

CONSTRUCTION PLANS
FOR
CAMPBELL FARM SUBDIVISION
ALBUQUERQUE, NEW MEXICO



VICINITY MAP ZONE ATLAS: G-13-Z
SCALE: NONE

GENERAL NOTES

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #6.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. FIVE (5) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
6. ALL WORK AFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
7. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
8. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT TO COVER THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS. CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAVE BEEN RECORDED.
10. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
11. CONTRACTOR SHALL COORDINATE WITH THE CITY OF ALBUQUERQUE WATER SYSTEMS DIVISION (857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER OR SEWER UTILITIES. EXISTING VALVES TO BE OPERATED BY CITY PERSONNEL ONLY. CONTRACTOR SHALL CONTACT THE WATER SYSTEMS DIVISION SEVEN (7) WORKING DAYS PRIOR TO NEEDING VALVES TURNED ON OR OFF.
12. FOR STORM DRAIN CONSTRUCTION, RCP JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE BY CITY.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE ENGINEER.
- ☒ SIDEWALK AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEPRESSIONED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☐ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

INDEX TO DRAWINGS

SHEET NO.	SHEET
1	TITLE SHEET
2-3	PLAT
4	GRADING & DRAINAGE PLAN
5	MASTER PAVING PLAN
6-7	PAVING IMPROVEMENTS
8	MASTER UTILITY PLAN
9	UTILITY IMPROVEMENTS
10	WATER DETAIL SHEET
11-12	TRAFFIC CONTROL PLANS

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY CONSTRUCTION ENGINEER
DATE: 9/9/04

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26 70888.81 0104

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

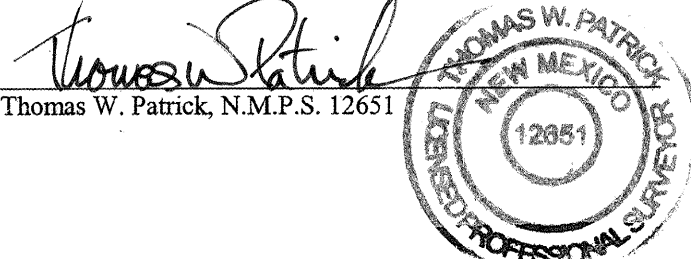
I, Amy L. D. Niese, NMPE 15334, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by Thomas W. Patrick, Community Sciences Corp., NMPS number 12651.



DRB NO. 1001866

SURVEYOR'S CERTIFICATION

I, Thomas W. Patrick, a duly qualified Registered Professional Land Surveyor under the Laws of the State of New Mexico, do hereby certify that the "as-built" information shown on these drawings was obtained from field construction and "as-built" surveys performed by me, or under my supervision, that the "as-built" information shown on these drawings was added by me, or under my supervision and that this "as-built" information is true and correct to the best of my knowledge and belief. Community Sciences Corporation is not responsible for any of the design concepts, calculations, engineering and/or intent of the record drawings.



Date 4-26-2004

CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P. O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE	APPROVALS	ENGINEER	DATE	*****	APPROVED FOR CONSTRUCTION		
REVISED 8/13/03	DRC CHAIRMAN	Mark Goodwin	10-24-03				
	TRANSPORTATION	Mark Goodwin	5/19/02				
	WATER/WASTEWATER	Mark Goodwin	8/15/03				
	HYDROLOGY	Calhoun	5-12-02				
	M.R.G.C.D.						
	CONSTR. MGMT.	James H. Hays	5-12-03				
	CONSTR. COORD.	James H. Hays	10-24-03				
	CITY PROJECT NO.	708881					
	SHEET OF	1 12					



LOCATION MAP
ZONE ATLAS 13-Z
SCALE: NONE

SUBDIVISION DATA

Plat Case No's
Project No. 1001866
Case No. 02DRB-01848
02DRB-01849
Gross acreage 4.3386 AC.
Zone Atlas No. D-13-Z
No. of existing Tracts/Lots 2 Lots
No. of Tracts/Lots created 11 lots
No. of Tracts/Lots eliminated 2
Miles of full width streets created (private) 0.14
Area dedicated to the City of Albuquerque 0.00
Date of Survey July, 2002
Utility Control Location System Log Number 2002292444
Zoning RA-2

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant, all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title to the land and subdivided.

OWNER-NORTH VALLEY DEVELOPMENT, LTD. LLC
BY: *Randall J. Schmille*
Randall J. Schmille, Managing Member
DATE 3-14-03

OWNER'S ACKNOWLEDGMENT
STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO

This instrument was acknowledged before me on March 14, 2003
By Randall J. Schmille, Managing Member for NORTH VALLEY DEVELOPMENT, LTD. LLC
A New Mexico Limited Liability Company on behalf of said company.

NOTARY PUBLIC
My commission expires 12/19/05
12/19/05

LEGAL DESCRIPTION (SEE SHEET 2)
NOTES (SEE SHEET 3)

PURPOSE OF PLAT
1. Subdivide Two (2) existing lots into Eleven (11) Residential Lots.
2. Grant easements as shown hereon.

PUBLIC UTILITY EASEMENTS
PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- The PNM Gas Services Division for installation, maintenance and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
- Quest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

PLAT FOR
CAMPBELL FARM SUBDIVISION
WITHIN THE
TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 6
TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2003

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque Subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

DRB Project No. 1001866

Application No.

Planning Director, City of Albuquerque, N.M.

City Engineer, City of Albuquerque, N.M.

Albuquerque Metropolitan Arroyo Flood Control Authority

Transportation Development, City of Albuquerque, N.M.

Utility Development Division, City of Albuquerque, N.M.

Parks and Recreation

City Surveyor, City of Albuquerque, N.M.

Property Management, City of Albuquerque, N.M.

PNM Gas

PNM Electric

Quest Telecommunications

Comcast Cable

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich, P.S. No. 7719

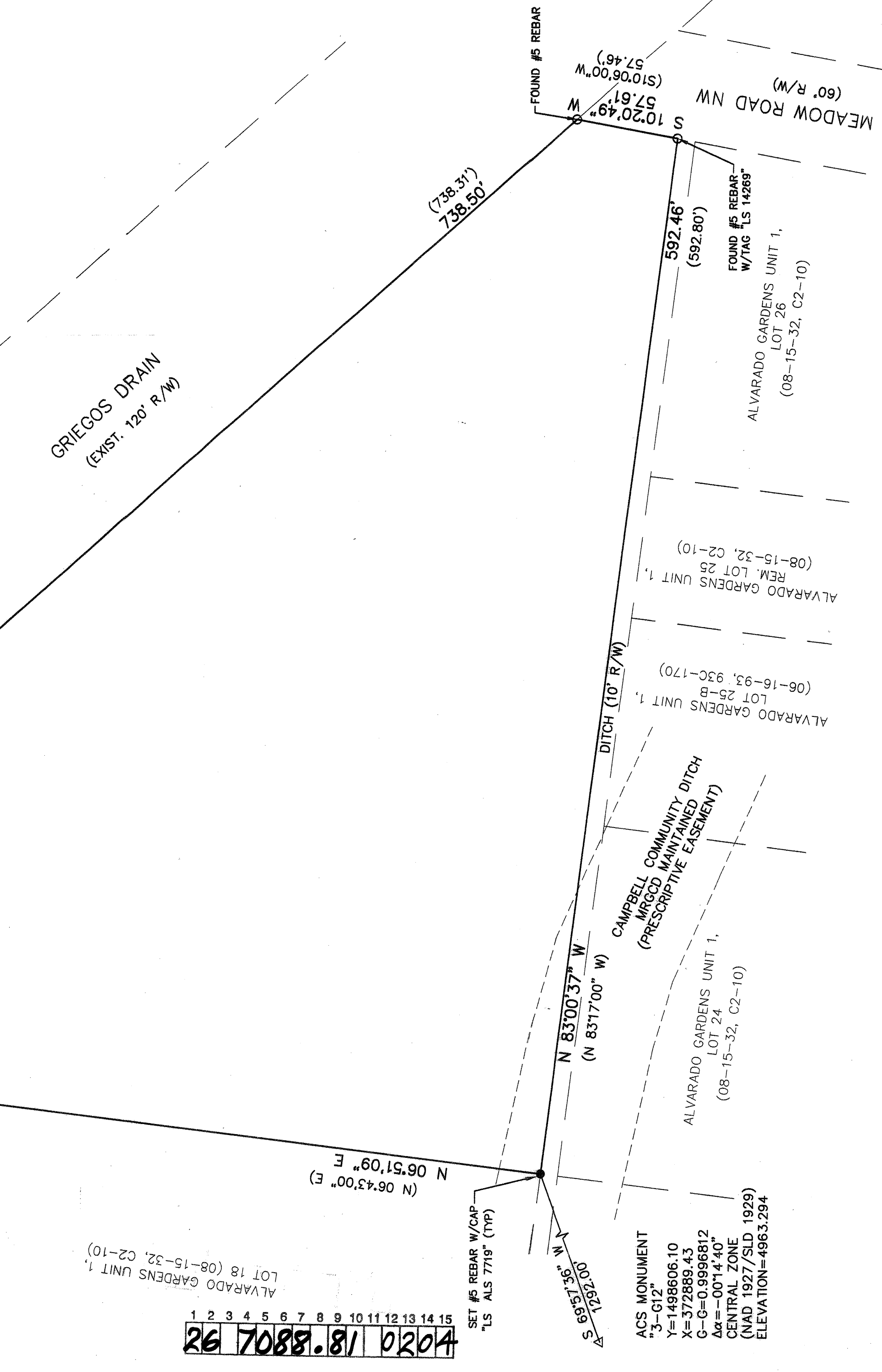
03-14-03

Dwg: A2075FPLT.dwg
Scale: N/A
Drawn: RICHARD
Date: 03/14/03
Checked: ALS
Job: A02075
Sheet 1 of 3

PLAT FOR
CAMPBELL FARM SUBDIVISION
WITHIN THE
TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 6
TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2003

LEGAL DESCRIPTION

A tract of land situate within the Town of Albuquerque Grant, projected Section 6, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being all of Lot 16 and 17, ALVARADO GARDENS, UNIT NO. 1 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 15, 1932 in Plat Book C2, Folio 10 and containing 4.3386 acres more or less.



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Scale: 1"=50'
Drawn: RICHARD
Date: 04/09/03
Checked: ALS
Job: A02075
Sheet 2 of 3

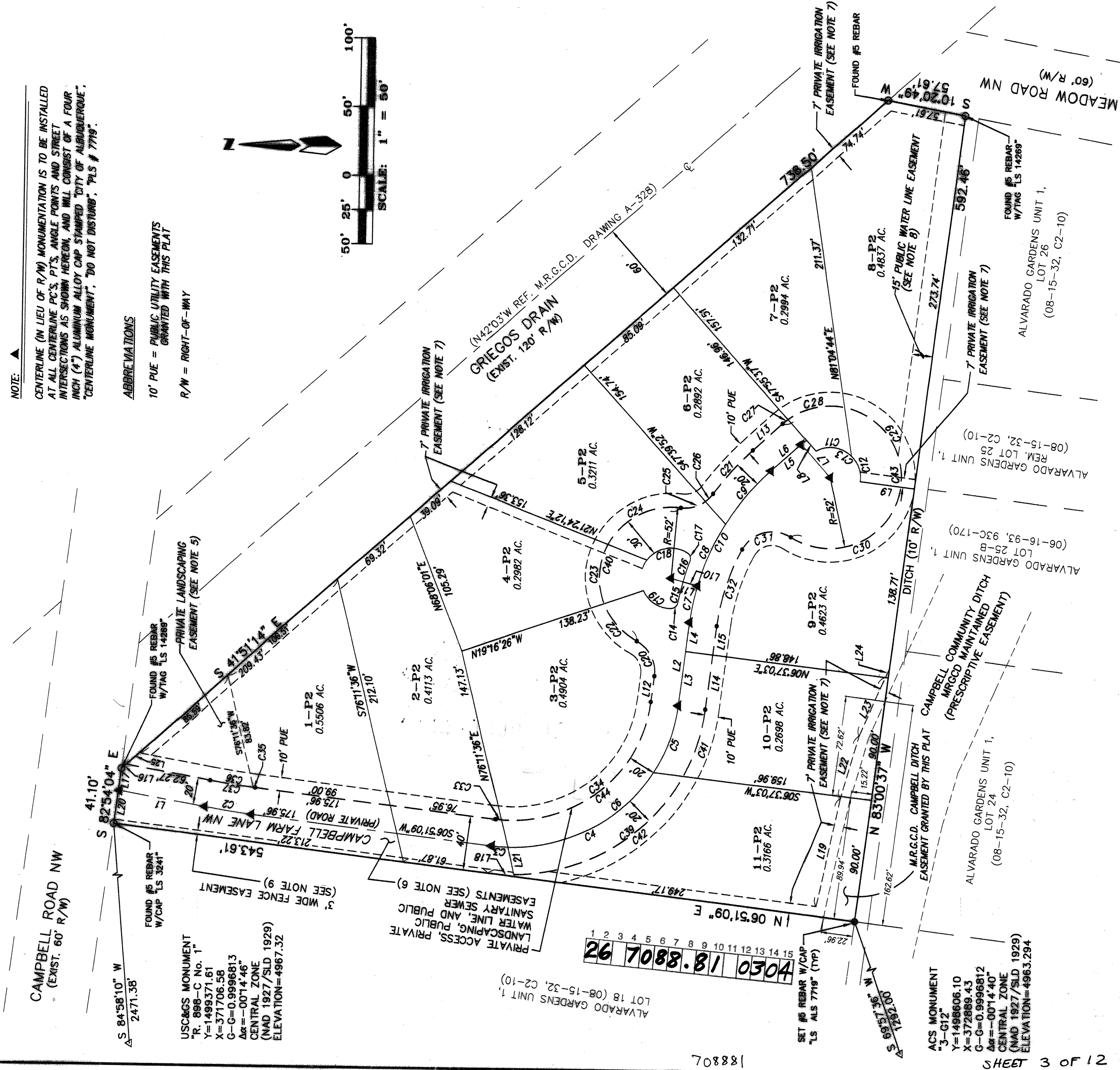
NOTE: ▲
CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED
AT ALL CENTERLINE P.C.'S, P.T.'S, INTERSECTIONS AND STREET
INTERSECTIONS AS SHOWN HEREON AND WILL BE A FOUR
INCH (4") ALUMINUM ALLOY CHIP STAMPED "CITY OF ALBUQUERQUE,
"CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7799".

ABBREVIATIONS

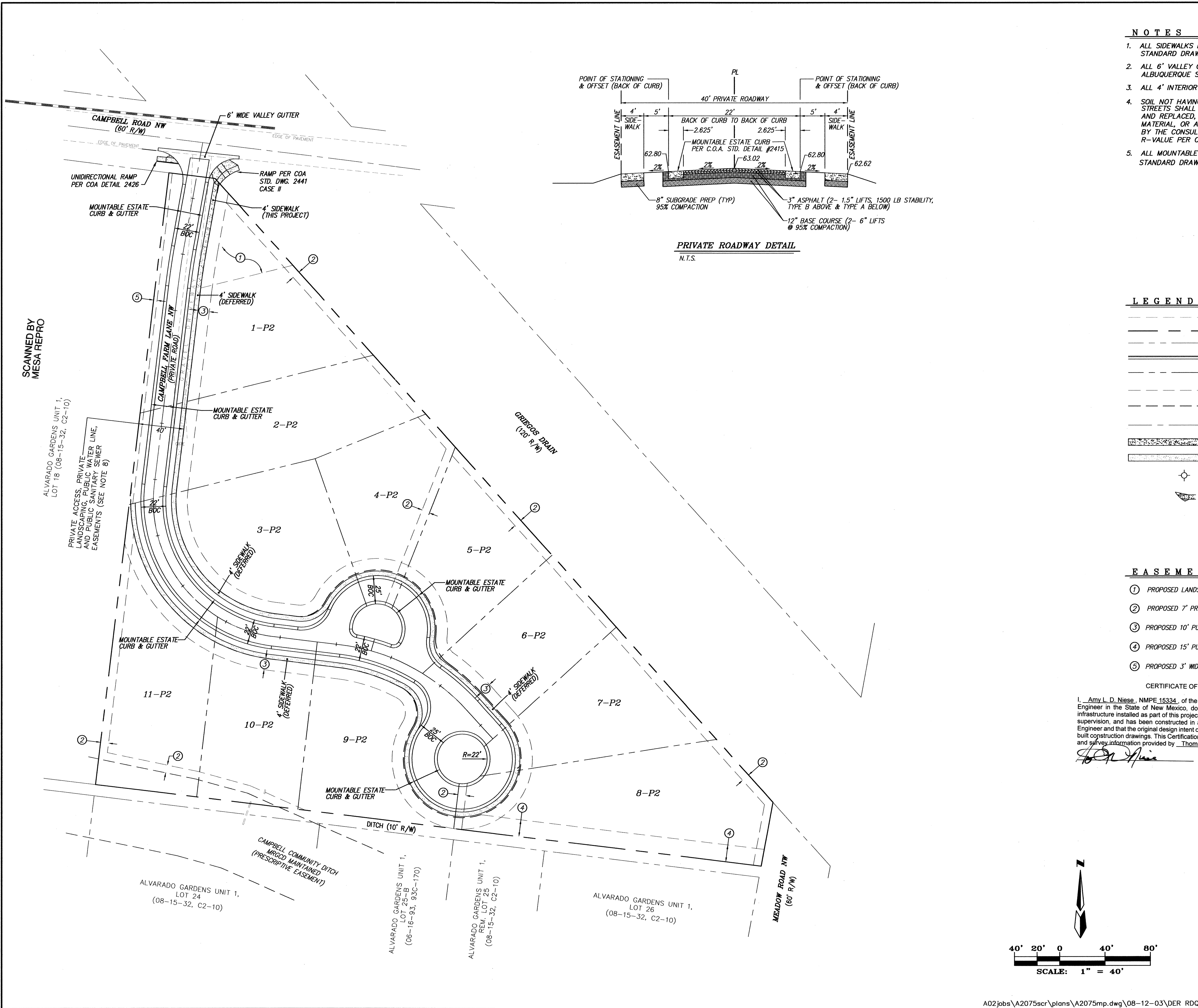
10' PUE = PUBLIC UTILITY EASEMENTS
GRANTED WITH THIS PLAT
R/W = RIGHT-OF-WAY

PLAT FOR
CAMPBELL FARM SUBDIVISION
WITHIN THE
TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 8
TOWNSHIP 18 NORTH, RANGE 3 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2003

NOTES:
1. Bearings are grid based on the New Mexico State Plane Coordinate system (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary is from plats and documents of record entitled:
PLAT FOR "ALVARADO GARDENS UNIT NO. 1", (08-15-32, C2-10)
PLAT FOR "ALVARADO GARDENS UNIT NO. 1", (06-16-93, 93C-170)
all being records of Bernalillo County, New Mexico.
5. Landscaping Easement within Lot 1-P2 is to be granted to, for the benefit of, and to be jointly maintained by the owners of Lots 1-P2 thru 11-P2.
6. Public Water Line and Public Sanitary Sewer Easements are granted to the City of Albuquerque. Private Access and Private Landscaping Easements are granted to, for the benefit of, and to be jointly maintained by the owners of Lots 1-P2 thru 11-P2.
7. Private Irrigation easements are to be maintained by each individual lot owner for the benefit of the owners of Lots 1-P2 thru 11-P2.
8. The 15' wide Public Water Line Easement within Lot 8-P2 is hereby granted to the City of Albuquerque.
9. 3' wide Fence Easement to be granted to, for the benefit of, and to be maintained by the Owners of Lots 1-P2, 2-P2 and Lot 18 of Alvarado Gardens Unit 1.



LINE ID	LENGTH	BEARING	LINE ID	LENGTH	BEARING
1	64.25	N81°10'11"E	11	38.01	S83°10'37"E
2	60.77	N81°10'11"E	12	20.96	S83°10'37"E
3	36.68	N81°10'11"E	13	4.66	N81°10'11"E
4	21.09	N81°10'11"E	14	16.35	S83°10'37"E
5	28.91	N81°10'11"E	15	79.35	S83°10'37"E
6	33.81	N81°10'11"E	16	81.53	S81°10'11"E
7	32.00	N81°10'11"E	17	24.75	S81°10'11"E
8	10.35	N81°10'11"E	18	21.99	S81°10'11"E
9	40.00	N81°10'11"E	19	47.94	S81°10'11"E
10	71.00	N81°10'11"E	20	46.39	S81°10'11"E
11	20.00	N81°10'11"E	21	7.09	S81°10'11"E
12	18.92	N81°10'11"E	22	12.68	S81°10'11"E
13	26.91	N81°10'11"E			



NOTES

- ALL SIDEWALKS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2430.
- ALL 6" VALLEY GUTTERS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2420.
- ALL 4" INTERIOR SIDEWALKS ARE DEFERRED.
- SOIL NOT HAVING THE MINIMUM R-VALUE OF 50 FOR STREETS SHALL BE REMOVED TO A DEPTH OF 2 FEET AND REPLACED, BY THE CONTRACTOR, WITH SUITABLE MATERIAL. OR A PAVEMENT SECTION SHALL BE DESIGNED BY THE CONSULTANT ACCORDING TO THE EXISTING R-VALUE PER C.O.A. STANDARD SPECIFICATIONS.
- ALL MOUNTABLE ESTATE CURB & GUTTER PER COA STANDARD DRAWING 2415.

LEGEND

- EXISTING EDGE OF PAVEMENT
- BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- PROPOSED MOUNTABLE CURB & GUTTER
- PROPOSED LOT LINE
- PROPOSED/EXISTING EASEMENT LINE
- PROPOSED PRIVATE ACCESS, PRIVATE LANDSCAPING PUBLIC WATERLINE & SANITARY SEWER EASEMENTS
- PROPOSED CENTERLINE
- PROPOSED CONCRETE SIDEWALK (THIS PROJECT)
- PROPOSED CONCRETE SIDEWALK (DEFERRED)
- PROPOSED STREET LIGHT
- PROPOSED UNIDIRECTIONAL RAMP

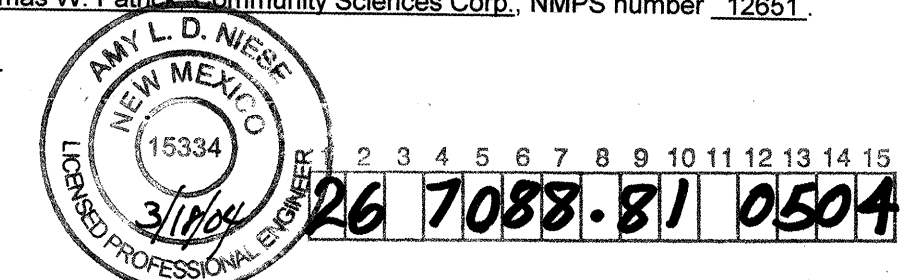
EASEMENTS

- PROPOSED LANDSCAPING EASEMENT
- PROPOSED 7' PRIVATE IRRIGATION EASEMENT
- PROPOSED 10' PUBLIC UTILITY EASEMENT
- PROPOSED 15' PUBLIC WATERLINE EASEMENT
- PROPOSED 3' WIDE FENCE EASEMENT

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Amy L. D. Niese, NMPE 15334, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by Thomas W. Patrick Community Sciences Corp., NMPS number 12651.

Amy L. D. Niese



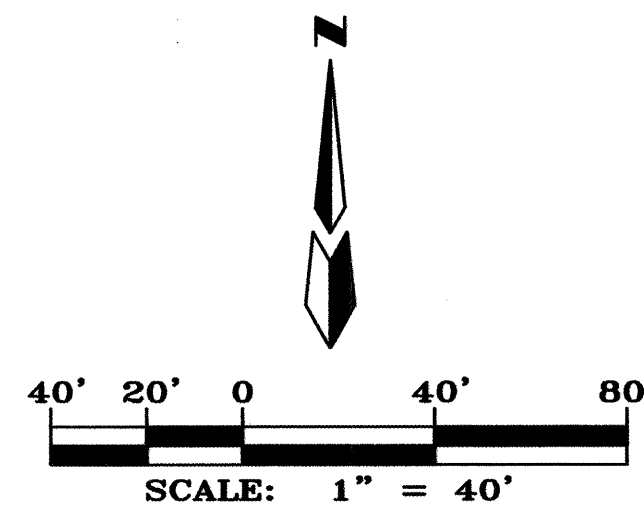
MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 30606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539



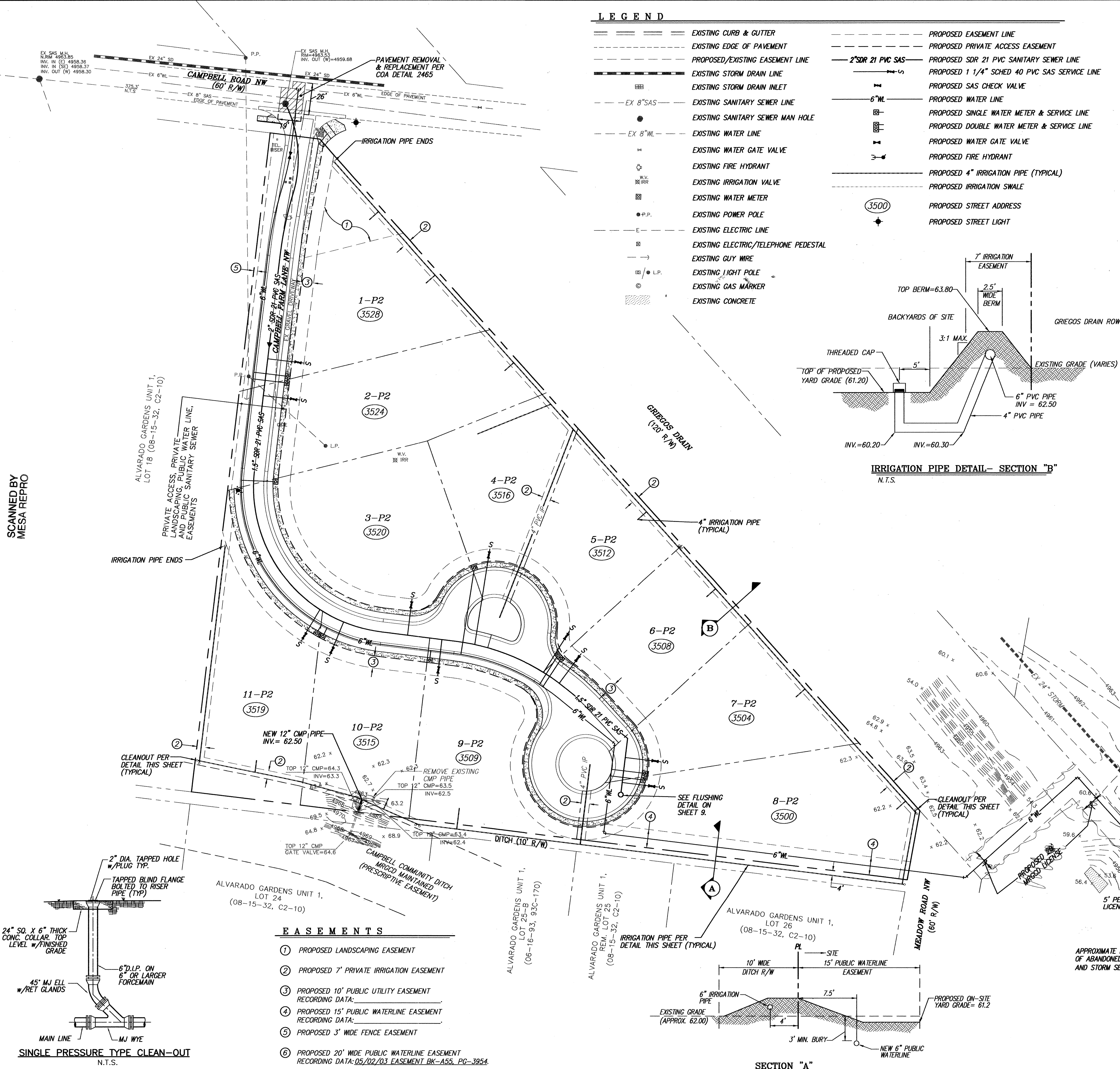
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **CAMPBELL FARM SUBDIVISION
MASTER PAVING PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	DATE	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF	
708881	G-13-Z	5	12	



SCANNED BY
MESA REPRO

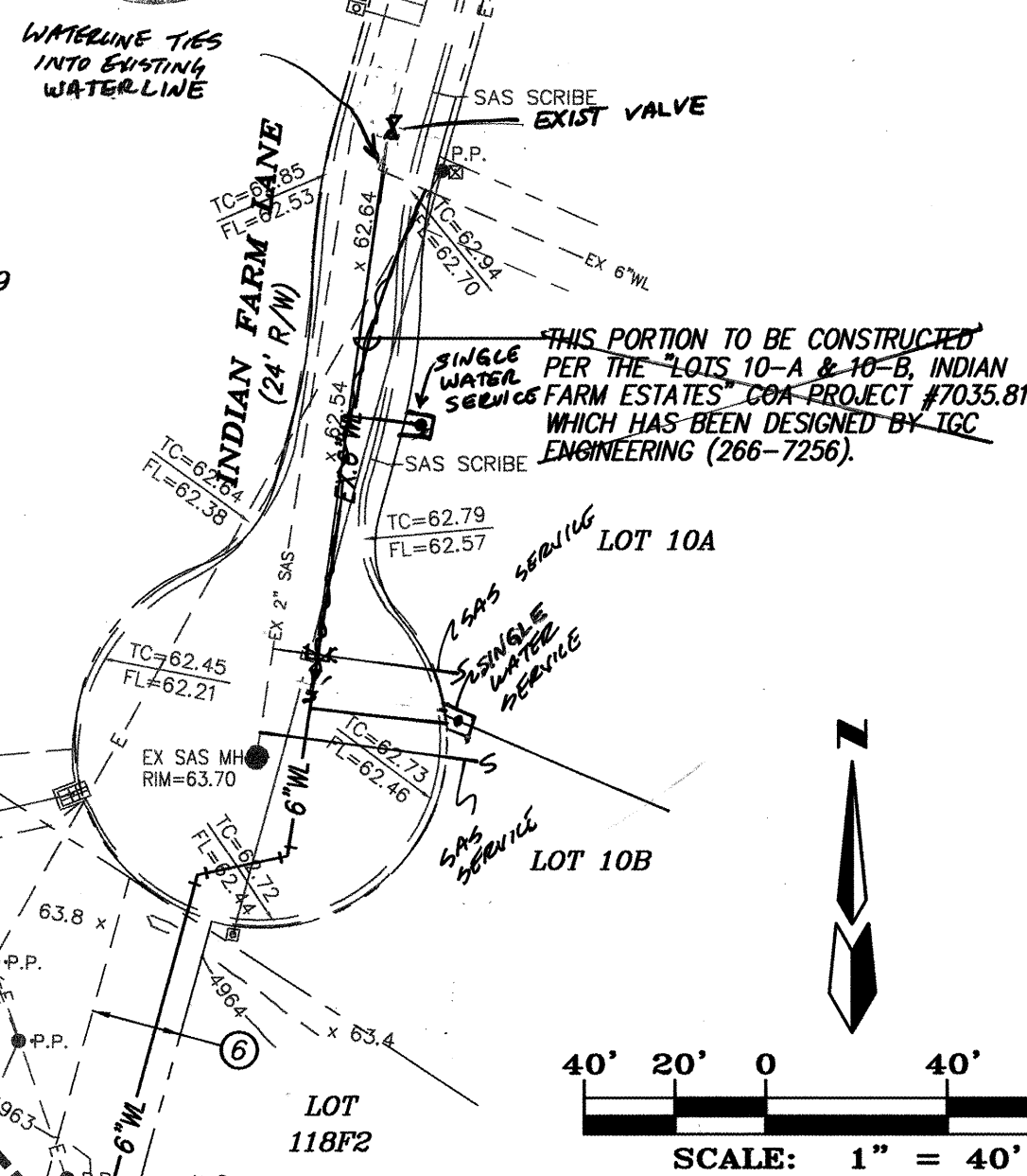


WORK WITHIN M.R.G.C.D. RIGHT-OF-WAY GENERAL CONSTRUCTION NOTES

- ANY WORK TO BE PERFORMED WITHIN THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT (M.R.G.C.D.) RIGHT-OF-WAY SHALL BE CLOSELY COORDINATED WITH THE M.R.G.C.D. ENGINEERING DEPARTMENT AND APPROPRIATE FIELD OFFICE. PHONE (505) 247-0234.
- NO WORK IS TO BE DONE ON FACILITIES OR STRUCTURES BELONGING TO, OR OPERATED BY, THE M.R.G.C.D. BETWEEN MARCH 1 AND OCTOBER 31 INCLUSIVE. HOWEVER, WORK MAY BE PERMITTED BY THE M.R.G.C.D. IF IT CAN BE SHOWN THAT THE WORK WILL NOT INTERFERE WITH OPERATIONS OF THE M.R.G.C.D. FACILITY. ALL WORK TO BE DONE WITHIN THE M.R.G.C.D. FACILITIES MUST BE APPROVED BY THE M.R.G.C.D. ENGINEER PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL NOT STORE EQUIPMENT, NEW MATERIALS OR DEBRIS WITHIN DISTRICT RIGHT-OF-WAY WHICH MAY INTERFERE WITH OPERATIONS AND MAINTENANCE OF THE M.R.G.C.D. FACILITY.
- THE CONTRACTOR SHALL NOT SERVICE VEHICLES OR EQUIPMENT WITHIN M.R.G.C.D. RIGHT-OF-WAY.
- SEEDING OF DISTURBED AREAS WITHIN M.R.G.C.D. RIGHT-OF-WAYS IS REQUIRED PER THE M.R.G.C.D. SEEDING SPECIFICATIONS.
- THE CONTRACTOR MUST MAINTAIN A MINIMUM COVER OF 3' OVER ALL CULVERT CROSSINGS USED FOR ACCESS TO THE PROJECT SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING AND OR REPLACEMENT OF ANY STRUCTURES REMOVED AND OR DAMAGED DUE TO THE CONTRACTORS ACTIVITIES WITHIN THE DISTRICTS RIGHT-OF-WAY. SHOULD ANY TURNOUTS, CULVERT PIPES AND OR STRUCTURES REQUIRE REPLACEMENT DUE TO LEAKAGE AND OR DAMAGE BY THE CONTRACTOR, NEW TURNOUTS, AND NEW CULVERT PIPES AND OR NEW STRUCTURES SHALL REPLACE THE DAMAGED ITEM. REPAIRS AND OR REPLACEMENTS WITHIN THE DISTRICTS RIGHT-OF-WAY MUST COMPLY WITH THE DISTRICTS SPECIFICATIONS.
- ALL DAMAGED CULVERT CROSSINGS AND CULVERT CROSSINGS REMOVED AND OR DISTURBED MUST BE RESTORED AND/OR REPLACED TO THE SATISFACTION OF THE M.R.G.C.D. AND COMPLY WITH M.R.G.C.D. SPECIFICATIONS.
- ALL SALVAGEABLE CULVERTS, IRRIGATION GATES, ETC. MUST BE RETURNED TO THE M.R.G.C.D.
- THE CONTRACTOR IS RESPONSIBLE FOR EXECUTING A "SPECIAL USE LICENSE AGREEMENT" WITH THE M.R.G.C.D. PRIOR TO CONSTRUCTION.
- STEEL PIPE SHALL BE USED IN PLACE OF PLASTIC PIPE AT WATERWAY CROSSINGS, OR PLASTIC PIPE MAY BE CASED IN STEEL PIPE.
- UNDER UNLINED WATERWAYS, A PROTECTIVE SLEEVE SHALL BE INSTALLED AROUND PIPE OR CABLE CROSSINGS UNDER CANAL, LATERAL, OR DRAIN PRISMS. THE PROTECTIVE SLEEVE SHALL BE INSTALLED TO ALLOW A MINIMUM OF 3 FEET BETWEEN THE TOP OF THE SLEEVE AND DESIGN INVERT, OR EXISTING BOTTOM (WHICHEVER IS LOWER) OF THE WATERWAY.
- BACKFILL FOR CUTS THROUGH WATERWAYS AND ADJACENT TO CULVERTS SHALL BE COMPACTED TO NOT LESS THAN 90% OF THE MAXIMUM DRY DENSITY OF THE SOIL AS DETERMINED BY THE ASTM PROCTOR TEST.

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Amy L. D. Niese, NMPSE 15334, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify that the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and surveillance provided by Thomas W. Patrick, Community Sciences Corp., NMPSE number 12651.



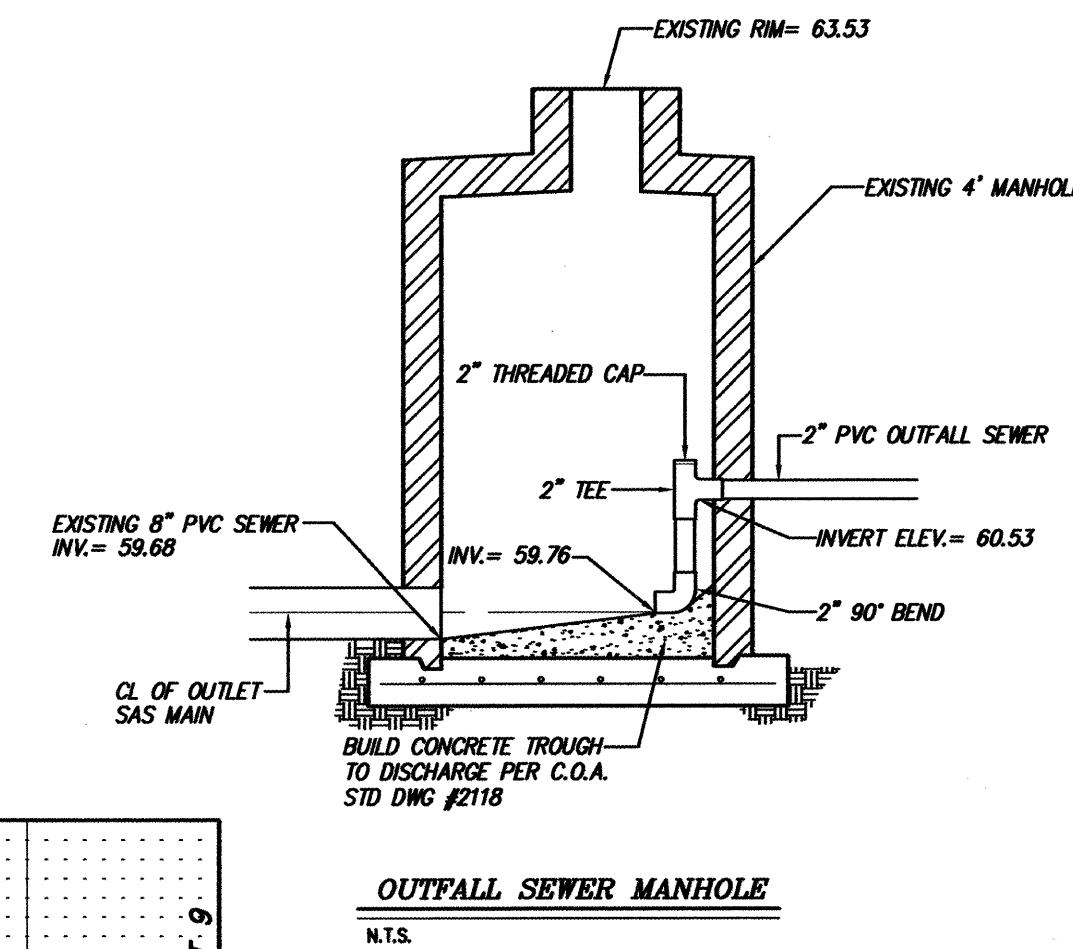
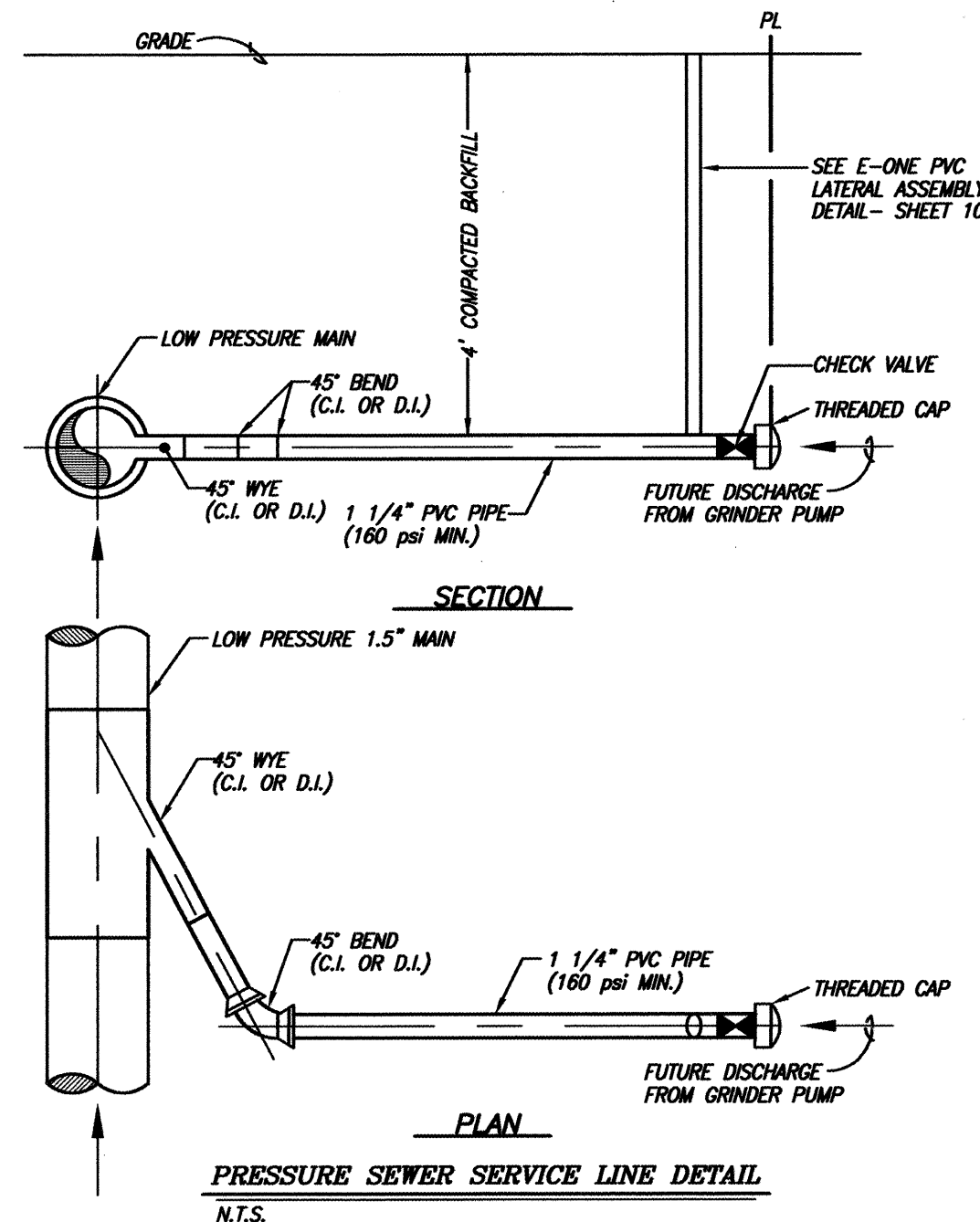
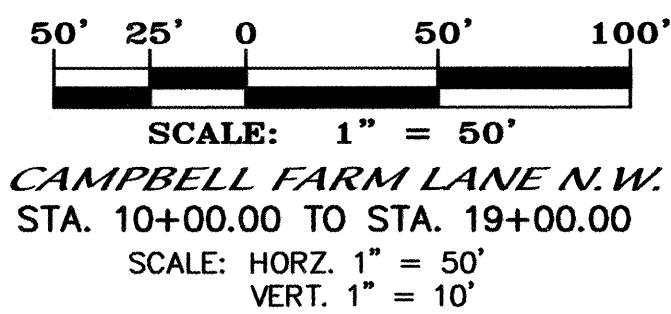
MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90806
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **CAMPBELL FARM SUBDIVISION
MASTER UTILITY & IRRIGATION PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
OCT 24 2003	NOV 6 2003		
LAST DESIGN UPDATE	CITY ENGINEER		

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
708881	G-13-Z	7	12



NOTES

1. ALL STATIONING IS BASELINE STATIONING AS SHOWN.
2. 3' MINIMUM BURY ON ALL WATERLINES.
3. SEE SHEET 10 OF 12 FOR WATER VALVE BOX DETAIL, WATER RING AND COVER FOR VALVE BOX DETAIL AND WATER METER DETAIL.
4. ALL INDIVIDUAL HOME OWNERS TO INSTALL SIMPLEX GRINDER PUMP STATION WITH 150 GALLON RESERVOIR BY ENVIRONMENT ONE, MODEL #2010-93. CONTACT BILL CURB WITH JCH: 3810 ACADEMY PARKWAY SOUTH N.E. ALBUQUERQUE, N.M. 87109-4453 (505) 344-7110 wtc@jchinc.com
5. 4' MINIMUM BURY ON ALL SAS LINES.

EASEMENTS

- ① *PROPOSED LANDSCAPING EASEMENT*
- ② *PROPOSED 7" PRIVATE IRRIGATION EASEMENT*
- ③ *PROPOSED 10' PUBLIC UTILITY EASEMENT*
RECORDING DATA: _____.
- ④ *PROPOSED 15' PUBLIC WATERLINE EASEMENT*
RECORDING DATA: _____.
- ⑤ *PROPOSED 3' WIDE FENCE EASEMENT*
- ⑥ *PROPOSED 20' WIDE PUBLIC WATERLINE EASEMENT*
RECORDING DATA: 05/02/03 EASEMENT BK-A55, PG-3954.

CURVE DATA - DESCRIBES BASELINE

- ① $\Delta = 0379'57''$
 $R = 600.00'$
 $L = 34.90'$
 $T = 17.45'$

SANITARY SEWER SERVICES				
BLOCK	LOT	STATION AT PUE	INV. ELEV. AT PUE	LENGTH AT PUE
—	1-P2	12+13.74	59.50	31.04'
—	2-P2	12+44.17	59.50	31.04'
—	3-P2	15+14.64	59.50	31.22'
—	4-P2	15+61.13	59.50	80.96'
—	5-P2	16+31.98	59.50	42.24'
—	6-P2	16+47.24	59.50	31.48'
—	7-P2	—	59.50	36.66'
—	8-P2	—	59.50	36.31'
—	9-P2	15+43.24	59.50	31.06'
—	10-P2	14+60.83	59.50	31.07'
—	11-P2	14+43.80	59.50	32.10'

RESTRAINED JOINT LENGTH FOR BENDS,
VALVES, DEAD ENDS (FT.)

PIPE SIZE	90°	45°	22.5°	11.25°	VALVE
6"	17'	7'	3'	2'	46'

LENGTH OF RESTRAINED PIPE ON EACH SIDE OF THE BEND. RESTRAIN BRANCH AT FITTING ONLY
MINIMUM ATTACHED PIPE LENGTH, RUN SIDE OF TEE: 10.00 FEET.

RESTRAINED JOINT LENGTH FOR TEES (FT.)

PIPE SIZE	RUN	BRANCH
6"x6"x6"	10'	2'

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	
26			7	0	8	8	.	8	1			0	8	0	4

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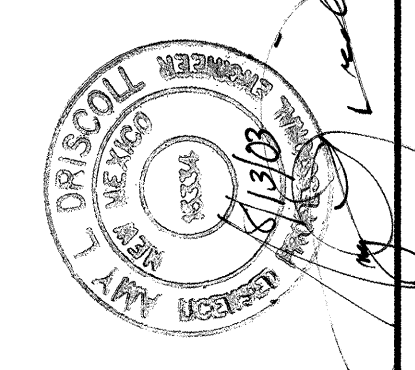
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **CAMPBELL FARM SUBDIVISION
CAMPBELL FARM LANE N.W.
UTILITY IMPROVEMENTS**

DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL		LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
OCT 24 2003		NOV - 6 2003				
REVIEWED BY: [Signature]		CITY ENGINEER [Signature]				

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
708881	G-13-Z	8	12

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
		FIELD NOTES				CONTRACTOR	
NO.	BY	DATE				WORK NOTED BY	DATE
						HAND SYSTEMS	6/23
						STATION IS A STANDARD ACS BRASS TABLET "10-613A". SET IN TOP OF CONCRETE POST PROJECTING 0.20' ABOVE GROUND	
						LOCATED AT THE INTERSECTION OF CANDELAIRA RD. N.W. AND RIO GRANDE BLVD. N.W. X=373,478.96, Y=1,501,045.77 (MAD 1927)	
						ELEVATION= 4968.216 (SLD 1929)	
						LOCATION BY CSC	3/04
						DRAWN BY CSC	3/04
						CORRECTED BY	
						MICRO-FILM INFO	
						RECORDED BY	DATE
						NO.	

[illegible]

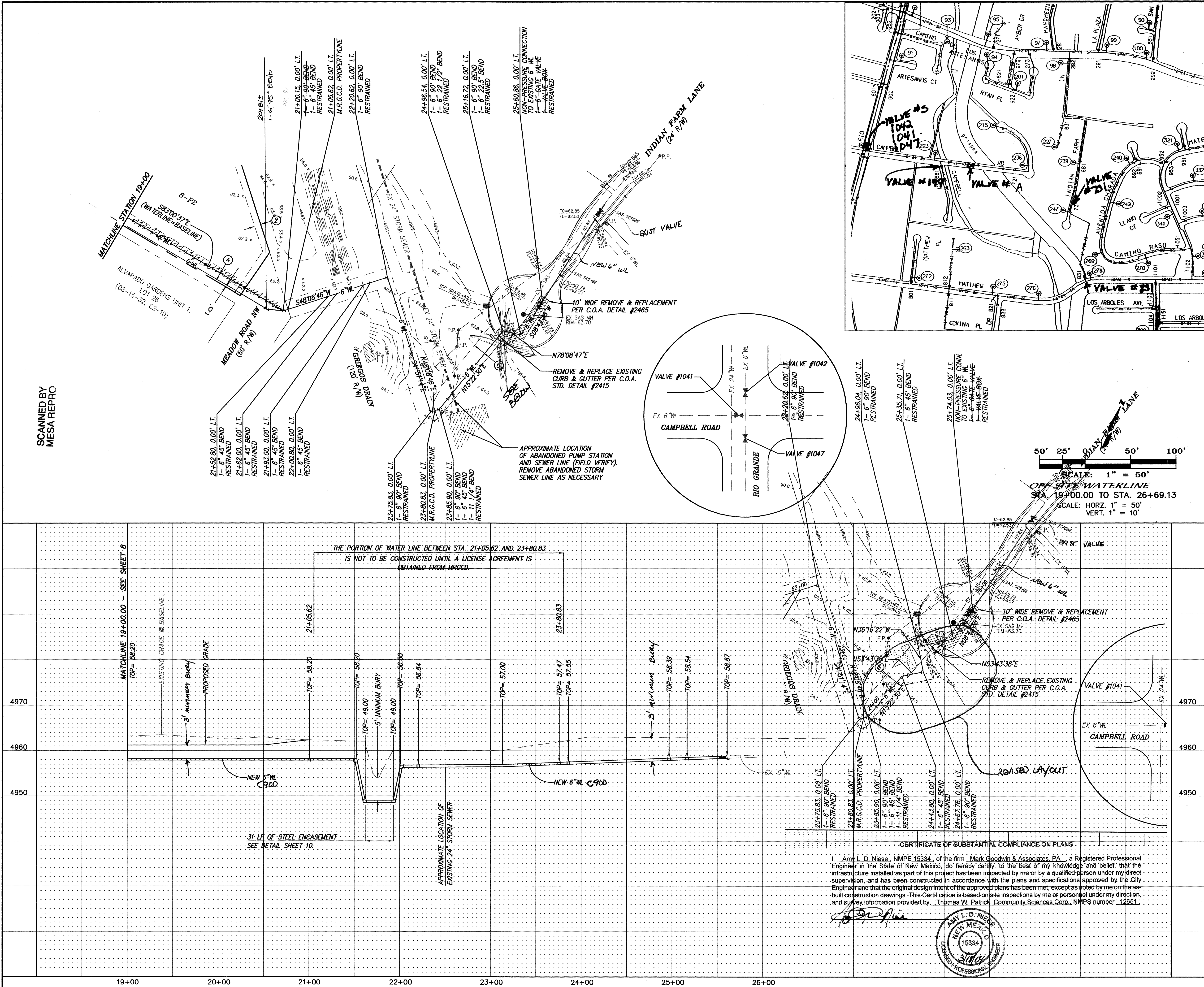
ON
%.

YR.	MO./DAY/YR.

SHEET OF

8 12

SCANNED BY
MESA REPRO

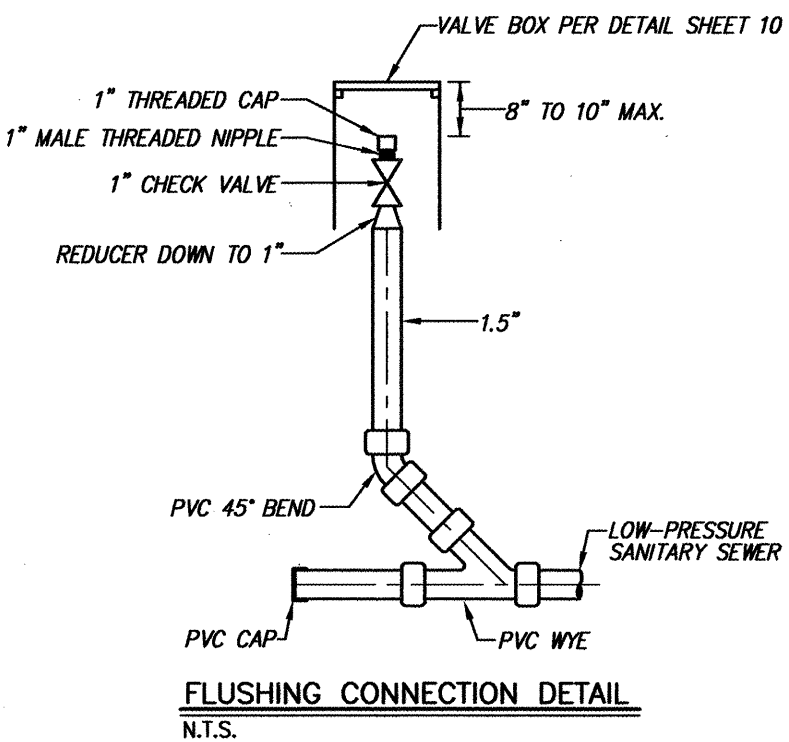


- NOTES**
1. ALL STATIONING IS BASELINE STATIONING AS SHOWN.
 2. 3' MINIMUM BURY ON ALL WATERLINES.
 3. SEE SHEET 10 OF 12 FOR WATER VALVE BOX DETAIL, WATER RING AND COVER FOR VALVE BOX DETAIL AND WATER METER DETAIL.
 4. PROVIDE METALLIC TAPE LINE LOCATOR PER COA SPECIFICATION 121.4.2.

- EASEMENTS**
2. PROPOSED 7' PRIVATE IRRIGATION EASEMENT
 4. PROPOSED 15' PUBLIC WATERLINE EASEMENT
 6. PROPOSED 20' WIDE PUBLIC WATERLINE EASEMENT

VALVE SHUT-OFF PLAN

1. CONTRACTOR WILL CONTACT WATER SYSTEMS AT 857-8200 7 DAYS PRIOR TO NECESSARY SHUT-OFF.
2. VALVES SHALL ONLY BE OPERATED BY CITY WATER EMPLOYEES. SEE DETAIL THIS SHEET FOR VALVE NUMBERS AND LOCATIONS.
3. NON PRESSURE CONNECTION TO EXISTING 6" WATERLINE IN CAMPBELL FARM RD. SHUT OFF EXISTING VALVES #1042, 1041, 1047, 199 AND _____
4. NON PRESSURE CONNECTION TO EXISTING 6" WATERLINE IN INDIAN FARM LANE, SHUT OFF EXISTING VALVES #731 & 831.



RESTRAINED JOINT LENGTH FOR BENDS, VALVES, DEAD ENDS (FT.)

PIPE SIZE	90°	45°	22.5°	11.25°	VALVE
6"	17'	7'	3'	2'	46'

LENGTH OF RESTRAINED PIPE ON EACH SIDE OF THE BEND. RESTRAIN BRANCH AT FITTING ONLY MINIMUM ATTACHED PIPE LENGTH, RUN SIDE OF TEE: 10.00 FEET.

RESTRAINED JOINT LENGTH FOR TEES (FT.)

PIPE SIZE	RUN	BRANCH
6"x6"x6"	10'	2'

26 70888.81 0904

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(505) 828-2200, FAX (505) 797-9539

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

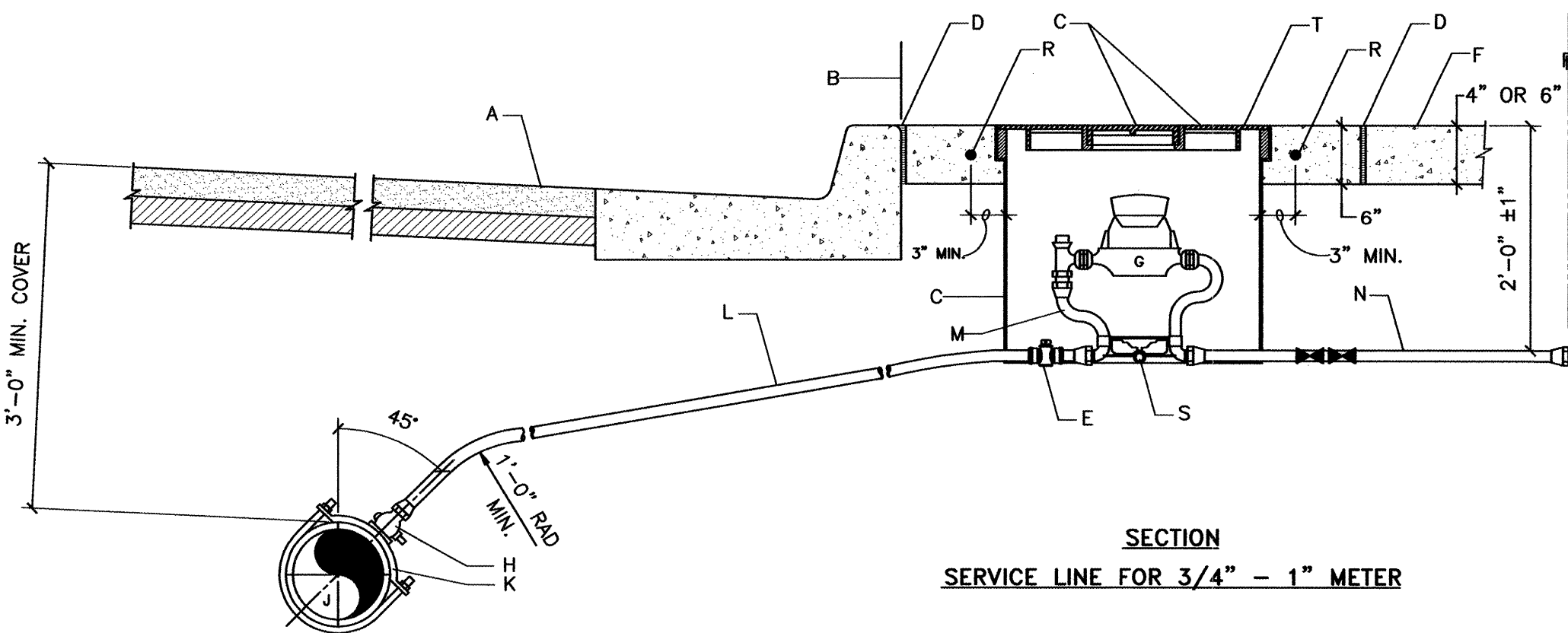
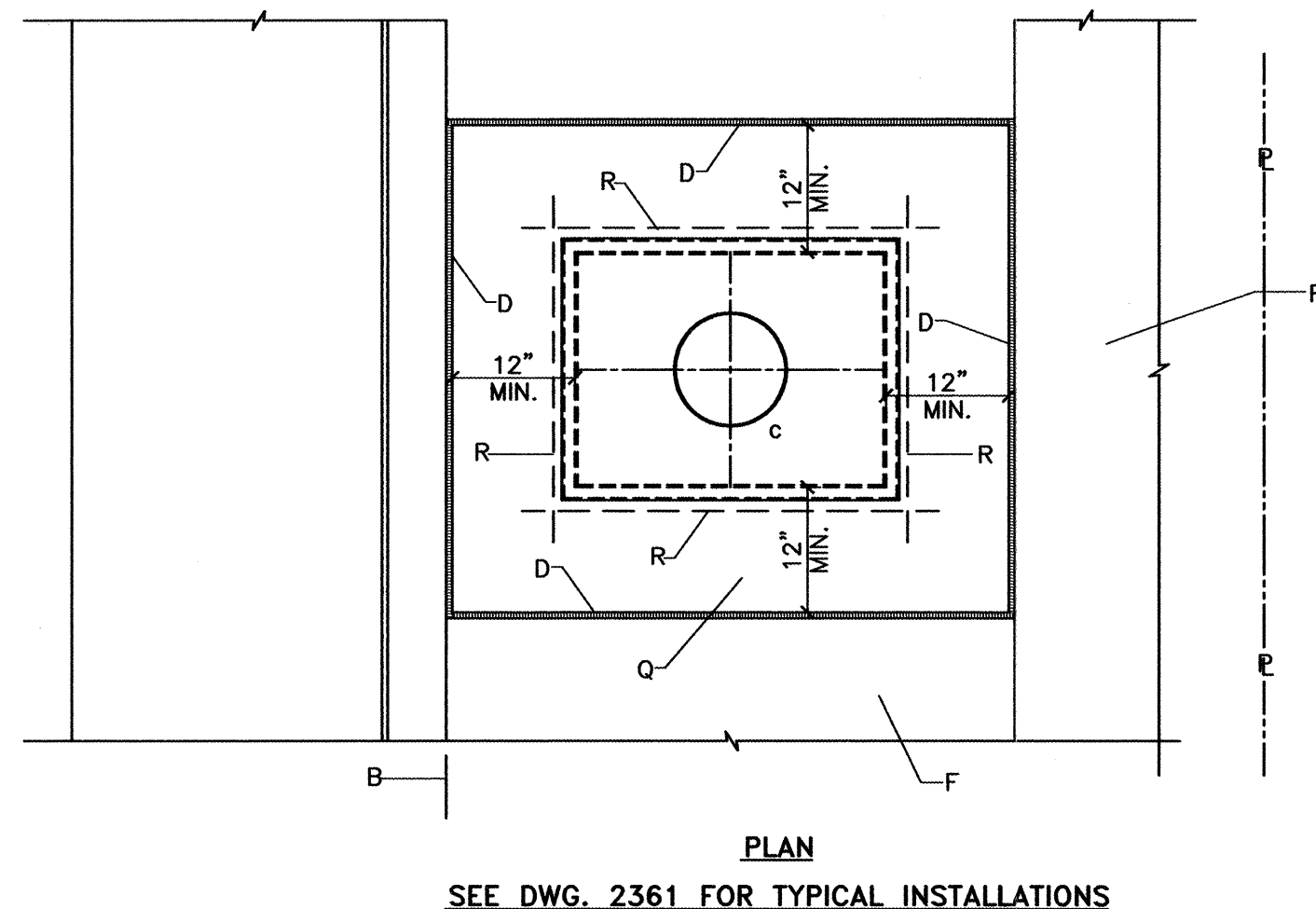
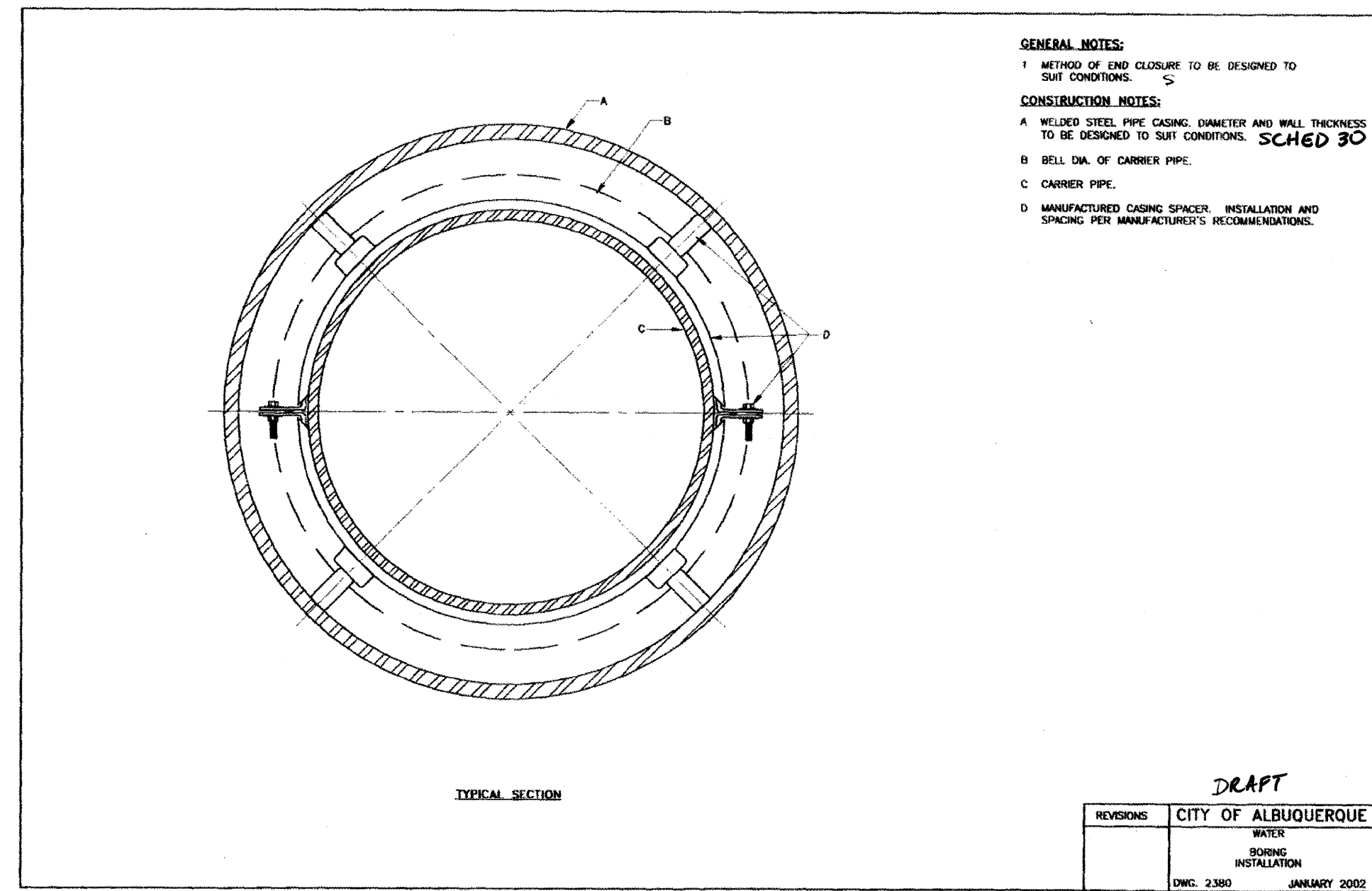
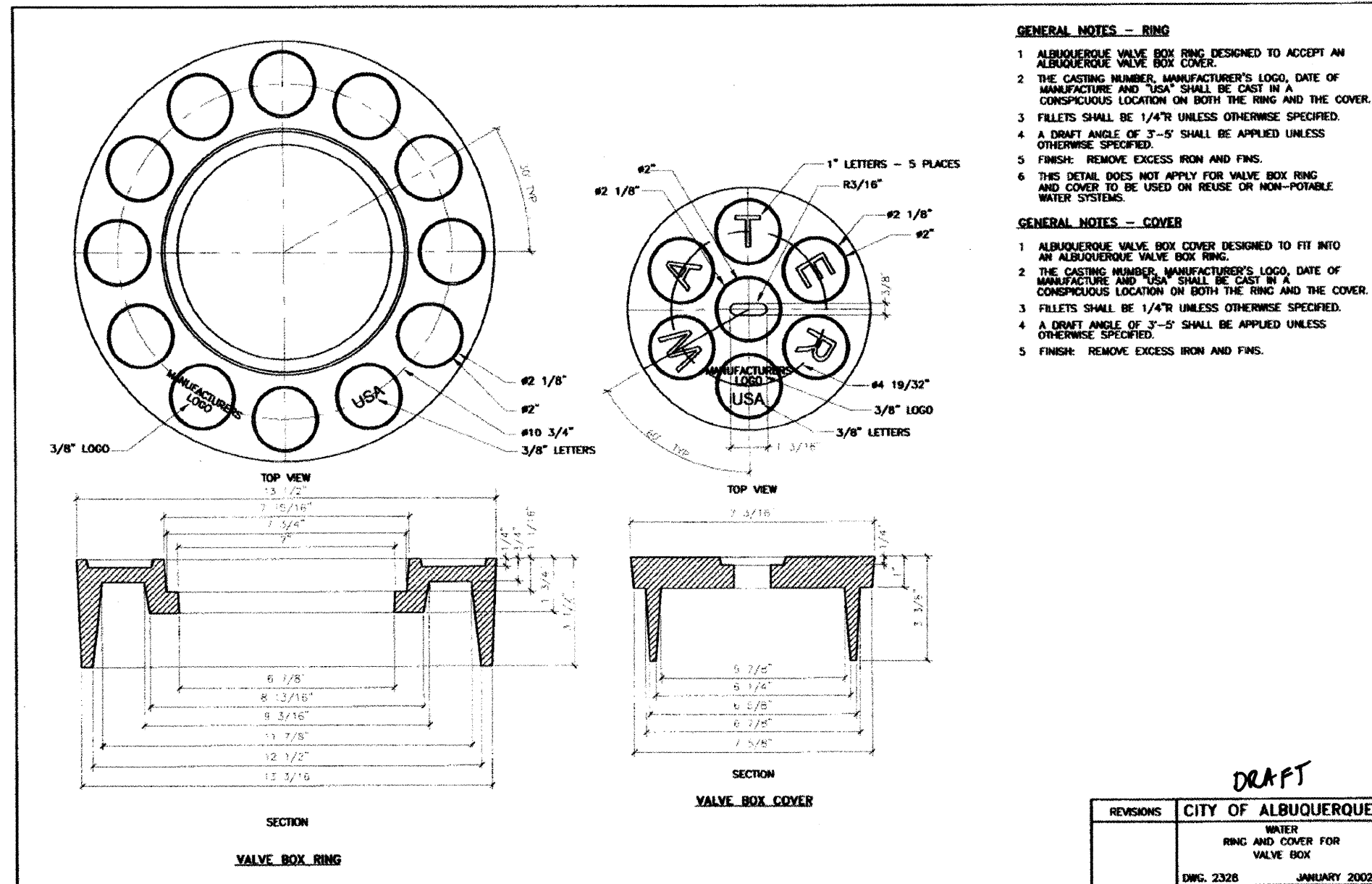
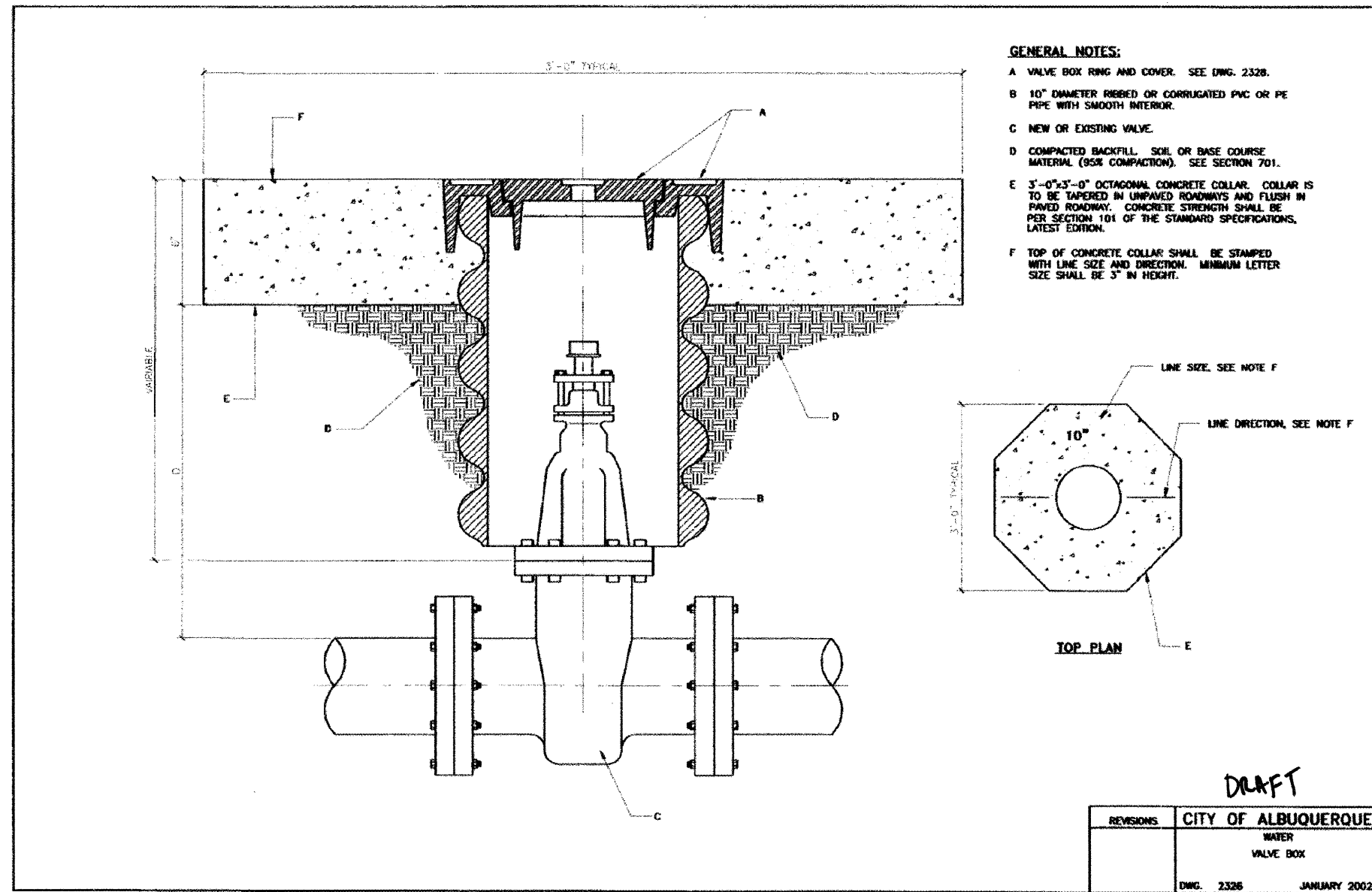
TITLE: **CAMPBELL FARM SUBDIVISION
OFF-SITE
UTILITY IMPROVEMENTS**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
OCT 24 2003	NOV 6 2003		
REVISIONS	REVISIONS		
NO. DATE	NO. DATE		
DESIGNED BY ALD	DATE 02/03		
DRAWN BY DER	DATE 02/03		
CHECKED BY DMG	DATE 02/03		

CITY PROJECT NO. **708881** ZONE MAP NO. **G-13-Z** SHEET **9** OF **12**

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	STATION	MARK	NO.	DATE	NO.	DATE
WATER SYSTEMS	11/03	SET IN TOP OF CONCRETE POST PROJECTING 0.20' ABOVE GROUND					
LOCATED AT THE INTERSECTION OF CAMPBELL FARM RD. N.W. AND							
RIO GRANDE BLVD. N.W. X=373,478.96, Y=1,501,045.77 (NAD 1983)							
ELEVATION= 4968.216 (SLD 1929)							
RECORDED BY	DATE						

SCANNED BY
MESA REPRO



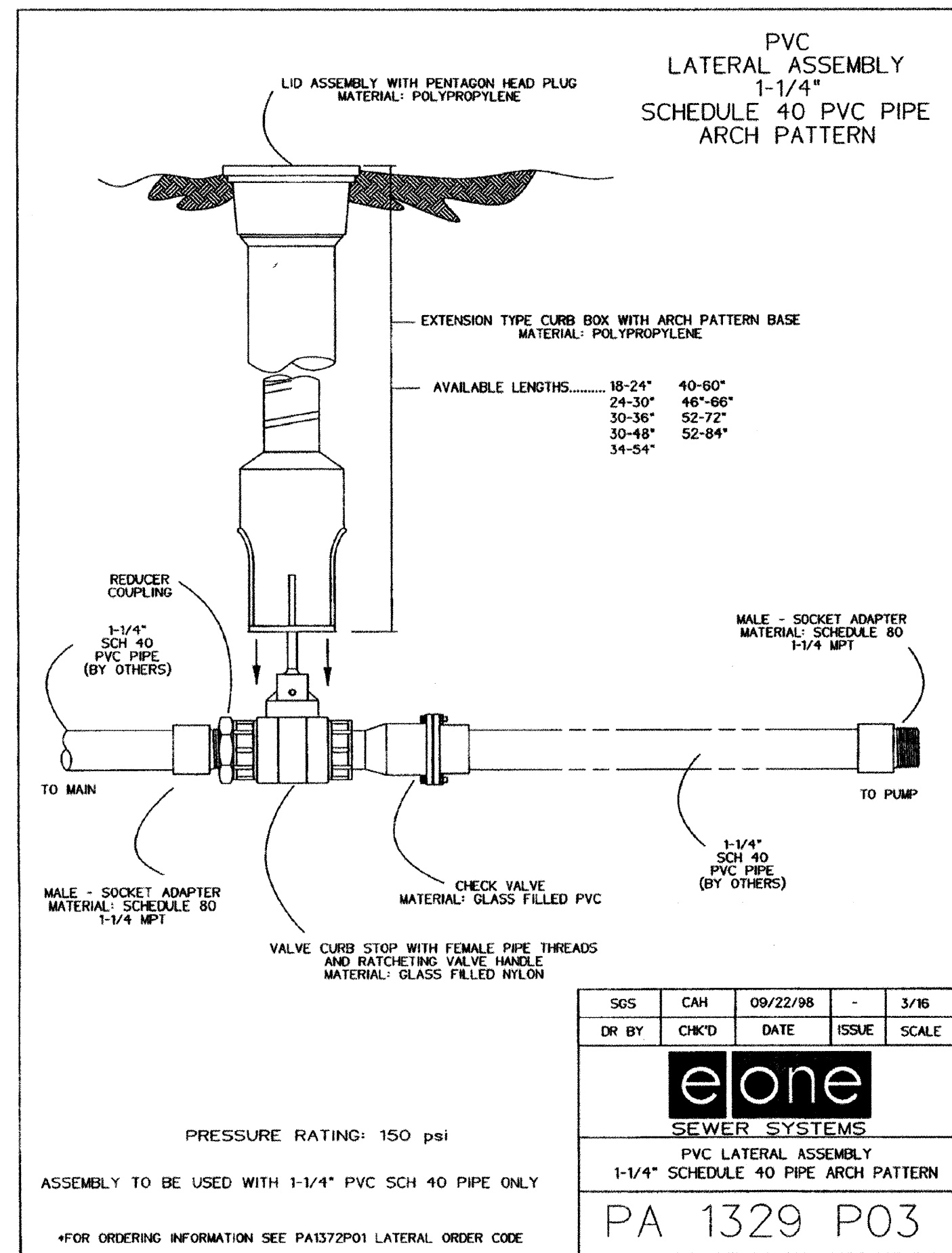
GENERAL NOTES:

- 1 THE METER SHALL BE SET UTILIZING A COPPER-SETTER. COPPER-SETTER HEIGHT 10" FOR 1" METER. 7" FOR 3/4" METER.
- 2 THE VALVE AND METER REGISTER BOX SHALL BE LOCATED UNDER THE LID OPENING. WHERE TWO METERS ARE TO BE INSTALLED IN A SINGLE METER BOX, THE METER REGISTERS SHALL BE WITHIN READING RANGE OF THE LID OPENING.
- 3 METER BOX LOCATION TO CONFORM TO DWG. 2361.
- 4 WHEN CONTRACTOR DOES NOT INSTALL METER, CONTRACTOR SHALL PROVIDE REMOVABLE PLUGS FOR END OF COPPER-SETTER.
- 5 EXISTING CONCRETE TO BE SAWCUT.

CONSTRUCTION NOTES:

- A STREET SURFACE.
- B BACK OF CURB.
- C CAST IRON METER BOX, COVER AND LID. SEE DWG. 2368 OR 2369. HEAVY DUTY TRAFFIC LID & BOX.
- D 1/2" EXPANSION JOINT.
- E CURB STOP, LOCATE INSIDE METER BOX.
- F SIDEWALK OR DRIVEPAD.
- G METER. TOP OF METER TO BE 12"-18" BELOW COVER.
- H CORP STOP.
- J MAIN WATER LINE.
- K TAPPING SADDLE.
- L COPPER SERVICE LINE.
- M COPPER SETTER.
- N TAILPIECE TO PROPERTY LINE WITH INSTA-TITE I.P.T. CAPPED FITTING AND DOUBLE CHECK VALVES.
- Q CONCRETE PAD REQUIRED IN ALL AREAS.
- R #4 REBAR CONTINUOUS ALL AROUND METER BOX.
- S STABILIZER BAR. 12" LONG X 1/2" DIAMETER GALVANIZED STEEL PIPE.
- T METER BOX LID SHALL BE FLUSH WITH SURROUNDING SIDEWALK.

DRAFT



26 7088.81 1004

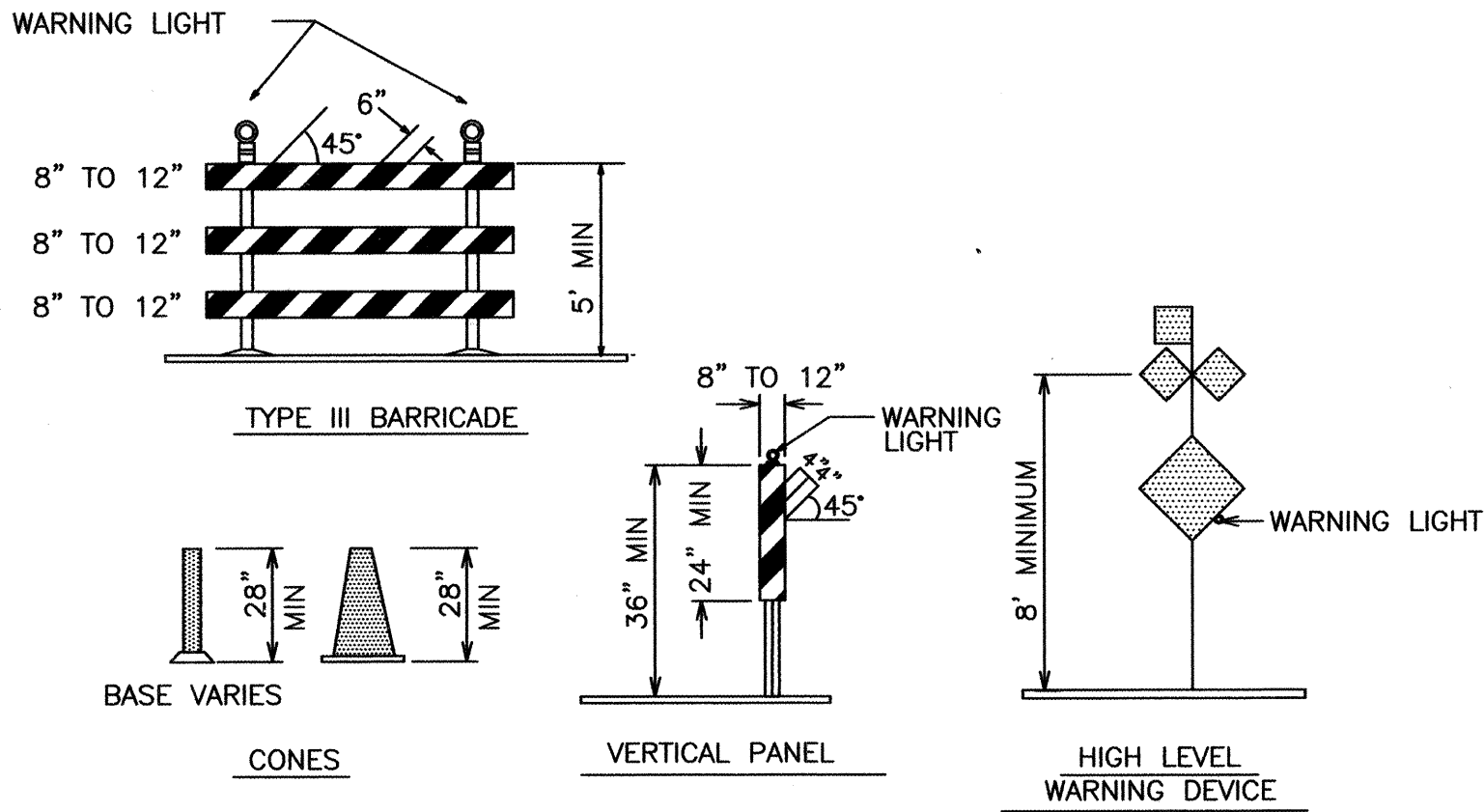
dmg		MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200, FAX (505) 797-9539	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT		TITLE: CAMPBELL FARMS SUBDIVISION UTILITY DETAILS	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.
X	X		
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
708881	G-13-Z	10	12

CONSTRUCTION TRAFFIC CONTROL GENERAL NOTES

1. CONTRACTOR MUST OBTAIN FROM CONSTRUCTION COORDINATION AN EXCAVATION/BARRICADING PERMIT BEFORE ENGAGING IN ANY CONSTRUCTION, MAINTENANCE OR REPAIR WORK IN ANY OF THE CITY OF ALBUQUERQUE'S RIGHTS-OF-WAY. EMERGENCY WORK THAT WOULD PRESERVE LIFE OR PROPERTY IS EXCLUDED WITH THE UNDERSTANDING, THAT A PERMIT SHALL BE OBTAINED WITHIN 24 TO 48 HOURS.
2. CONTRACTOR SHALL AT THE TIME OF PERMIT REQUEST, SUBMIT FOR APPROVAL BY CONSTRUCTION COORDINATION, A TRAFFIC CONTROL PLAN DETAILING ALL EXISTING TOPOGRAPHY SUCH AS LANE WIDTHS, DRIVEWAYS, AND BUSINESS/RESIDENTIAL ACCESSES. THE TRAFFIC CONTROL PLAN SHALL INCLUDE ALL PHASES OF WORK AND SCHEDULES INVOLVED IN THE CONSTRUCTION PROJECT. ANY SEPARATE PHASES OF A CONSTRUCTION PROJECT SHALL BE GIVEN AN INDIVIDUAL PERMIT EACH. BLANKET PERMITS WILL NOT BE ISSUED.
3. THESE TYPICAL TRAFFIC CONTROL PLANS DO NOT REFLECT THE EXISTING TOPOGRAPHY SUCH AS DRIVEWAYS, LANE WIDTHS, AND BUSINESS/RESIDENTIAL ACCESSES. EVERY LOCATION THAT REQUIRES CONSTRUCTION TRAFFIC CONTROL SHALL HAVE A DETAILED TRAFFIC CONTROL PLAN SHOWING ALL EXISTING TOPOGRAPHY.
4. CONSTRUCTION SHALL NOT BEGIN UNLESS A TRAFFIC CONTROL PLAN HAS BEEN APPROVED AND VERIFIED BY CONSTRUCTION COORDINATION.
5. CONSTRUCTION COORDINATION SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY TRAFFIC CONTROL CHANGES NEEDED BY CONTRACTOR, THAT WERE NOT PREVIOUSLY APPROVED. THESE TRAFFIC CONTROL CHANGES SHALL BE REQUESTED IN WRITING ACCOMPANIED WITH A TRAFFIC CONTROL PLAN REFLECTING SUCH CHANGES.
6. ALL CONSTRUCTION TRAFFIC CONTROL DEVICES SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL, SERVICE AND MAINTAIN ALL TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL DEVICES SHALL NOT BE REMOVED OR ALTERED IN ANY WAY WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION, PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.
7. THE CONSTRUCTION TRAFFIC CONTROL INITIAL SET-UP SHALL BE BY AN AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA) CERTIFIED WORKSITE TRAFFIC SUPERVISOR. THE MAINTENANCE AND SERVICING SHALL ALSO BE DONE BY AN ATSSA CERTIFIED WORKSITE TRAFFIC SUPERVISOR OR EQUIVALENT.
8. CONTRACTOR IS RESPONSIBLE TO MAINTAIN AND SERVICE ALL TRAFFIC CONTROL DEVICES 24 HOURS A DAY, 7 DAYS A WEEK THROUGHOUT LENGTH OF PROJECT. CONTRACTOR IS RESPONSIBLE THAT ALL TRAFFIC CONTROL DEVICES COMPLY WITH THE MUTCD, LATEST EDITION.
9. ALL ADVANCE WARNING SIGNS SHALL BE DOUBLE INDICATED WHENEVER THERE ARE MULTI-LANE TRAFFIC IN ANY ONE GIVEN DIRECTION AND THERE IS SUFFICIENT MEDIAN SPACE.
10. ALL BARRICADES IN ALL TAPERS AND TANGENTS SHALL BE PLACED APART, A DISTANCE MEASURED IN FEET, EQUAL TO THAT OF THE POSTED SPEED LIMIT. NO EXCEPTIONS UNLESS APPROVED BY CONSTRUCTION COORDINATION PER MUTCD SECTION 6A-4.
11. ALL WORK IN ARTERIAL ROADWAYS SHALL BE ON A CONTINUOUS 24 HOUR PER DAY BASIS UNTIL COMPLETED.
12. CONTRACTOR IS RESPONSIBLE TO PROVIDE CONSTRUCTION COORDINATION, A WEEKLY LOG OF DAILY INSPECTIONS OF BARRICADE AND MAINTENANCE SCHEDULES ON PROJECTS THAT ARE OVER ONE WEEK DURATION.
13. EQUIPMENT OR MATERIALS SHALL NOT BE STORED WITHIN 15 FEET OF A TRAVELED TRAFFIC LANE DURING NON-WORKING HOURS WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION.
14. CONTRACTOR SHALL PROVIDE AND MAINTAIN A SAFE AND ADEQUATE MEANS OF CHANNELIZING PEDESTRIAN TRAFFIC AROUND AND THROUGH THE CONSTRUCTION AREA.
15. CONTRACTOR IS RESPONSIBLE FOR OBLITERATION OF ANY CONFLICTING STRIPING AND RESPONSIBLE FOR ALL TEMPORARY STRIPING.
16. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES, BUSINESSES AND/OR RESIDENTS AT ALL TIMES.
17. CONTRACTOR SHALL PROVIDE ACCESS SIGNS FOR BUSINESSES LOCATED WITHIN THE CONSTRUCTION AREA UNDER THE SUPERVISION OF CONSTRUCTION COORDINATION. EACH ACCESS SIGN SHALL HAVE 5 INCH, WHITE OPAQUE LETTERING ON BLUE REFLECTORIZED BACKGROUND. ACCESS SIGNS SHALL BE CONSIDERED INCIDENTAL TO THE BID AND NOT PART OF THE CONTRACT UNLESS OTHERWISE STATED. NO MORE THAN 3 BUSINESSES SHALL BE LISTED ON A ACCESS SIGN. SHOPPING CENTERS AND MALLS SHALL BE LISTED AS SUCH.
18. ALL ADVANCE WARNING SIGNS SHALL MEET THE MINIMUM REFLECTIVE INTENSITY REQUIREMENTS SET FORTH BY THE CITY OF ALBUQUERQUE. CONSTRUCTION COORDINATION SHALL DETERMINE ALL REQUIREMENTS AND APPROVE OR DISAPPROVE ANY ADVANCE WARNING SIGN PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.
19. 48 HOURS PRIOR TO OCCUPANCY OR CLOSING OF A RIGHT-OF-WAY, CONTRACTOR SHALL NOTIFY: POLICE, FIRE DEPARTMENT, SCHOOLS, HOSPITALS, TRANSIT AUTHORITY, BUSINESSES AND/OR RESIDENTS THAT WILL BE AFFECTED BY THE CONSTRUCTION.
20. ANY FIELD ADJUSTMENTS SHALL BE APPROVED BY CONSTRUCTION COORDINATION.

21. EXCAVATIONS SHALL BE PLATED, TEMPORARILY PATCHED OR RESURFACED PRIOR TO OPENING OF TRAFFIC. A MINIMUM OF 11 FEET SHALL BE PROVIDED FOR TRAFFIC IN ANY GIVEN DIRECTION. CONTRACTOR IS RESPONSIBLE FOR ANY WORK INVOLVED IN SATISFYING THESE REQUIREMENTS.
22. CONTRACTOR SHALL AT ALL TIMES COMPLY WITH THE FOLLOWING:
- STANDARDS AND REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - THE CITY OF ALBUQUERQUE TRAFFIC CODE, LATEST EDITION.
 - SECTION 19 OF THE CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTION, AS WELL AS OTHER SECTIONS.
23. FAILURE TO COMPLY WITH ANY OF THE ABOVE MENTIONED, WILL BE ADEQUATE CAUSE TO CEASE ALL WORK ON ANY CONSTRUCTION PROJECT. WORK WILL NOT RESUME UNTIL ALL REQUIREMENTS ARE ADDRESSED AND APPROVED BY CONSTRUCTION COORDINATION.
24. ALL TRAFFIC CONTROL DEVICES SHALL BE KEPT IN NEW-CLEAN CONDITION, WASHING OF EQUIPMENT IS INCIDENTAL TO IT'S PLACEMENT AND MAINTENANCE.
25. TRAFFIC CONTROL STANDARDS APPLY ONLY WHERE THE CONSTRUCTION TRAFFIC CONTROL PLANS ARE NOT SPECIFIC.

26. ADVANCE WARNING SIGNS SHALL BE 36"x36" MIN. WITH SUPER ENGINEERING GRADE SHEETING OR BETTER. MOUNTING HEIGHT AT TOP OF SIGN SHALL BE THE SAME AS FOR A 48" SIGN AS INDICATED IN THE M.U.T.C.D.
27. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORKSITE. ALL GRAFFITI SHALL BE PROMPTLY REMOVED FROM ALL EQUIPMENT, BOTH PERMANENT AND TEMPORARY.



LEGEND

- WORK AREA
- BARRICADE - TYPE I, TYPE II, OR BARREL
- BARRICADE - TYPE III
- VERTICAL PANEL
- WARNING SIGN
- DISTANCE BETWEEN SIGNS - A DISTANCE MEASURED IN FEET EQUAL TO A VALUE OF TEN TIMES THE SPEED LIMIT OF THE STREET
- FLAGMAN POSITION
- SPACING BETWEEN BARRICADES - A DISTANCE MEASURED IN FEET EQUAL TO THE STREET LIMIT OF THE STREET
- TAPER LENGTH - SEE CHART BELOW
- THE TANGENT LENGTH IS EQUAL TO THE TAPER LENGTH FOR A GIVEN STREET.

TAPER REQUIREMENT

SPEED LIMIT (MPH)	TAPER LENGTH(L) (FEET)			MINIMUM NUMBER OF DEVICES FOR TAPER	MAXIMUM DEVICE SPACING IN FEET	
	10' LANE	11' LANE	12' LANE		ALONG TAPER	AFTER TAPER
20	70	75	80	5	20	20
25	105	115	125	6	25	25
30	150	165	180	7	30	30
35	205	225	245	8	35	35
40	270	295	320	9	40	40
45	450	495	540	13	45	45
50	500	550	600	13	50	50
55	550	605	660	13	55	55

RECOMMENDED SIGN SPACING(D) FOR ADVANCE WARNING SIGN SERIES

SPEED LIMIT (MPH)	MINIMUM DISTANCE IN FEET BETWEEN SIGNS	FROM LAST SIGN TO TAPER
0-20	10 X SPEED LIMIT	10 X SPEED LIMIT
25-30	10 X SPEED LIMIT	10 X SPEED LIMIT
30-35	10 X SPEED LIMIT	10 X SPEED LIMIT
40-45	10 X SPEED LIMIT	10 X SPEED LIMIT
50-60	10 X SPEED LIMIT	10 X SPEED LIMIT

TAPER CRITERIA

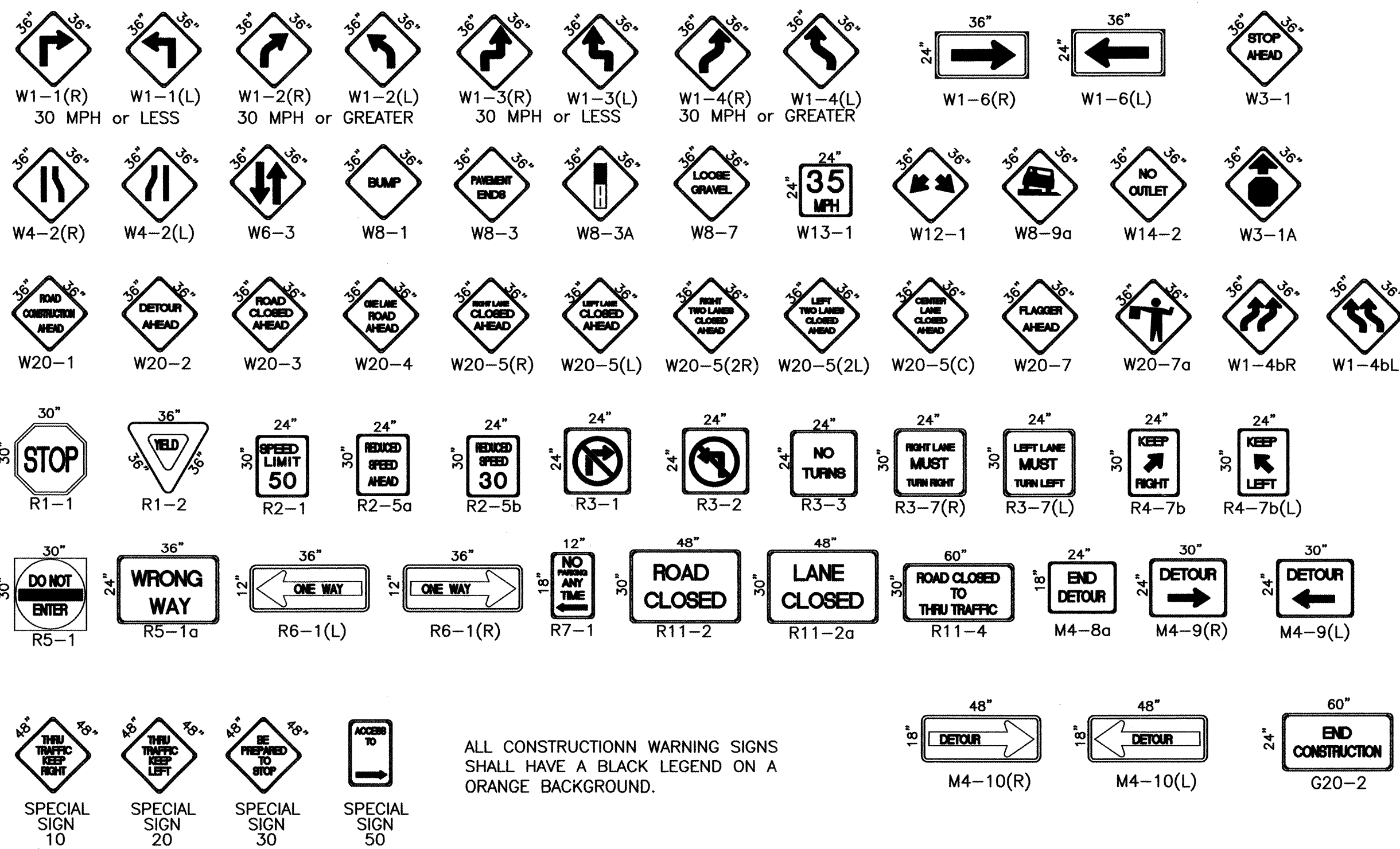
TYPE OF TAPER	TAPER LENGTH
UPSTREAM TAPER:	
MERGING TAPER	L MINIMUM
SHIFTING TAPER	1/2 L MINIMUM
SHOULDER TAPER	1/2 L MINIMUM
TWO-WAY TRAFFIC TAPER	100 FEET MAXIMUM
DOWNSTREAM TAPERS	100 FEET PER LANE

TAPER LENGTH COMPUTATION

SPEED LIMIT	
40 MPH OR LESS	$L = \frac{WS^2}{60}$
40 MPH OR GREATER	$L = W \times S$

L = TAPER LENGTH
W = WIDTH OF OFFSET IN FEET
S = POSTED SPEED OR OFF-PEAK 85-PERCENTILE SPEED IN MPH

SIGN FACE DETAILS



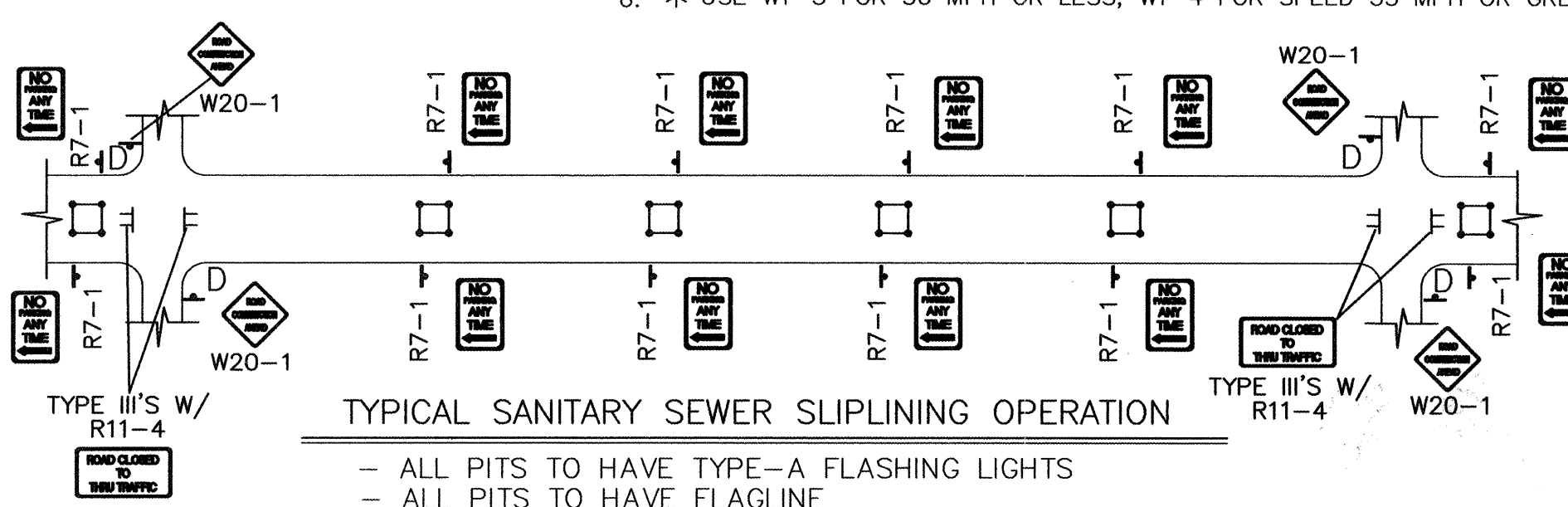
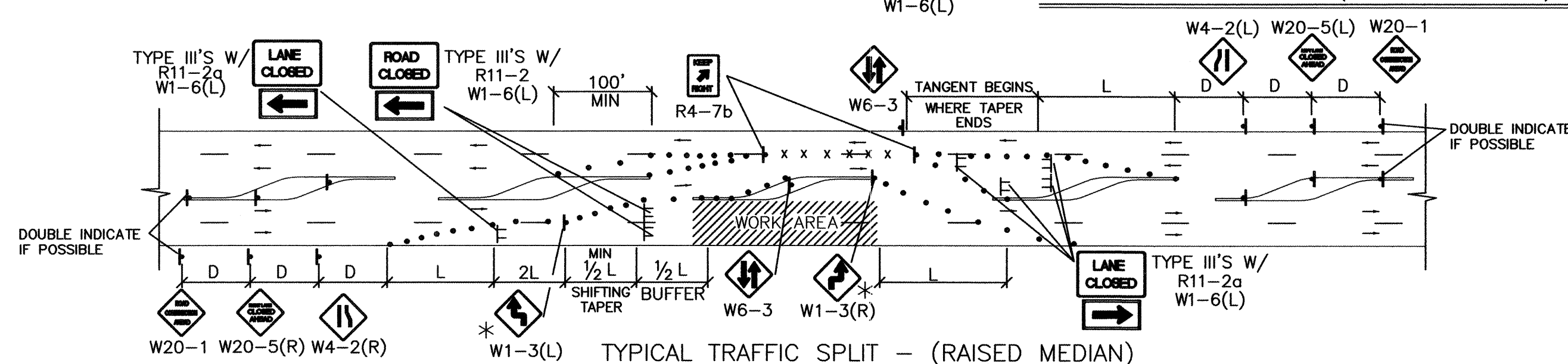
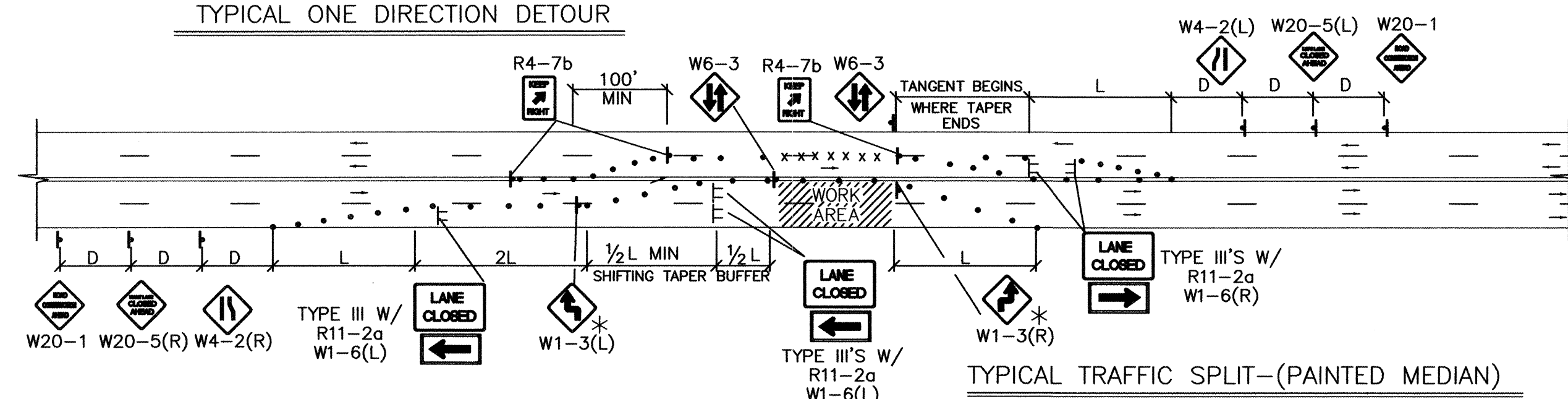
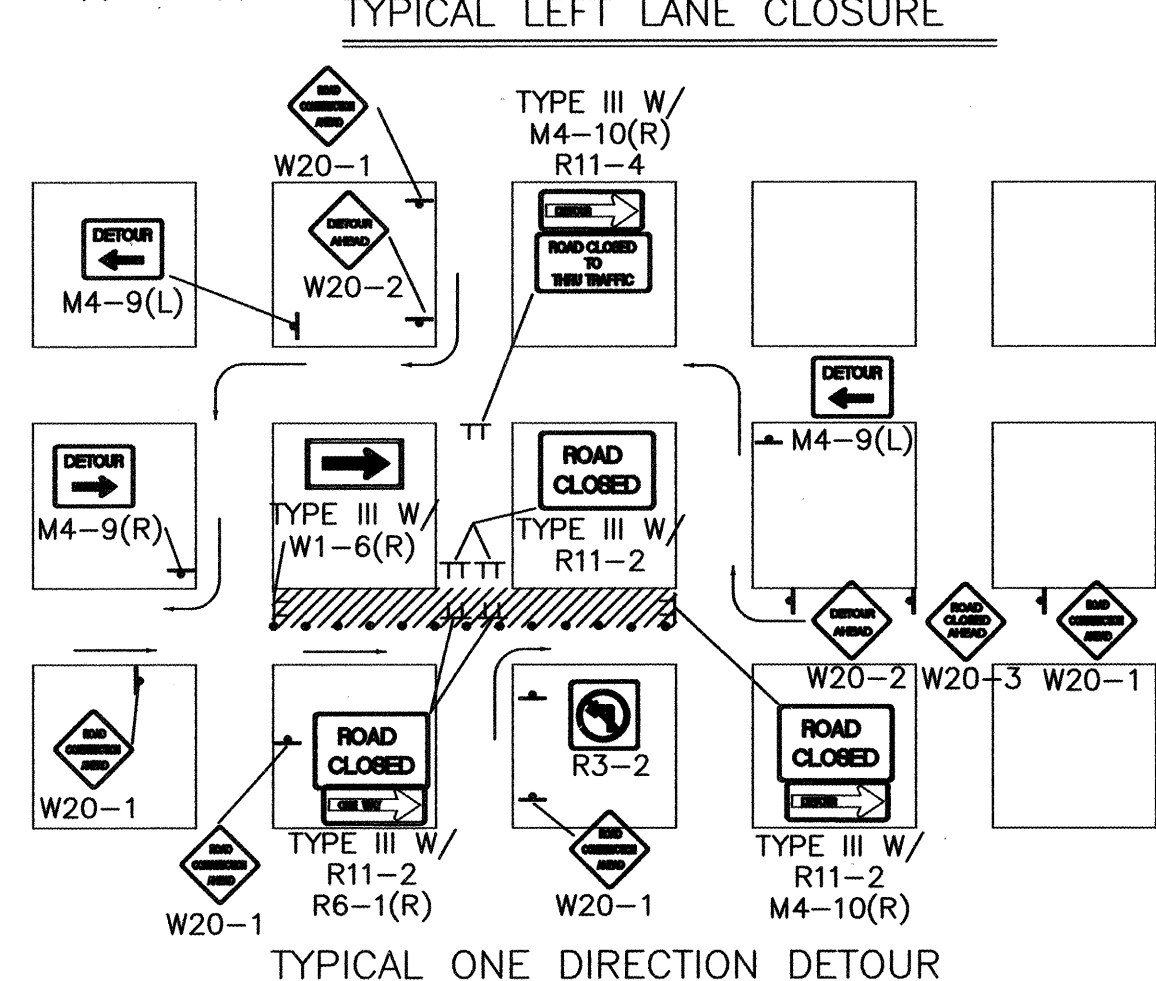
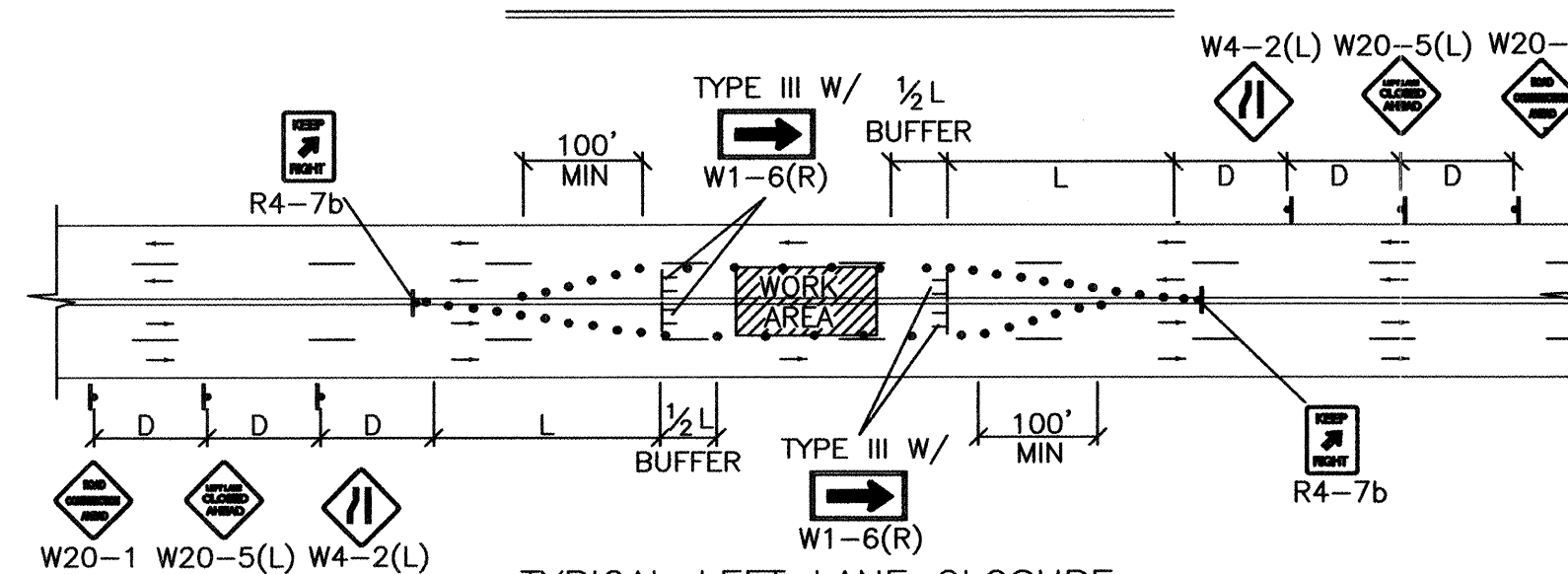
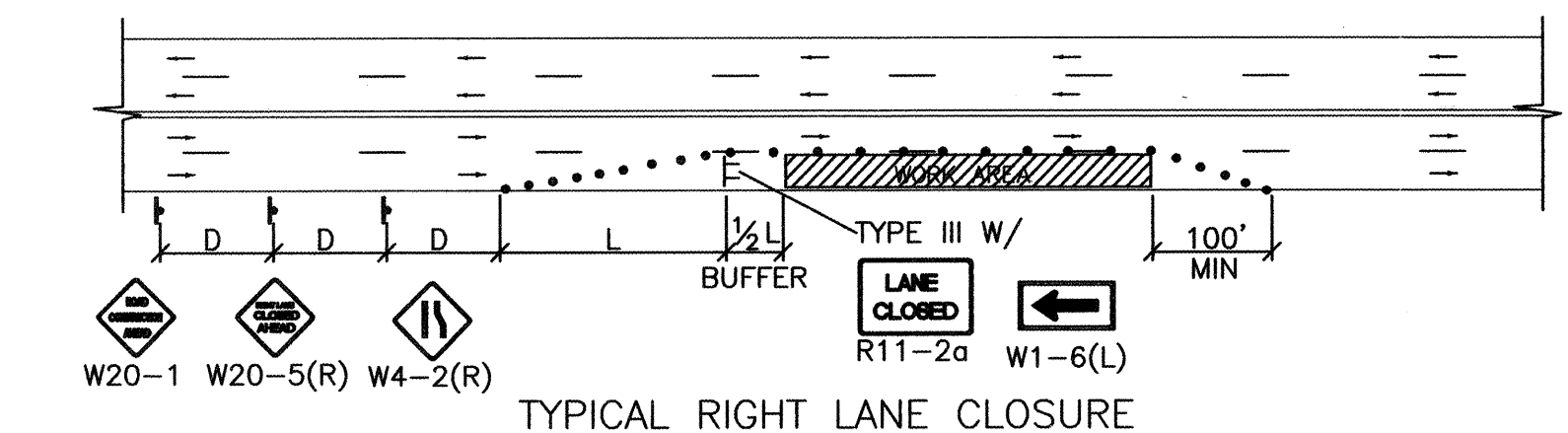
ALL CONSTRUCTION WARNING SIGNS SHALL HAVE A BLACK LEGEND ON A ORANGE BACKGROUND.

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **CAMPBELL FARM SUBDIVISION
SIGNING AND CONSTRUCTION TRAFFIC
CONTROL STANDARDS**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
C.O.A. STANDARD	C.O.A. STANDARD		

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
708881	G-13-Z	11	12



TRAFFIC SPLIT NOTES:

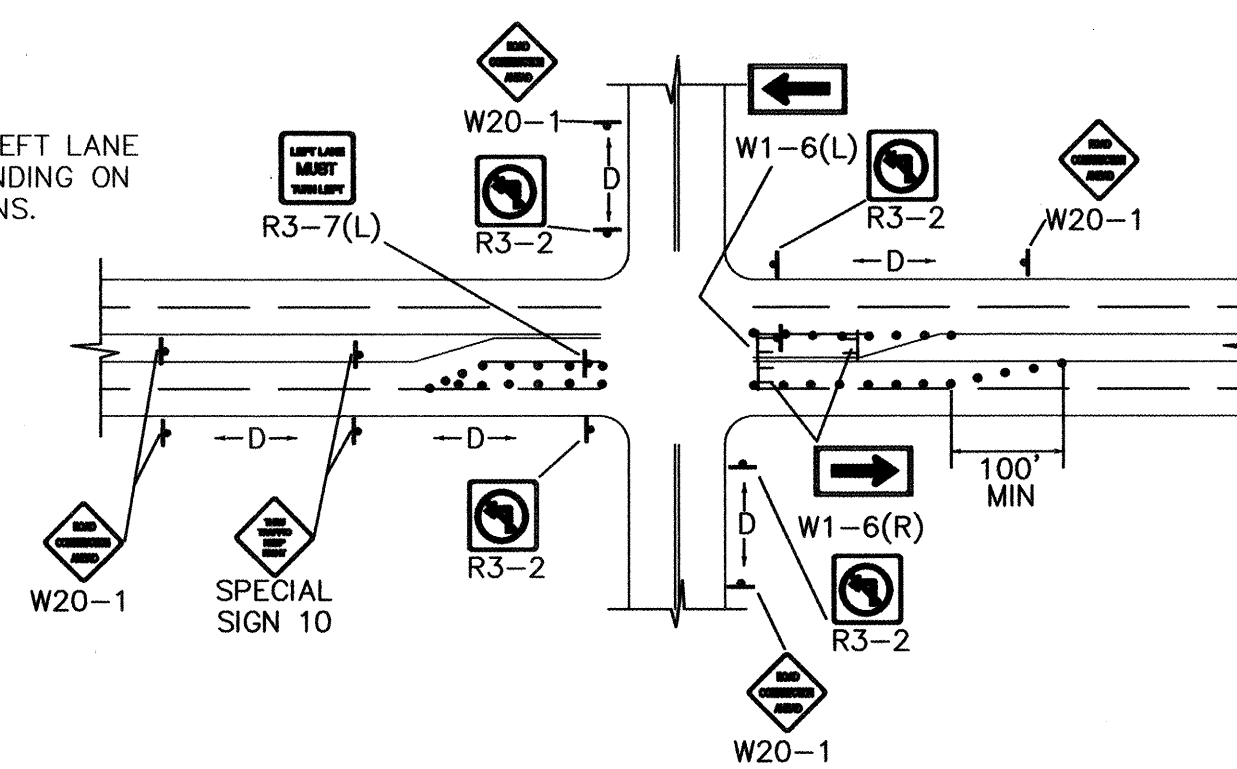
1. THE OFFSET DISTANCE MUST BE CALCULATED IN ALL SHIFTING TAPERS. THE OFFSET DISTANCES SHALL INCLUDE LANE WIDTHS PLUS MEDIAN WIDTHS.
2. 1/2 L IS THE MINIMUM DISTANCE FOR SHIFTING TAPERS.
3. REVERSE CURVES MAY BE IMPLEMENTED. ALL CURVE DATA SHALL BE CALCULATED.
4. MEDIAN REMOVAL SHALL BE REQUIRED IF 1/2 L OR REVERSE CURVE IS NOT SUFFICIENT FOR REMOVAL. SHALL TAKE PLACE BEFORE SPLITS.
5. REDUCED SPEED MAY BE CONSIDERED.
6. * USE W1-3 FOR 30 MPH OR LESS, W1-4 FOR SPEED 35 MPH OR GREATER.

GENERAL NOTE:

ALL CONSTRUCTION WARNING SIGNS SHALL HAVE A BLACK LEGEND ON A ORANGE BACKGROUND.

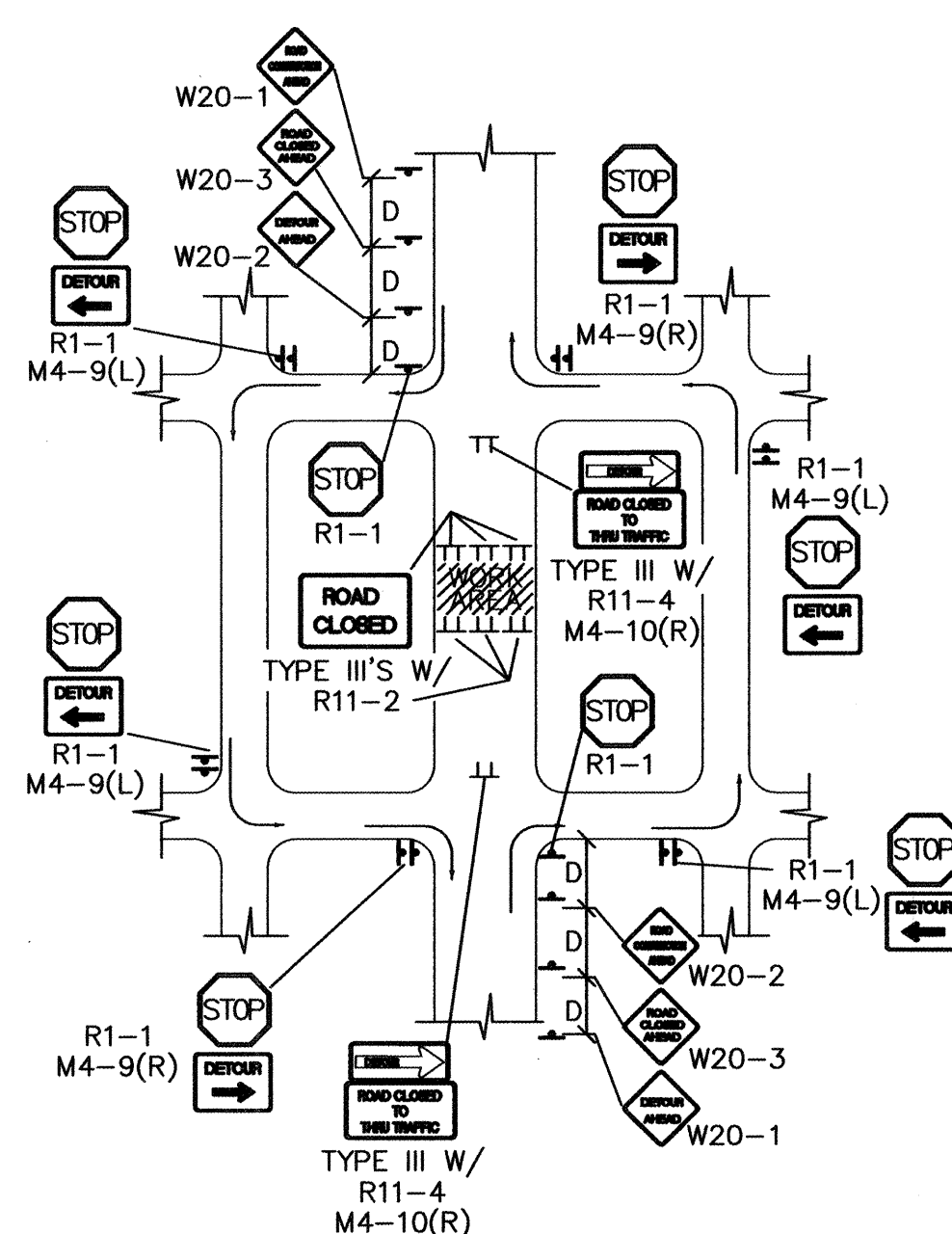
△ ALL ADVANCE WARNING SIGNS SHALL BE A MINIMUM OF 36" THIRTY SIX INCHES BY 36" THIRTY SIX INCHES IN SIZE AND SHALL HAVE ONE WARNING LIGHT.

NOTE:
MAY REQUIRE LEFT LANE
CLOSURE DEPENDING ON
FIELD CONDITIONS.



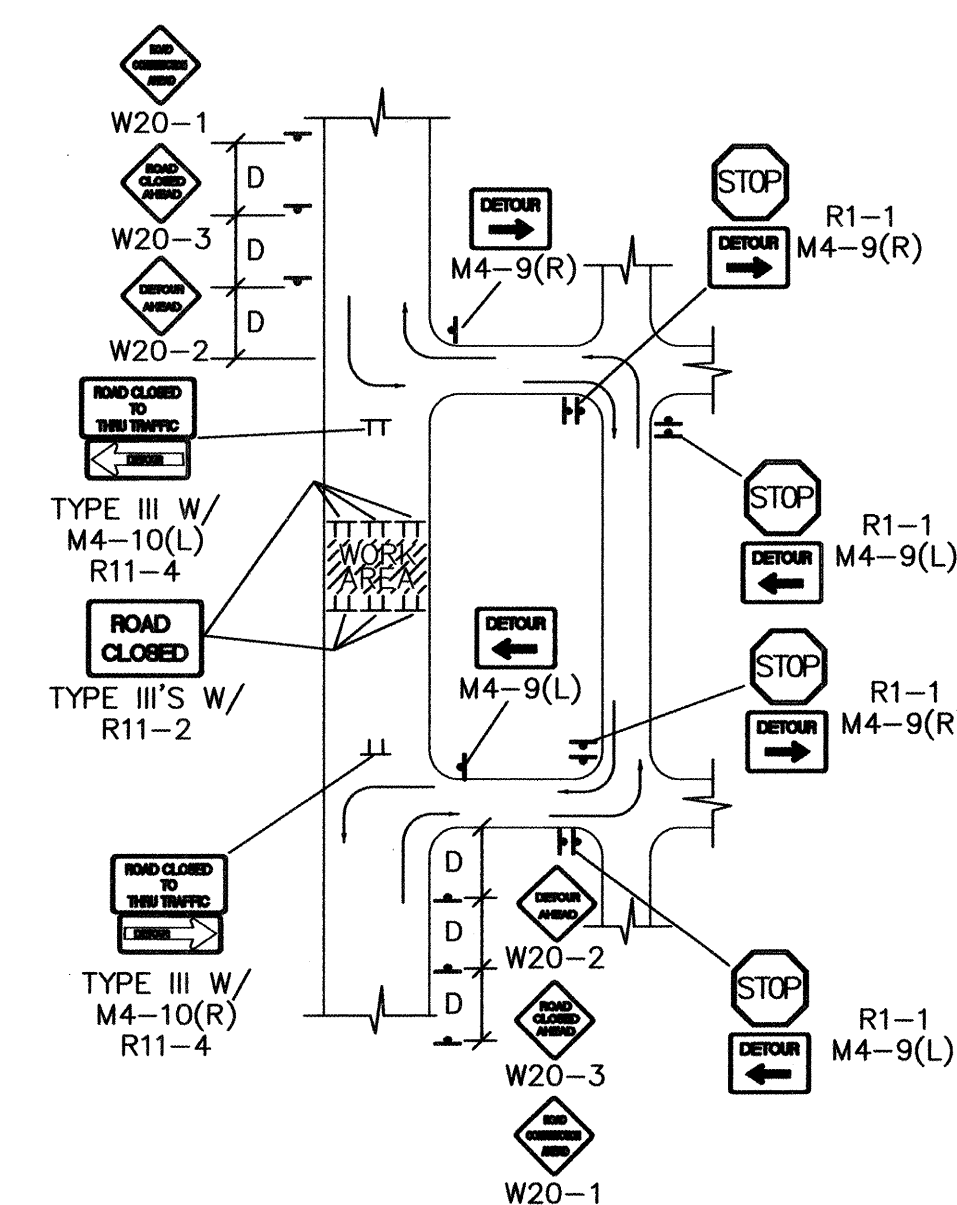
TYPICAL LANE CLOSURE AT INTERSECTION

NOTE: DEPENDING ON WORK ZONE LOCATION.



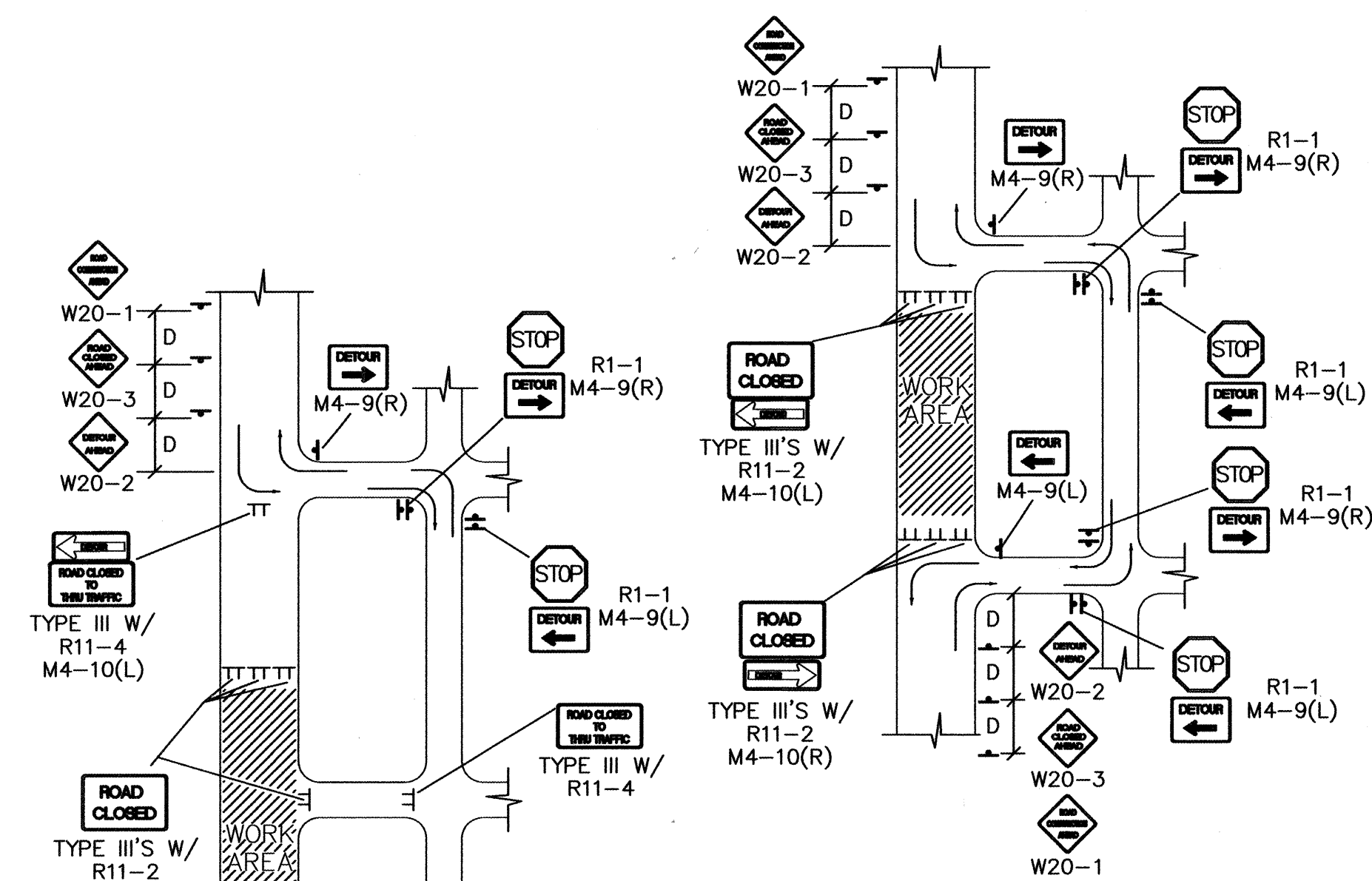
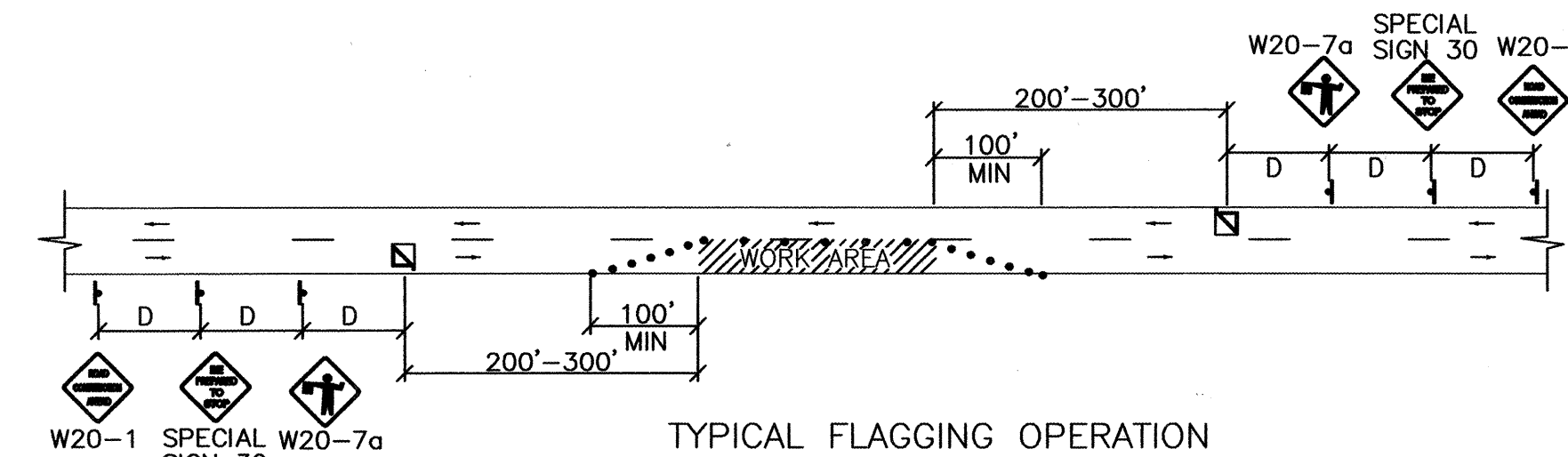
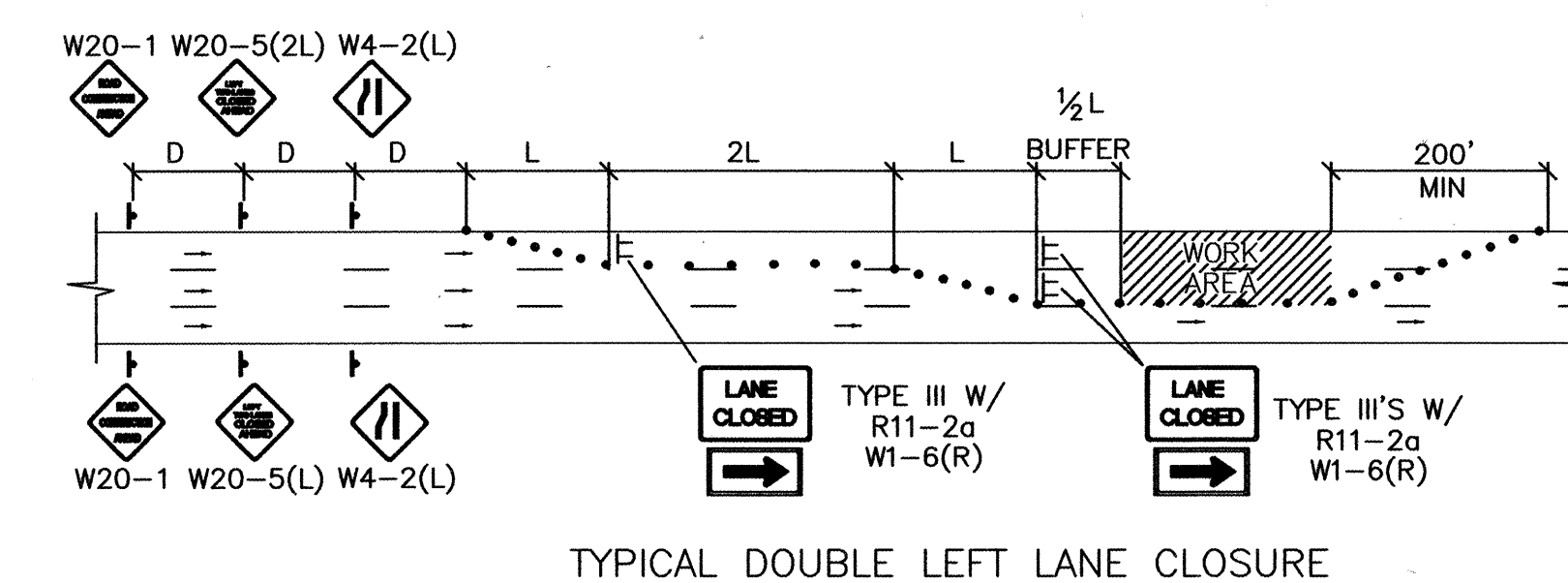
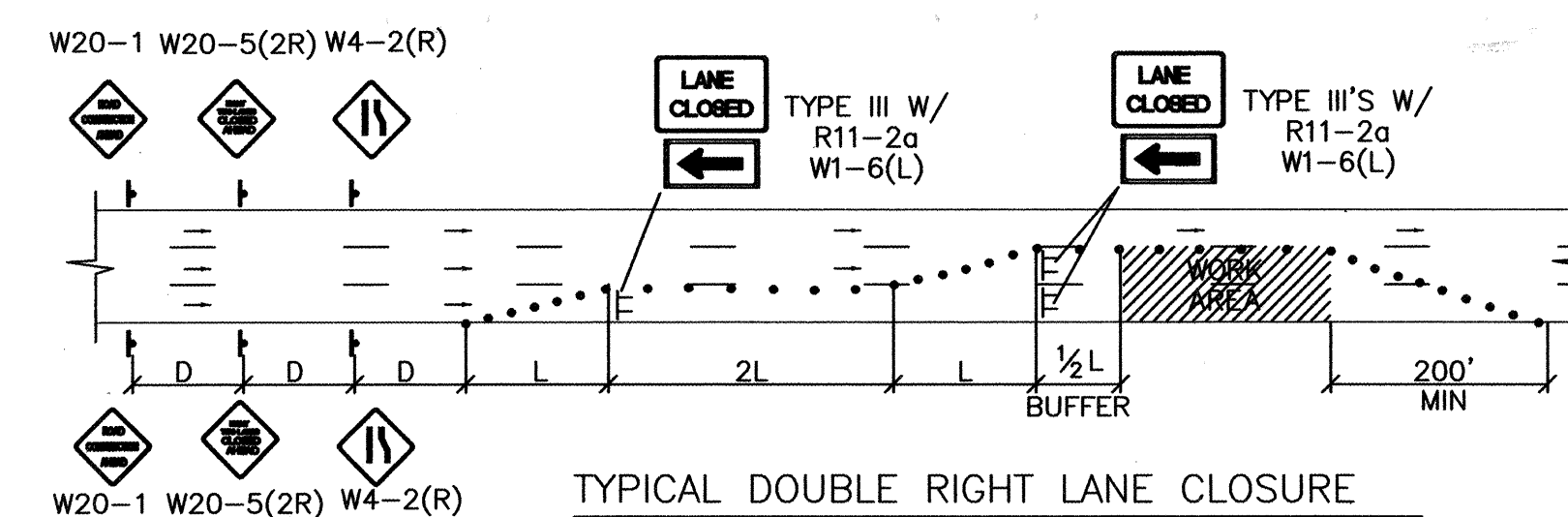
TYPICAL MID-BLOCK CLOSURE

NOTE: (R1-1) BASED ON FIELD CONDITIONS.



TYPICAL STREET CLOSURE

NOTE: (R1-1) BASED ON FIELD CONDITIONS.



TYPICAL STREET CLOSURE

NOTE: (R1-1) BASED ON FIELD CONDITIONS.

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
26			7	0	8	8	.	8	1			1	2	0

		CITY OF ALBUQUERQUE				
		PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP				
TITLE: CAMPBELL FARM SUBDIVISION TYPICAL TRAFFIC CONTROL AND SIGNING EXAMPLES (REF. M.U.T.C.D.)						
DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL				
C.O.A. STANDARD		C.O.A. STANDARD		LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.		ZONE MAP NO.	SHEET		OF	
708881		G-13-Z	12		12	

