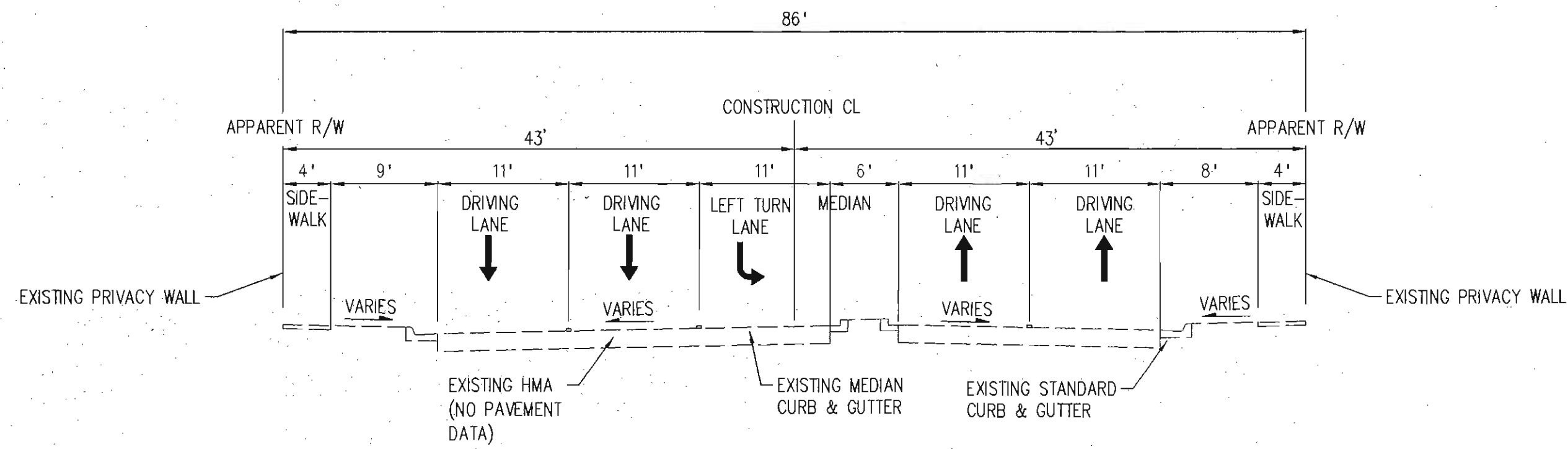
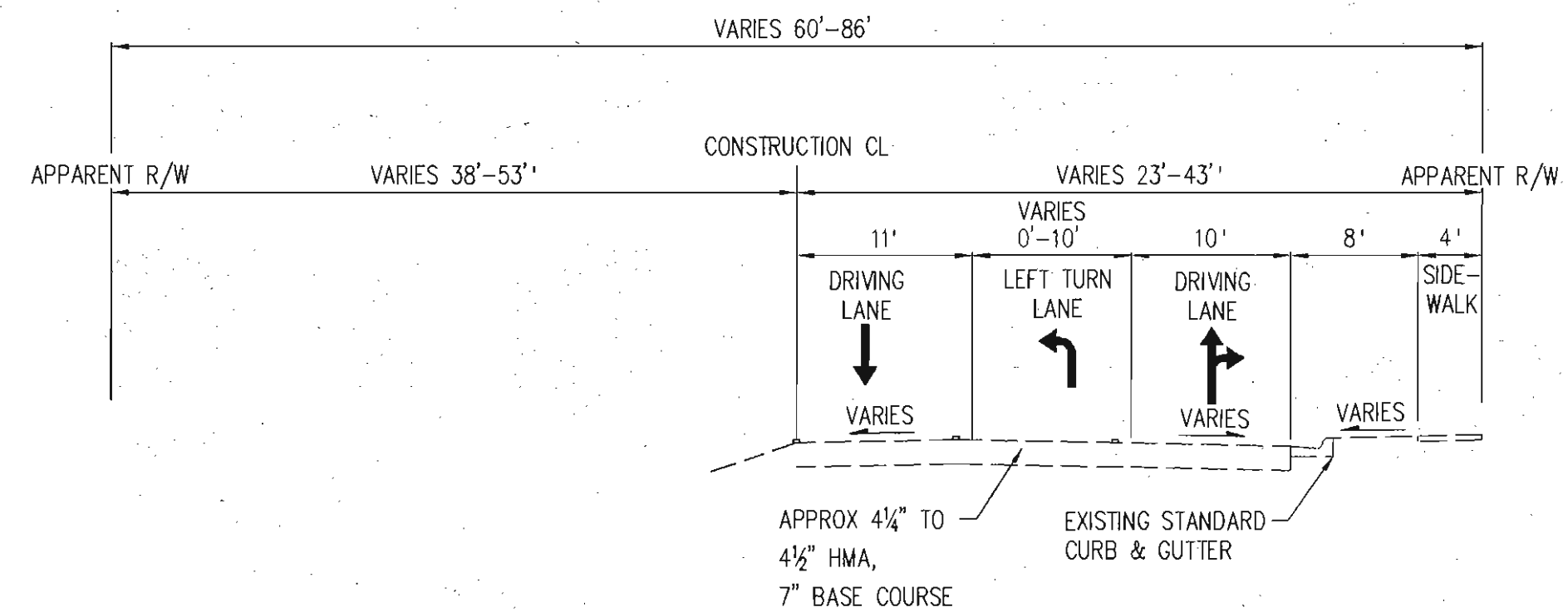


CONSTRUCTION NOTES:

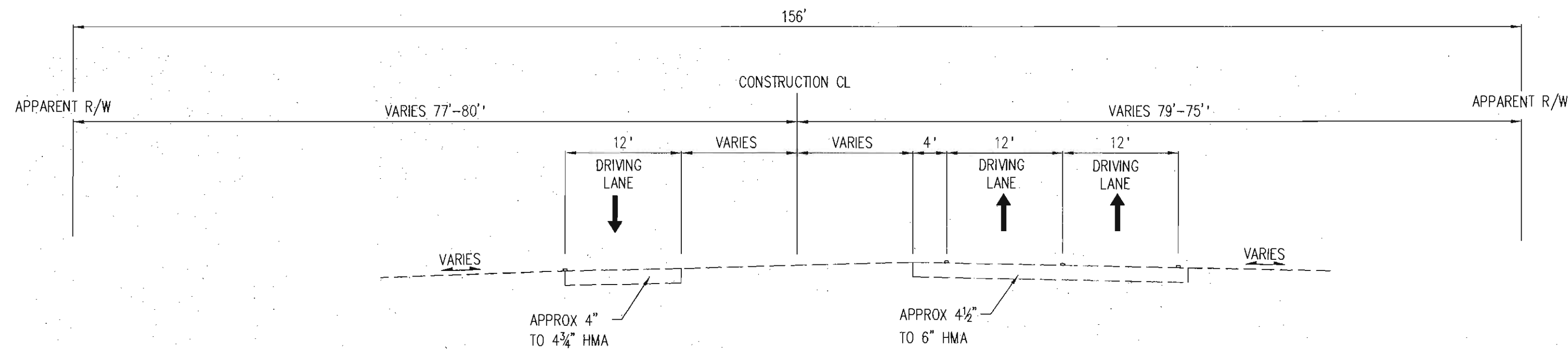
1. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
2. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR CONSTRUCTION OBSERVER OF ANY CONFLICTS SO THEY CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. A SUBSURFACE UTILITY SURVEY WAS COMPLETED FOR THIS PROJECT BY COBB FENDLEY IN APRIL 2012. REFER TO THE PLAN & PROFILE SHEETS AND THE NOTICE TO CONTRACTOR FOR EXISTING UTILITY INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
4. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE IMMEDIATELY AND WITHOUT DELAY AND APPROVED BY THE CONSTRUCTION OBSERVER.
5. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
6. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS, DESIGNATED TRAFFIC LANES, OR PEDESTRIAN PATHWAYS. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY UNLESS IT IS PROPERLY SHIELDED OUTSIDE THE CLEAR ZONE. COORDINATE WITH CITY PROJECT MANAGER.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE AT HIS EXPENSE ANY AND ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
8. ALL PERMANENT PAVEMENT MARKING AND TRAFFIC SIGNING SHALL BE FURNISHED AND PLACED BY THE CONTRACTOR PER PLAN.
9. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
10. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
11. ALL SAWCUT PAVEMENT SHALL HAVE A UNIFORM EDGE AND BE SPRAYED WITH TACK. SAWCUT LINES SHALL BE CONSIDERED INCIDENTAL TO THE COST OF PLACING NEW PAVEMENT.
12. WHEN ABUTTING NEW CURB AND GUTTER TO EXISTING PAVEMENT, A 1' WIDE SECTION OF EXISTING PAVEMENT ADJACENT TO THE CURB AND GUTTER SHALL BE SAWCUT, REMOVED, AND REPLACED AS PER THE STANDARD SPECIFICATIONS, UNLESS OTHERWISE INDICATED BY THE CITY OR ENGINEER.
13. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENTS, PAVEMENT MARKINGS, CURB & GUTTER, DRIVE-PAVS, WHEELCHAIR RAMPS, SIDEWALK WALLS & LANDSCAPING DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE PER COA STANDARDS, AT THE CONTRACTOR'S OWN EXPENSE.
14. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL PROJECT HAS BEEN ACCEPTED BY THE COA.
16. A SWPPP WILL BE REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS REQUIRED TO MAINTAIN NPDES COMPLIANCE & SWPPP MANAGEMENT EROSION CONTROL MEASURES AT INLETS AND EXTERIOR PROJECT BOUNDARIES FOR EROSION AND SEDIMENT CONTROL. BID ITEMS FOR SWPPP MANAGEMENT AND SEDIMENT CONTROL DEVICES SHALL BE BID ON AND PAID FOR AS SHOWN IN THE PLANS AND CONTRACT DOCUMENTS.
17. ALL RIGHT-OF-WAY, PROPERTY AND EASEMENT LINES SHOWN HEREIN ARE AN "APPARENT ROW (OR ALTERNATIVELY BOUNDARY)" AND HAVE BEEN DEFINED BY MINIMAL TIES. THE APPARENT BOUNDARY IS NOT AN ACCURATE OR FIXED BOUNDARY LINE AND ALL ACTIVITY MUST BE NO CLOSER THAN 2.5' TO THIS LINE. APPARENT BOUNDARY LINES CANNOT BE USED FOR ANY PROPERTY ACTIONS.
18. CONTRACTOR SHALL PROVIDE TEMPORARY FENCE ON NORTH SIDE OF BANDELIER AND WEST SIDE OF UNSER FOR DURATION OF THE PROJECT TO ENSURE THAT CONSTRUCTION NOTE 17 IS ADHERED TO. COST OF PLACING, MAINTAINING AND REMOVING TEMPORARY FENCE SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.
19. CONTRACTOR SHALL NOT USE BANDELIER DURING CONSTRUCTION TO TRANSPORT MATERIALS OR PLACE HEAVY TRUCK TRAFFIC UNLESS IT IS WITHIN THE PROJECT LIMITS OR APPROVED BY THE CITY CONSTRUCTION PROJECT MANAGER.
20. ALL ACCESS TO RESIDENCES & BUSINESSES SHALL REMAIN OPEN DURING CONSTRUCTION. ANY CHANGES TO THIS NOTE SHALL BE ADDRESSED TO THE CITY CONSTRUCTION PROJECT MANAGER AND THE CONTRACTOR SHALL ACCOMMODATE THE BUSINESS OR RESIDENT ACCORDINGLY.
21. IF A DROP-OFF IS CREATED DURING CONSTRUCTION, THE CONTRACTOR SHALL INITIATE PROTECTIVE ACTION IN ACCORDANCE WITH THE NMDOT'S CURRENT "DROP-OFF GUIDELINE." THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE COMPLETION OF THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE THEREFOR.
22. RCP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATIONS. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF PIPE. RCP JOINTS SHALL NOT BE GROUTED UNLESS DIRECTED BY THE ENGINEER AFTER APPROVAL.
-



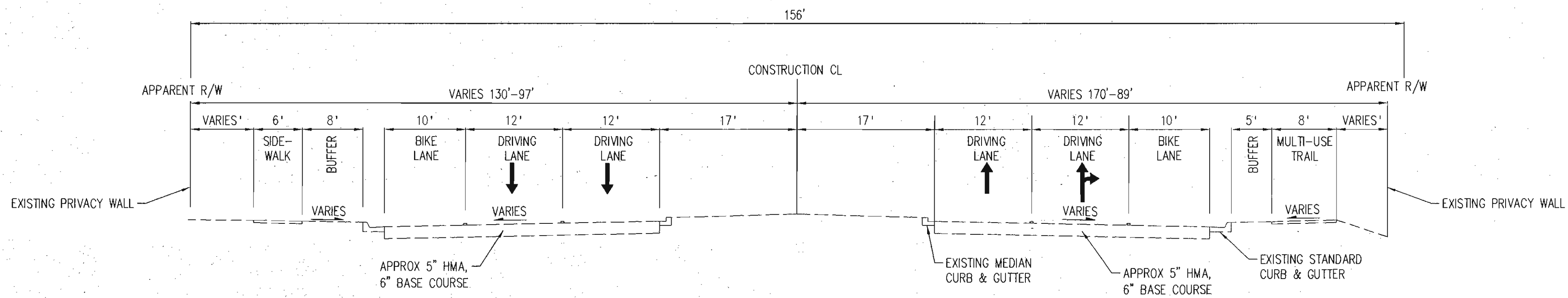
TYPICAL SECTION- EXISTING BANDELIER DR
EAST OF UNSER BOULEVARD (LOOKING EAST)



TYPICAL SECTION- EXISTING BANDELIER DR
WEST OF UNSER BOULEVARD (LOOKING EAST)



TYPICAL SECTION- EXISTING UNSER BLVD
NORTH OF BANDELIER DRIVE (LOOKING NORTH)



TYPICAL SECTION- EXISTING UNSER BLVD
SOUTH OF BANDELIER DRIVE (LOOKING NORTH)

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	AGS CONTROL MONUMENT	DATE	FIELD NOTES	DATE		NO. DATE REMARKS REVISIONS DESIGN
STAKED BY	DATE	CORNER OF UNSER/McMAHON INTERSECTION	DATE	BY	DATE		
INSPECTOR'S ACCEPTANCE BY	DATE	N=1,533,710.692, E=1,507,067.138,	DATE		DATE		
VERIFICATION BY	DATE	ELEV=5301.647	DATE		DATE		
DESIGNED BY	DATE	MICRO-FILM INFORMATION					
DRAWN BY	DATE						
CHECKED BY	DATE						

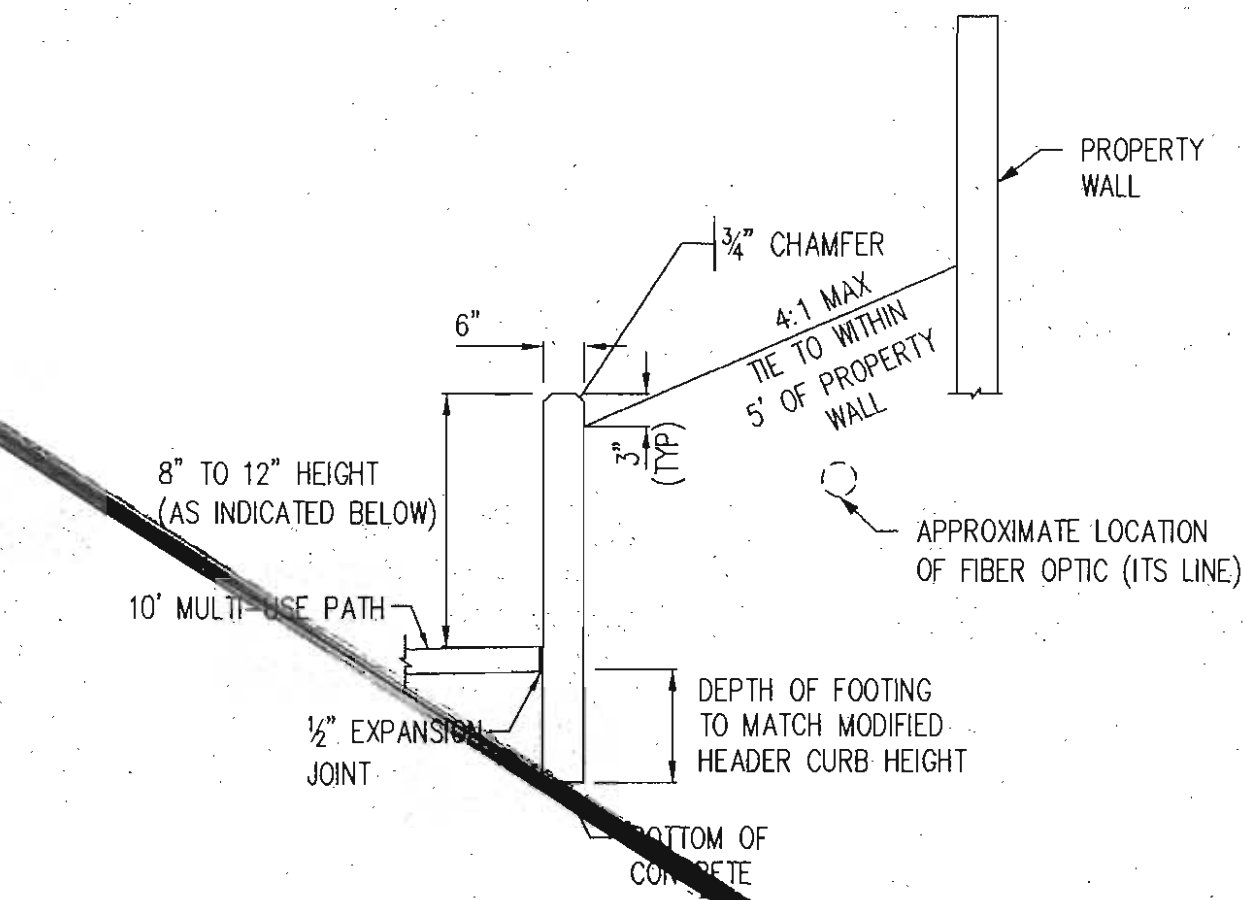
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CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT

UNSER BOULEVARD WIDENING FROM BANDELIER TO McMAHON

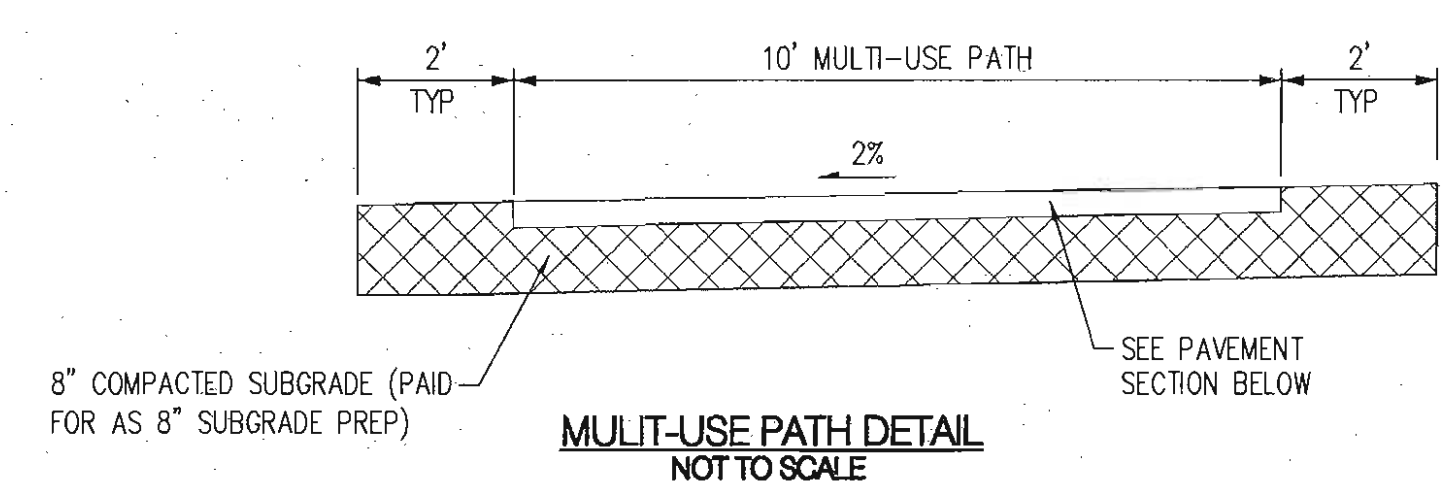
TYPICAL SECTIONS

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			

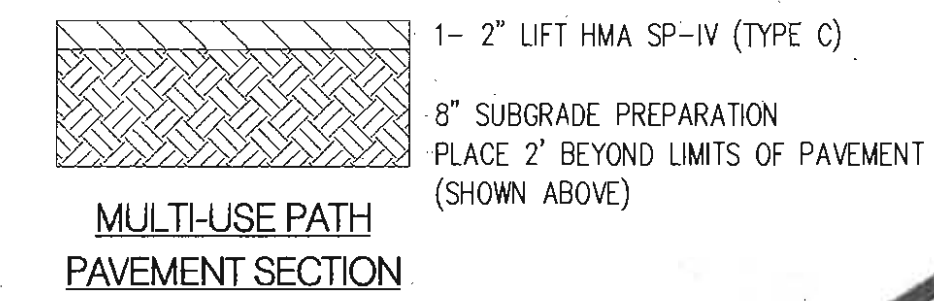


MODIFIED HEADER CURB DETAIL

STA 16+40 TO STA 16+60 BUILD 8" HIGH HEADER CURB
 STA 16+60 TO STA 16+65 BUILD TRANSITION FROM 8" TO 1" HIGH HEADER CURB
 STA 16+65 TO STA 17+25 BUILD 1" HIGH HEADER CURB
 STA 17+25 TO STA 17+30 BUILD TRANSITION FROM 1" TO 8" HIGH HEADER CURB
 STA 17+30 TO STA 17+50 BUILD 8" HIGH HEADER CURB



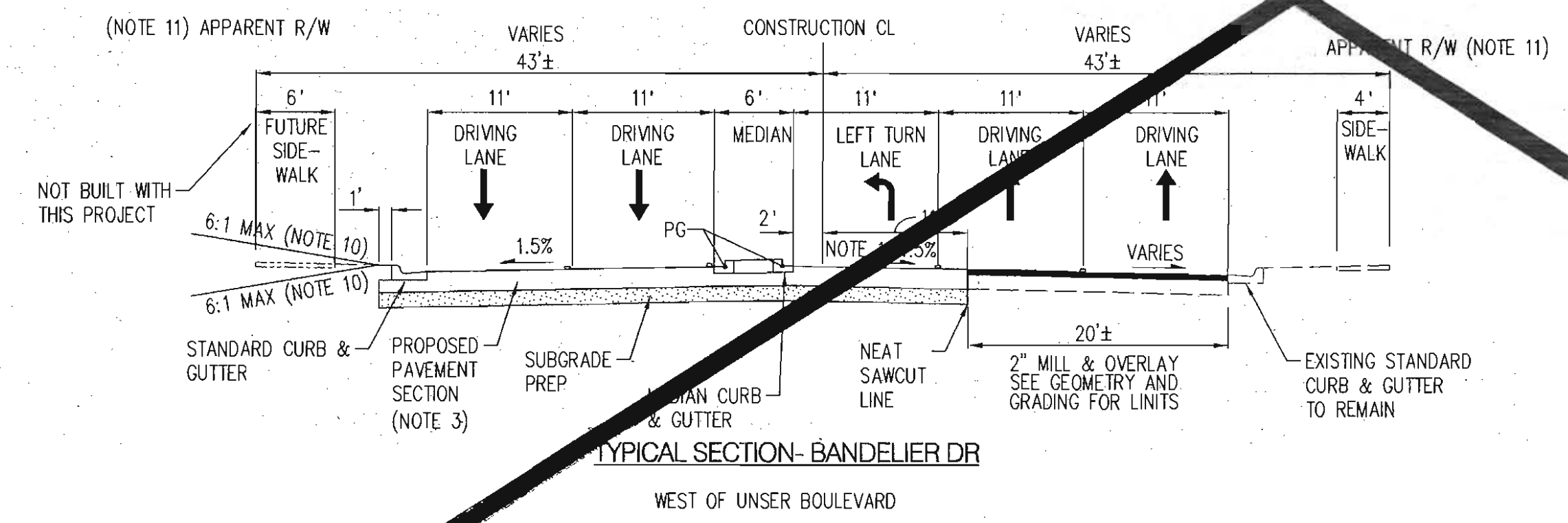
MULTI-USE PATH DETAIL
NOT TO SCALE



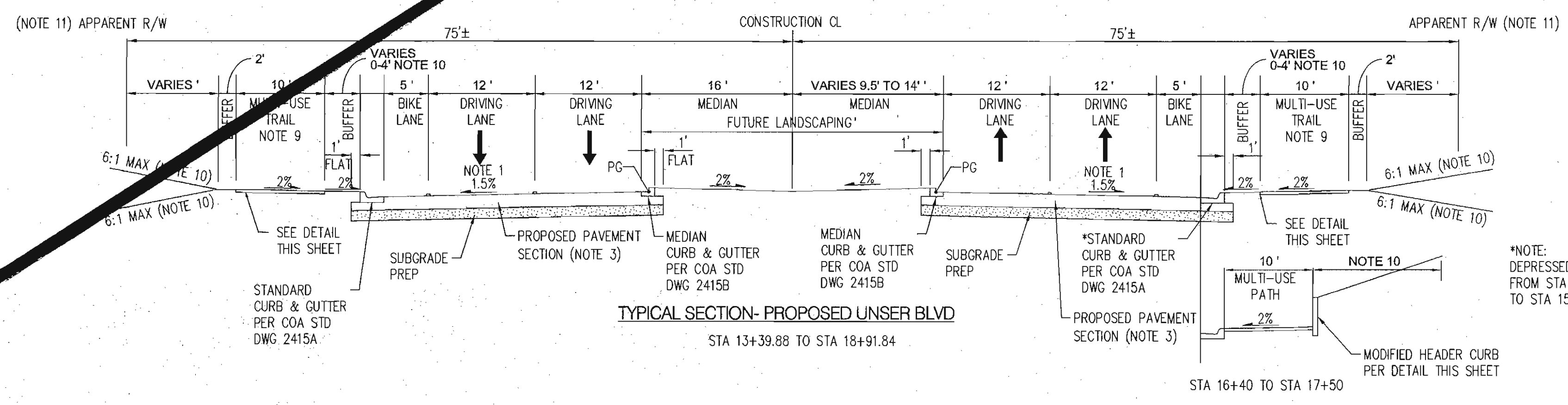
MULTI-USE PATH PAVEMENT SECTION

NOTES:

- REFER TO PLAN & PROFILE SHEETS FOR ROADWAY SUPER ELEVATION AND SUPER ELEVATION TRANSITIONS (PROPOSED TYPICAL SECTIONS ONLY).
- REFER TO PLAN AND PROFILE SHEETS FOR LANE AND TRANSITION DIMENSIONS (PROPOSED TYPICAL SECTIONS ONLY).
- REFER TO PAVING PLAN FOR PAVEMENT SECTIONS AND RECONSTRUCTION LIMITS.
- REFER TO GEOTECHNICAL REPORT FOR EXISTING PAVEMENT DETAILS, R-VALUE TESTING AND EARTHWORK CONSTRUCTION REQUIREMENTS.
- CONSTRUCT ASPHALT PAVEMENT PER COA STANDARD SECTIONS 116 AND 336 IN THE COA STANDARD SPECIFICATIONS.
- CONSTRUCT AGGREGATE BASE COURSE PER COA STANDARD SECTION 302 IN THE STANDARD SPECIFICATIONS. PLACE BASE COURSE 1' BEHIND CURB & GUTTER AS SHOWN IN PROPOSED TYPICAL SECTIONS.
- CONSTRUCT SUBGRADE PREPARATION PER COA STANDARD SECTION 301 IN THE STANDARD SPECIFICATIONS. PLACE SUBGRADE PREPARATION ONE FOOT BEHIND CURB & GUTTER AS SHOWN IN PROPOSED TYPICAL SECTIONS.
- CONSTRUCT CURB & GUTTER PER COA STANDARD SECTION 101 IN THE STANDARD SPECIFICATIONS.
- CONSTRUCT MULTI-USE TRAIL PER MULTI-USE PATH PAVEMENT SECTION (THIS SHEET).
- MAXIMUM TYPICAL SLOPES UNLESS OTHERWISE SPECIFIED IN THE PLANS. PLACE NATIVE GRASS SEEDING PER COA STANDARD SPECIFICATION 1012.
- RIGHT-OF-WAY SHOWN IN TYPICAL SECTIONS IS APPARENT RIGHT-OF-WAY (±2.5' TOLERANCE). IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE THE PROPER MEASURES TO ENSURE THAT CONSTRUCTION ACTIVITIES DO NOT ENCROACH INTO PRIVATE PROPERTY WITH REGARDS TO THIS TOLERANCE.
- MODIFIED HEADER CURB WILL BE PAID FOR AS "MODIFIED HEADER CURB" BY LF.
- CONSTRUCTION CL IS NOT THE CENTER OF R/W.



TYPICAL SECTION- BANDELIER DR
WEST OF UNSER BOULEVARD

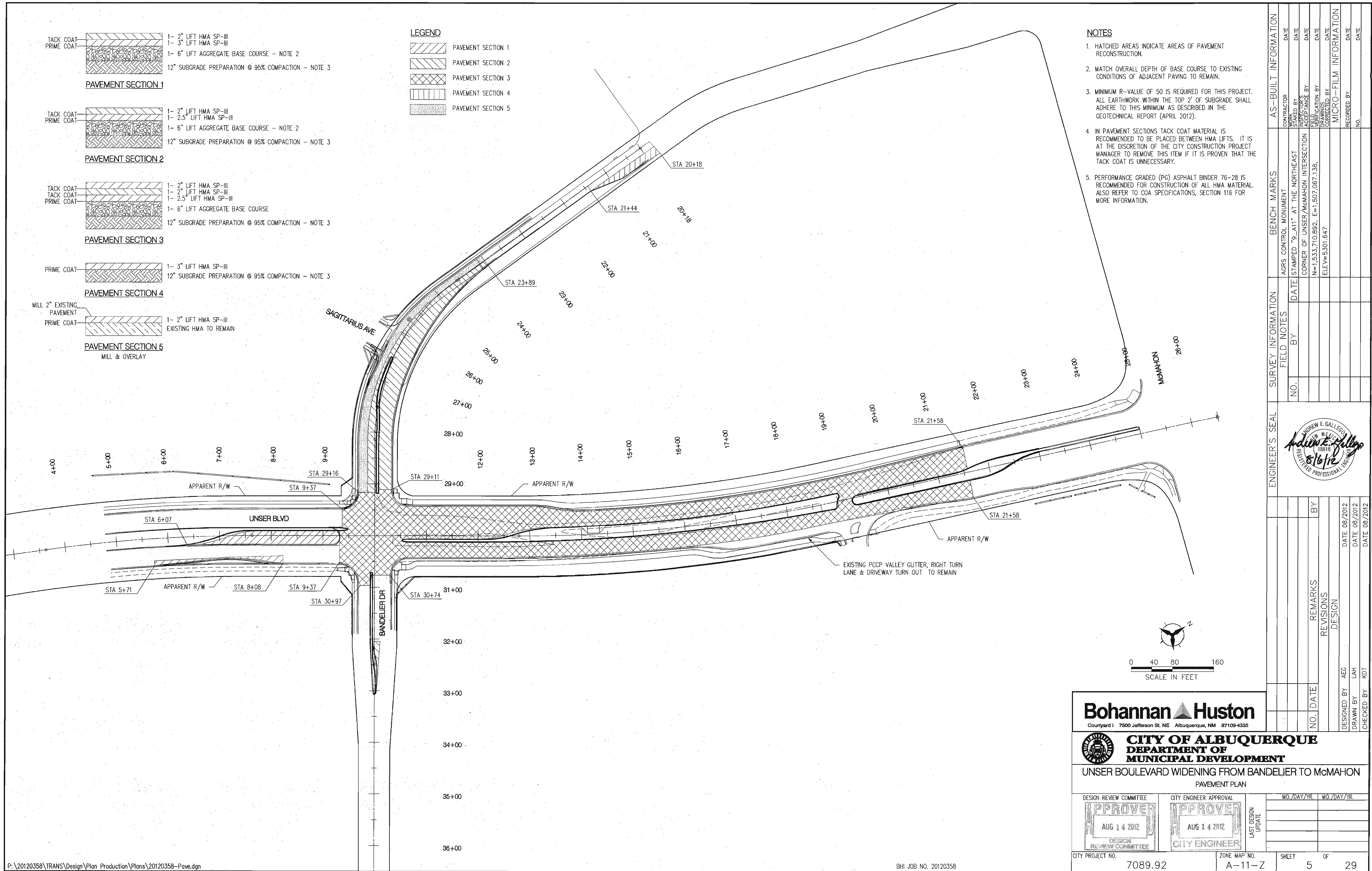


TYPICAL SECTION- PROPOSED UNSER BLVD
STA 13+39.88 TO STA 18+91.84

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CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT

UNSER BOULEVARD WIDENING FROM BANDELIER TO McMAHON
TYPICAL SECTIONS



- NOTES**
1. HATCHED AREAS INDICATE AREAS OF PAVEMENT RECONSTRUCTION.
 2. MATCH OVERALL DEPTH OF BASE COURSE TO EXISTING CONDITIONS OF ADJACENT PAVING TO REMAIN.
 3. MINIMUM R-VALUE OF 50 IS REQUIRED FOR THIS PROJECT. ALL EARTHWORK WITHIN THE TOP 2' OF SUBGRADE SHALL ADHERE TO THIS MINIMUM AS DESCRIBED IN THE GEOTECHNICAL REPORT (APRIL 2012).
 4. IN PAVEMENT SECTIONS TACK COAT MATERIAL IS RECOMMENDED TO BE PLACED BETWEEN HMA LIFTS. IT IS AT THE DISCRETION OF THE CITY CONSTRUCTION PROJECT MANAGER TO REMOVE THIS ITEM IF IT IS PROVEN THAT THE TACK COAT IS UNNECESSARY.
 5. PERFORMANCE GRADED (PG) ASPHALT BINDER 76-28 IS RECOMMENDED FOR CONSTRUCTION OF ALL HMA MATERIAL. ALSO REFER TO COA SPECIFICATIONS, SECTION 116 FOR MORE INFORMATION.

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	AGRS CONTROL MONUMENT	DATE	FIELD NOTES	BY		
INSPECTOR	DATE	STAMPED "9. A11" AT THE NORTHEAST CORNER OF UNSER/McMAHON INTERSECTION	DATE				
ACCEPTANCE BY	DATE	CORNER OF UNSER/McMAHON INTERSECTION	DATE				
VERIFICATION BY	DATE	N=1,533,710.892; E=1,507,067.138; ELEV=5301.647	DATE				
DRAWINGS BY	DATE		DATE				
MICRO-FILM INFORMATION							
RECORDED BY	DATE						
	DATE						

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CITY OF ALBUQUERQUE
DEPARTMENT OF
MUNICIPAL DEVELOPMENT

UNSER BOULEVARD WIDENING FROM BANDELIER TO McMAHON
PAVEMENT PLAN

DESIGN REVIEW COMMITTEE

AUG 14 2012
DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

AUG 14 2012
CITY ENGINEER

LAST DESIGN UPDATE

CITY PROJECT NO.
7089.92

ZONE MAP NO.
A-11-Z

SHEET
5

OF
29

RECORD DRAWING

