

Drainage ROW Adjacent to 9000 Schooner

Location is a Drainage Right-Of-Way (ROW), between 9000 and 9004 Schooner, NW, Figure 1 and 2. The purpose of the work to try and control the weeds and four wheeler traffic.

Scope

- Clear and grub existing weeds and debris. (Be sure to protect plants on north side, as requested by neighbor at 9000 Schooner.)
- Add weed barrier (filter fabric). Area estimated at 1800 ft².
- On metal edging, assume 5" strap 1/8" thick with vertical supports that should extend a minimum of 12" into the subsurface on 4 foot centers.
- Add gravel mulch (roughly 3/4" to 1 1/2" in size, crushed aggregate). Color isn't too important, so long as it does not stand out too bad.
- Estimated gravel volume based on a 4" thickness is approximately 25 yd³, or area is estimated at 1800 ft².
- Five ft wide asphalt path, estimate at 900 ft². 95% compaction subgrade prep for asphalt path.
- Build 12 ft gate as per COA Standard Drawing 2253, includes painting as per standard spec. Final coat will be a semi-gloss white.
- Build 5 ft fence as per COA Standard Drawing 2253, includes painting as per standard spec. Final coat will be a semi-gloss white.





Figure 1. Site Location Map
(Drainage Right-of-Way Adjacent to 9000 Schooner)

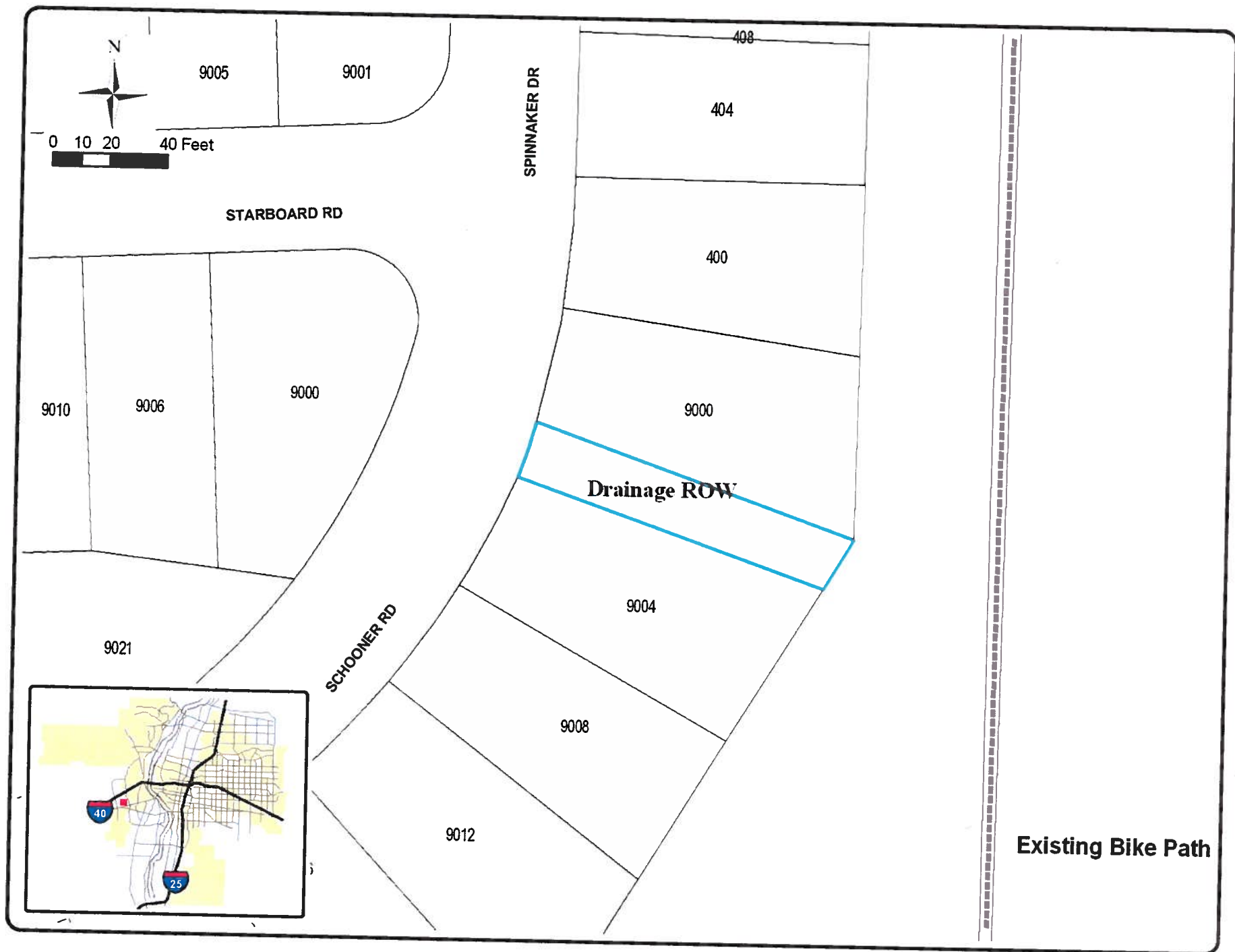
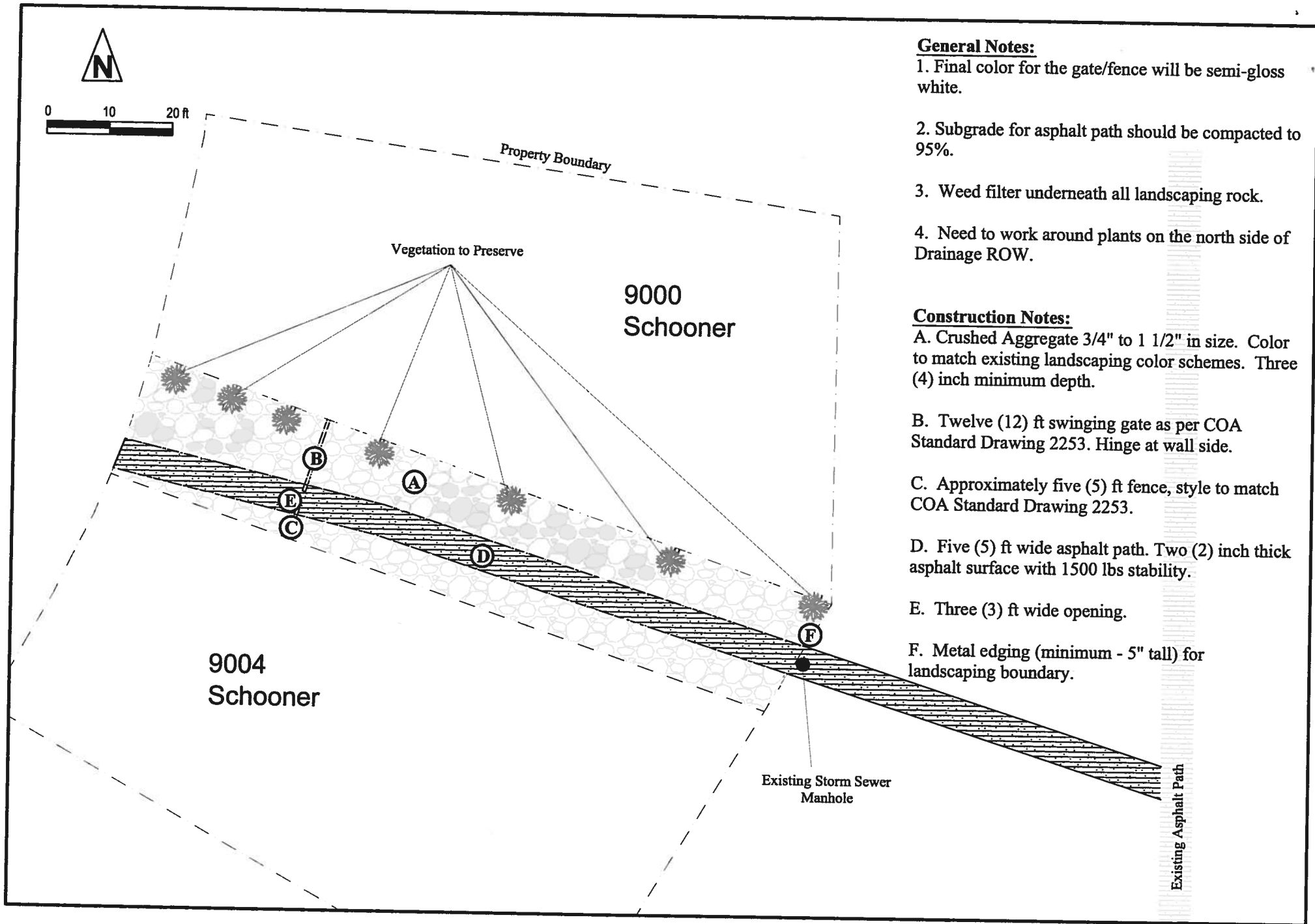


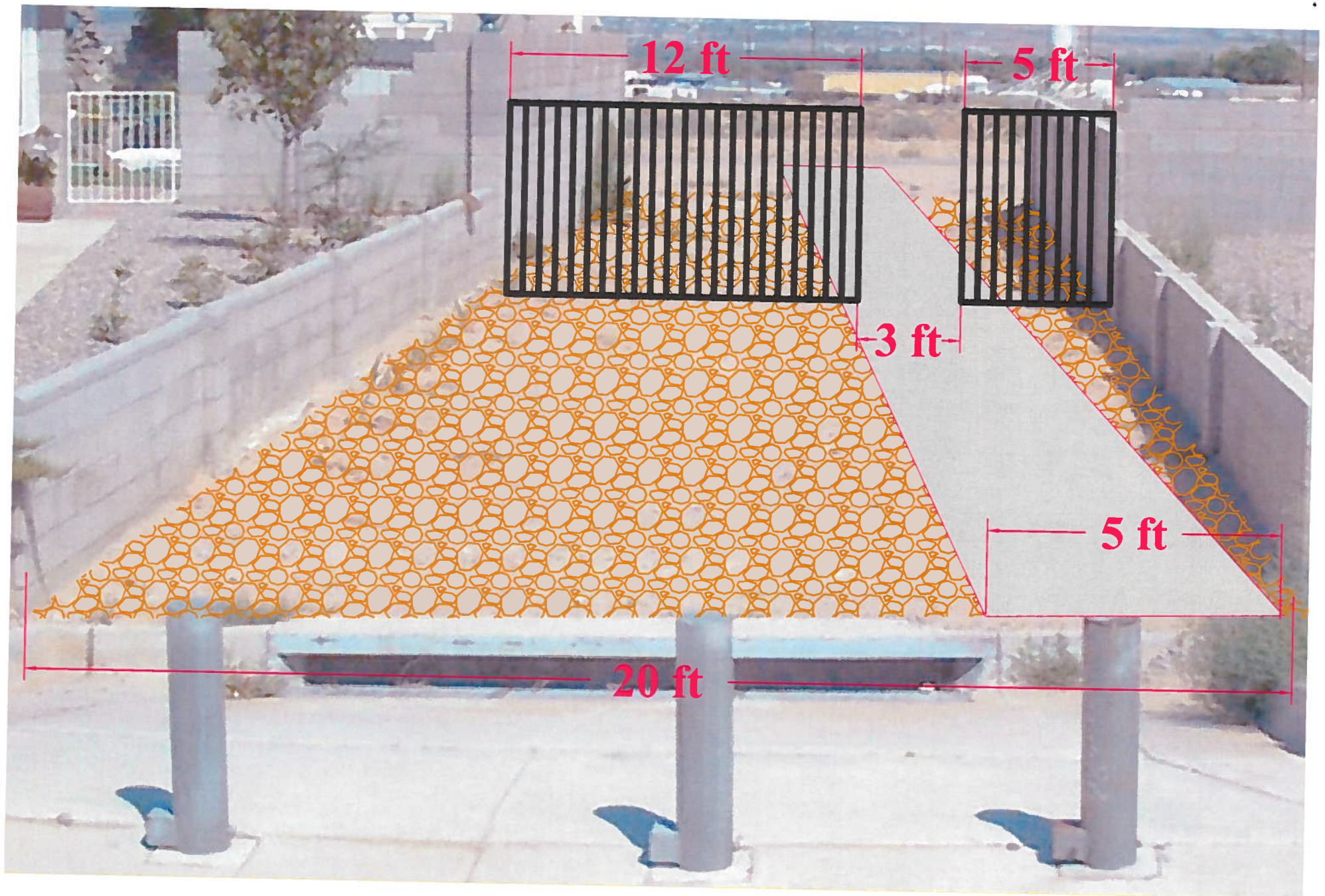
Figure 2. Drainage Right-of-Way Site Map



Figure 3. Existing Conditions at Drainage Right-of-Way



Detail 1 - Proposed Landscaping and Gate Placement Layout



Detail 2 - Proposed Landscaping and Gate Placement

Drainage Right-Of-Way Gravel Mulching Scope of Work for DMD/Hydrology

There are three drainage Right-Of-Way (ROW) locations that need gravel mulch. This is to try and control the weeds. See Figure 1 (Vicinity Map) below. For ROW #1 and ROW #2 see site location map, Figure 2. For ROW #3 site locate see Figure 3.

Scope

- Clear and grub existing weeds and debris.
- Dispose of material for each location.
- Probably need borrow fill for Drainage ROW #3. May be able to use excess dirt from ROW #1 and ROW #2 for borrow fill.
- At ROW #3 leave existing Chamisa's (requested by neighbor).
- Add weed barrier (filter fabric) at each ROW location.
- Add edging at property boundaries between ROW and private property where boundary does not already have an existing edge. Prefer metal edging over plastic.
- On metal edging, assume 5" strap 1/8" thick with vertical supports that should extend a minimum of 12" into the subsurface on five foot centers.
- Add gravel mulch (roughly 3/4" to 1 1/2" in size, crushed aggregate, angular). Color isn't too important, so long as it does not stand out too bad.
- Estimated gravel volume based on a 3" thickness is approximately 100 yd³.
- Approximate square footage for each location is as follows:
 - ROW #1 – 3,400 ft²
 - ROW #2 – 2,200 ft²
 - ROW #3 – 4,800 ft²
- ROW #3 needs some larger aggregate for a storm water runoff area. This is due to private property backyard draining onto ROW. See Last Picture below for ROW #3. Estimated quantity of 4" to 8" aggregate at 5 yd³.

Figure 1

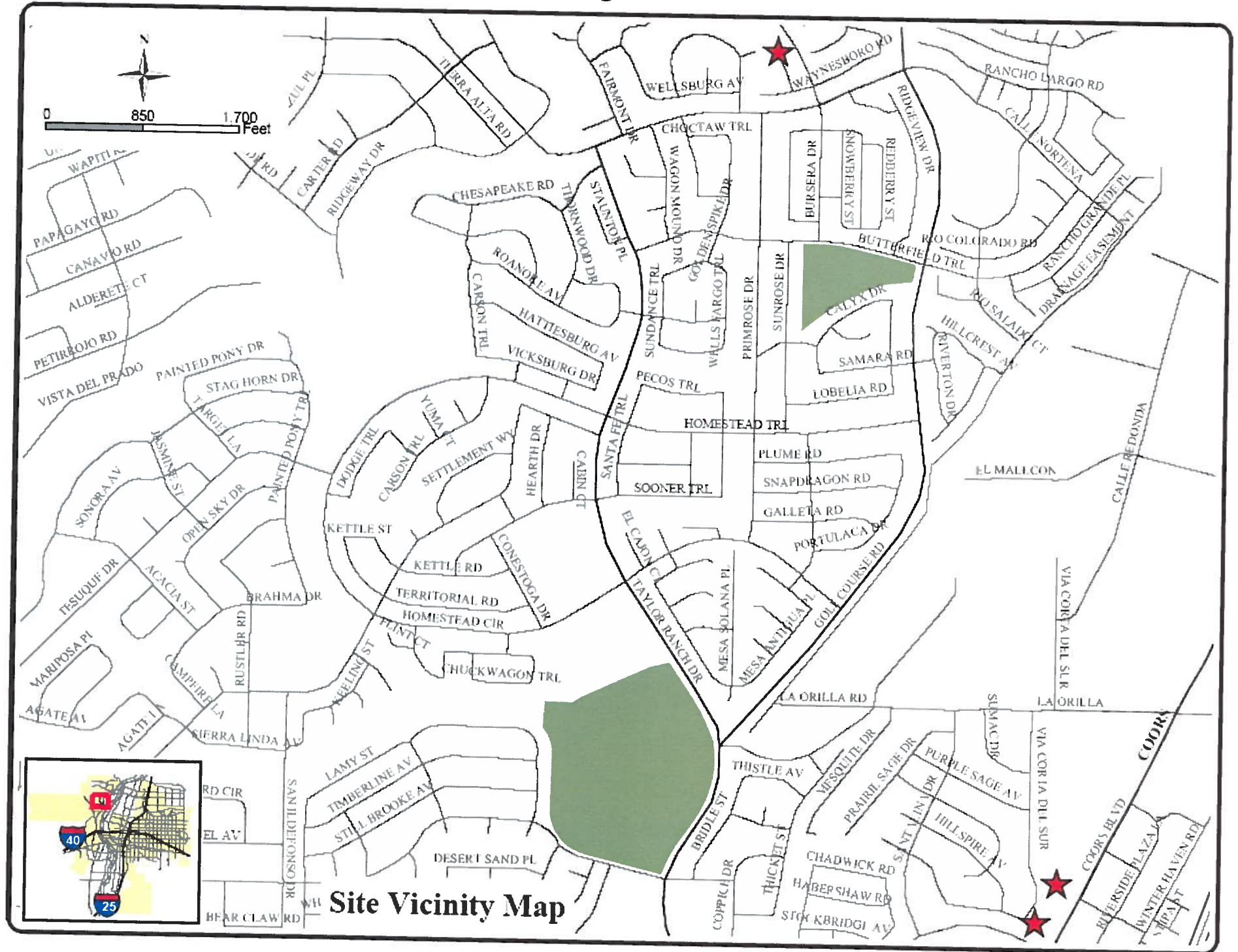


Figure 2



Figure 3

C-12



ROW # 1



ROW #2



PROJECT 8009 Harrisonburg Ct. NW

7150.07

