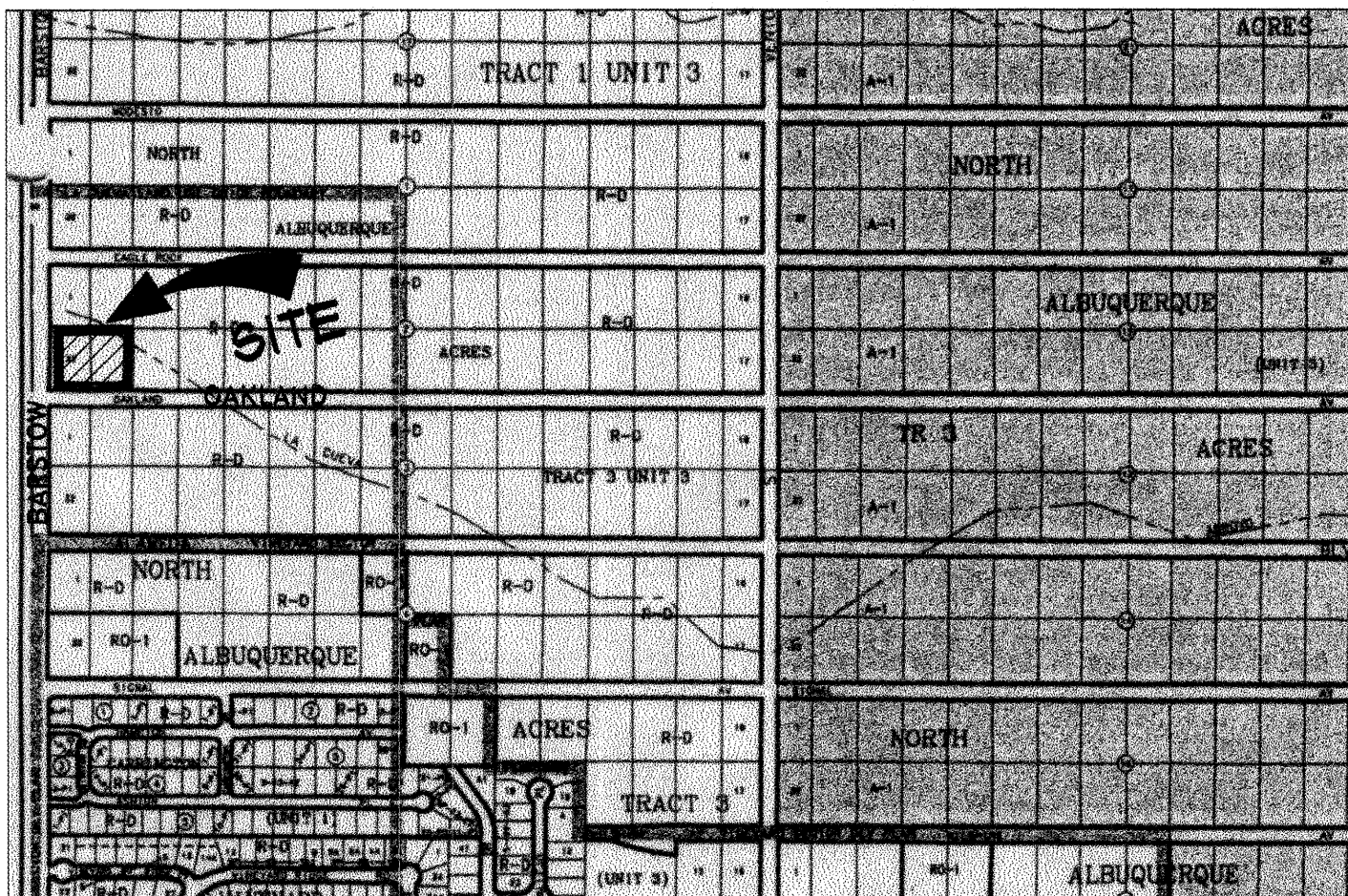


PUBLIC AND PRIVATE IMPROVEMENT PLANS
FOR
OAKLAND MEADOWS



LOCATION MAP
NOT TO SCALE
MAP NO: C-20-Z

PREPARED FOR:
TOR AND RAQUEL RASSMUSSEN

PREPARED BY:
RHOMBUS P.A., INC.
2620 SAN MATEO BLVD NE, SUITE B
ALBUQUERQUE NEW MEXICO 87110

INDEX TO DRAWINGS

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1	COVER SHEET
2	SUBDIVISION PLAT
3	GRADING AND DRAINAGE PLAN
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4	MASTER PAVING PLAN
5	OAKLAND AVENUE AND TOR COURT PAVING PLAN AND PROFILE
6	BARSTOW STREET PAVING PLAN AND PROFILE
	<u>UTILITY DRAWINGS</u>
7	MASTER UTILITY PLAN
8	OAKLAND AVENUE AND TOR COURT UTILITY PLAN AND PROFILE
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11	SIGNING
12	TRAFFIC ONTROL DRAWINGS

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986 EDITION AS AMENDED WITH UPDATE NO. 6.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR COMMENCING THE WORK, SO THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT MEW MEXICO ONE CALL SYSTEM, INC. @ 260-1009 FOR LOCATION OF EXISTING UTILITIES.
- CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES AND REGULATIONS AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY, AND TO PROTECT THEM FROM DAMAGE, INJURY, OR LOSS. CONTRACTOR SHALL ERECT AND MAINTAIN AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR SHALL ADHERE TO SECTION 19 OF THE GENERAL CONDITIONS THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, AS AMENDED WITH UPDATE NO. 6.
- TRAFFIC CONTROL: FIVE WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE, TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY THE BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION, SEE SECTION 19 OF THE SPECIFICATIONS. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR TO THE SAME LOCATION AS EXISTING OR AS SHOWN IN THIS PLAN SET AT NO ADDITIONAL COST TO THE OWNER.
- WHEN ABUTTING EXISTING PAVEMENT TO NEW, SAWCUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE FIELD ENGINEER. REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED.
- EXISTING CURB AND GUTTER, SIDEWALK, PAVEMENT, W.C.R.MPS NOT TO BE REMOVED UNDER THE CONTRACT WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR, SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT HIS EXPENSE AND PER CITY STANDARDS.
- ALL FINAL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2315.
- ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC. WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT OF WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
- PROPOSED WATER LINE, MATERIALS SHALL BE EITHER PVC PIPE MEETING AWWA C900 REQUIREMENTS (6"-12") OR DUCTILE IRON PIPE, THICKNESS CLASS 50 (6"-16").
- ALL SANITARY SEWER LINE STATIONING REFERS TO SANITARY SEWER CENTERLINE STATIONING.
- ALL FITTINGS ON WATERLINE SHALL HAVE RESTRAINED JOINTS AS NOTED ON THE PLANS.
- CONTRACTOR SHALL SUPPORT ALL EXISTING, UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION, PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND/OR SEWER LINE COSTS.
- CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF RECORD DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING AND MAINTAINING ALL EXISTING MONUMENTATION CONTROLS. IN THE EVENT OF INADVERTENT DESTRUCTION OR ALTERATION, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE CITY SURVEYOR.
- PNM SHALL PROVIDE AT NO COST TO THE CITY OR THE CONTRACTOR THE REQUIRED PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PNM WHILE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING AND RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
- WARNING: EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.
- THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPES OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES, IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "NEW MEXICO ONE CALL SYSTEM" PROCEDURES, OR OTHERWISE.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR, WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY IS LOCATED, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES 24 HOURS CONSTRUCTION.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, CELIA S. TOMLINSON, NMPE 4895, OF THE FIRM RHOMBUS P.A., INC., A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THE INFRASTRUCTURE INSTALLED AS PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR BY A QUALIFIED PERSON UNDER MY DIRECT SUPERVISION AND HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE CITY ENGINEER AND THAT THE ORIGINAL DESIGN INTENT OF THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MET, EXCEPT AS NOTED BY ME ON THE AS-BUILT CONSTRUCTION DRAWINGS. THIS CERTIFICATION IS BASED ON SITE INSPECTIONS BY ME OR PERSONNEL UNDER MY DIRECTION AND SURVEY INFORMATION PROVIDED BY JOHN L. MIERS, NMPS #12447.

Celia S. Tomlinson
CELIA S. TOMLINSON



1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26 7/04/01 0105

DRB-1001104

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEER'S STAMP & SIGNATURE	APPROVALS	ENGINEER	DATE	* * * * *			
	ORD Chairman	<i>[Signature]</i>	9-11-03	APPROVED FOR CONSTRUCTION			
	Transportation	<i>[Signature]</i>	7/10/03				
	Water/Wastewater	<i>[Signature]</i>	7/10/03				
	Hydrology	<i>[Signature]</i>	7-10-03				
	Parks	<i>[Signature]</i>	9-11-03				
	Constr. Mngmt.	<i>[Signature]</i>	9-11-03	City Engineer			
	Constr. Coord.	<i>[Signature]</i>	9-11-03	Date			
	City Project No.			Sheet of			
				710481			
				1 12			

OAKLAND MEADOWS SUBDIVISION

SECTION 17, RANGE 4 EAST, TOWNSHIP 11 NORTH
TRACT 3, UNIT 3, BLOCK 2
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY 2003

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- THE PNM ELECTRIC SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND RELATED FACILITIES REASONABLE NECESSARY TO PROVIDE ELECTRICAL SERVICES.
- THE PNM GAS SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE NATURAL GAS.
- QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE CABLE TV SERVICE, INCLUDING IS THE RIGHT TO BUILD, REBUILD, RECONSTRUCT, RECONSTRUCT, LOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENT INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENT, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

IN APPROVING THIS PLAT, THE UTILITY COMPANIES DID NOT CONDUCT A TITLE RESEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, THE UTILITY COMPANIES DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENTS AND WHICH ARE NOT SHOWN ON THIS PLAT. EASEMENTS 10 FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE FEET (5') ON EACH SIDE.

PRIVATE ACCESS, DRAINAGE AND UTILITY EASEMENTS

- THE BENEFICIARIES OF THE PRIVATE ACCESS, DRAINAGE AND UTILITY EASEMENTS ARE LOTS 1, 2, 3, 4 AND 5.
- MAINTENANCE OF THE PRIVATE ACCESS, DRAINAGE AND UTILITY EASEMENTS IS THE RESPONSIBILITY OF LOTS 1, 2, 3, 4 AND 5.

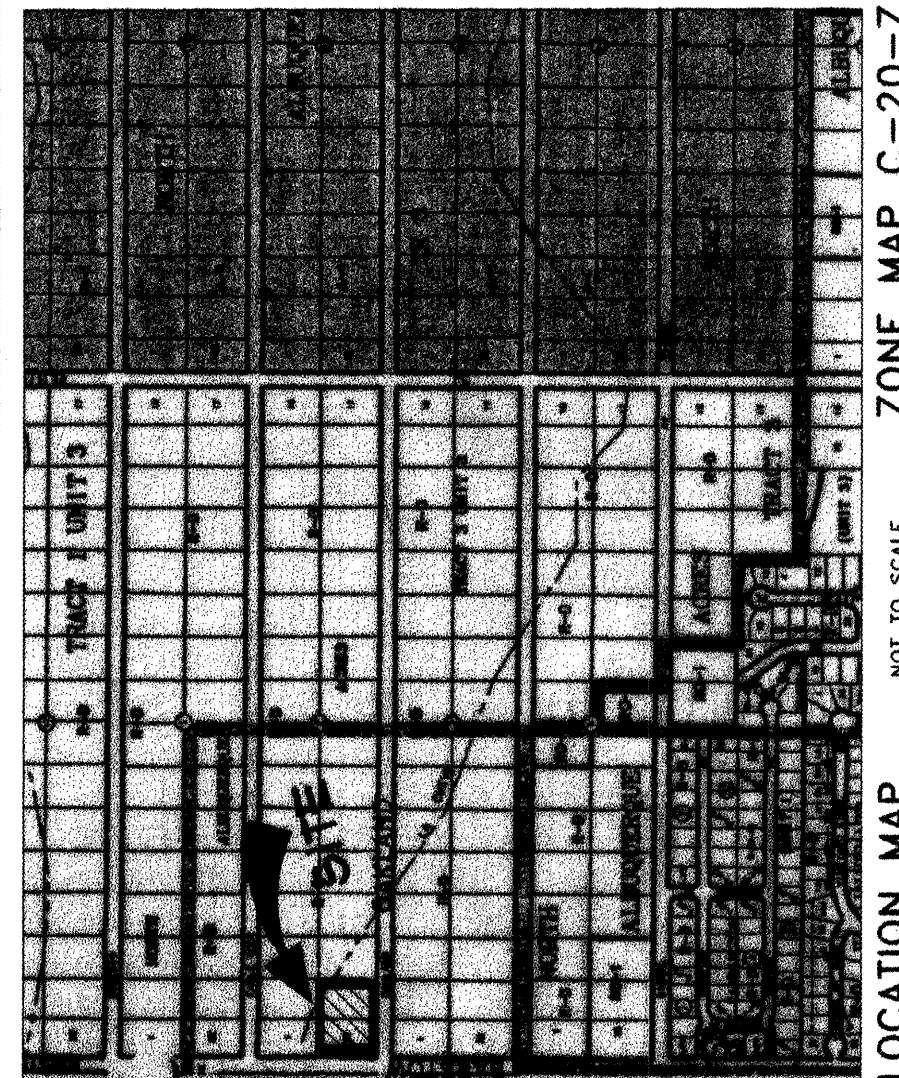
NOTES:

- THE PLAT OF RECORD IS NORTH ALBUQUERQUE ACRES FILED SEPTEMBER 31, 1931, VOLUME D1, FOLIO 121
- BEARINGS AND DISTANCES IN PARENTHESES ARE RECORD. ALL OTHERS ARE GROUND.
- THE PLAT BASIS IS THE WARRANTY DEED RECORDED 07/03/2002 BOOK A-48, PAGE 5012.
- BEARINGS ARE GRID. DISTANCES ARE GROUND DISTANCES.
- STREET ADDRESS : NONE PROVIDED.
- FIELD SURVEY : 11/26/2002

Dedication to the ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY, Grantee, its successors and assigns, of lands, rights of way, and easements designated herein as "Flood Plain Easement" or "Drainage Easement" is with the full and free consent and in accordance with the desire of the undersigned owner, Grantor. This dedication is for drainage, flood control, conveyance and storage of storm water, and the construction, operation, maintenance, reconstruction or replacement of, and access to, such facilities, and for subordinate recreational use and access on such facilities. Except by the written approval of Grantee, no fence, wall, building or other obstruction may be placed or maintained on any property dedicated to Grantee hereby, and there shall be no alteration of the grades or contours in such property. This dedication shall not obligate Grantee to maintain natural arroyos, drainage channels or other facilities that do not meet the standards of the Grantee for design and construction, nor shall this granting require the protection of property lying outside of the area dedicated. Grantee shall only maintain property and/or improvements that it specifically agrees, in writing, to maintain. Absent a written maintenance agreement, such responsibility shall remain with the Grantor, its successors and assigns. Landscaping or maintenance work by the Grantor within the property hereby dedicated shall not alter the present flowline, capacity or permeability of the present flood way area except in an emergency. If emergency work is performed, Grantee shall notify Grantee as soon as practical thereafter. Grantee will then determine if the emergency work can remain or must be removed or modified. Side locations for structures built on lands adjacent to the property dedicated hereby may be substantially outside of the area described. Grantor covenants and warrants that it is the owner in fee simple of the property and that it has a good and lawful right to dedicate the right of way or easement interests described herein. Any portion of any land, right of way or easements granted herein shall revert to the Grantor, its successors or assigns, as and to the extent said portion is declared unnecessary for flood control or drainage by the Board of Directors of the Albuquerque Metropolitan Arroyo Flood Control Authority. Any reversion shall be conveyed by quitclaim deed. Vacation approval consistent with the City of Albuquerque or Bernalillo County Subdivision Ordinances will also be required.

INDEXING INFORMATION FOR
COUNTY OF BERNALILLO
TRACT 3, UNIT 3, BLOCK 2,
TOWNSHIP 11 NORTH,
SECTION 17, RANGE 4 EAST,
OWNER: TOR K. RASMUSSEN & RAQUEL E. RASMUSSEN
SUBDIV: OAKLAND MEADOWS

RHOMBUS P.A., INC.
FACILITIES ENGINEERS/ENVIRONMENTAL CONSULTANTS
e-mail: rhombus@rhombuspa.com
web site: www.rhombuspa.com
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Albuquerque, NM 87110
TEL: (505) 881-6880 FAX: (505) 881-6886



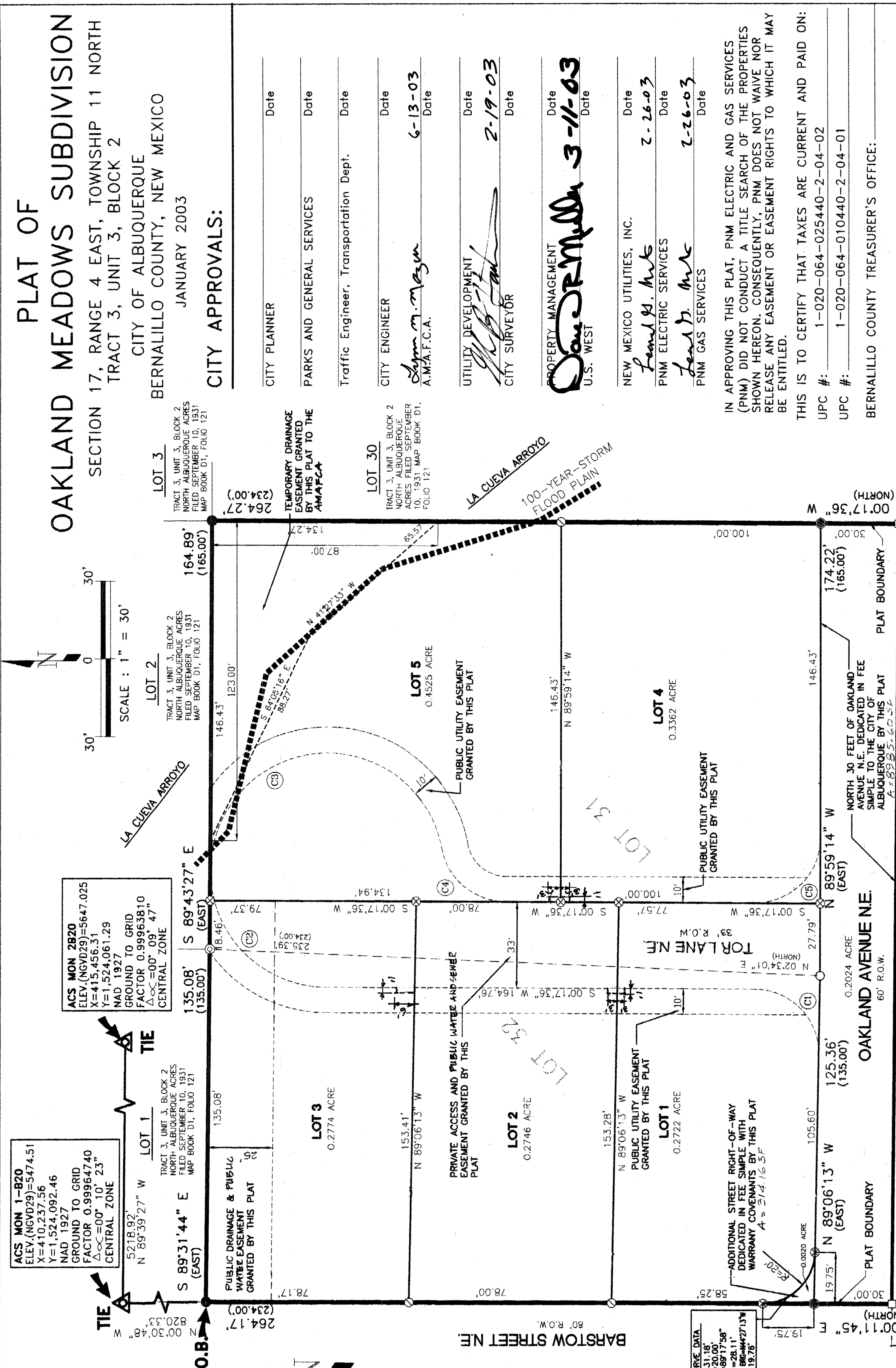
LOCATION MAP NOT TO SCALE ZONE MAP C-20-Z

A CERTAIN TRACT OF LAND WITHIN SECTION 17, RANGE 4 EAST, TOWNSHIP 11 NORTH, BERNALILLO COUNTY, NEW MEXICO, COMPRISING LOTS 1, 2, 3, 4 AND 5, OF THE PLAT OF SAID ADDITION TO THE CITY OF ALBUQUERQUE, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION TO THE CITY OF ALBUQUERQUE, FILED SEPTEMBER 31, 1931, VOLUME D1, FOLIO 121, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, A POINT ON THE EAST RIGHT-OF-WAY LINE OF BARSTOW STREET N.E., WHENCE THE ACS MONUMENT "1-920" BEARS N 00° 30' 48" W, A DISTANCE OF 820.55 FEET; THENCE DEPARTING FROM SAID RIGHT-OF-WAY LINE, S 89° 31' 44" E, A DISTANCE OF 135.08 FEET TO A POINT; THENCE S 89° 43' 27" E, A DISTANCE OF 164.89 FEET TO THE NORTHEAST CORNER OF LOT 1; THENCE S 00° 17' 36" W, A DISTANCE OF 264.97 FEET TO A POINT ON CENTER LINE OF RIGHT-OF-WAY OF OAKLAND AVENUE N.E., SAME POINT BEING THE SOUTHEAST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE ALONG THE SAID RIGHT-OF-WAY CENTER LINE, N 89° 37' 03" W, A DISTANCE OF 299.52 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF BARSTOW STREET N.E., SAME POINT BEING THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE ALONG THE SAID RIGHT-OF-WAY LINE, N 00° 11' 45" E, A DISTANCE OF 264.17 FEET TO THE POINT OF BEGINNING. SAID TRACT OF LAND IS NOW COMPRISING LOTS 1 THROUGH 5 OF OAKLAND MEADOWS SUBDIVISION.

FREE CONSENT AND DEDICATION

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) HEREOF, AND SAID OWNERS AND/OR PROPRIETOR(S) HEREOF, DO HEREBY GRANT AND DEDICATE TO THE CITY OF ALBUQUERQUE, NEW MEXICO, IN FEE SIMPLE, THE ADDITIONAL STREET RIGHT-OF-WAY BEING NORTH 30 FEET OF OAKLAND AVENUE N.E. AS SHOWN HEREON, DO HEREBY DEDICATE TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS THE ADDITIONAL STREET RIGHT-OF-WAY BEING THE SOUTH-WEST CORNER OF LOT #1 AS SHOWN HEREON AND DO GRANT ALL PRIVATE ROAD WAY EASEMENTS SHOWN HEREON AND ALL GRANTS TO CONSTRUCT, OPERATE, INSPECT AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED AND INCLUDING THE RIGHT OF ACCESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE OF SUCH UTILITIES AND PIPES AND FOR THE PLANTING AND TRIMMING OF TREES AND SHRUBS AND MAINTENANCE THEREOF; AND DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED, SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED.

TOR K. RASMUSSEN
RAQUEL E. RASMUSSEN
ACKNOWLEDGEMENT
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME
THIS 13 DAY OF February 2003
BY TOR K. RASMUSSEN AND RAQUEL E. RASMUSSEN.
City Project No. 710481
NOTARY PUBLIC 05-29-04 MY COMMISSION EXPIRES



EASEMENT CURVE DATA

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	25.00'	39.53'	N 49°35'41" E	90°36'11"	25.26'
C2	45.00'	70.67'	N 49°17'05" E	89°58'57"	44.89'
C3	45.00'	132.98'	N 05°04'00" W	169°18'53"	481.19'
C4	25.00'	34.60'	S 39°56'31" W	79°17'50"	20.72'
C5	25.00'	39.39'	N 44°30'58" W	90°16'50"	25.12'

SUBDIVISION DATA

- Plat Case No's
- Zone Atlas No.
- Gross Subdivision Acreage
- Original Number of Lots
- Number of Lots Created
- TALOS LOG
- Miles of full width street created
- Area dedicated to the City of Albuquerque

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO CREATE FIVE LOTS OUT OF TWO LOTS, TO DEDICATE ADDITIONAL RIGHT-OF WAY AND GRANT EASEMENTS AS SHOWN ON THIS PLAT.

CITY APPROVALS:

CITY PLANNER	Date
PARKS AND GENERAL SERVICES	Date
Traffic Engineer, Transportation Dept.	Date
CITY ENGINEER	Date
UTILITY DEVELOPMENT	Date
CITY SURVEYOR	Date

PROPERTY MANAGEMENT
U.S. WEST
NEW MEXICO UTILITIES, INC.
PNM ELECTRIC SERVICES
PNM GAS SERVICES

IN APPROVING THIS PLAT, PNM ELECTRIC AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON:
UPC #:
UPC #:

SURVEYOR'S CERTIFICATION:

CLYDE J. KING, A FULLY QUALIFIED LAND SURVEYOR REGISTERED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF A SURVEY CONDUCTED UNDER MY SUPERVISION; THAT SAID PLAT SHOWS RECORDS OR MADE KNOWN TO ME BY THE LAND OWNER, UTILITY COMPANY OR AGENCIES EXPRESSING AN INTEREST; THAT THIS SURVEY PLAT MEETS THE MINIMUM STANDARDS FOR SURVEYING IN THE STATE OF NEW MEXICO; AND THAT THE SURVEY IS TRUE AND CORRECT.

NOTARY PUBLIC 05-29-04 MY COMMISSION EXPIRES

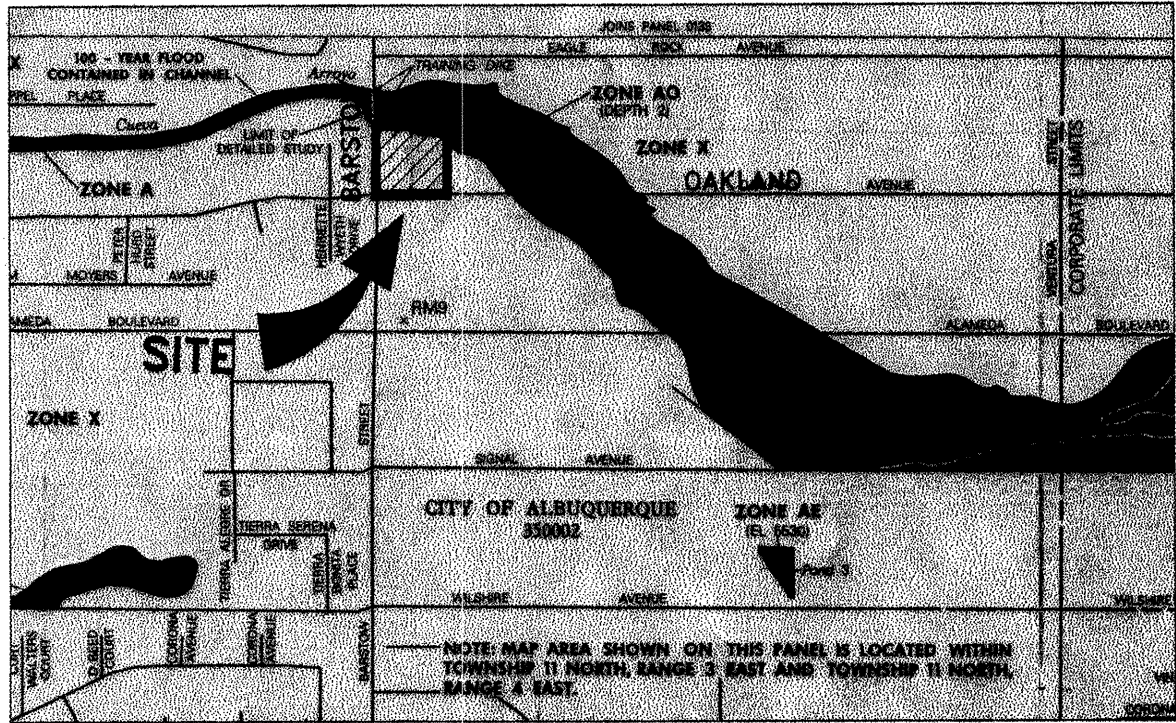
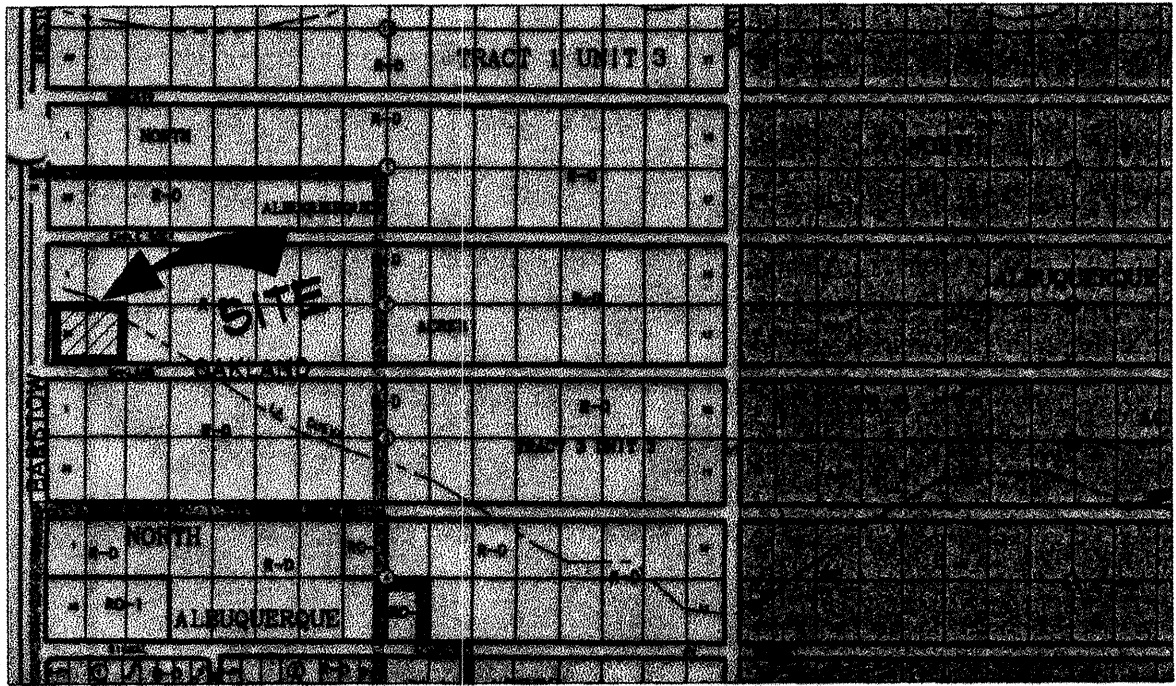
LEGEND:

- FOUND #4 REBAR W/ CAP #7924
- FOUND #4 REBAR W/ CAP #7924
- FOUND #4 REBAR W/ CAP #7924
- FOUND #4 REBAR
- SET #4 REBAR W/ CAP #13979
- PROPERTY LINE VACATED BY THIS PLAT
- EASEMENT LINE DEDICATED BY THIS PLAT
- IMPROVED EASEMENT LINE
- DEDICATED BY THIS PLAT

INDEXING INFORMATION FOR
COUNTY OF BERNALILLO
TRACT 3, UNIT 3, BLOCK 2,
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FLOOD MAP: PANEL 35001C0141 E
NOT TO SCALE

LEGEND

- CMU SCOUR WALL
- CMU RETAINING WALL
- CMU GARDEN WALL
- BOUNDARY LINE
- LOT PROPERTY LINE
- NEW ASPHALT PAVEMENT
- NEW CONCRETE PAVEMENT
- STREET SIGN
- EXISTING FIRE HYDRANT LOCATION
- NEW LIGHT POLE

- EXISTING ELEV. CONTOUR TO REMAIN
- EXISTING ELEV. CONTOUR - MODIFIED
- PROPOSED ELEV. CONTOUR
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED FLOWLINE ELEVATION
- PROPOSED TOP OF CONCRETE ELEVATION
- PROPOSED TOP OF GRAVEL ELEVATION
- PROPOSED TOP OF ASPHALT ELEVATION
- PROPOSED DIRECTION OF FLOW - DRAINAGE
- EXISTING DIRECTION OF FLOW - TO REMAIN
- PROPOSED BUILDING FINISH FLOOR ELEVATION
- EXISTING FLOWLINE ELEV. TO REMAIN (DATA FROM PICO LA CUEVA SUBDIVISION AS-BUILT DRAWING)
- EXISTING TOP OF ASPHALT ELEV. TO REMAIN (DATA FROM FIELD TOPO SURVEY)

AS-BUILT ELEVATIONS
TOP OF CURB
TC
FL
FLOWLINE

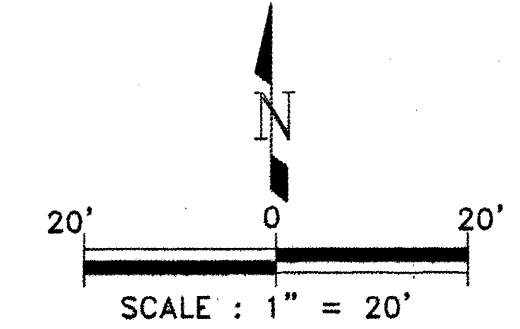
- NOTICE TO CONTRACTOR
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN STREET RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
 - ALL WORK DETAILED ON THIS PLAN TO BE PERFORMED, EXCEPT AS OTHERWISE PROVIDED HEREON, IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1234) FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
 - UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON MAPS AND/OR EVIDENCES ON THE GROUND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL UTILITIES, SHOWN OR NOT SHOWN ON THE DRAWING.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR KEEPING RUNOFF ON SITE DURING CONSTRUCTION AND CLEANING UP SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY AND ADJOINING PROPERTIES AFTER CONSTRUCTION.

KEYED NOTES

- EXISTING ASPHALT PAVEMENT TO REMAIN
- PORTION OF EXISTING ASPHALT PAVEMENT TO BE DEMOLISHED AND REINSTALLED PER GRADING PLAN
- EXISTING CONCRETE CURB AND GUTTER TO REMAIN
- EXISTING CONCRETE CUT-OFF WALL TO BE REMOVED
- PROPOSED CONCRETE CUT-OFF WALL
- PROPOSED ASPHALT PAVEMENT
- PROPOSED LANDSCAPING AREA (GRAVEL)
- PROPOSED 4' WIDE CONCRETE SIDEWALK
- PROPOSED CONCRETE STANDARD CURB AND GUTTER, PER CITY OF ALBUQUERQUE STANDARD DETAIL # 2415.
- PROPOSED CONCRETE MOUNTABLE CURB AND GUTTER, PER CITY OF ALBUQUERQUE STANDARD DETAIL # 2415.
- PROPOSED 10 FEET TRANSITION AREA TO MOUNTABLE CURB AND GUTTER
- PROPOSED CONCRETE DRIVEPAD, PER CITY OF ALBUQUERQUE STANDARD DETAIL # 2425.
- PROPOSED WHEELCHAIR CURB ACCESS RAMP, PER CITY OF ALBUQUERQUE STANDARD DETAIL # 2441.
- PROPOSED CONCRETE VALLEY GUTTER, PER CITY OF ALBUQUERQUE STANDARD DETAIL # 2420.

- PROPOSED RETAINING, SCOUR OR GARDEN WALL, SPLIT FACE AND STANDARD INTEGRAL COLOR "GALLUP GOLD" CMU BLOCK, AS MANUFACTURED BY "RINKER" OR APPROVED EQUAL. MATCH APPEARANCE WITH EXISTING WALLS @ SOUTHEAST CORNER OF INTERSECTION. SEE PHOTO THIS SHEET. WALL WILL EXTEND AT LEAST 1'-4" ABOVE FINISH GRADE AT HIGHER SIDE, UNLESS NOTED OTHERWISE.
- PROPOSED DRAINAGE WALL OUTLET, MATCH APPEARANCE WITH EXISTING OUTLETS @ SOUTHEAST CORNER OF THE INTERSECTION. SEE PHOTO AT SITE PLAN SHEET.
- PROPOSED LOCATION OF BUILDING PAD. SEE GRADING AND DRAINAGE PLAN FOR TOP OF PAD ELEVATION.
- PROPOSED WROUGHT IRON FENCE, HEIGHT VARIATIONS. VERIFY WITH OWNER. EXTENDED CMU WALL OPTIONAL, SEE SECTION.

RETAINING WALL SECTION DIAGRAM BARSTOW STREET NE



DRAINAGE AND GRADING PLAN OAKLAND MEADOWS SUBDIVISION OAKLAND AVENUE N.E./BARSTOW STREET N.E.

FLOODPLAIN INFORMATION:
The most of the property area is located in Zone X, areas determined to be outside the 500-year floodplain, according to the Floodway Insurance Rate Map of Bernalillo County, Map Number 35001C0141 E, revised April 2, 2002. The north-east corner of the property is located in Zone AO, flood depths of two

EXISTING ON-SITE CONDITIONS:
The site is unimproved and covered with the native vegetation. It is bound on the south by Oakland Avenue NE, which is asphalted to approximately center line of the street, with concrete sidewalk, curb and gutter on the south side of the street, adjacent to newly developed residential subdivision. The north half of the street, adjacent to the subject property is unimproved. On the west the land is bound by Barstow Street NE, which is asphalted to approximately center line of the street, with concrete sidewalk, curb and gutter on the west half of the street, adjacent to existing residential subdivision. The east half of the street, adjacent to the subject property is unimproved. The subject property is bound on the north and east sides by vacant, unimproved, covered with the native vegetation lots; the north side being a portion of the La Cueva Arroyo. The subject property is sloping from the southeast to the northwest and will require cut and fill work. Surface drainage will be directed off-site, partially by an underground storm drain system and partially to Barstow Street NE utilizing the spillways through perimeter masonry retaining walls.

OFF-SITE DRAINAGE CONTRIBUTION - NONE.
PROPOSED IMPROVEMENTS:
One residence per lot will be built over a period of time. The subdivision will include: three two-story houses, approximately 2000 sf of roof each on the west side of the access easement and two one-story houses, approximately 2750 sf of roof area each on the east side. Each of the five residences will be provided with landscaping and concrete driveway and walkway.

ANALYSIS PHILOSOPHY:
The site will be graded such that the post-development flows will be discharged to existing storm drain system on Barstow Street NE and through new underground storm sewer and spillways at perimeter masonry retaining wall. Pre-developed and post-developed runoff quantities and volumes are calculated to determine the impact of the additional impervious surfaces that will be created.

EROSION CONTROL:
Water from construction activities and/or rainfall shall be retained on site through temporary ponding areas to prevent any runoff from entering the streets, or will be directed to the arroyo due to the natural land configuration.

NOTE:
All references are to City of Albuquerque Development Process Manual, July, 1997

TOTAL LOT SIZE: 1.8172 ACRES±

ZONE 2 (DPM FIGURE A-1, p 22-7)

100 YEAR STORM DEPTH (DPM TABLE A-2, p 22-8)	EVENT	P ₅₀	P ₁₀₀	P ₁₀₀₀	P ₁₀₀₀₀	P ₁₀₀₀₀₀
INCHES	2.14	2.6	3.1	3.95	4.9	

100 YR 6 HR STORM EVENT

TREATMENT	A	B	C	D
QPEAK (CFS/ACRE)	1.87	2.60	3.45	5.02
E ₃₆₀ (INCHES)	0.66	0.92	1.29	2.36

EQUATIONS REQUIRED

QPEAK TOTAL (Q_{PT}) = Q_{PA} A_A + Q_{PB} A_B + Q_{PC} A_C + Q_{PD} A_D (DPM EQ. a-10, p 22-16)

E₃₆₀(WEIGHTED) E = {E_A*A_A+E_B*A_B+E_C*A_C+E_D*A_D}/[A_A+A_B+A_C+A_D] (DPM EQ. a-5, p 22-14)

V₃₆₀ (VOLUME RUNOFF) V₃₆₀ = E₃₆₀ WEIGHTED*(A_A+A_B+A_C+A_D)/12 (DPM EQ. a-6, p 22-14)

V₁₀ DAYS V₁₀ DAYS = V₃₆₀ + A_D*(P₁₀ DAYS - P₃₆₀)/12IN/FT (DPM EQ. a-9, p 22-14)

EXISTING CONDITIONS

TREATMENT	A	B	C	D
1.4495	0	0.1611 AC.	0.000 AC.	1.6105 AC. TOTAL

QPEAK TOTAL (Q_{PT}) = 3.27 CFS

V₃₆₀ = 4227 CF

DEVELOPED CONDITIONS

TREATMENT	A	B	C	D
0.0000 AC.	0.2773 AC.	0.6471 AC.	0.6862 AC.	

QPEAK TOTAL (Q_{PT}) = 6.40 CFS

V₃₆₀ = 9834 CF

INCREASE IN RUNOFF RATE = 6.40 - 3.27 = 3.13 CFS

INCREASE IN RUNOFF VOLUME = 9834 - 4227 = 4607 CF

THE RUNOFF QUANTITY INCREASE, WHICH WILL BE ALLOWED DISCHARGED TO THE EXISTING STORM DRAIN SYSTEM, WILL NOT HAVE AN ADVERSE IMPACT ON THE STREET AND/OR CATCH BASIN CAPACITY.

NOTE: THIS IS NOT A BOUNDARY SURVEY. PROPERTY CORNERS, BEARINGS AND DISTANCES SHOWN HEREON ARE FOR ORIENTATION PURPOSES ONLY.

NOTE: ADD 5400 FEET TO PROPOSED SPOT ELEVATIONS TO GET MEAN SEA LEVEL DATUM ELEVATIONS.

Paul A. Montoya
Approved for Rough Grading 5-6-03

26 7104.81 0305

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

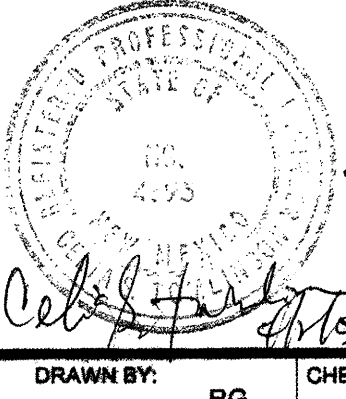
I, CELIA S. TOMLINSON, NMPE 4895, OF THE FIRM RHOMBUS P.A., INC., A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THE INFRASTRUCTURE INSTALLED AS PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR BY A QUALIFIED PERSON UNDER MY DIRECT SUPERVISION AND HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE CITY ENGINEER AND THAT THE ORIGINAL DESIGN INTENT OF THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MET, EXCEPT AS NOTED BY ME ON THE AS-BUILT CONSTRUCTION DRAWINGS. THIS CERTIFICATION IS BASED ON SITE INSPECTIONS BY ME OR PERSONNEL UNDER MY DIRECTION AND SURVEY INFORMATION PROVIDED BY JOHN L. MIERS, NMPS #12447.

Celia S. Tomlinson 7/6/04
CELIA S. TOMLINSON, PE. DATE: DRB Project No. 1001104
City Project No. 710481

ENGINEERS CERTIFICATION

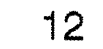
I HEREBY CERTIFY THAT I HAVE PERSONALLY INSPECTED THE SITE AND THAT NO GRADING, FILLING OR EXCAVATION HAS OCCURRED SINCE THE DATE OF THE TOPOGRAPHIC SURVEY.

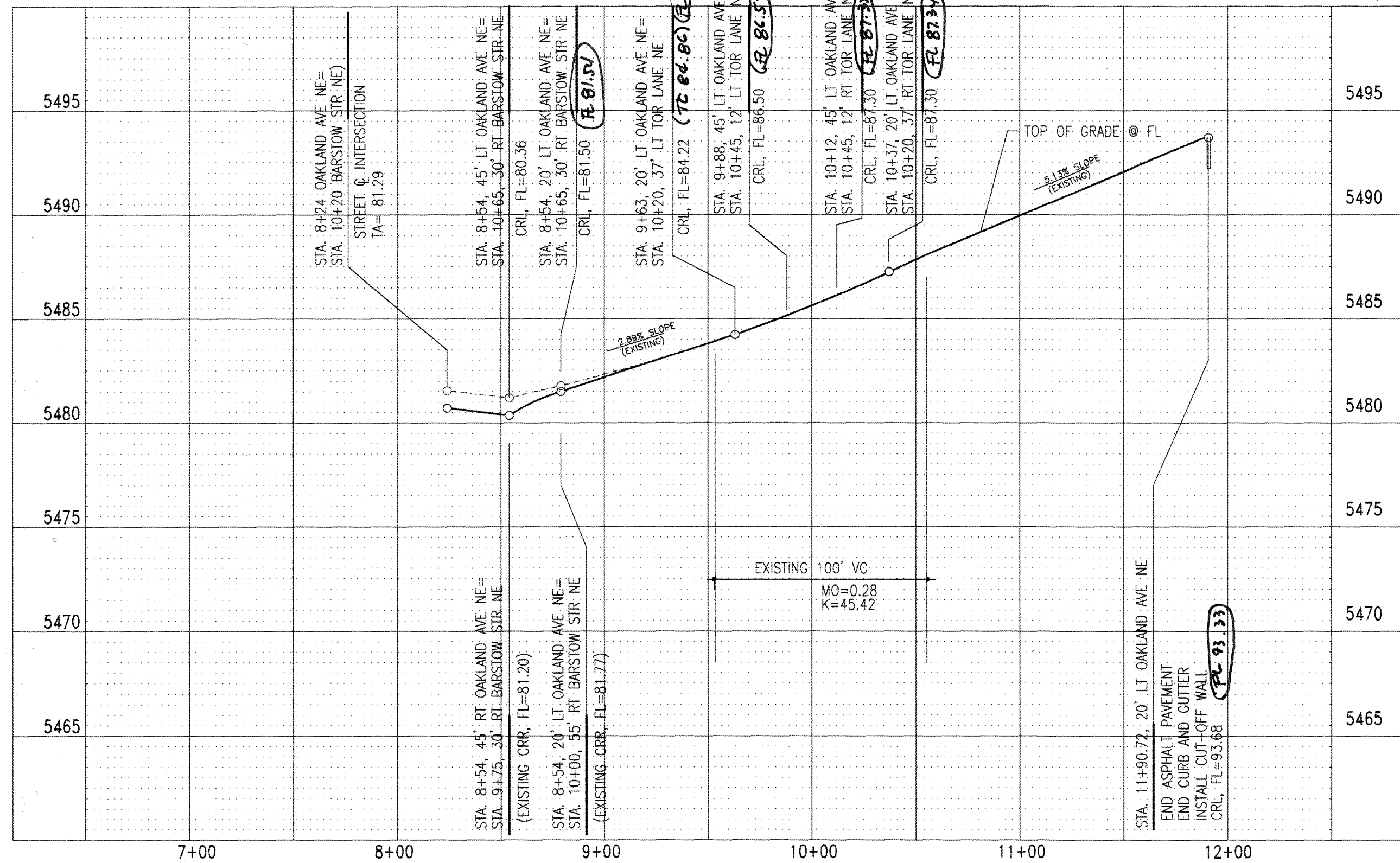
Celia S. Tomlinson 4/2/03
CELIA S. TOMLINSON, PE



RHOMBUS P.A., INC.
FACILITIES ENGINEERS/ENVIRONMENTAL CONSULTANTS
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TEL. (505) 981-6690 FAX (505) 981-6896

REVISION	DATE	DESCRIPTION
APPROVALS	ENGINEER	DATE
PROJECT TITLE:	OAKLAND MEADOWS BARSTOW-OAKLAND	
SHEET TITLE:	DRAINAGE AND GRADING PLAN	
MAP NO:	C-20-Z	RHOMBUS JOB NO: 02-C2-167
SHEET	1	OF 1





CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, CELIA S. TOMLINSON, NMPE 4895, OF THE FIRM RHOMBUS P.A., INC., A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THE INFRASTRUCTURE INSTALLED AS PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR BY A QUALIFIED PERSON UNDER MY DIRECT SUPERVISION AND HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE CITY ENGINEER AND THAT THE ORIGINAL DESIGN INTENT OF THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MET, EXCEPT AS NOTED BY ME ON THE AS-BUILT CONSTRUCTION DRAWINGS. THIS CERTIFICATION IS BASED ON SITE INSPECTIONS BY ME OR PERSONNEL UNDER MY DIRECTION AND SURVEY INFORMATION PROVIDED BY JOHN L. MIERS, NMPS #12447.

Celia S. Tomlinson 7/15/04
CELIA S. TOMLINSON, PE. DATE:

SCALE: HORIZONTAL 1"=50'
VERTICAL 1"= 5'

GENERAL NOTES

1. CONSTRUCT WHEELCHAIR RAMPS PER COA STANDARD DRAWING #2441, CASE II.
2. CONSTRUCT CUT-OFF WALL, STANDARD OR MOUNTABLE CURB AND GUTTER PER COA STANDARD DRAWING #2415.
3. CONSTRUCT PCC VALLEY GUTTER 6" WIDE PER COA STANDARD DRAWING #2420.
4. CONSTRUCT 4" PCC SIDEWALK AS INDICATED PER COA STANDARD DRAWING #2430.
5. SEE PLAN FOR "CROWN TO NO CROWN" AND "CROWN TO HALF CROWN" TRANSITION AREA LOCATIONS. CONTRACTOR WILL VERIFY EXISTING PAVEMENT ELEVATIONS IN FIELD AND REMOVE PORTIONS OF EXISTING PAVEMENT TO EXTENT NECESSARY TO PROVIDE REQUIRED TOP OF PAVEMENT ELEVATIONS AS SHOWN ON GRADING PLAN. THE HATCHED AREA SHOWN ON MASTER PAVEMENT PLAN 4.5 DESIGNATED FOR REMOVAL IS BASED ON THE AS-BUILT DRAWINGS AND THE ACTUAL EXTENT OF WORK MAY EXCEED SHOWN BOUNDARY AFTER FIELD VERIFICATION.
6. ALL AS-BUILT INFORMATION DATA IS BASED ON THE FOLLOWING AS-BUILT DRAWINGS:
LA CUEVA ARROYO CHANNEL IMPROVEMENT, PROJ. #8030 - 14, DATED 5-12-87.
NOR ESTE ESTATES, PROJ. #3186, DATED 5-14-87.
PICO LA CUEVA SUBDIVISION, PROJ. #55678, DATED 10-17-96.

26 7/104.B1 0505

OAKLAND AVE. NE

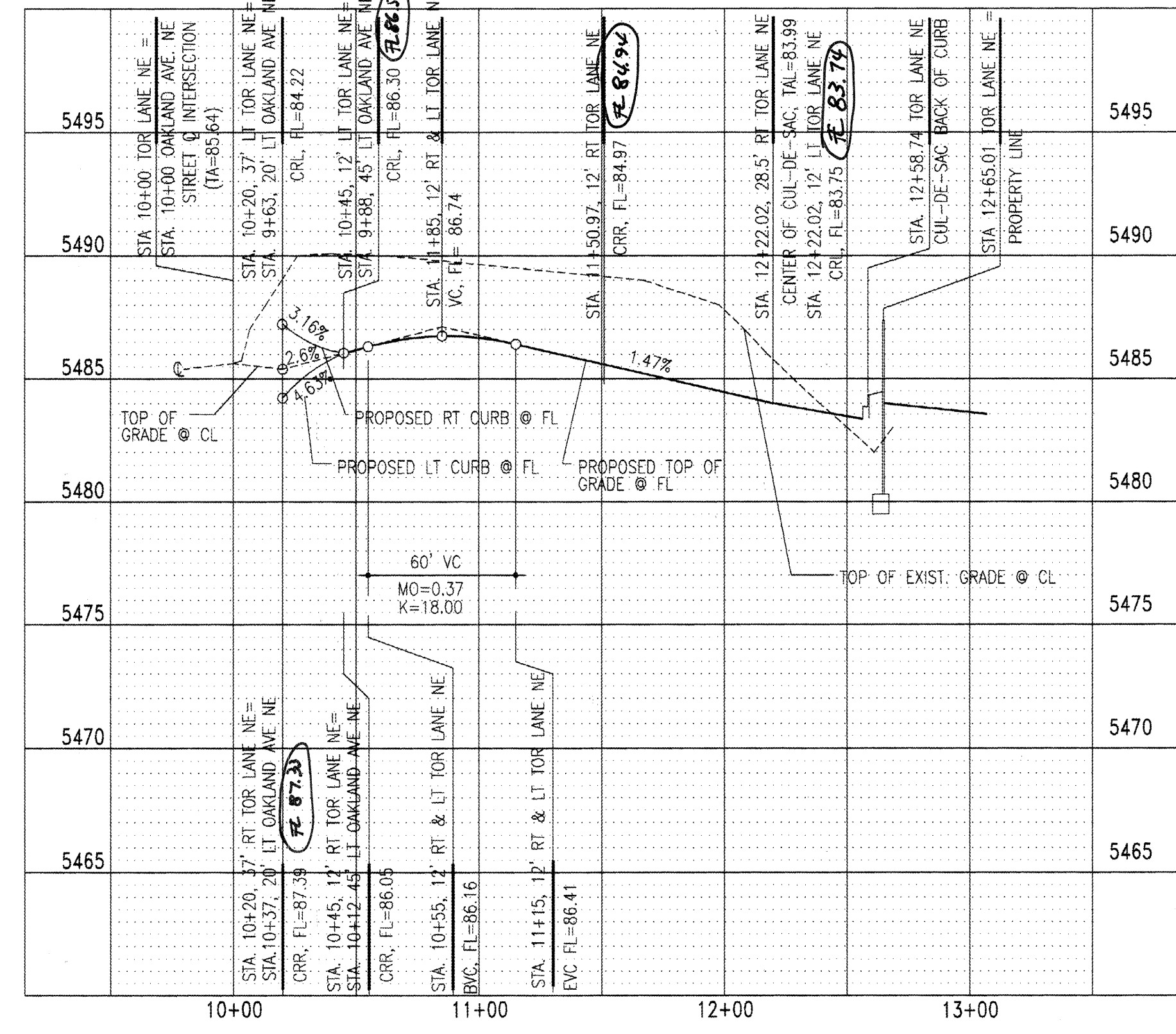
TOR LANE N.E.

LEGEND

- PROPOSED TOP OF CURB ELEVATION
- PROPOSED FLOWLINE ELEVATION
- PROPOSED TOP OF CONCRETE ELEVATION
- PROPOSED TOP OF ASPHALT ELEVATION
- MANHOLE ADJUSTMENT
- GATE VALVE ADJUSTMENT
- STREET SIGN
- EXISTING FIRE HYDRANT LOCATION
- NEW LIGHT POLE
- EXISTING LIGHT POLE

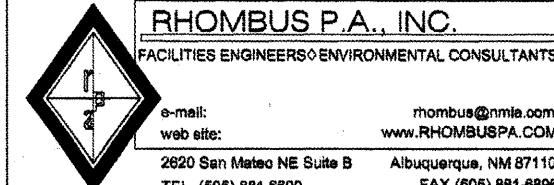
AS-BUILT ELEV.

SCALE: 1"=50'



SCALE: HORIZONTAL 1"=50'
VERTICAL 1"= 5'

06/25/2003



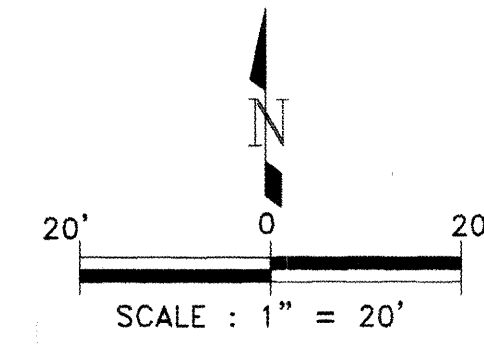
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE
OAKLAND MEADOWS SUBDIVISION
PAVING PLAN AND PROFILE - OAKLAND AVE. NE & TOR LANE N.E.

Design Review Committee APPROVED SEP 11 2003	City Engineer Approval APPROVED SEP 11 2003	Last Design Update
City Project No. 710481	Zone Map No. C-20	Sheet 5

CONTRACTOR INFORMATION		BENCHMARK		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	STANDARD ACS BRASS TABLET STAMPED 1-B20, SET IN TOP OF CONCRETE POST PROJECTING 0.3' ABOVE GROUND, LOCATED IN THE NORTHEAST QUADRANT OF BARSTOW STREET N.E. AND MODESTO AVENUE STREET N.E.	DATE	NO.	BY	NO.	DATE
INSPECTOR	DATE						
ACCEPTANCE BY	DATE						
CHECKED BY	DATE						
DRAWN BY	DATE						
CHECKED BY	DATE						

NOR ESTE ESTATES
CPN - 3186



1. CONSTRUCT 12"Ø IN BARSTOW STR. NE AND 6"Ø WATER MAINS IN TOR LANE NE AND PUBLIC WATER EASEMENT.
CLOSE VALVES "A", "B" AND VALVE #448 IN EXISTING 14"Ø WATER MAIN @ BARSTOW STR. NE, INSTALL 14"x12" REDUCER AND PROVIDE UNPRESSURIZED CONNECTION TO EXISTING 14"Ø WATER LINE. VALVE #449 SHALL BE OPEN TO PICO LA CUEVA SUBDIVISION DURING THIS PART OF SHUT-OFF.
CLOSE VALVE #449 (EXISTING 8"Ø WATER LINE, OAKLAND AVE. NE) AND VALVE "B" (@ NEW 6"Ø WATER LINE, IN TOR LANE NE AND OAKLAND AVE. NE INTERSECTION). DURING UNPRESSURIZED CONNECTION IN OAKLAND AVE. NE, WATER MAIN SHALL NOT BE OPEN TO PICO LA CUEVA SUBDIVISION.
2. NOTIFY CITY OF ALBUQUERQUE WATER SYSTEMS DIVISION (PHONE 857-8200) AT LEAST SEVEN (7) WORKING DAYS PRIOR TO THE EXECUTION OF THE WATER SHUT-OFF PLAN.
3. ONLY WATER SYSTEMS DIVISION PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
4. IN CASE OF EMERGENCY SHUT-OFF VALVE #449.



RHOMBUS P.A., INC.
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2020 San Mateo NE Suite 8 Albuquerque, NM 87110
TEL (505) 881-6600 FAX (505) 881-6806

TITLE		OAKLAND MEADOWS SUBDIVISION		UTILITY MASTER PLAN	
Design Review Committee APPROVE SEP 11 2003 DESIGN SERVICE CENTER		City Engineer Approval APPROVE SEP 18 2003 CITY ENGINEER		Last Design Update MS / Day / Yr. MS / Day / Yr. MS / Day / Yr. MS / Day / Yr. MS / Day / Yr. MS / Day / Yr.	
City Project No. 710481		Zone Map No.		Sheet C-20	Of 12

AS BUILT INFORMATION		DATE	
CONTRACT NO.	114 JRM/MS	DATE	7/20/64
WORK BY	REDUCTION SURVEYING	DATE	7/20/64
APPROVED BY	at MEMPHIS	DATE	7/20/64
ACCEPTANCE BY	PORT BATTLEBORO	DATE	7/20/64
MEMORANDUM BY	MEMPHIS O.A.	DATE	7/20/64
DRAWINGS			
CHECKED BY			
MICRO-FILM INFORMATION		DATE	
RECORDED BY			
NO.			

BENCHMARK
STANDARD ACS BRASS TABLET STAMPED 1-B90, SET IN TOP OF
CONCRETE POST PROJECTING 0.8' ABOVE GROUND, LOCATED
IN THE NORTHEAST QUADRANT OF BARSTOW STREET N.E. AND
MODESTO AVENUE STREET N.E.
ELEV (NGVD29) = 5474.51

[illegible]

ENGINEERS SEAL

REGISTERED PROFESSIONAL ENGINEER
STATE OF NEW JERSEY
NO. 4895
DATE 8/16/07

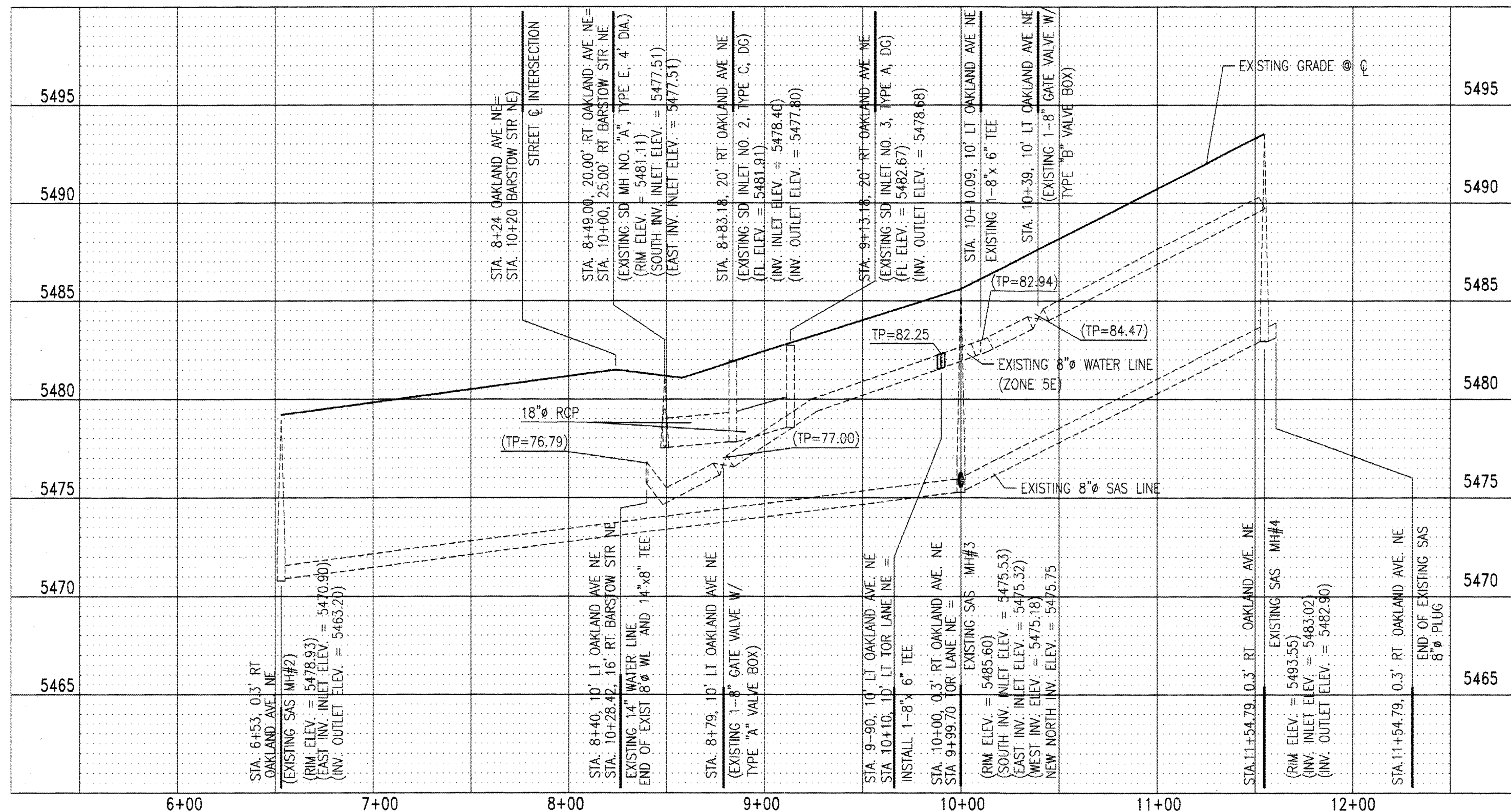
[illegible]

1. CELIA S. TOMLINSON, NMPE #4695, OF THE FIRM RHOMBUS P.A., INC., A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THE INFRASTRUCTURE INSTALLED AS PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR BY A QUALIFIED PERSON UNDER MY DIRECT SUPERVISION AND HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE CITY ENGINEER AND THAT THE ORIGINAL DESIGN INTENT OF THE APPROVED PLANS AND SPECIFICATIONS HAS BEEN MAINTAINED, EXCEPT AS NOTED BY ME ON THE AS-BUILT CONSTRUCTION DRAWINGS. THIS CERTIFICATION IS BASED ON SITE INSPECTIONS BY ME OR PERSONNEL UNDER MY DIRECTION AND SURVEY INFORMATION PROVIDED BY JOHN L. MIERS, NMPS #12447.

CELIA S. TOMLINSON, PE. DATE: 2/15/04

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
26		7	1	0	4	.	8	1			0	7	0	5

OAKLAND AVE. NE

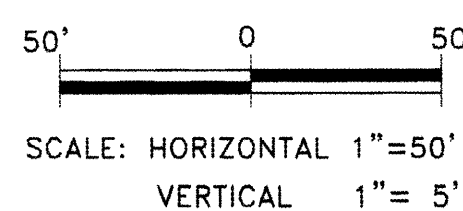


GENERAL NOTES

1. CONSTRUCT SAS SERVICES PER COA STANDARD DRAWING #2125.
2. CONSTRUCT ALL SINGLE AND DOUBLE WATER SERVICES PER COA STANDARD DRAWINGS, SEE SHEET #10.
3. SEE MASTER UTILITY PLAN FOR RESTRAINED JOINT LENGTHS FOR WATERLINE FITTINGS.
4. SEE MASTER UTILITY PLAN FOR WATER SHUTOFF PLAN
5. ALL AS-BUILT INFORMATION DATA IS BASED ON THE FOLLOWING AS-BUILT DRAWINGS:
LA CUEVA ARROYO CHANNEL IMPROVEMENT, PROJ. #8030 - 14, DATED 5-12-87.
NOR ESTE ESTATES, PROJ. #3186, DATED 5-14-87.
PICO LA CUEVA SUBDIVISION, PROJ. #55678, DATED 10-17-96.

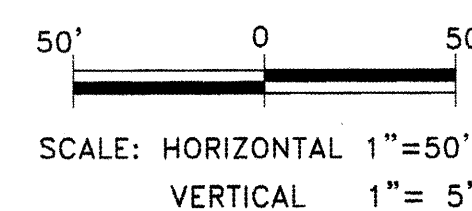
SAS SERVICE TABLE

LOT NO.	STATION	INV @ EASMENT
1	10+73	77.60
2	11+52	78.36
3	12+21	79.00
4	11+62	78.46
5	10+70	77.57

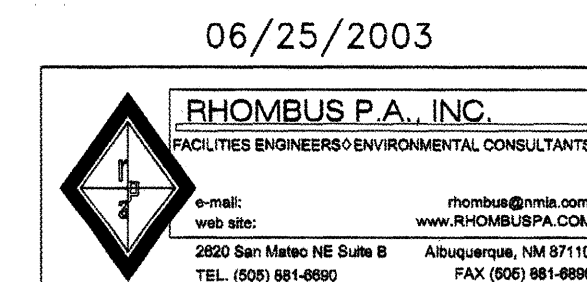
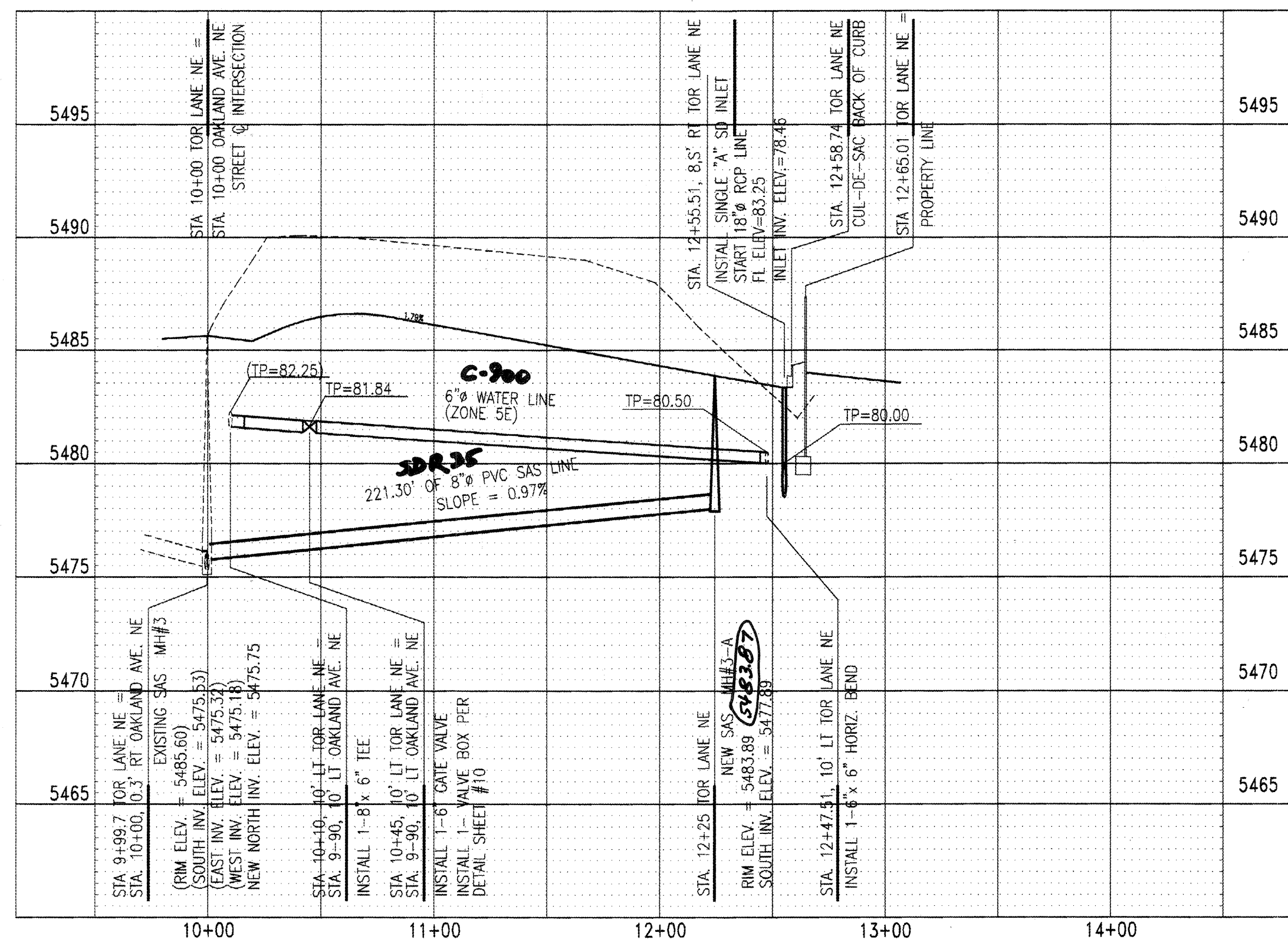


RESTRAINED JOINT LENGTH FOR WATER FITTINGS

FITTING DESCRIPTION	RESTRAINED JOINT LENGTH
6" PIPE, 90° HORIZONTAL BEND	20'
6" PIPE, 45° VERTICAL BEND	23' HIGH SIDE, 8' LOW SIDE
12" PIPE, 30° VERTICAL BEND	27' HIGH SIDE, 10' LOW SIDE
12" PIPE, 60° VERTICAL BEND	59' HIGH SIDE, 21' LOW SIDE
14"x12" REDUCER	30' @ 14" SIDE, 30' @ 12" SIDE
12"x6" TEE	12' @ 12" SIDE,
8"x6" TEE	8' @ 8" SIDE,
6" GATE VALVE	46'
12" CAP	102'



TOR LANE NE



06/25/2003

RHOMBUS P.A., INC.
SOLUTIONS ENGINEERS • ENVIRONMENTAL CONSULTANTS

2000 San Mateo NE Suite B Albuquerque, NM 87110
TEL: (505) 861-6890 FAX: (505) 861-6899

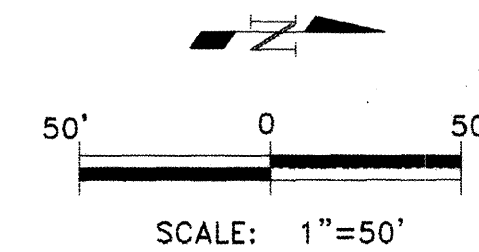
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE OAKLAND MEADOWS SUBDIVISION UTILITY PLAN & PROFILE - OAKLAND AVE. NE & TOR LANE NE

Design Review Committee APPROVED SEP 11 2003	City Engineer Approval APPROVED SEP 18 2003	City Engineer Last Design Update
City Project No. 710481	Zone Map No. C-20	Sheet 8 Of 12

- LEGEND**
- NEW SINGLE WATER METER AND BOX
 - NEW DOUBLE WATER METER AND BOX
 - NEW GATE VALVE W/ TYPE "A" VALVE BOX
 - NEW REDUCER
 - NEW WATER LINE
 - EXISTING WATER LINE
 - EXISTING GATE VALVE
 - NEW SANITARY SEWER LINE
 - NEW SANITARY SEWER MANHOLE AND FLOW DIRECTION
 - EXISTING SANITARY SEWER LINE
 - EXISTING SANITARY SEWER MANHOLE AND FLOW DIRECTION
 - EXISTING STORM SEWER MANHOLE AND FLOW DIRECTION
 - EXISTING STORM SEWER INLET
 - NEW STORM SEWER MANHOLE AND FLOW DIRECTION
 - NEW STORM SEWER INLET
 - EXISTING FIRE HYDRANT LOCATION
 - NEW LIGHT POLE
 - EXISTING LIGHT POLE

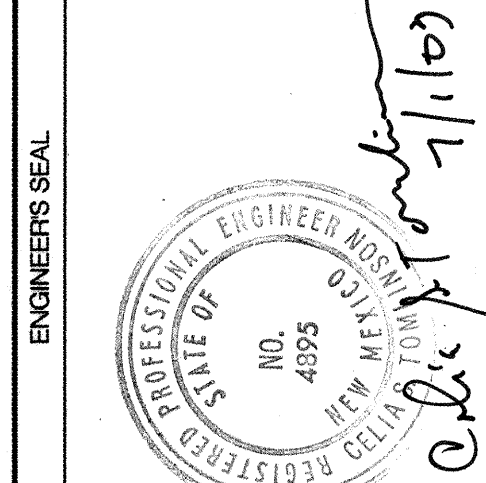
(EXIST. SD INLET #1) DATA FROM AS-BUILT DRAWINGS.
(TP=87.64)



CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, CELIA S. TOMLINSON, NMPE 4895, OF THE FIRM RHOMBUS P.A., INC., A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE INFRASTRUCTURE INSTALLED AS PART OF THIS PROJECT HAS BEEN INSPECTED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE SPECIFICATIONS AND APPROVED BY THE CITY ENGINEER. THIS CERTIFICATION IS BASED ON THE AS-BUILT CONSTRUCTION DRAWINGS. THIS CERTIFICATION IS BASED ON SITE INSPECTIONS BY ME OR PERSONNEL UNDER MY DIRECTION AND SURVEY INFORMATION PROVIDED BY JOHN L. MIERS, NMPS #1247.

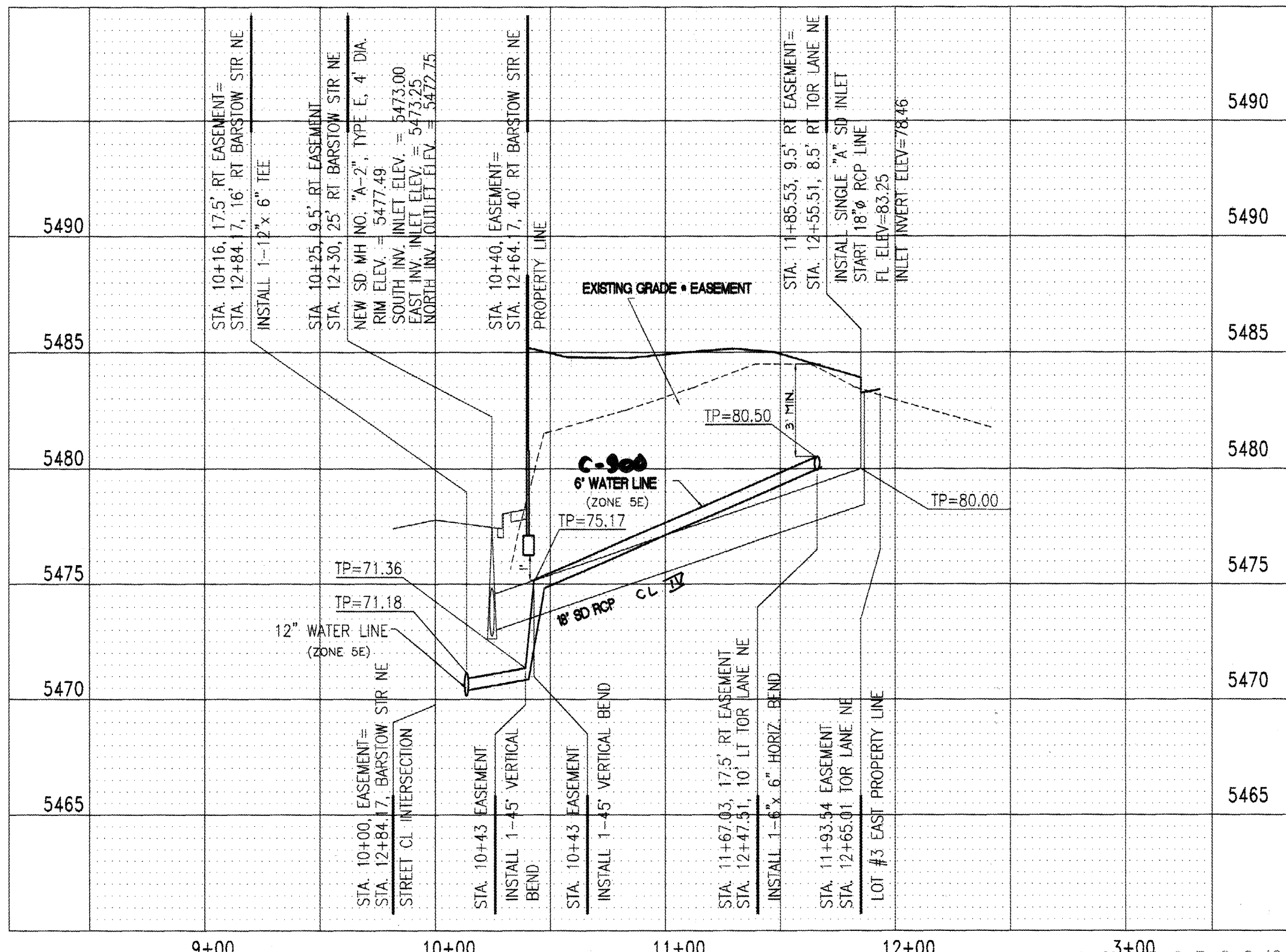
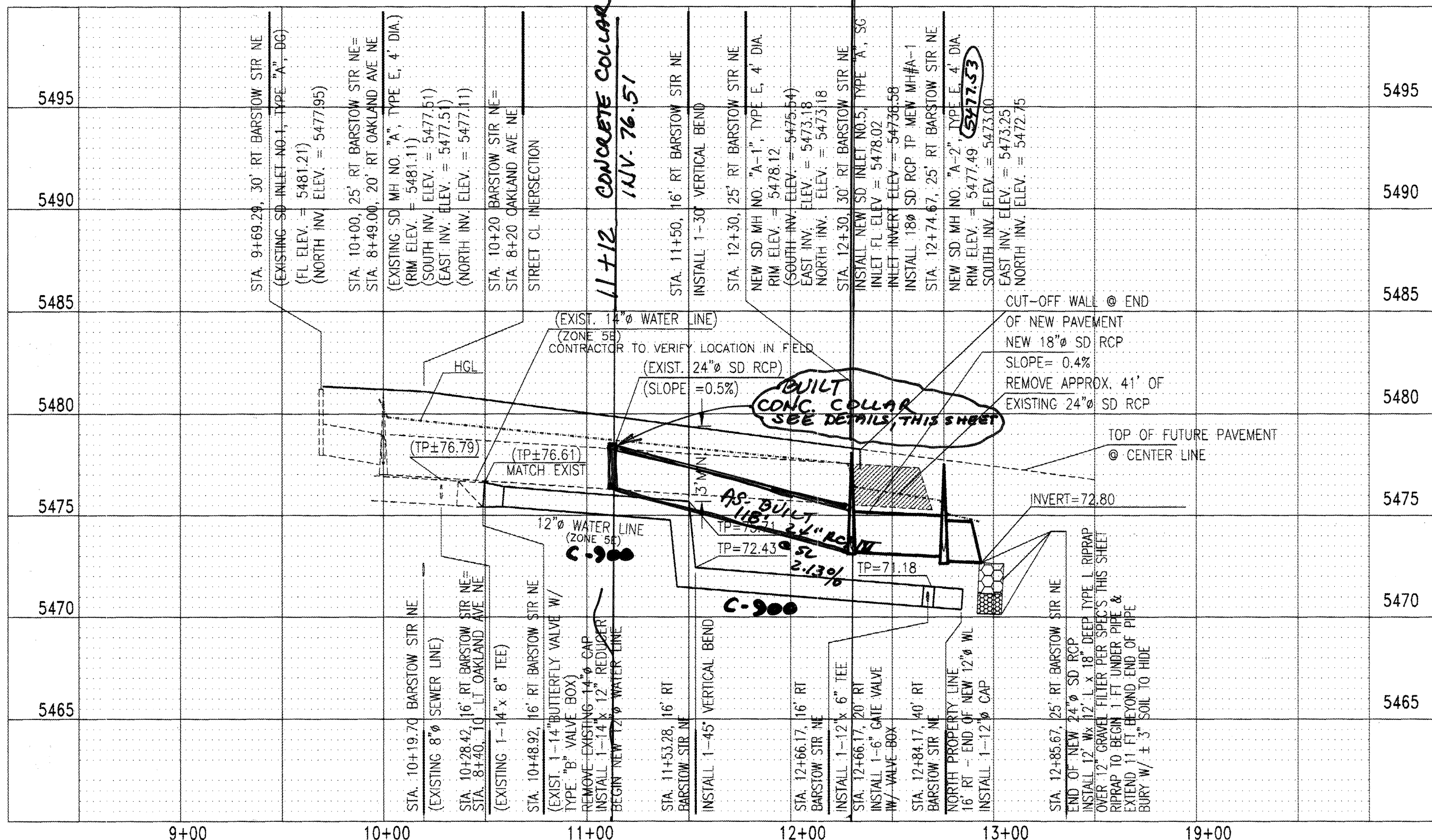
CELIA S. TOMLINSON, PE. DATE: 7/5/04



NO.	DATE	REVISIONS	DESIGN
BY	DATE	REVISIONS	DESIGN
DESIGNED BY	DATE	DRAWN BY	DATE
CHECKED BY	DATE		

BARSTOW STR. NE

PUBLIC DRAINAGE AND WATER EASEMENT



LEGEND

NEW SINGLE WATER METER AND BOX	NEW DOUBLE WATER METER AND BOX	NEW GATE VALVE W/ TYPE "A" VALVE
NEW REDUCER	NEW WATER LINE	EXISTING WATER LINE
EXISTING WATER LINE	EXISTING GATE VALVE	
NEW SANITARY SEWER LINE	NEW SANITARY SEWER MANHOLE AND FLOW DIRECTION	
EXISTING SANITARY SEWER LINE	EXISTING SANITARY SEWER MANHOLE AND FLOW DIRECTION	
EXISTING STORM SEWER MANHOLE AND FLOW DIRECTION	EXISTING STORM SEWER INLET	
NEW STORM SEWER MANHOLE AND FLOW DIRECTION	NEW STORM SEWER INLET	
EXISTING FIRE HYDRANT LOCATION	NEW LIGHT POLE	
EXISTING LIGHT POLE		

(EXIST. SD INLET #1) DATA FROM AS-BUILT DRAWINGS. (TP=87.64)

SCALE: 1"=50'

SCALE: 1"=50'

- GENERAL NOTES**
- CONSTRUCT SAS SERVICES PER COA STANDARD DRAWING #2125.
 - CONSTRUCT ALL SINGLE AND DOUBLE WATER SERVICES PER COA STANDARD DRAWINGS, SEE SHEET #10.
 - SEE MASTER UTILITY PLAN FOR RESTRAINED JOINT LENGTHS FOR WATERLINE FITTINGS.
 - SEE MASTER UTILITY PLAN FOR WATER SHUTOFF PLAN.
 - ALL AS-BUILT INFORMATION DATA IS BASED ON THE FOLLOWING AS-BUILT DRAWINGS:
LA CUEVA ARROYO CHANNEL IMPROVEMENT, PROJ. #8030 - 14, DATED 5-12-87.
NOR ESTE ESTATES, PROJ. #3186, DATED 5-14-87.
PICO LA CUEVA SUBDIVISION, PROJ. #55678, DATED 10-17-96.

RESTRAINED JOINT LENGTH FOR WATER FITTINGS	
FITTING DESCRIPTION	RESTRAINED JOINT LENGTH
6" PIPE, 90° HORIZONTAL BEND	20'
6" PIPE, 45° VERTICAL BEND	23' HIGH SIDE, 8' LOW SIDE
12" PIPE, 30° VERTICAL BEND	27' HIGH SIDE, 10' LOW SIDE
12" PIPE, 60° VERTICAL BEND	59' HIGH SIDE, 21' LOW SIDE
14"x12" REDUCER	30' @ 14" SIDE, 30' @ 12" SIDE
12"x6" TEE	12' @ 12" SIDE,
8"x6" TEE	8' @ 8" SIDE,
6" GATE VALVE	46'
12" CAP	102'

GRAVEL FILTER MATERIAL: AN ENGINEERED AGGREGATE MIXTURE CONFORMING TO THE FOLLOWING GRADATION TABLE:	
US STANDARD (SQUARE MESH) SIEVE SIZE	PERCENT PASSING (BY WEIGHT)
3"	90-100
3/4"	20-90
#4	0-20
#200	0-3

TYPE L (LIGHT) RIPRAP, PER COA STANDARD SPECIFICATIONS SECTION 109 MEAN DIAMETER=9" (>=50% FINER BY WEIGHT)	
MAXIMUM DIMENSION (INCHES)	PERCENT PASSING (BY WEIGHT)
18	100
12	50-70
6	30-55
3	10

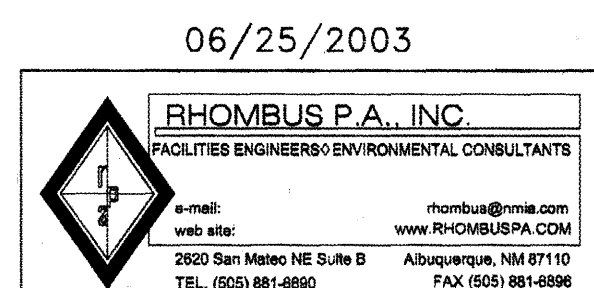
OUTLET	
Q=31.01 CFS V=9.87 FPS $S_{friction}=0.01879$	
MANHOLE #A2	
Q=27.24 CFS V=8.67 FPS $S_{friction}=0.01450$	
MANHOLE #A1	
Q=22.62 CFS V=7.20 FPS $S_{friction}=0.01000$	

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, CELIA S. TOMLINSON, NMEPE 4895, OF THE FIRM RHOMBUS P.A., INC., A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THE INFRASTRUCTURE PROJECTS CALLED AS PART OF THIS PROJECT HAVE BEEN INSPECTED BY ME OR BY A QUALIFIED PERSONNEL UNDER MY SUPERVISION AND HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE CITY ENGINEER AND THAT THE ORIGINAL DESIGN INTENT OF THE PROJECT HAS BEEN MAINTAINED AND THAT THE ORIGINAL DESIGN INTENT OF THE PROJECT HAS BEEN MAINTAINED. SPECIFICATIONS HAVE BEEN MET, EXCEPT AS NOTED BY ME ON THE AS-BUILT CONSTRUCTION DRAWINGS. THIS CERTIFICATION IS BASED ON THE INSPECTIONS BY ME OR PERSONNEL UNDER MY DIRECTION AND SURVEY INFORMATION PROVIDED BY JOHN L. MEERS, NMEPS #1247.

Celia S. Tomlinson
CELIA S. TOMLINSON, P.E.

DATE: 7/1/03



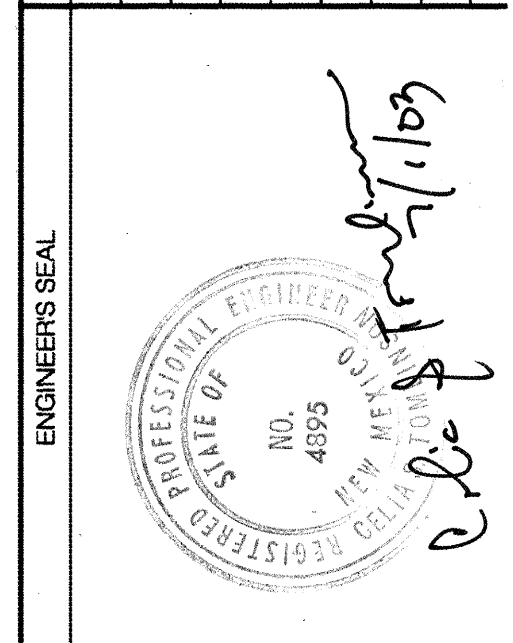
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE
OAKLAND MEADOWS SUBDIVISION
UTILITY PLAN & PROFILE - BARSTOW STR. NE & EASEMENT

Design Review Committee	City Engineer Approval	Last Design Update
APPROVED SEP 11 2003	APPROVED SEP 18 2003 CITY ENGINEER	

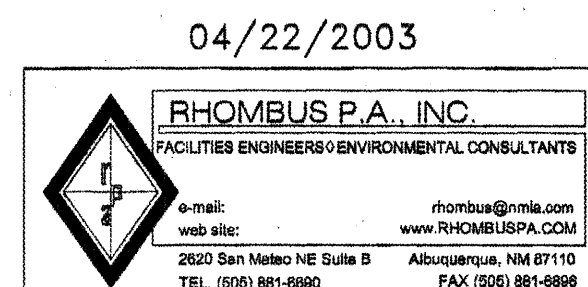
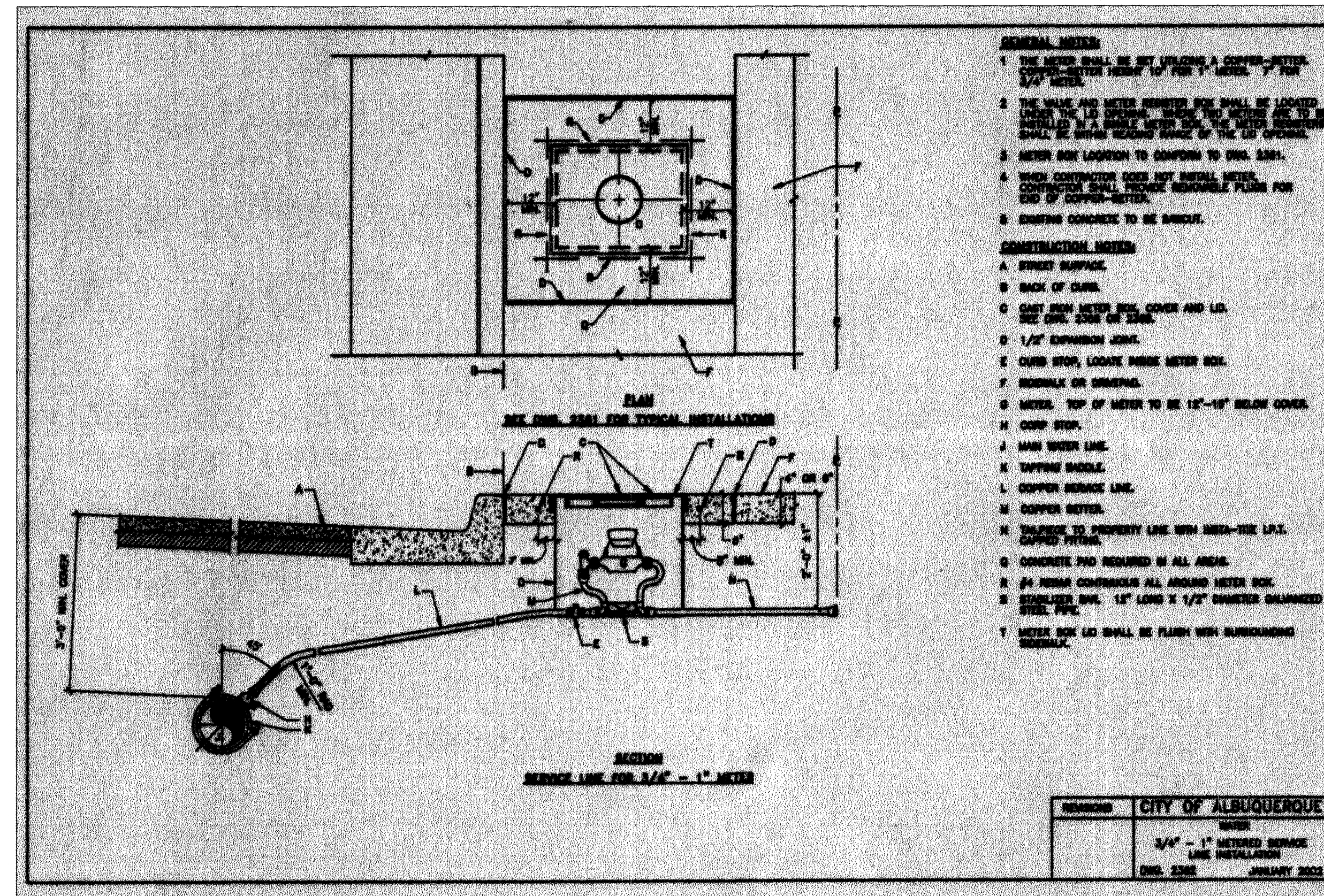
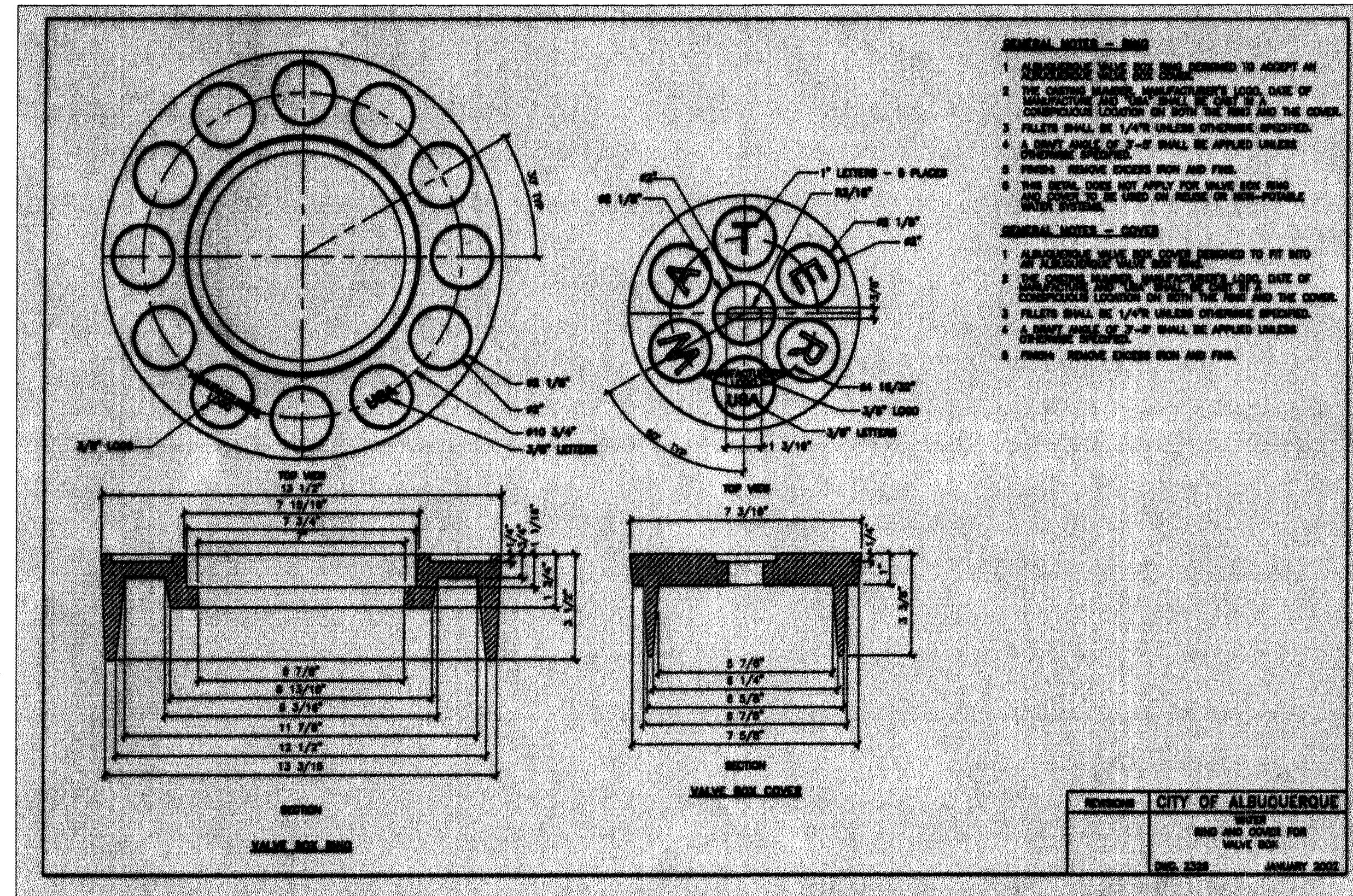
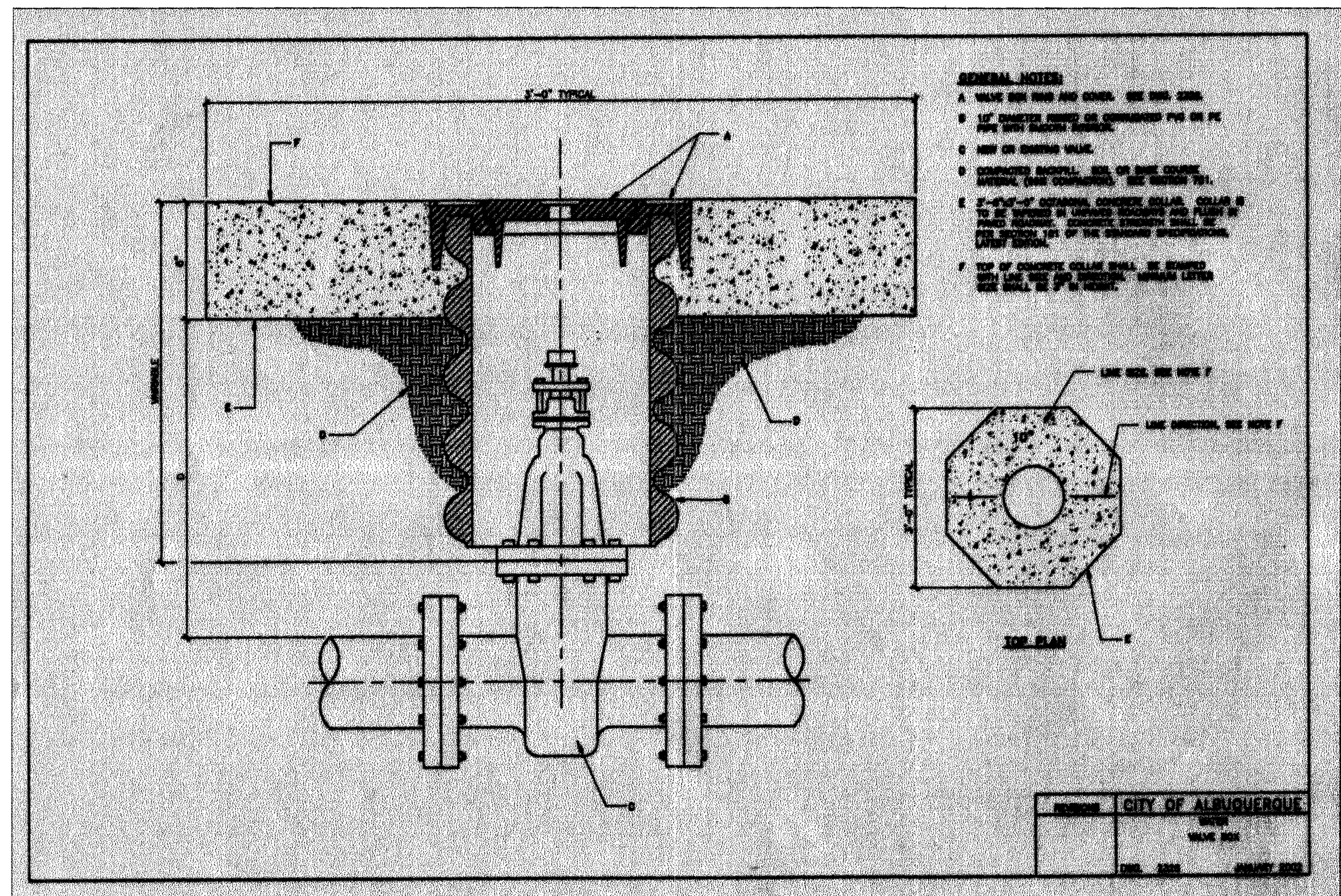
City Project No.	Zone Map No.	Sheet	Of
710481	C-20	9	12

SURVEY INFORMATION		FIELD NOTES	
NO.	DATE	BY	DATE



ENGINEERS SEAL	
NO.	DATE

DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE



04/22/2003

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
TITLE OAKLAND MEADOWS SUBDIVISION COA STANDARD DETAILS - DRAFT	
Design Review Committee	City Engineer Approval
City Project No.	Zone Map No.
710481	C-20
Sheet	10 of 12

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26 7104.81 1005

SCANNED BY
MESA REPRO

2. CONTRACTOR SHALL AT THE TIME OF PERMIT REQUEST, SUBMIT FOR APPROVAL BY CONSTRUCTION COORDINATION, A TRAFFIC CONTROL PLAN DETAILING ALL EXISTING TOPOGRAPHY SUCH AS LANE WIDTHS, DRIVEWAYS, AND BUSINESS/RESIDENTIAL ACCESSES. THE TRAFFIC CONTROL PLAN SHALL INCLUDE ALL PHASES OF WORK AND SCHEDULES INVOLVED IN THE CONSTRUCTION PROJECT. ANY SEPARATE PHASES OF A CONSTRUCTION PROJECT SHALL BE GIVEN AN INDIVIDUAL PERMIT EACH. BLANKET PERMITS WILL NOT BE ISSUED.

4. CONSTRUCTION SHALL NOT BEGIN UNLESS A TRAFFIC CONTROL PLAN HAS BEEN APPROVED AND VERIFIED BY CONSTRUCTION COORDINATION.

6. ALL CONSTRUCTION TRAFFIC CONTROL DEVICES SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL, SERVICE AND MAINTAIN ALL TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL DEVICES SHALL NOT BE REMOVED OR ALTERED IN ANY WAY WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION, PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.

8. CONTRACTOR IS RESPONSIBLE TO MAINTAIN AND SERVICE ALL TRAFFIC CONTROL DEVICES 24 HOURS A DAY, 7 DAYS A WEEK THROUGHOUT LENGTH OF PROJECT. CONTRACTOR IS RESPONSIBLE THAT ALL TRAFFIC CONTROL DEVICES COMPLY WITH THE MUTCD, LATEST EDITION.

10. ALL BARRICADES IN ALL TAPERS AND TANGENTS SHALL BE PLACED APART, A DISTANCE MEASURED IN FEET, EQUAL TO THAT OF THE POSTED SPEED LIMIT. NO EXCEPTIONS UNLESS APPROVED BY CONSTRUCTION COORDINATION PER MUTCD SECTION 6A-4.

11. ALL WORK IN ARTERIAL ROADWAYS SHALL BE ON A CONTINUOUS 24 HOUR PER DAY BASIS UNTIL COMPLETED.

12. CONTRACTOR IS RESPONSIBLE TO PROVIDE CONSTRUCTION COORDINATION, A WEEKLY LOG OF DAILY INSPECTIONS OF BARRICADE AND MAINTENANCE SCHEDULES ON PROJECTS THAT ARE OVER ONE WEEK DURATION.

13. EQUIPMENT OR MATERIALS SHALL NOT BE STORED WITHIN 15 FEET OF A TRAVELED TRAFFIC LANE DURING NON-WORKING HOURS WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION.

14. CONTRACTOR SHALL PROVIDE AND MAINTAIN A SAFE AND ADEQUATE MEANS OF CHANNELIZING PEDESTRIAN TRAFFIC AROUND AND THROUGH THE CONSTRUCTION AREA.

15. CONTRACTOR IS RESPONSIBLE FOR OBLITERATION OF ANY CONFLICTING STRIPING AND RESPONSIBLE FOR ALL TEMPORARY STRIPING.

16. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES, BUSINESSES AND/OR RESIDENTS AT ALL TIMES.

17. CONTRACTOR SHALL PROVIDE ACCESS SIGNS FOR BUSINESSES LOCATED WITHIN THE CONSTRUCTION AREA UNDER THE SUPERVISION OF CONSTRUCTION COORDINATION. EACH ACCESS SIGN SHALL HAVE 5 INCH, WHITE OPAQUE LETTERING ON BLUE REFLECTORIZED BACKGROUND. ACCESS SIGNS SHALL BE CONSIDERED INCIDENTAL TO THE BID AND NOT PART OF THE CONTRACT UNLESS OTHERWISE STATED. NO MORE THAN 3 BUSINESSES SHALL BE LISTED ON A ACCESS SIGN. SHOPPING CENTERS AND MALLS SHALL BE LISTED AS SUCH.

18. ALL ADVANCE WARNING SIGNS SHALL MEET THE MINIMUM REFLECTIVE INTENSITY REQUIREMENTS SET FORTH BY THE CITY OF ALBUQUERQUE. CONSTRUCTION COORDINATION SHALL DETERMINE ALL REQUIREMENTS AND APPROVE OR DISAPPROVE ANY ADVANCE WARNING SIGN PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.

19. 48 HOURS PRIOR TO OCCUPYING OR CLOSING OF A RIGHT-OF-WAY, CONTRACTOR SHALL NOTIFY: POLICE, FIRE DEPARTMENT, SCHOOLS, HOSPITALS, TRANSIT AUTHORITY, BUSINESSES AND/OR RESIDENTS THAT WILL BE AFFECTED BY THE CONSTRUCTION.

20. ANY FIELD ADJUSTMENTS SHALL BE APPROVED BY CONSTRUCTION COORDINATION.

22. CONTRACTOR SHALL AT ALL TIMES COMPLY WITH THE FOLLOWING:

1. STANDARDS AND REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
2. THE CITY OF ALBUQUERQUE TRAFFIC CODE, LATEST EDITION.

3. SECTION 19 OF THE CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTION, AS WELL AS OTHER SECTIONS.

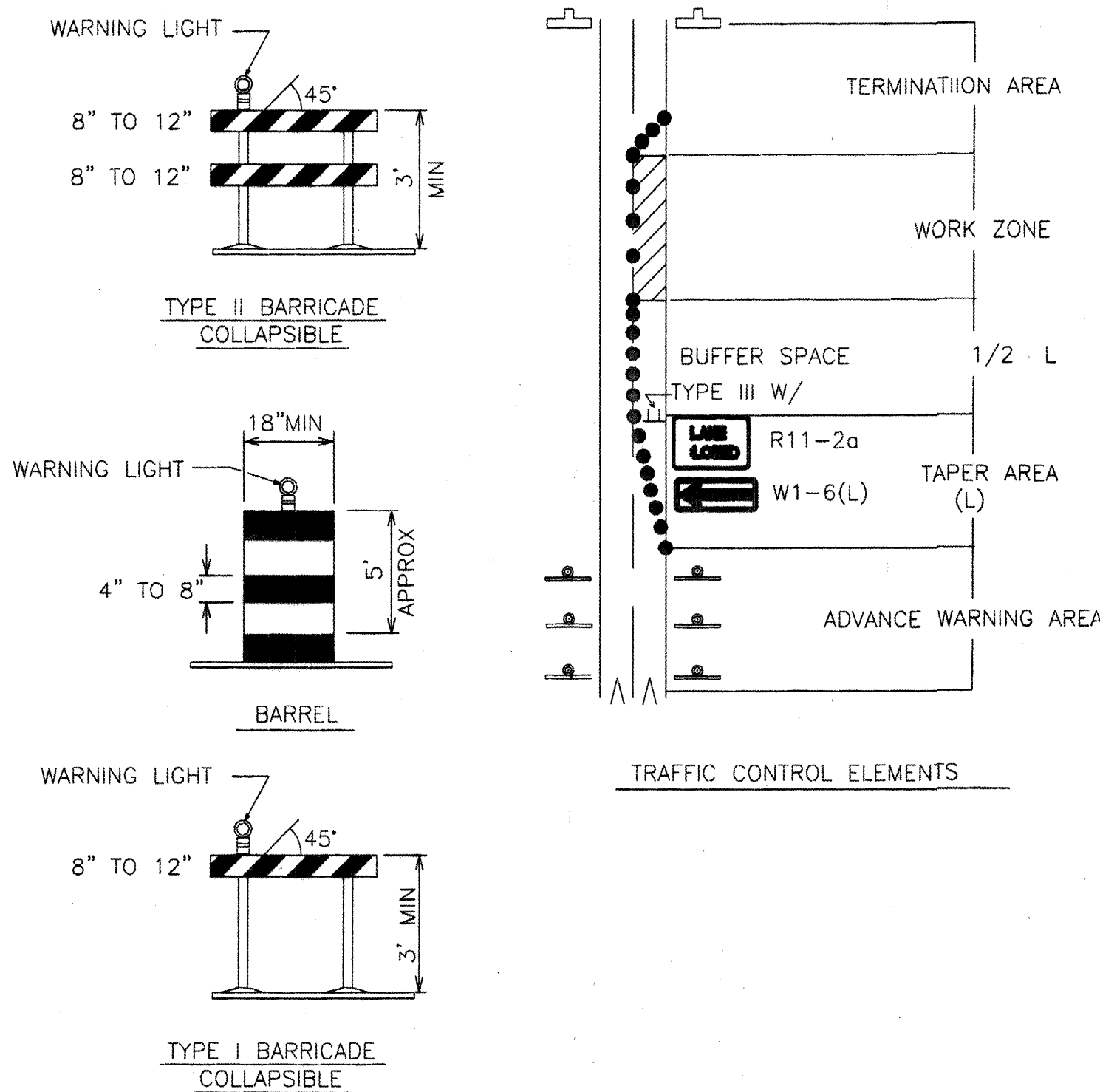
23. FAILURE TO COMPLY WITH ANY OF THE ABOVE MENTIONED, WILL BE ADEQUATE CAUSE TO CEASE ALL WORK ON ANY CONSTRUCTION PROJECT. WORK WILL NOT RESUME UNTIL ALL REQUIREMENTS ARE ADDRESSED AND APPROVED BY CONSTRUCTION COORDINATION.

24. ALL TRAFFIC CONTROL DEVICES SHALL BE KEPT IN NEW-CLEAN CONDITION, WASHING OF EQUIPMENT IS INCIDENTAL TO IT'S PLACEMENT AND MAINTENANCE.

25. TRAFFIC CONTROL STANDARDS APPLY ONLY WHERE THE CONSTRUCTION TRAFFIC CONTROL PLANS ARE NOT SPECIFIC.

26. ADVANCE WARNING SIGNS SHALL BE 36"x36" MIN. WITH SUPER ENGINEERING GRADE SHEETING OR BETTER. MOUNTING HEIGHT AT TOP OF SIGN SHALL BE THE SAME AS FOR A 48" SIGN AS INDICATED IN THE M.U.T.C.D.

27. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORKSITE. ALL GRAFFITI SHALL BE PROMPTLY REMOVED FROM ALL EQUIPMENT, BOTH PERMANENT AND TEMPORARY.



W1-1(R) 30 MPH or LESS	W1-1(L) 30 MPH or LESS	W1-2(R) 30 MPH or GREATER	W1-2(L) 30 MPH or GREATER	W1-3(R) 30 MPH or LESS	W1-3(L) 30 MPH or LESS	W1-4(R) 30 MPH or GREATER	W1-4(L) 30 MPH or GREATER	W1-6(R)	W1-6(L)	W3-1		
W4-2(R)	W4-2(L)	W6-3	W8-1	W8-3	W8-3A	W8-7	W13-1	W12-1	W8-9a	W14-2	W3-1A	
W20-1	W20-2	W20-3	W20-4	W20-5(R)	W20-5(L)	W20-5(2R)	W20-5(2L)	W20-5(C)	W20-7	W20-7a	W1-4bR	W1-4bL
R1-1	R1-2	R2-1	R2-5a	R2-5b	R3-1	R3-2	R3-3	R3-7(R)	R3-7(L)	R4-7b	R4-7b(L)	
R5-1	R5-1a	R6-1(L)	R6-1(R)	R7-1	R11-2	R11-2a	R11-4	M4-8a	M4-9(R)	M4-9(L)		
				ALL CONSTRUCTION WARNING SIGNS SHALL HAVE A BLACK LEGEND ON A ORANGE BACKGROUND.								
SPECIAL SIGN 10	SPECIAL SIGN 20	SPECIAL SIGN 30	SPECIAL SIGN 50					M4-10(R)	M4-10(L)	G20-2		

ALL CONSTRUCTION WARNING SIGNS SHALL HAVE A BLACK LEGEND ON A ORANGE BACKGROUND.

	WORK AREA
●	BARRICADE - TYPE I, TYPE II, OR BARREL
⊥	BARRICADE - TYPE III
X	VERTICAL PANEL
⚠	WARNING SIGN
D	DISTANCE BETWEEN SIGNS - A DISTANCE MEASURED IN FEET EQUAL TO A VALUE OF TEN TIMES THE SPEED LIMIT OF THE STREET
	FLAGMAN POSITION
S	SPACING BETWEEN BARRICADES - A DISTANCE MEASURED IN FEET EQUAL TO THE STREET LIMIT OF THE STREET
L	TAPER LENGTH - SEE CHART BELOW

THE TANGENT LENGTH IS EQUAL TO THE TAPER LENGTH FOR A GIVEN STREET.

SPEED LIMIT (MPH)	TAPER LENGTH(L) (FEET)			MINIMUM NUMBER OF DEVICES FOR TAPER	MAXIMUM DEVICE SPACING IN FEET	
	10' LANE	11' LANE	12' LANE		ALONG TAPER	AFTER TAPER
20	70	75	80	5	20	20
25	105	115	125	6	25	25
30	150	165	180	7	30	30
35	205	225	245	8	35	35
40	270	295	320	9	40	40
45	450	495	540	13	45	45
50	500	550	600	13	50	50
55	550	605	660	13	55	55

SPEED MILES PER HOUR	MINIMUM BETWEEN SIGNS	DISTANCE IN FEET FROM LAST SIGN TO TAPER
0-20	10 X SPEED LIMIT	10 X SPEED LIMIT
25-30	10 X SPEED LIMIT	10 X SPEED LIMIT
30-35	10 X SPEED LIMIT	10 X SPEED LIMIT
40-45	10 X SPEED LIMIT	10 X SPEED LIMIT
50-60	10 X SPEED LIMIT	10 X SPEED LIMIT

TAPER CRITERIA

TYPE OF TAPER	TAPER LENGTH
UPSTREAM TAPER:	
MERGING TAPER	L MINIMUM
SHIFTING TAPER	1/2 L MINIMUM
SHOULDER TAPER	1/2 L MINIMUM
TWO-WAY TRAFFIC TAPER	100 FEET MAXIMUM
DOWNSTREAM TAPERS	100 FEET PER LANE

TAPER LENGTH COMPUTATION

SPEED LIMIT	
40 MPH OR LESS	$L = \frac{WS^2}{60}$
40 MPH OR GREATER	$L = W \times S$

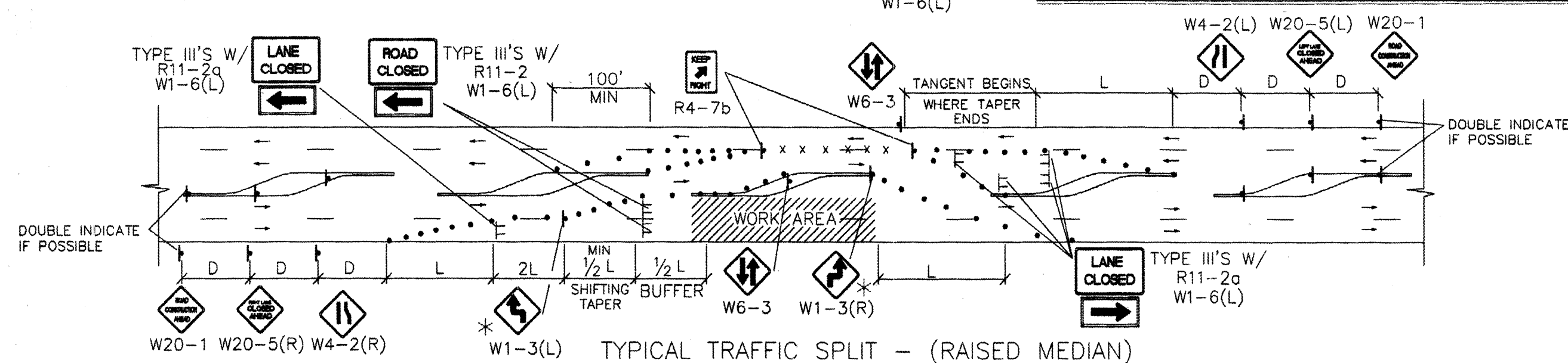
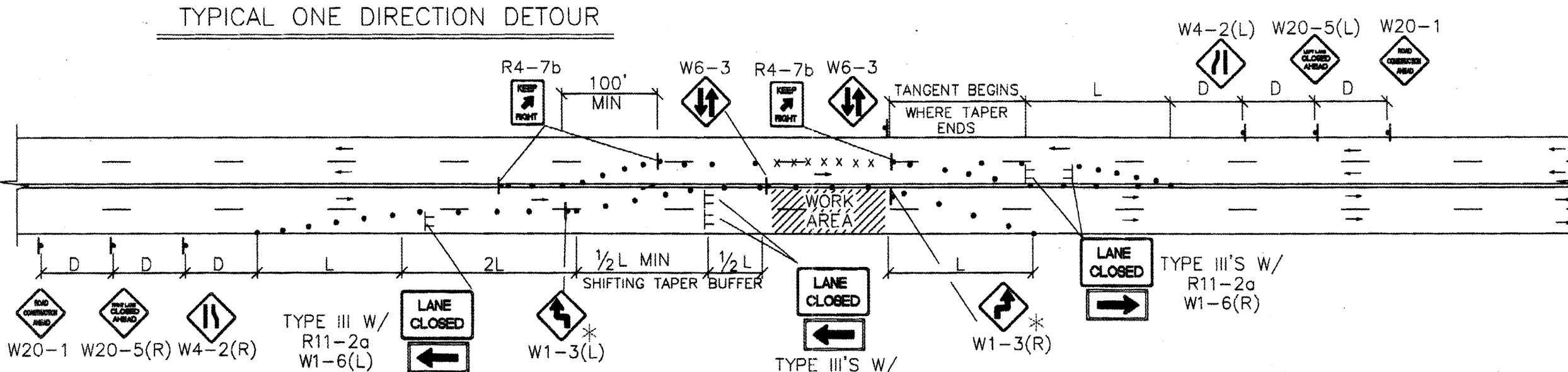
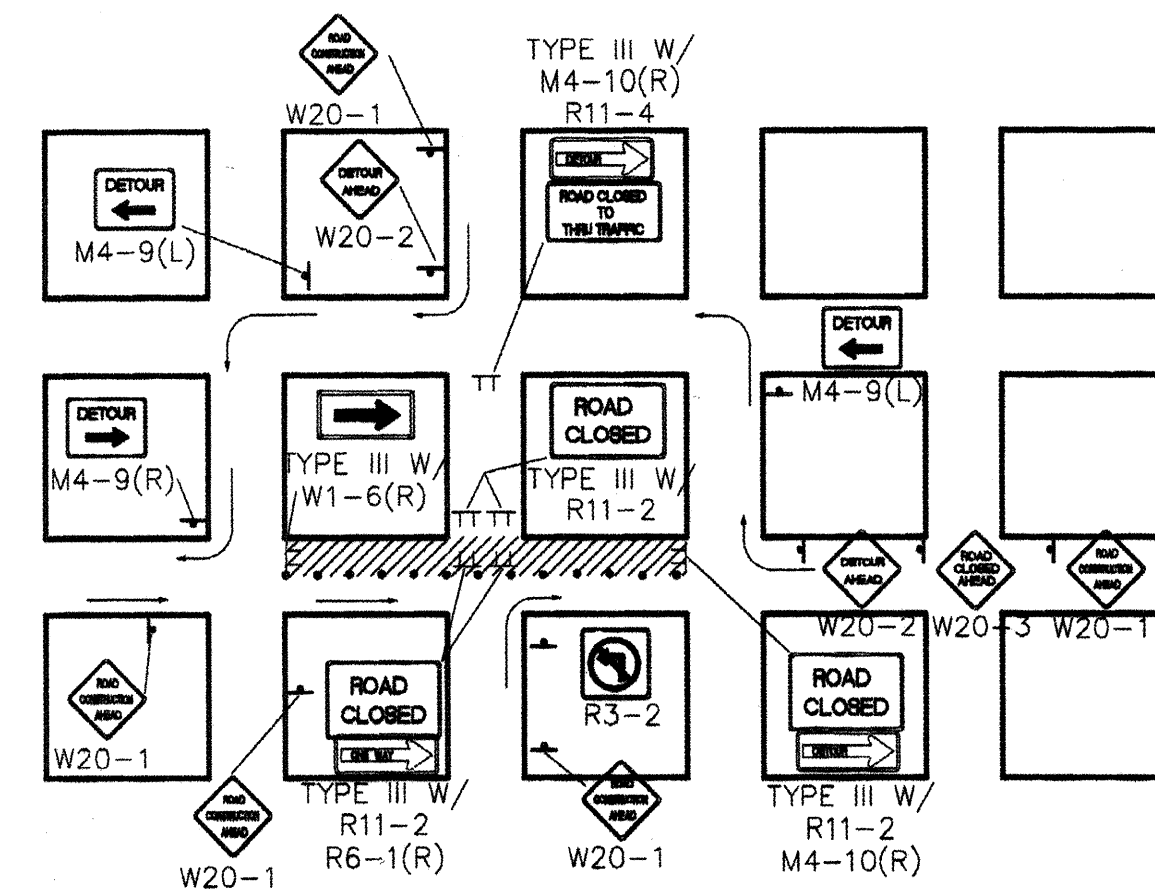
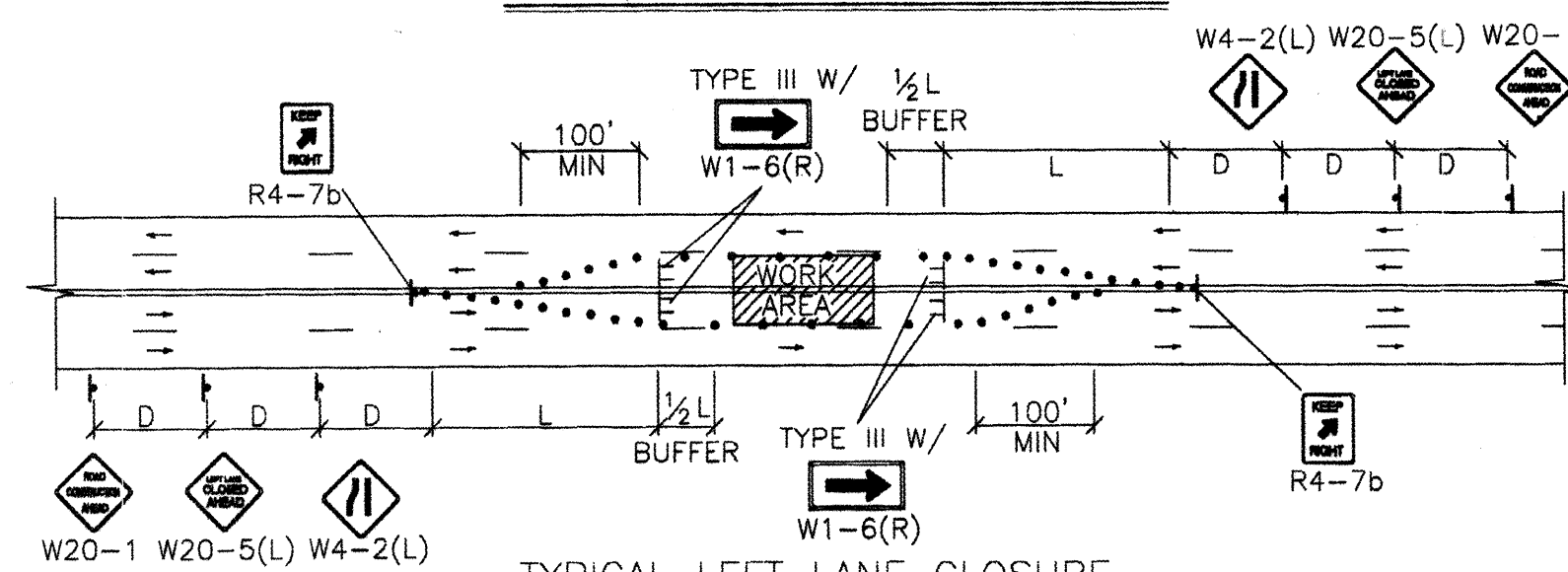
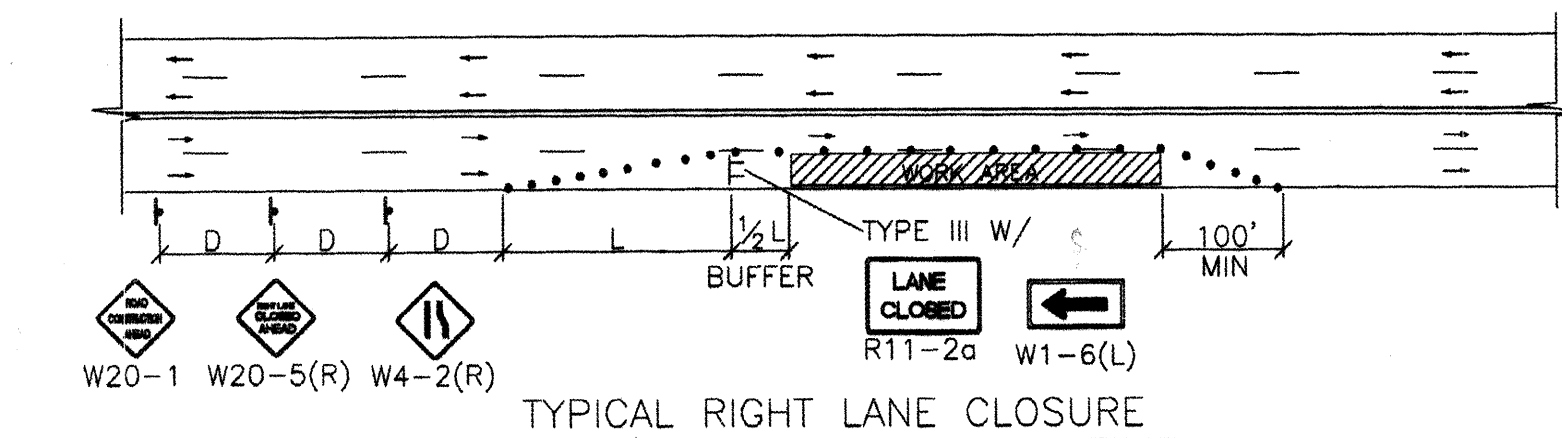
L = TAPER LENGTH
W = WIDTH OF OFFSET IN FEET
S = POSTED SPEED OR OFF-PEAK
85-PERCENTILE SPEED IN MPH



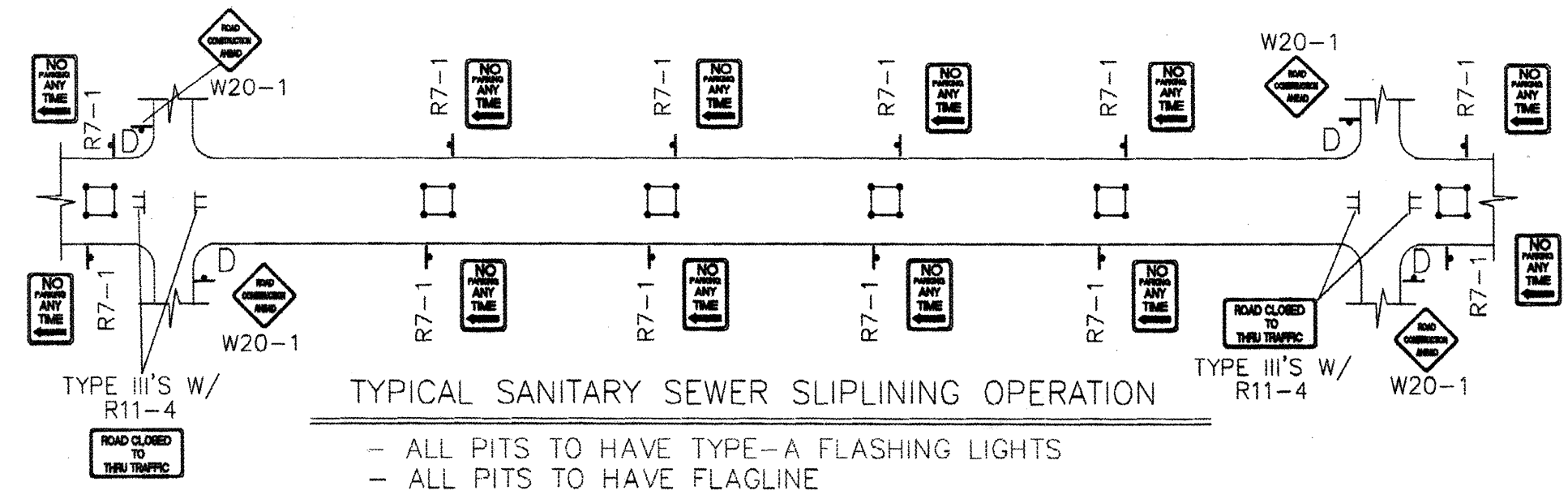
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: TRAFFIC CONTROL
SIGNING AND CONSTRUCTION TRAFFIC CONTROL STANDARDS

DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL		LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
						
CITY PROJECT NO. 710481		ZONE MAP NO. C-20	SHEET 11		OF 12	



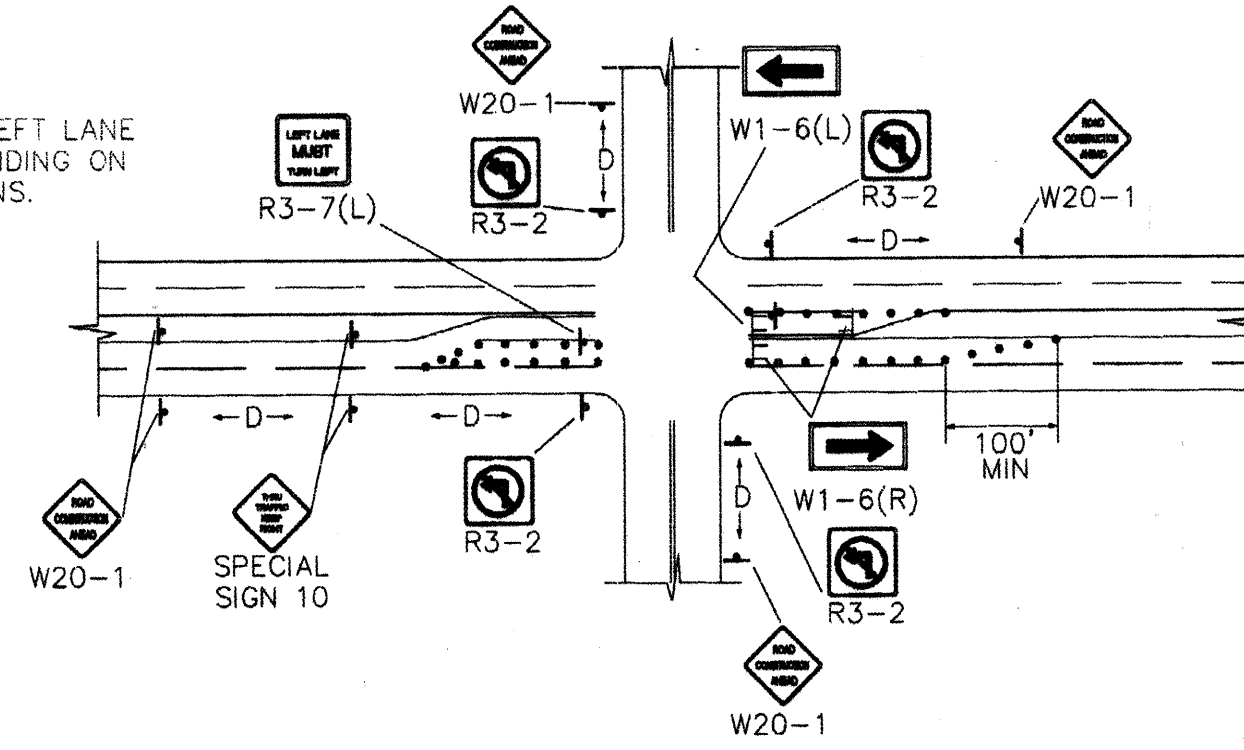
- TRAFFIC SPLIT NOTES:
1. THE OFFSET DISTANCE MUST BE CALCULATED IN ALL SHIFTING TAPERS. THE OFFSET DISTANCES SHALL INCLUDE LANE WIDTHS PLUS MEDIAN WIDTHS.
 2. 1/2 L IS THE MINIMUM DISTANCE FOR SHIFTING TAPERS.
 3. REVERSE CURVES MAY BE IMPLEMENTED. ALL CURVE DATA SHALL BE CALCULATED.
 4. MEDIAN REMOVAL SHALL BE REQUIRED IF 1/2 L OR REVERSE CURVE IS NOT SUFFICIENT. MEDIAN REMOVAL SHALL TAKE PLACE BEFORE SPLITS.
 5. REDUCED SPEED MAY BE CONSIDERED.
 6. * USE W1-3 FOR 30 MPH OR LESS, W1-4 FOR SPEED 35 MPH OR GREATER.



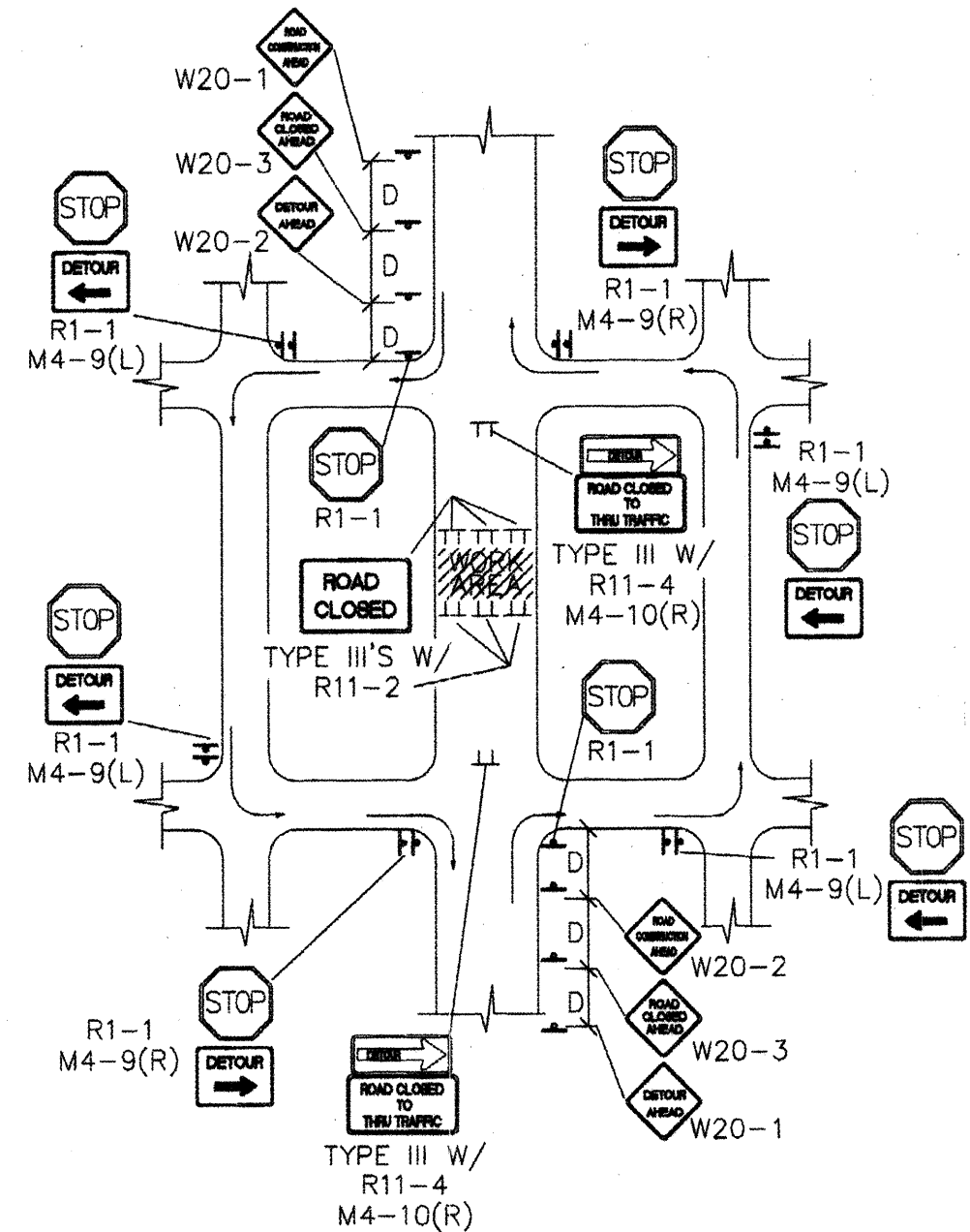
GENERAL NOTE:
ALL CONSTRUCTION WARNING SIGNS SHALL HAVE A BLACK LEGEND ON AN ORANGE BACKGROUND.

ALL ADVANCE WARNING SIGNS SHALL BE A MINIMUM OF 36" THIRTY SIX INCHES BY 36" THIRTY SIX INCHES IN SIZE AND SHALL HAVE ONE WARNING LIGHT.

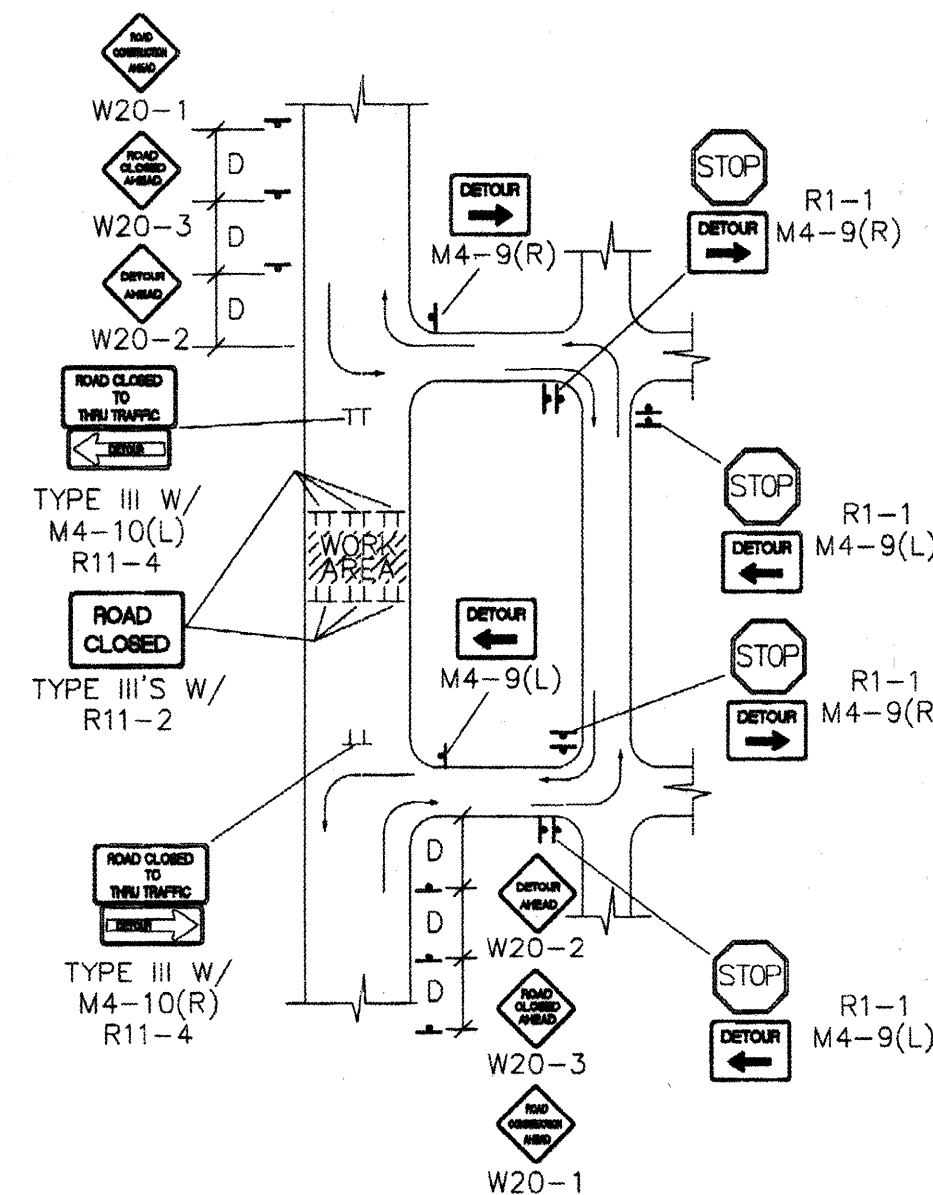
NOTE:
MAY REQUIRE LEFT LANE CLOSURE DEPENDING ON FIELD CONDITIONS.



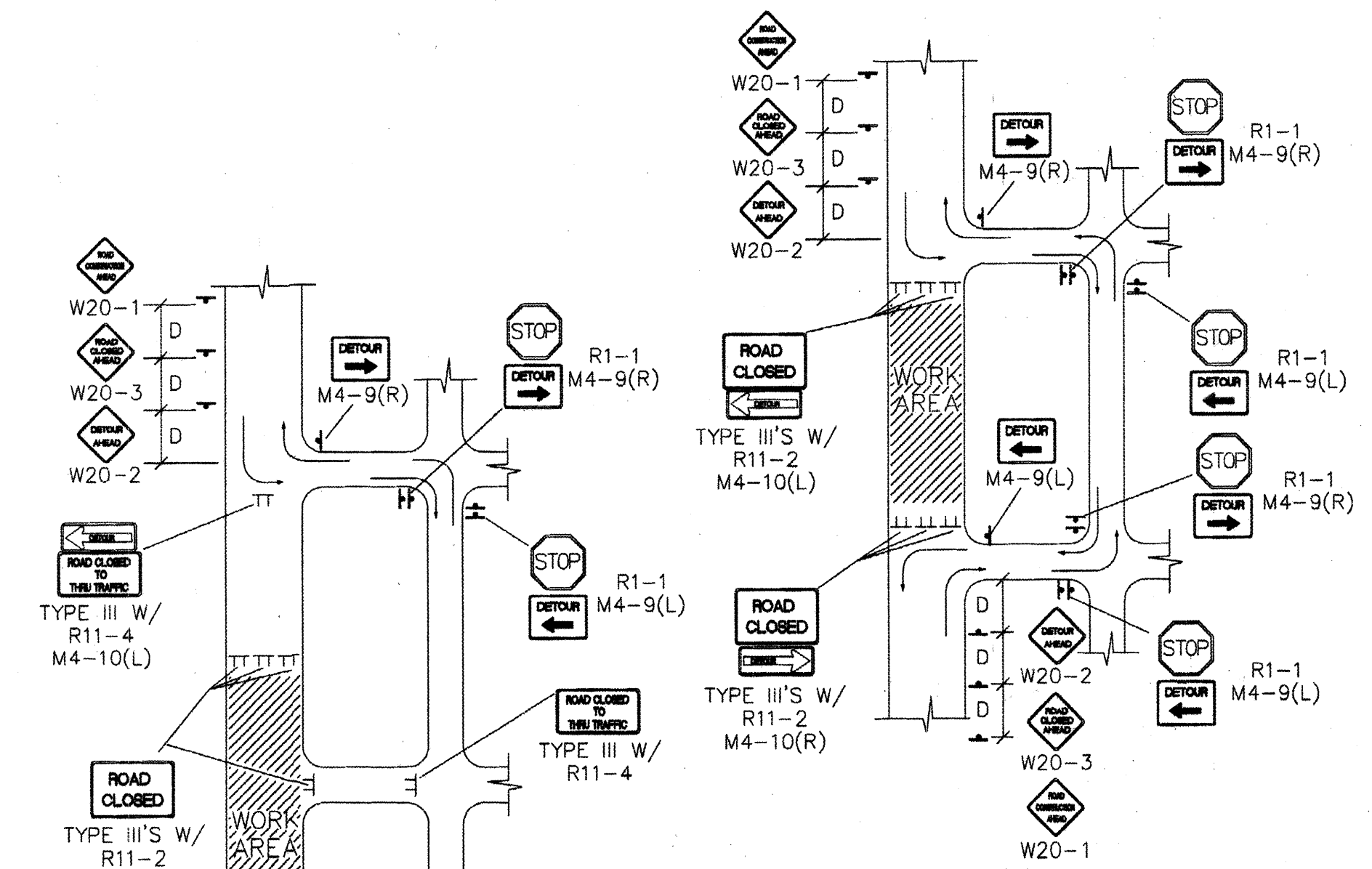
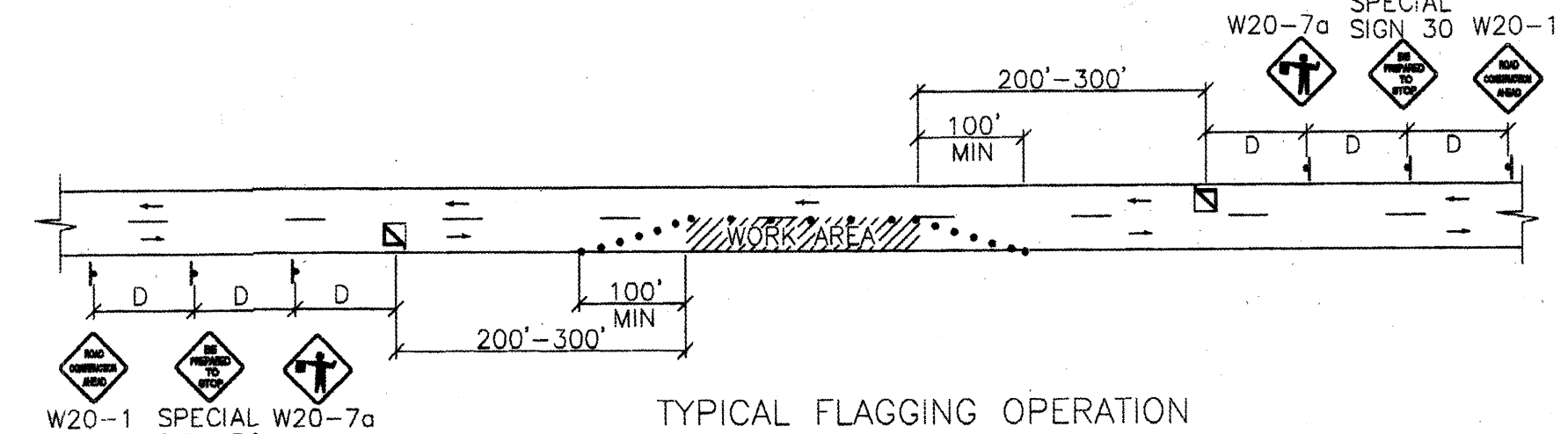
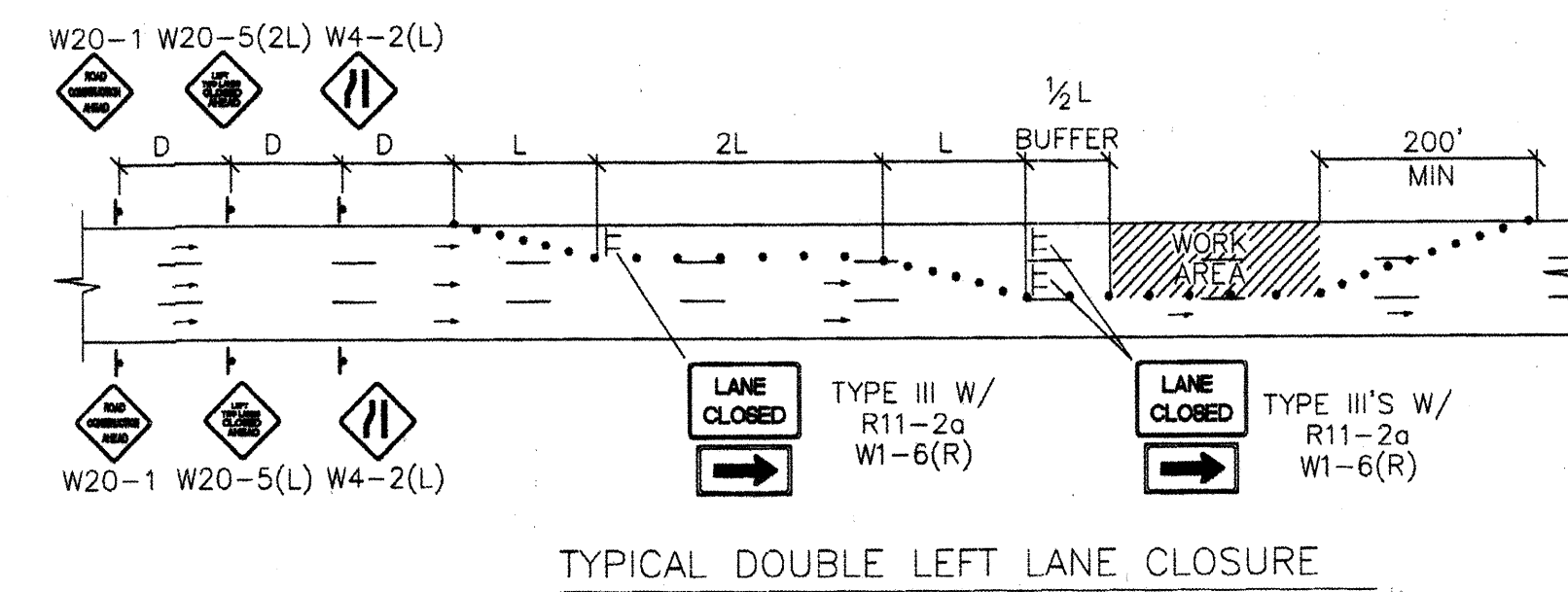
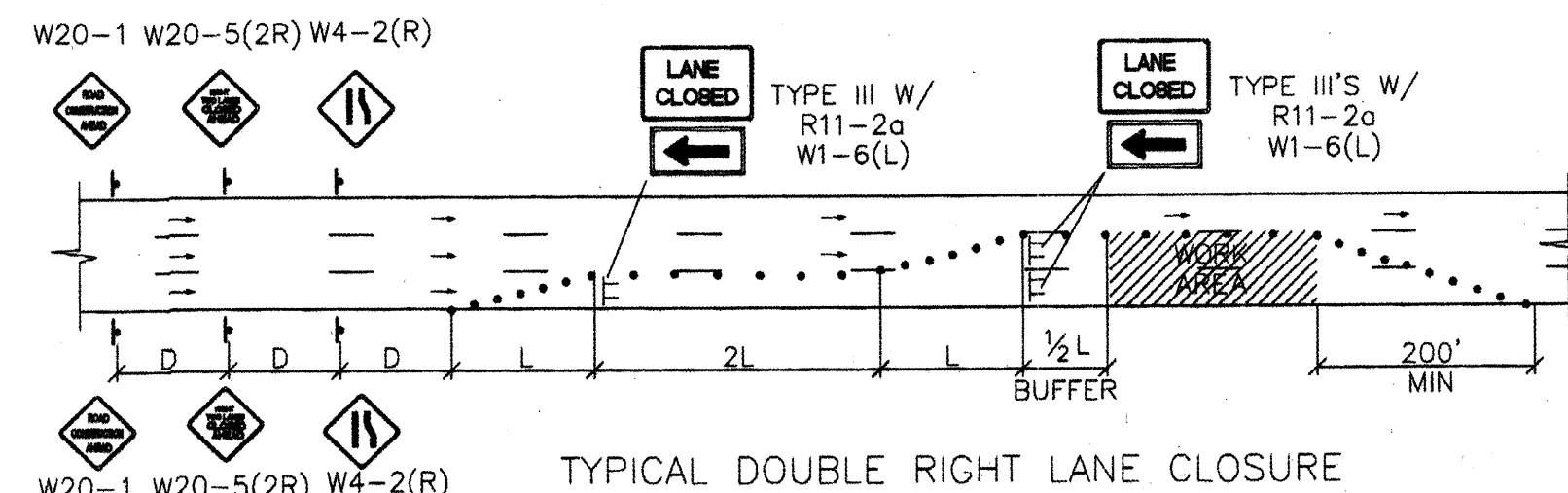
NOTE: DEPENDING ON WORK ZONE LOCATION.



NOTE: (R1-1) BASED ON FIELD CONDITIONS.



NOTE: (R1-1) BASED ON FIELD CONDITIONS.



NOTE: (R1-1) BASED ON FIELD CONDITIONS.

26 7104.B1 1205

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: TYPICAL TRAFFIC CONTROL & SIGNING EXAMPLES (REF MUTCD)

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL

MO./DAY/YR. MO./DAY/YR.

CITY PROJECT NO. 710481 ZONE MAP NO. C-20 SHEET 12 OF 12

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
DATE	CONTRACTOR	DATE	STANDARD ACS BRASS TABLET STAMPED 1-820.	DATE	FIELD NOTES	DATE	CITY OF ALBUQUERQUE STANDARDS
			SET IN TOP OF CONCRETE DIST. PROJECTION				
			0.3' ABOVE GROUND, LOCATED IN THE NORTHEAST				
			QUADRANT OF BARSTOW STREET N.E. AND				
			MODESTO AVENUE N.E.				
MICRO-FILM INFORMATION		REVISIONS		REMARKS		DESIGNED BY BOHANNAN HUSTON	
DATE	RECORDED BY	NO.	DATE	NO.	DATE	DATE	DATE
						5-97	5-97
						BOHANNAN HUSTON	BOHANNAN HUSTON
						CHECKED BY BOHANNAN HUSTON	CHECKED BY BOHANNAN HUSTON