Drainage ROW Adjacent to 9000 Schooner

Location is a Drainage Right-Of-Way (ROW), between 9000 and 9004 Schooner, NW, Figure 1 and 2. The purpose of the work to try and control the weeds and four wheeler traffic.

Scope

- Clear and grub existing weeds and debris. (Be sure to protect plants on north side, as requested by neighbor at 9000 Schooner.)
- Add weed barrier (filter fabric). Area estimated at 1800 ft².
- On metal edging, assume 5" strap 1/8" thick with vertical supports that should extend a minimum of 12" into the subsurface on 4 foot centers.
- Add gravel mulch (roughly 3/4" to 1 1/2" in size, crushed aggregate). Color isn't too important, so long as it does not stand out too bad.
- Estimated gravel volume based on a 4" thickness is approximately 25 yd³, or area is estimated at 1800 ft².
- Five ft wide asphalt path, estimate at 900 ft². 95% compaction subgrade prep for asphalt path.
- Build 12 ft gate as per COA Standard Drawing 2253, includes painting as per standard spec. Final coat will be a semi-gloss white.
- Build 5 ft fence as per COA Standard Drawing 2253, includes painting as per standard spec. Final coat will be a semi-gloss white.





Figure 1. Site Location Map (Drainage Right-of-Way Adjacent to 9000 Schooner)

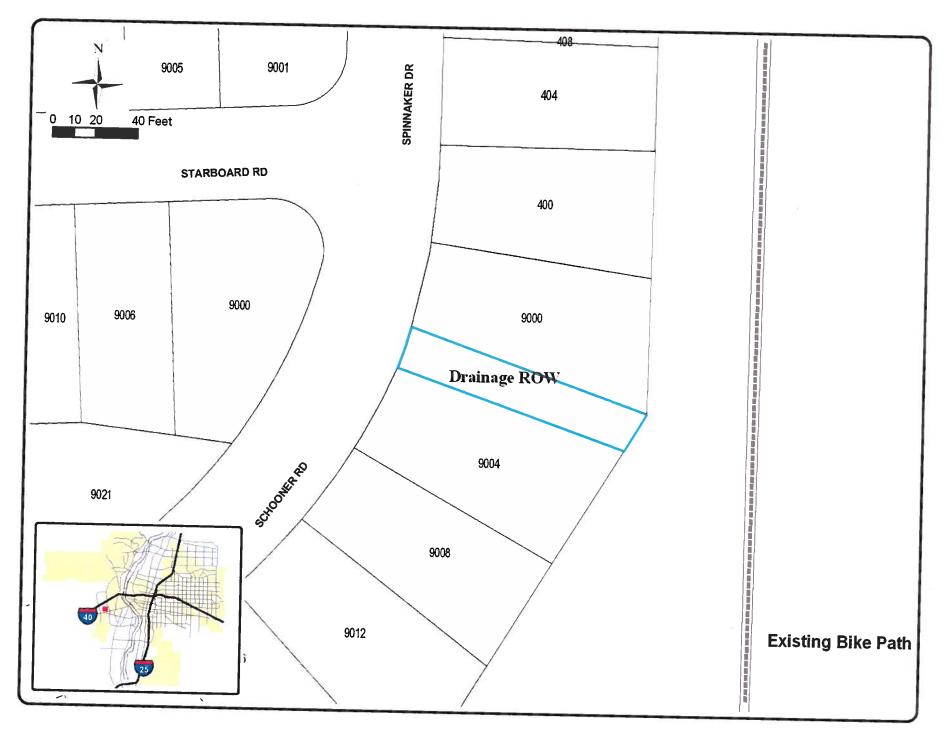
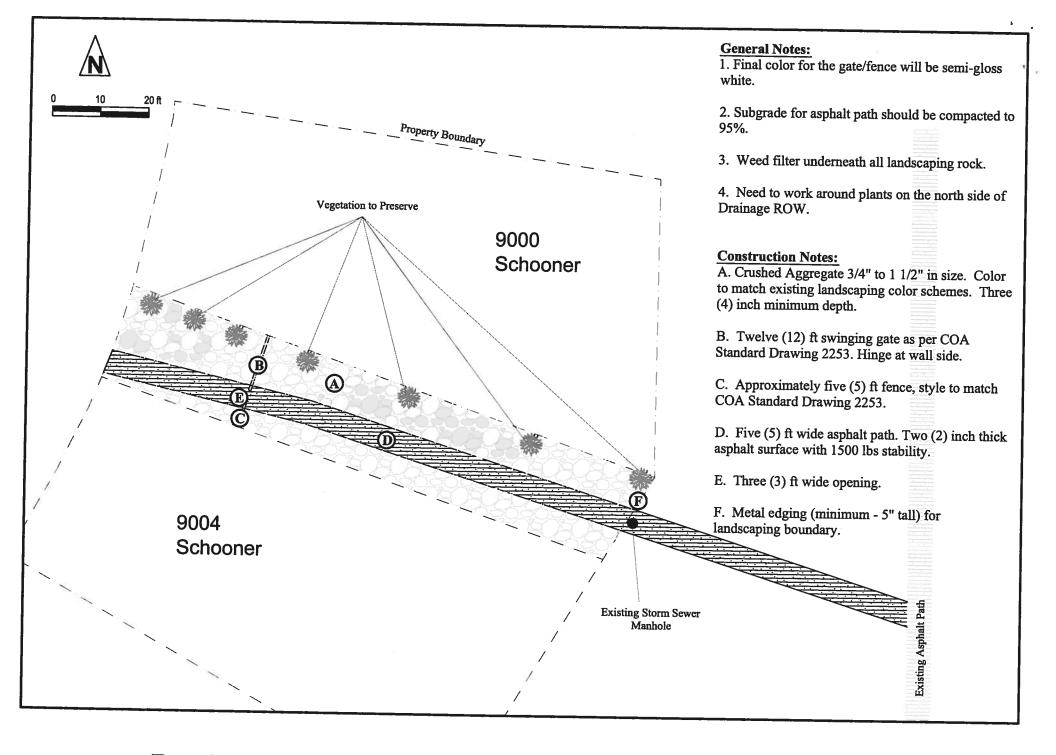


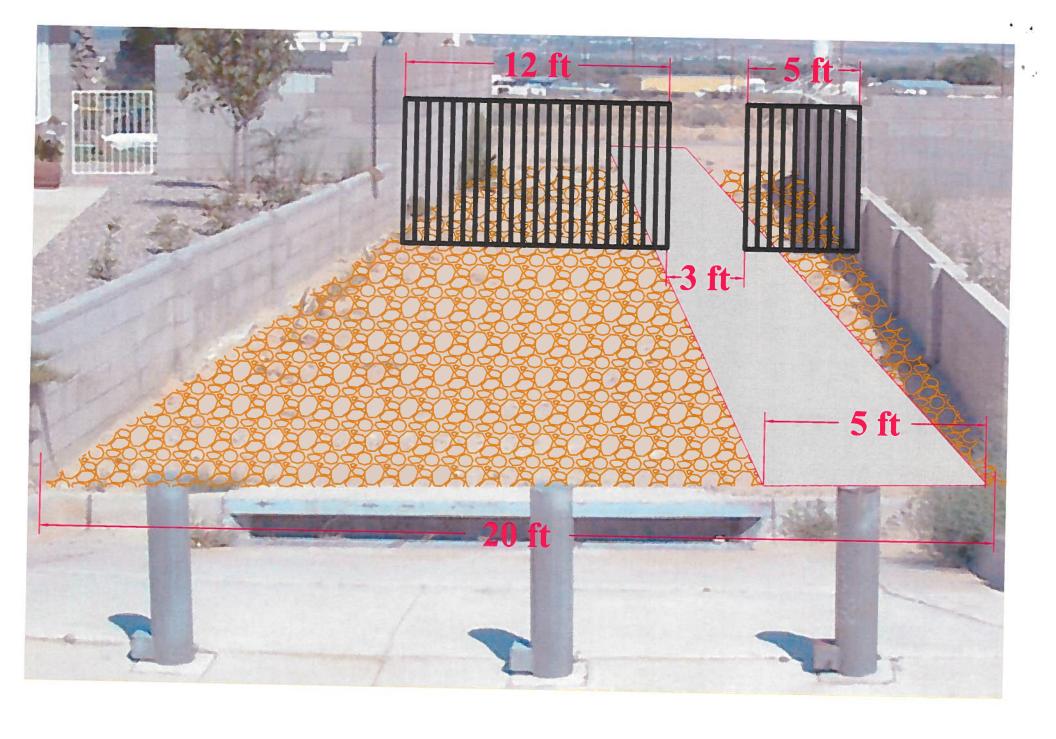
Figure 2. Drainage Right-of-Way Site Map



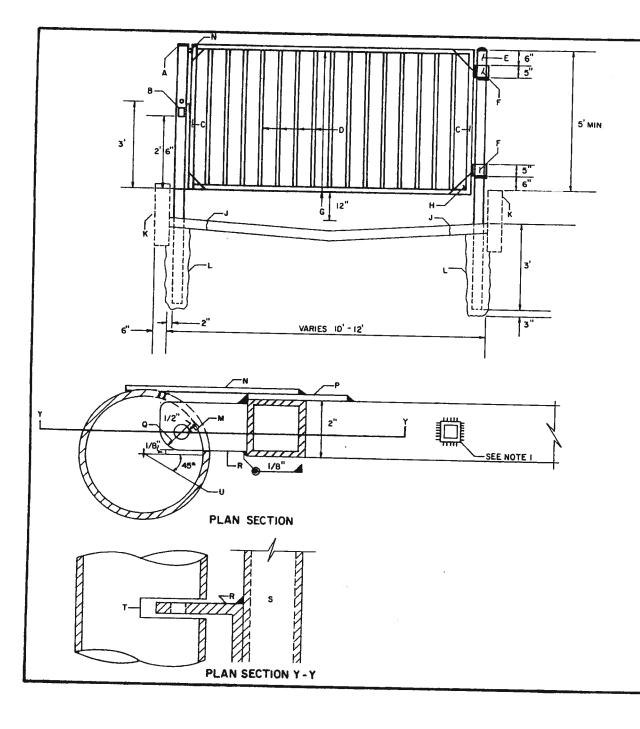
Figure 3. Existing Conditions at Drainage Right-of-Way



Detail 1 - Proposed Landscaping and Gate Placement Layout



Detail 2 - Proposed Landscaping and Gate Placement



GENERAL NOTES:

- WELDS TO BE CONTINUOUS ALL AROUND, 3/32" FILLET, TYPICAL FOR GATE TUBES AND GUSSETS.
- 2 REMOVE SLAG AND BURRS AFTER FABRICATION
- 3. CITY TO FURNISH LOCK.
- 4 FINISH AS SPECIFIED BY THE PLANS IF NO FINISH SPEC'D. THEN PAINT WITH ONE SHOP COAT OF ZINC RICH PRIMER AND TWO COATS OF ALUMINUM PAINT. (AASHTO M-69)

CONSTRUCTION NOTES:

- A 4"STEEL POST W/WELDED CAP ON TOP, FILL W/CONC. TO BOTTOM OF LOCK POCKET.
- B LOCK POCKET & GATE LATCH PER. DETAIL THIS DWG.
- C. 2"x2" DSTEEL TUBING x 1/8" WALL THICKNESS, VERTICAL FRAME, W/1/8" PLATE. CAP WELDED TO TOP.
- 0 3/4" x 3/4" th STEEL TUBING x 1/16" WALL THICKNESS a 6" O.C. MAX.
- E 4" SCHEDULE 40 STEEL POST CONC. FILLED.
- F. SLEEVE HINGES PER. STD. DETAIL DWG. 2251
- H. 6" x 6" x I/B" GUSSETT PLATE. L. 4 PLACES.
- J. SAWCUT I" MIN.
- K. CONCRETE CHANNEL PER STD. DETAIL DWG.
- L 16" DIA. CONCRETE FINISH TOP TO MATCH CHANNEL SURFACE.
- M. DRILL HOLE IN FIELD TO PROVIDE 1/8" MAX. "SLOP
- N. 1/8" STEEL STOP PLATE
- P. I/8" STEEL GUSSET PLATE.
- Q. 3/4" RADIUS
- R. 3" x 3" x 3/8" ANGLE) 5/8" LONG.
- S. 2" I TUBING.
- T. 5/8" SLOT, ± 75° OF POST CIRCUMFERANCE.

CITY OF ALBUQUERQUE

REVISIONS

DRAINAGE SQUARE TUBE GATE DETAIL

DWG. 2253

AUG.1986

Drainage Right-Of-Way Gravel Mulching Scope of Work for DMD/Hydrology

There are three drainage Right-Of-Way (ROW) locations that need gravel mulch. This is to try and control the weeds. See Figure 1 (Vicinity Map) below. For ROW #1 and ROW #2 see site location map, Figure 2. For ROW #3 site locate see Figure 3.

Scope

- Clear and grub existing weeds and debris.
- Dispose of material for each location.
- Probably need borrow fill for Drainage ROW #3. May be able to use excess dirt from ROW #1 and ROW #2 for borrow fill.
- At ROW #3 leave existing Chamisa's (requested by neighbor).
- Add weed barrier (filter fabric) at each ROW location.
- Add edging at property boundaries between ROW and private property where boundary does not already have an existing edge. Prefer metal edging over plastic.
- On metal edging, assumee 5" strap 1/8" thick with vertical supports that should extend a minimum of 12" into the subsurface on five foot centers.
- Add gravel mulch (roughly ¾" to 1 ½" in size, crushed aggregate, angular). Color isn't too important, so long as it does not stand out too bad.
- Estimated gravel volume based on a 3" thickness is approximately 100 yd3.
- Approximate square footage for each location is as follows:
 - o ROW $#1 3.400 \text{ ft}^2$
 - o ROW $\#2 2,200 \text{ ft}^2$
 - o ROW $#3 4,800 \text{ ft}^2$
- ROW #3 needs some larger aggregate for a storm water runoff area. This is due to
 private property backyard draining onto ROW. See Last Picture below for ROW #3.
 Estimated quantity of 4" to 8" aggregate at 5 yd³.

Figure 1



Figure 2

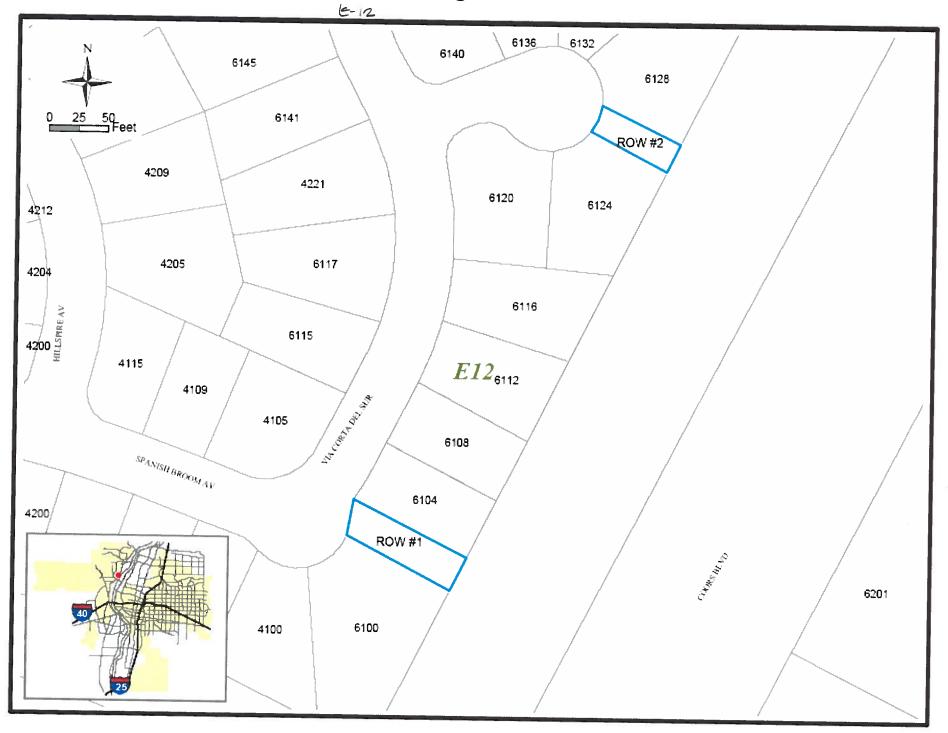


Figure 3





ROW #2





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