

# 

Phase II January, 2007

# CITY OF ALBUQUERQUE

DEPARTMENT OF MUNICIPAL DEVELOPMENT-Managing Department

Park Design and Construction Division

Parks and Recreation Department - Owner

### Property Information

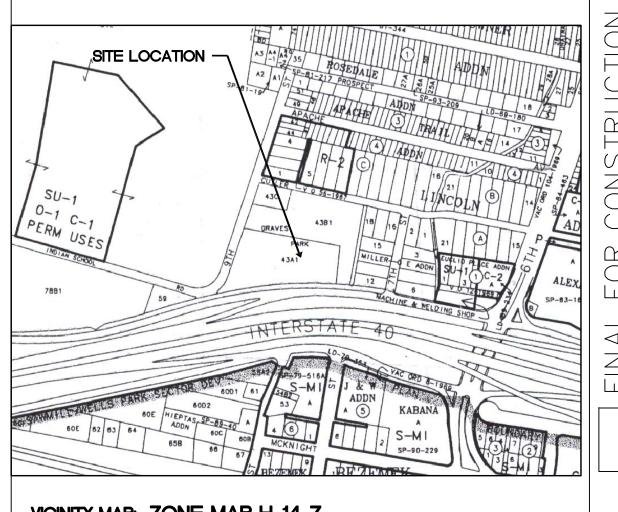
Meter Address: NA Zone: H-14-Z Project Acres: 4.9

## Legal Description

City park bounded by Cutler Rd. on the north, the I-40 frontage road on the south, the BIA building on the west, and the Miller residential addition on the east.

# Index of Drawings

- 1. Cover
- 2. General Notes/Acceptance Form
- 3. Demolition Plan
- 4. Construction Plan
- 5. Layout Plan
- 6. Irrigation Plan
- 7. Planting Plan
- 8. Details



VICINITY MAP: ZONE MAP H-14-Z

RECORD DRAWINGS JUNE, 2009

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#### UTILITY COMPANY CONTACTS

#### CITY OF ALBUQUERQUE UTILITY DEVELOPMENT

P.O. Box 1293 Albuquerque, New Mexico 87103 (505) 768-2719

#### PNM-ELECTRIC

4201 Edith Boulevard NE Albuquerque, New Mexico 87107 (505)-241-0525

#### PNM-GAS

4625 Edith Boulevard NE Albuquerque, New Mexico 87107 (505)-241-7745

#### **QWEST**

201 Third Street NW Suite 700 Albuquerque, New Mexico 87103 (505) 245-8706

YOU DIG!

STATEWIDE

1-800-321-ALERT

**ALBUQUERQUE** 

260-1990

#### <u>QWEST</u>

201 Third Street NW Suite 700 Albuquerque, New Mexico 87103 (505) 245-8706

REV.	SHEETS	CITY EN	NGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
								DATE
ENGI STAM	NEERS IP AND SIGN	ATURE	APPI	ROVALS	ENGINEER	DATE	APPROVED FOR CON	STRUCTION
			DRC C	HAIRMAN				
			TRANSP	ORTATION				
			WATER/V	VASTEWATER			City Eng.	Date
			HYDF	ROLOGY				
			C.	I.P.				
			CONSTR	R. MNGMNT.			Division Mngmt.	Date
			DIVISIO	ON MNGMNT.				

City Project No. 709405



8

Of

City of Albuquerque Martin J. Chavez, May	
Final	l Acceptance Form
Date: To: Jeff Hart, Superintendent, Park Manager, P. From: John Casados, Construction Manager, P.	ment, Parks & Recreation Department (PRD) ark Design and Construction, DMD
Subject:	PRD, Park Management Division Accepts Maintenance Responsibility
As of (date): Project ID#:	
Name of Facility:	
Address:	
Albuquerque New Mexico	Park Zoning:
maintenance. Outlined below is a description of  Developed Renovation  Detailed Park Summary Information:	
Acres of Irrigated Turf: Cool Season:	
Warm Season:	
Description of Project  Park property redeveloped per blueprints and COA s	anacific stions
Effective date:  NO MORE CHARGES for new water, electric ar	nd gas
will be accepted by the contractor:	
are to occur against activity numbers:	
	1

Amenities	Total Existing	# Removed	#Added	Current Total
Backstops				
Baseball Fields (Lit)				
asketball Courts (Full)				
sketball Courts (Half)				
BQ Grills				
enches				
ike Racks				
leachers				
oncrete Sidewalks				
rusher Fines/Trail/Distance			<u> </u>	
rinking Fountains				
encing(LF/Height)				
encing(LF/Height)				
hain Link gates				
ain Link gates				
utt Mitt Box				
arking Spaces				
rking Spaces (ADA)				
destrian Bridge				
enic Tables	<del>                                     </del>			
ay Areas-Water				
y Structures (2 to 5 yrs)	<del>                                     </del>			
ay Structures (5 to 12 yrs)				
ols (Indoor)				
ols (Outdoor)				
ecreation Fields				
nade Structures				
ate Facilities				
oftball Fields (Lit)				
fiball Fields (Unlit)				
nnis Courts (Lit)				
nnis Courts (Unlit)				
ash Receptacles				
rf Acres				
sitors Center				
olleyball Courts				
alking Paths(LF)	<del>                                     </del>			
outh Baseball Fields				
formation Board				
ormation isoard igineered wood fiber	<del>                                     </del>			

Vater Meter Reading:	Electric Meter Reading:	Gas Meter Reading:
Vater Meter Number:	Electric Meter Number:	Gas Meter Number:
arranty and Vendor Information of all laboring the first year all calls regardirectly to the vendor.	or, vendors and product warranties pertain	ing to project: ontractor. After one year calls regarding warr
Contact Name:		
hone:		
Varranty: One (1) year labor and installatio	r)	
One (1) year growing season plan One (1) year irrigation/material		
Vender:		
Phone:		
Application: Product:		
Model#:		
For a period of (time frame):		
commencing on (starting dat		
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Model#: For a period of (time frame):		1
Model#: For a period of (time frame): commencing on (starting dat and ending on (ending date):	e):	

ther amenities added and/or removed (Please describe, note the number, and specify whether added or removed):	
he DMD, Project Manager from Park Design and Construction Division for this Capital Project	
roject name)	
John Casados	
David Flores Colleen Frenz	
Clay Gatewood	
mail copies to:	
vhart@cabq.gov, szuschlag@cabq.gov, gvoung@cabq.gov, cfrenz@cabq.gov, jcasados,@cabq.gov, rlofstrom@x	sabq.gov
ffnhart@ca.bq.gov, rgabaldon@cabq.gov, dflores@cabq.gov, cmsandoval@cabq.gov	

#### GENERAL NOTES

- 1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO.6
- 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5. FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- 6. CONTRACTOR SHALL COORDINATE WITH WATER SYSTEMS DIVISION (857-8200) FIVE WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER OR SEWER UTILITIES. EXISTING VALVES TO BE OPERATED BY CITY PERSONNEL ONLY. CONTRACTOR SHALL CONTACT THE WATER SYSTEMS DIVISION SEVEN DAYS PRIOR TO TO NEEDING VALVES TURNED ON OR OFF.
- 7. CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
- 8. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK, IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE LANDSCAPE ARCHITECT AND SHALL NOTIFY THE LANDSCAPE ARCHITECT AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY OF ALBUQUERQUE SURVEY SECTION. WHEN A CHANGE IS MADE IN THE FINISH ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO NEW GRADE, UNLESS OTHERWISE SPECIFIED.
- 9. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.

ВУ	ENGINEER'S SEAL	SURV	SURVEY INFORMATION FIELD NOTES	OTES	BENCH MARKS	AS BUILT INFORMATION	,
		O	ВУ	DATE		CONTRACTOR	
						WORK DATE STAKED BY	
						INSPECTOR'S DATE ACCEPTANCE BY	
						FIELD DATE DATE	
						DRAWINGS DATE CORRECTED BY	
						MICRO-FILM INFORMATION	N
E: 8/26/04						RECORDED BY DATE	
E: 8/26/04						NO.	
E: 8/26/04							
5 Gra	Graves Park Phase II				TINAL L	FINAL FOR CONSTRUCTION	Z

#### RECORD DRAWINGS JUNE, 2009

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Morrow Reardon
Wilkinson Miller, Ltd.,
Landscape Architects 210 La Veta NE, Albuquerque, NM 87108 505.268.2266 FAX 505.265.9637  ${f mrw@mrwnm.com}$ 

CITY	OF	ALBUQ	UERQUE				
DEPARTMENT	OF N	<b>MUNICIPAL</b>	DEVELOPMENT				
CAPITAL IMPLEMENTATION PROGRAM							

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TITLE:					
	GENERAL NO	TES			(
Design Review Committee	City Engineer Approval	1	Mo/Day/yr.	Mo/Day/yr.	-
	and and an approve	Updates			(
		Design			1
		Last			
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PROJECT # 709405

RE DA ZONE MAP NO. OF H - 14 - Z

