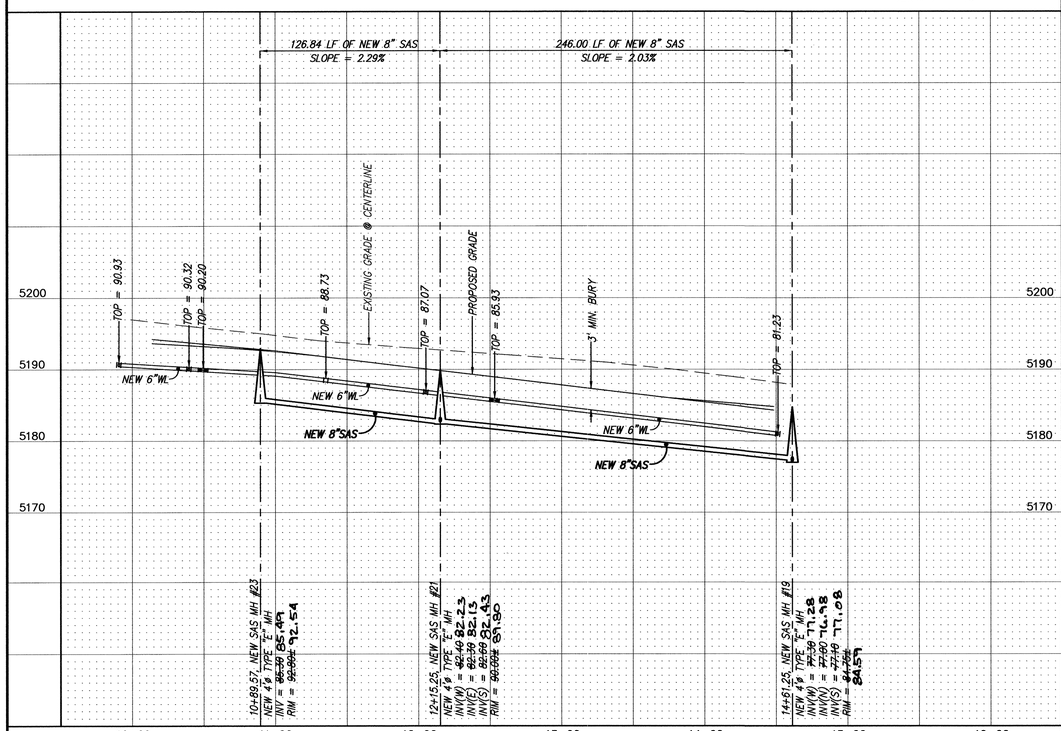
LENGTH OF RESTRAINED PIPE ON EACH SIDE OF THE BEND. RESTRAIN BRANCH AT FITTING ONLY MINIMUM ATTACHED PIPE LENGTH, RUN SIDE OF TEE: 10.00 FEET.

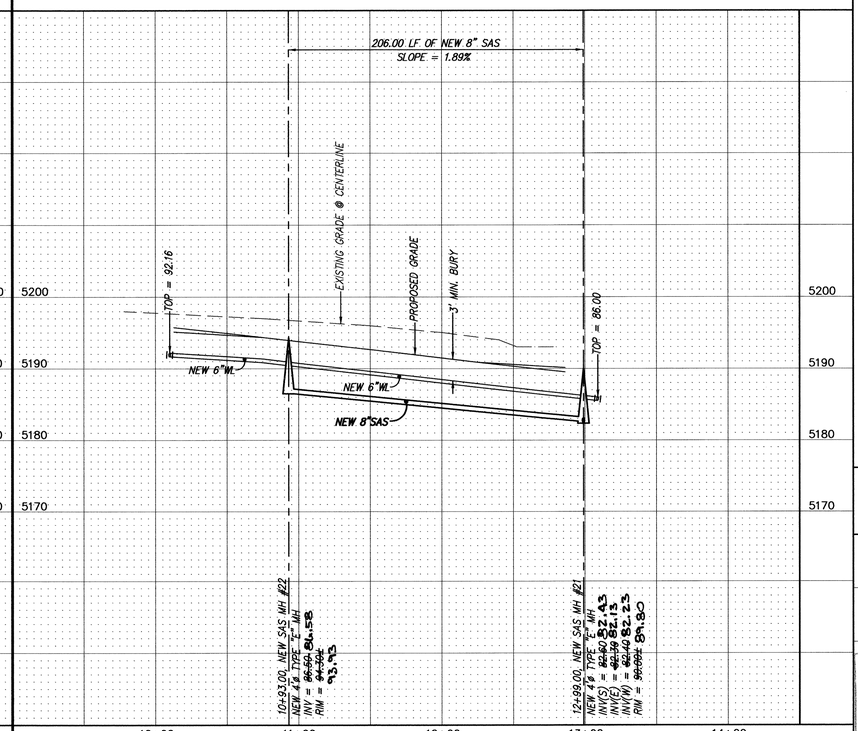
RESTRAINED JOINT LENGTHS FOR REDUCERS (FT.)

PIPE SIZE	LARGE SIDE	SMALL SIDE
10" X 6"	44'	–

RESTRAINED JOINT LENGTH FOR TEES (FT.)

PIPE SIZE	RUN	BRANCH
10"x10"x10"	15'	5'
10"x10"x6"	6'	1'
6"x6"x6"	10'	2'





A2031WRD/PLANS/UNIT 2/A2031UP-3/03-26-03/ACH

AS BUILT INFORMATION

		DATE
CONTRACTOR WORK	SALS	
STAKED BY	ALS	
INSPECTOR'S ACCEPTANCE BY	DMG	DATE 9-4
FIELD VERIFICATION BY	ALS	DATE 5-4
DRAWINGS CORRECTED BY	ALS	DATE 5-04

MICRO-FILM INFORMATION

	DATE
RECORDED BY	
NO.	

BENCH MARKS

AGS BRASS CAP STAMPED "BH-39" FROM THE INTERSECTION OF COORS RD. N.W. AND I-40, 0.4 MILES NORTH ON QURAY RD. THEN LEFT 0.7 MILES TO END OF PAVEMENT. CONTINUING ON DIRT ROAD 0.9 MILES PASSED A POWER SUBSTATION TO A CROSSROAD. TURN LEFT 0.4 MILES TO A CROSSROAD. THEN LEFT 0.1 MILES TO THE STATION ON THE RIGHT.

GEOGRAPHIC POSITION (NAD 1927), IN FT.
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
X=356,760.08, Y=1,494,777.28 ELEVATION=5195.46, NGVD29, IN FT.

SURVEY INFORMATION

NO.	FIELD NOTES BY	DATE

ENGINEER'S SEAL

JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 12-1-03

NO.	REMARKS / REVISIONS	BY	DATE

		DATE
DESIGNED BY	JDH	12/02
DRAWN BY	ACH	12/02
CHECKED BY	DMG	12/02

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: *WEST RIDGE SUBDIVISION - UNIT 2*
KYLE RD. N.W. & WEXFORD ST. N.W.
UTILITY IMPROVEMENTS

DESIGN REVIEW COMMITTEE: APPROVED MAY 13 2003 DESIGN REVIEW COMMITTEE
CITY ENGINEER APPROVAL: APPROVED DEC 16 2003 CITY ENGINEER
LAST DESIGN UPDATE | MO./DAY/YR. | MO./DAY/YR.

CITY PROJECT NO. 708282 | ZONE MAP NO. H-9 & 10 | SHEET 16 OF 18

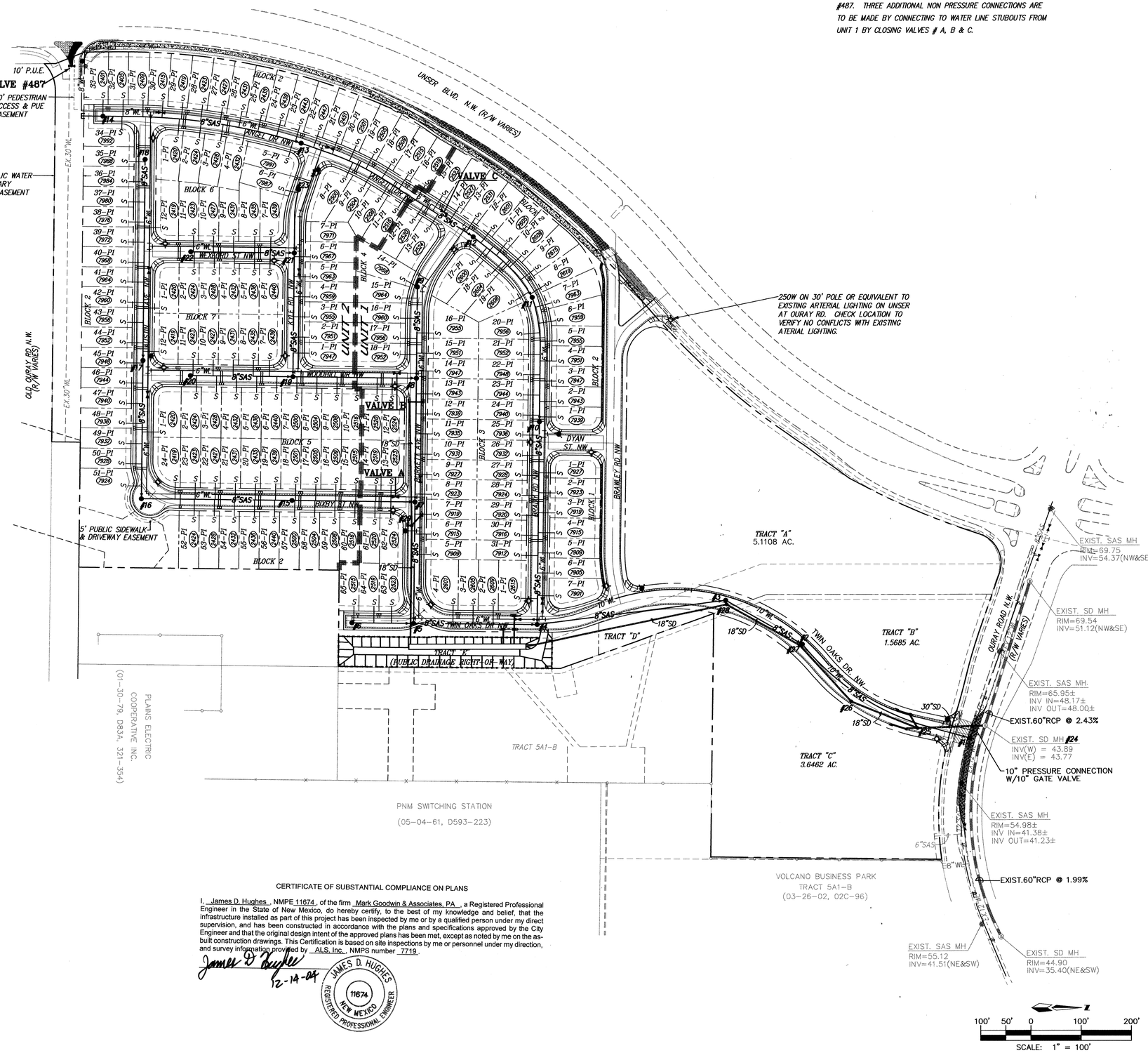
F:\AO2\DBS\A2031WRD\PLANS\UNIT2\A2031UP-3.dwg Fri Mar 28 11:46:50 2003 D. MARK GOODWIN & ASSOCIATES, PLTTED BY: ACH

WATER SHUT-OFF PLAN

ONE PRESSURE CONNECTION IS TO BE MADE ON AN EXISTING FIRE HYDRANT LINE IN OLD OURAY RD. BY SHUTTING VALVE #487. THREE ADDITIONAL NON PRESSURE CONNECTIONS ARE TO BE MADE BY CONNECTING TO WATER LINE STUBOUTS FROM UNIT 1 BY CLOSING VALVES # A, B & C.

LEGEND

- NEW MOUNTABLE CURB & GUTTER
- NEW STANDARD 8" CURB & GUTTER
- NEW FIRE HYDRANT
- NEW SAS MH
- 20 NEW LOT NUMBERS
- NEW GATE VALVE
- NEW TEE
- NEW BEND
- NEW LOT BOUNDARY
- NEW RIGHT OF WAY
- NEW EASEMENTS
- W NEW WATERLINE
- SAS NEW SANITARY SEWER
- NEW STORM SEWER
- NEW CENTERLINE OF ROAD
- EXISTING CURB AND GUTTER
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER VALVE
- 8"W EXISTING WATERLINE
- EXISTING FIRE HYDRANT
- EXISTING STORM SEWER MANHOLE
- SAS EXISTING SANITARY SEWER
- EXISTING EDGE OF PAVEMENT
- NEW SIDEWALK
- (8309) NEW LOT ADDRESS
- NEW STREET LIGHTS



AFD PLANS CHECKING OFFICE
924-3511
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
SIGNATURE & DATE 4-22-03

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, James D. Hughes, NMPE 11674, of the firm Mark Goodwin & Associates, PA, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 7719.

12-14-04

JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER

AS BUILT INFORMATION

CONTRACTOR	Sails	DATE
WORK STAKED BY	ALS	DATE
INSPECTOR'S CHANGE BY	Dana	DATE 04/01/04
FIELD VERIFICATION BY	ALS	DATE 3-04
DRAWINGS CORRECTED BY	ALS	DATE 3-04

MICRO-FILM INFORMATION

RECORDED BY DATE

NO.

BENCH MARKS

ACS BRASS CAP STAMPED "BH-39" FROM THE INTERSECTION OF COORS RD. N.W. AND I-40, 0.4 MILES NORTH. ON OURAY RD. THEN LEFT 0.7 MILES TO END OF PAVEMENT. CONTINUING ON DIRT ROAD 0.9 MILES PASSED A POWER SUBSTATION TO A CROSSROAD. TURN LEFT 0.4 MILES TO A CROSSROAD. THEN LEFT 0.1 MILES TO THE STATION ON THE RIGHT.

GEOGRAPHIC POSITION (NAD 1927), IN FT.

N.M. STATE PLANE COORDINATES (CENTRAL ZONE)

X=356,780.08, Y=1,494,777.28 ELEVATION=5195.46, NGVD29, IN FT.

SURVEY INFORMATION

NO.	FIELD NOTES BY	DATE

ENGINEER'S SEAL

JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 12-14-03

NO.	DATE	REMARKS	BY
		REVISIONS	

DESIGNED BY	JDH	DATE 12/02
DRAWN BY	KJS	DATE 12/02
CHECKED BY	DMG	DATE 12/02

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: *WEST RIDGE SUBDIVISION - UNIT 2*
MASTER UTILITY PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
APPROVED MAY 13 2003 DESIGN REVIEW COMMITTEE	APPROVED DEC 16 2003 CITY ENGINEER			

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
708282	H-9 & 10	13	18

A2031WRD/PLANS/UNIT 2/A2031MUTIL/03-26-03/ KJS ACH

SCANNED BY MESA REPRO

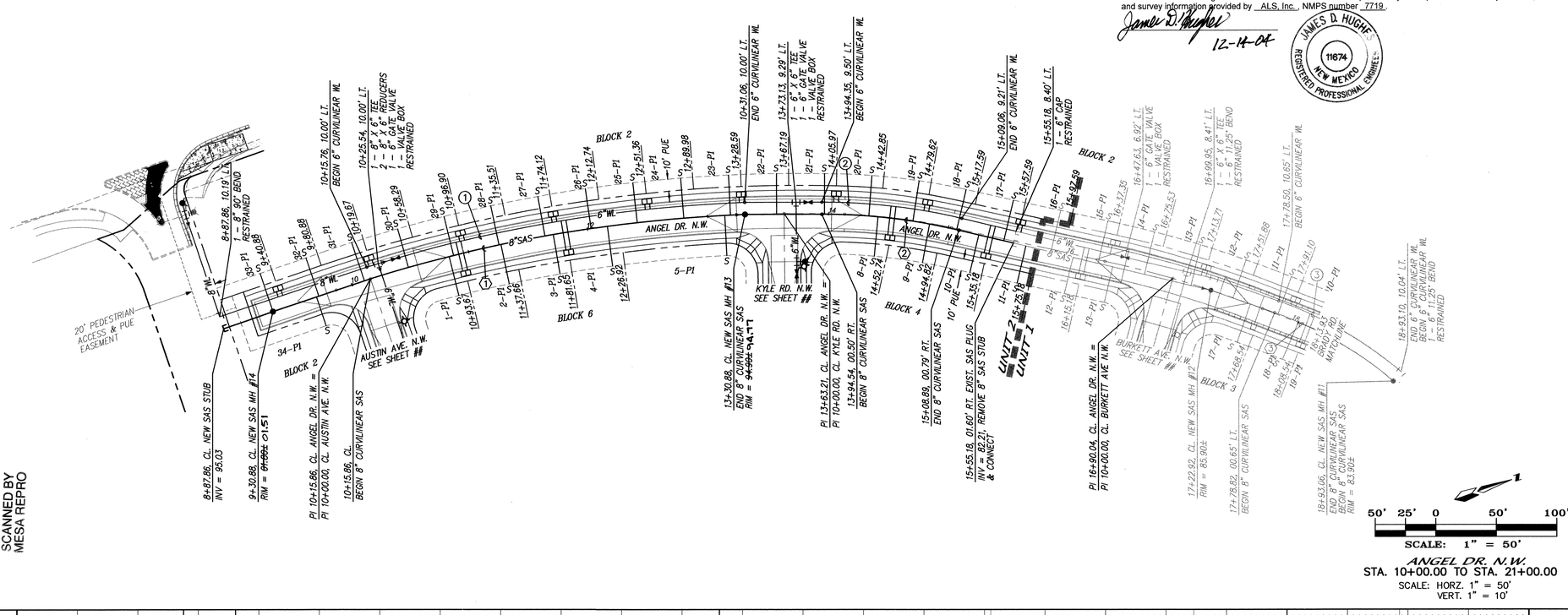
F:\A02JOBS\A2031WRD\PLANS\UNIT2\A2031MUTIL-2.dwg Mon Mar 31 14:49:14 2003 D. MARK GOODWIN & ASSOCIATES, PLTTED BY: ACH

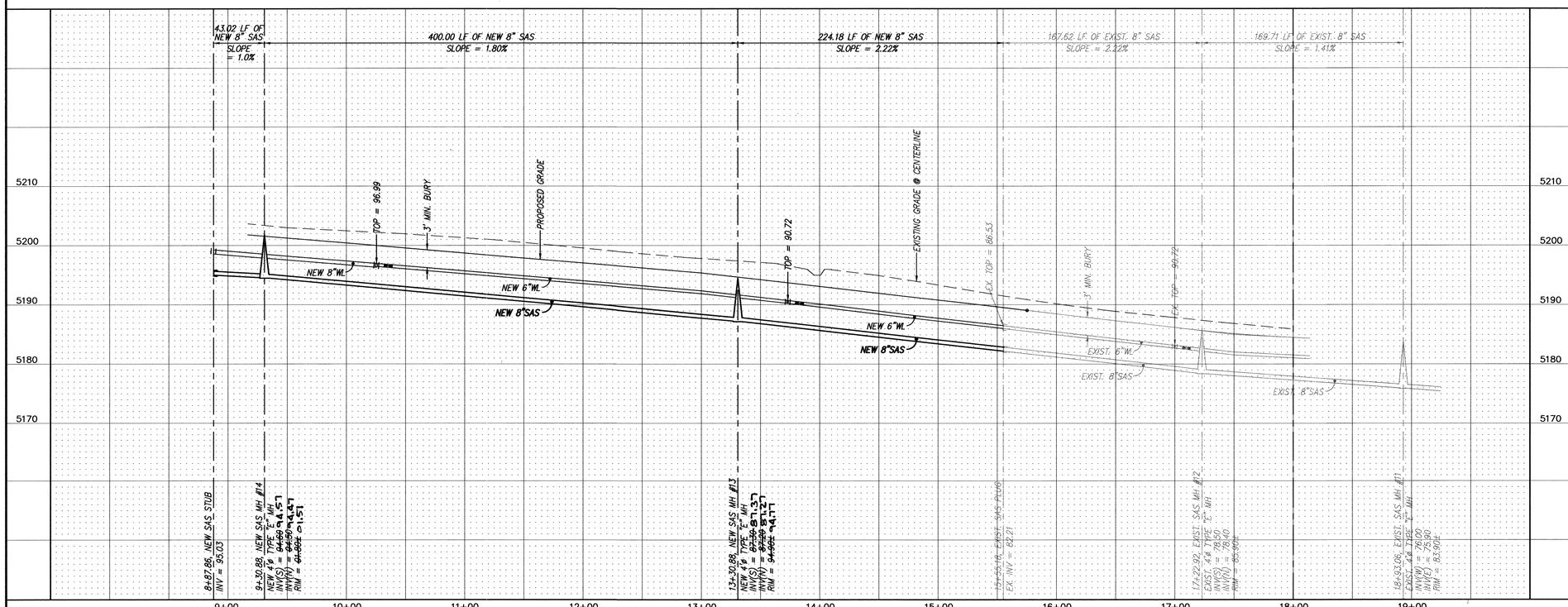
CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, James D. Hughes, NMPE 11674, of the firm Mark Goodwin & Associates, PA, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 7719.

James D. Hughes 12-4-04

JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER





A2031WRD/PLANS/UNIT 2/A2031UP-7/03-26-03/ACH

NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.

CURVE DATA – DESCRIBES SAS

① Δ = 15°07'00" R = 1194.00' L = 315.02' T = 157.94'

② Δ = 13°31'23" R = 484.04' L = 114.24' T = 56.49'

③ Δ = 21°44'05" R = 300.00' L = 113.80' T = 56.80'

CURVE DATA – DESCRIBES WATERLINE

① Δ = 15°07'47" R = 1204.00' L = 317.93' T = 159.31'

② Δ = 13°31'23" R = 494.04' L = 116.60' T = 57.65'

③ Δ = 21°54'47" R = 310.00' L = 118.56' T = 58.98'

SANITARY SEWER SERVICES

BLOCK	LOT	STATION AT PUE	INV. ELEV. AT PUE	LENGTH AT PUE
2	11	17+81.10	79.70	32.28'
2	12	17+42.23	80.20	33.14'
2	13	17+04.06	80.90	34.29'
2	14	16+65.89	81.80	35.90'
2	15	16+27.53	82.80	35.85'
2	16	15+87.59	83.70	35.16'
2	17	15+47.59	84.60	34.46'
2	18	15+07.59	85.30	33.76'
2	19	14+70.26	86.00	33.59'
2	20	14+33.49	87.00	33.44'
2	21	13+96.16	87.90	33.47'
2	22	13+57.46	88.90	33.62'
2	23	13+18.86	89.80	33.00'
2	24	12+80.24	90.60	33.00'
2	25	12+41.63	91.30	33.00'
2	26	12+03.01	91.90	33.00'
2	27	11+64.39	92.60	33.00'
2	28	11+25.78	93.30	33.00'
2	29	10+87.17	93.90	33.00'
2	30	10+48.56	94.50	33.00'
2	31	10+10.59	95.10	33.13'
2	32	9+70.88	95.80	33.17'
2	33	9+30.88	96.50	33.00'
2	34	9+68.86	96.10	24.84'
3	17	17+58.17	80.60	33.04'
3	18	17+98.54	80.30	33.61'
4	8	14+40.83	87.20	32.53'
4	9	14+83.91	86.30	32.35'
4	10	15+25.18	85.40	31.92'
4	11	15+65.18	84.50	31.22'
4	12	16+05.18	83.60	30.53'
4	13	16+39.22	82.90	29.94'
6	1	10+83.39	94.40	33.00'
6	2	11+27.37	93.60	33.00'
6	3	11+71.37	92.90	33.00'
6	4	12+16.64	92.10	33.00'
6	5	13+14.23	90.40	33.00'

RESTRAINED JOINT LENGTH FOR BENDS, VALVES, DEAD ENDS (FT.)

PIPE SIZE	90°	45°	22.5°	11.25°	VALVE
6"	17'	7'	–	–	46'
10"	–	11'	5'	3'	72'

LENGTH OF RESTRAINED PIPE ON EACH SIDE OF THE BEND. RESTRAIN BRANCH AT FITTING ONLY MINIMUM ATTACHED PIPE LENGTH, RUN SIDE OF TEE: 10.00 FEET.

RESTRAINED JOINT LENGTHS FOR REDUCERS (FT.)

PIPE SIZE	LARGE SIDE	SMALL SIDE
10" X 6"	44'	–

RESTRAINED JOINT LENGTH FOR TEES (FT.)

PIPE SIZE	RUN	BRANCH
10"x10"x10"	15'	5'
10"x10"x6"	6'	1'
6"x6"x6"	10'	2'

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AS BUILT INFORMATION

		DATE
CONTRACTOR WORK STAKED BY	SALS	04
INSPECTOR'S ACCEPTANCE BY	DMG	04
FIELD DRAWINGS BY	ALS	5-04
CORRECTED BY	ALS	5-04

BENCH MARKS

ACS BRASS CAP STAMPED "B9-39" FROM THE INTERSECTION OF COORS RD. N.W. AND I-40, 0.4 MILES NORTH ON QURAY RD. THEN LEFT 0.7 MILES TO END OF PAVEMENT. CONTINUING ON DIRT ROAD 0.9 MILES PASSED A POWER SUBSTATION TO A CROSSROAD. TURN LEFT 0.4 MILES TO A CROSSROAD. THEN LEFT 0.1 MILES TO THE STATION ON THE RIGHT.

GEOGRAPHIC POSITION (NAD 1927), IN FT.
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
X=356,780.08 Y=1,494,777.28 ELEVATION=5195.46, NGVD29, IN FT.

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL

JAMES D. HUGHES 11674 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 12-1-03

NO.	DATE	REMARKS

REVISIONS

		DATE
DESIGNED BY	JDH	12/02
DRAWN BY	ACH	12/02
CHECKED BY	DMG	12/02

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: WEST RIDGE SUBDIVISION - UNIT 2
ANGEL DR. N.W.
UTILITY IMPROVEMENTS

DESIGN REVIEW COMMITTEE APPROVED MAY 13 2003 DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVED DEC 16 2003 CITY ENGINEER

LAST DESIGN UPDATE | MO./DAY/YR. | MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
708282	H-9 & 10	17	18

SCANNED BY MESA REPRO

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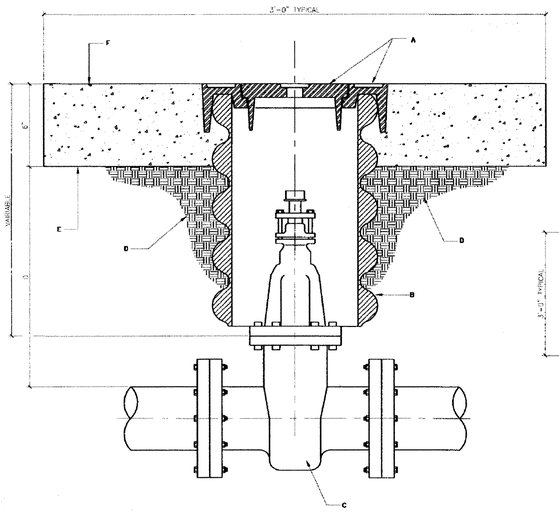


GENERAL NOTES:

A VALVE BOX RING AND COVER. SEE DWG. 2328.

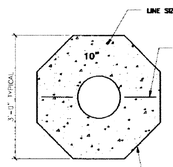
B 10" DIAMETER RIBBED OR CORRUGATED PVC OR PE PIPE WITH SMOOTH INTERIOR.

C NEW OR EXISTING VALVE.

D COMPACTED BACKFILL. SOIL OR BASE COURSE MATERIAL (95% COMPACTION). SEE SECTION 701.

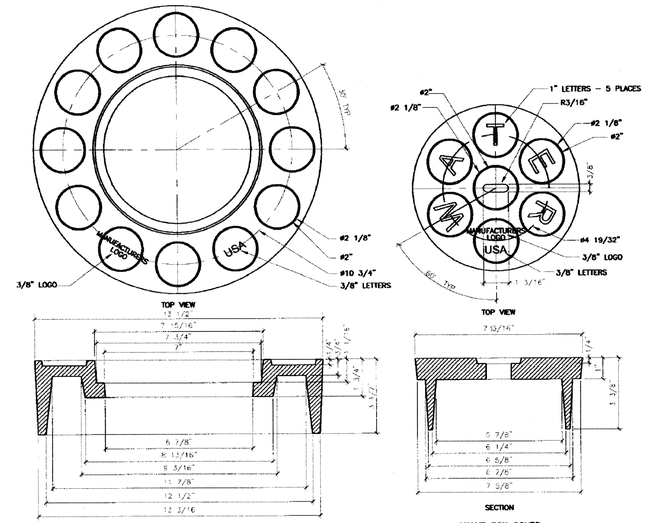
E 3'-0"x3'-0" OCTAGONAL CONCRETE COLLAR. COLLAR IS TO BE TAPERED IN UNPAVED ROADWAYS AND FLUSH IN PAVED ROADWAY. CONCRETE STRENGTH SHALL BE PER SECTION 101 OF THE STANDARD SPECIFICATIONS, LATEST EDITION.

F TOP OF CONCRETE COLLAR SHALL BE STAMPED WITH LINE SIZE AND DIRECTION. MINIMUM LETTER SIZE SHALL BE 3" IN HEIGHT.



TOP PLAN

REVISIONS	CITY OF ALBUQUERQUE WATER VALVE BOX DWG. 2326 JANUARY 2002



GENERAL NOTES – RING

1 ALBUQUERQUE VALVE BOX RING DESIGNED TO ACCEPT AN ALBUQUERQUE VALVE BOX COVER.

2 THE CASTING NUMBER, MANUFACTURER'S LOGO, DATE OF MANUFACTURE AND "USA" SHALL BE CAST IN A CONSPICUOUS LOCATION ON BOTH THE RING AND THE COVER.

3 FILLETS SHALL BE 1/4"R UNLESS OTHERWISE SPECIFIED.

4 A DRAFT ANGLE OF 3°–5° SHALL BE APPLIED UNLESS OTHERWISE SPECIFIED.

5 FINISH: REMOVE EXCESS IRON AND FINS.

6 THIS DETAIL DOES NOT APPLY FOR VALVE BOX RING AND COVER TO BE USED ON REUSE OR NON–POTABLE WATER SYSTEMS.

GENERAL NOTES – COVER

1 ALBUQUERQUE VALVE BOX COVER DESIGNED TO FIT INTO AN ALBUQUERQUE VALVE BOX RING.

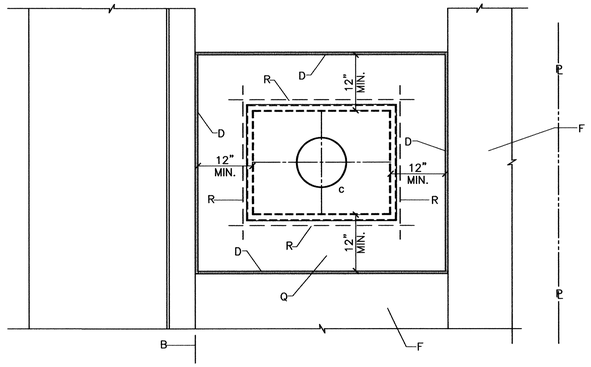
2 THE CASTING NUMBER, MANUFACTURER'S LOGO, DATE OF MANUFACTURE AND "USA" SHALL BE CAST IN A CONSPICUOUS LOCATION ON BOTH THE RING AND THE COVER.

3 FILLETS SHALL BE 1/4"R UNLESS OTHERWISE SPECIFIED.

4 A DRAFT ANGLE OF 3°–5° SHALL BE APPLIED UNLESS OTHERWISE SPECIFIED.

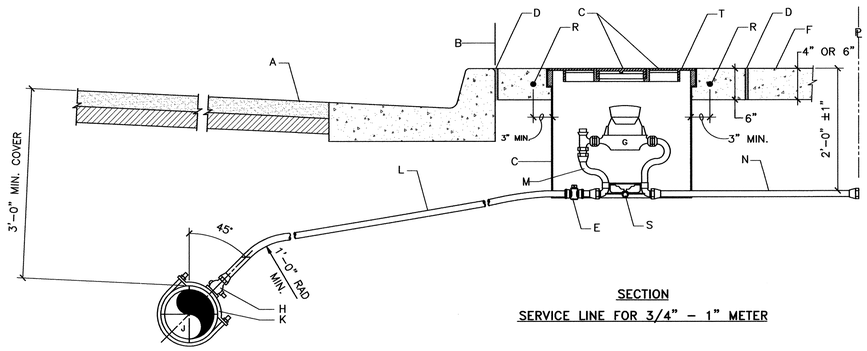
5 FINISH: REMOVE EXCESS IRON AND FINS.

REVISIONS	CITY OF ALBUQUERQUE WATER RING AND COVER FOR VALVE BOX DWG. 2328 JANUARY 2002



PLAN

SEE DWG. 2361 FOR TYPICAL INSTALLATIONS



SECTION

SERVICE LINE FOR 3/4" – 1" METER

GENERAL NOTES:

1 THE METER SHALL BE SET UTILIZING A COPPER–SETTER. COPPER–SETTER HEIGHT 10" FOR 1" METER. 7" FOR 3/4" METER.

2 THE VALVE AND METER REGISTER BOX SHALL BE LOCATED UNDER THE LID OPENING. WHERE TWO METERS ARE TO BE INSTALLED IN A SINGLE METER BOX, THE METER REGISTERS SHALL BE WITHIN READING RANGE OF THE LID OPENING.

3 METER BOX LOCATION TO CONFORM TO DWG. 2361.

4 WHEN CONTRACTOR DOES NOT INSTALL METER, CONTRACTOR SHALL PROVIDE REMOVABLE PLUGS FOR END OF COPPER–SETTER.

5 EXISTING CONCRETE TO BE SAWCUT.

CONSTRUCTION NOTES:

A STREET SURFACE.

B BACK OF CURB.

C CAST IRON METER BOX, COVER AND LID. SEE DWG. 2368 OR 2369.

D 1/2" EXPANSION JOINT.

E CURB STOP, LOCATE INSIDE METER BOX.

F SIDEWALK OR DRIVEPAD.

G METER. TOP OF METER TO BE 12"–18" BELOW COVER.

H CORP STOP.

J MAIN WATER LINE.

K TAPPING SADDLE.

L COPPER SERVICE LINE.

M COPPER SETTER.

N TAILPIECE TO PROPERTY LINE WITH INSTA–TITE I.P.T. CAPPED FITTING.

Q CONCRETE PAD REQUIRED IN ALL AREAS.

R #4 REBAR CONTINUOUS ALL AROUND METER BOX.

S STABILIZER BAR. 12" LONG X 1/2" DIAMETER GALVANIZED STEEL PIPE.

T METER BOX LID SHALL BE FLUSH WITH SURROUNDING SIDEWALK.

A2031WRD/PLANS/UNIT 2/A2031–WAT–DET/03–26–03/ACH

AS BUILT INFORMATION

CONTRACTOR	SAIS	
WORK STAKED BY	ALS	DATE
INSPECTOR'S ACCEPTANCE BY	DMG	DATE 9/4
FIELD VERIFICATION BY	ALS	DATE 5/04
DRAWINGS CORRECTED BY	ALS	DATE 5/04

MICRO–FILM INFORMATION

RECORDED BY	DATE
NO.	

BENCH MARKS

SURVEY INFORMATION

NO.	FIELD NOTES BY	DATE

ENGINEER'S SEAL

DRAFT

C.O.A. STANDARD

NO.	DATE	REMARKS	BY
		REVISIONS	

DESIGN		
DESIGNED BY	JDH	DATE 08/02
DRAWN BY	ACH	DATE 08/02
CHECKED BY	DMG	DATE 08/02

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: *WEST RIDGE SUBDIVISION - UNIT 2*
WATER DETAILS

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
C.O.A. STANDARD	C.O.A. STANDARD			

DRAFT

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
708282	H-9 & 10	18	18

SCANNED BY MESA REPRO

F:\A02JOBS\A2031WRD\PLANS\UNIT2\A2031-WAT-DET.dwg Fri Mar 28 11:48:12 2003 D. MARK GOODWIN & ASSOCIATES: PLOTTED BY: ACH