

LANDS OF CORRIZ ALBUQUERQUE, NEW MEXICO

26-7176-811-001

SHEET INDEX

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TITLE SHEET
PLAT
UTILITY & SURFACING PLAN AND PROFILE

UTILITY COMPANY CONTACTS

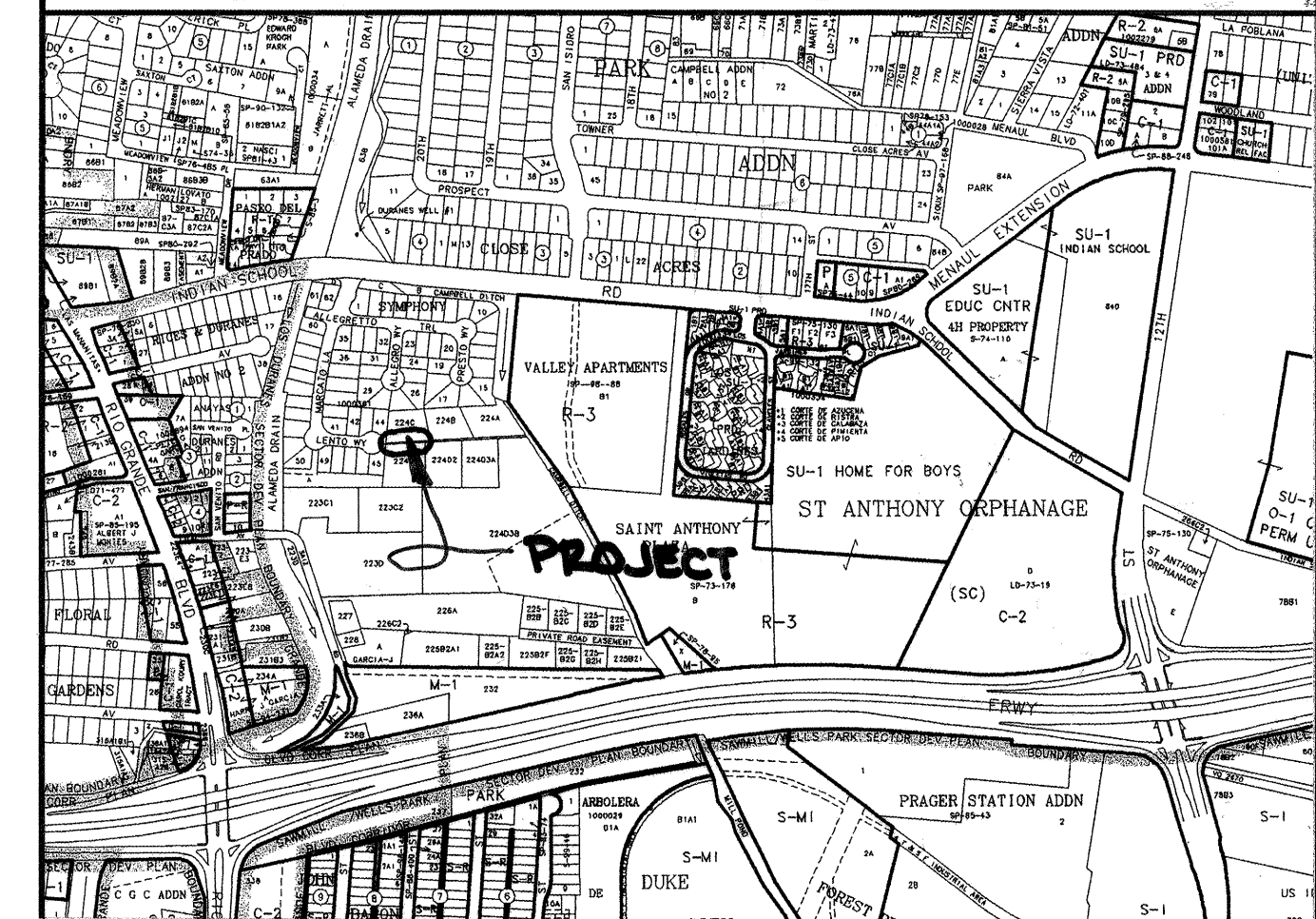
BUSINESS	PHONE/E-MAIL	PERSON
AT&T 111 3rd Street NW Alb., NM 87103	Office phone: (505)842-2911 Office fax: (505)842-2890 dcrowel@att.com	David Crowell Resource Supervisor
Comcast 4611 Montbel NE Alb., NM 87107	Office phone: (505)761-6235 Office fax: (505)761-0599 rita_erickson@cable.comcast.com	Rita Erickson Planning and Design Supervisor
E.Spire 505 Marquette NW, Suite 1605 Alb., NM 87102	Office phone: (505)998-2274 Office fax: (505)998-9161 john.mares@espire.net	John Mares
Genuity 5221 N. O'Connor MC:HQ11A22 Irving, TX 75039	Office phone: (972)791-3277 Office fax: (972)791-3178 Cell phone: (214)912-3412 dennis.paulsen@genuity.com	Dennis Paulsen OSP Engineering
MCI Worldcom 3700 Singer NE, Suite A Alb., NM 87109	Office phone: (505)346-4476 Office fax: (505)346-4481 andy.darnell@wcom.com	Andy Darnell Operations Manager
McLeadUSA 505 Marquette NW, Suite 1600 Alb., NM 87102	Office phone: (505)244-3161 Office fax: (505)244-0094 Cell Phone: (505)228-3329	Rick Mueller Supervisor of Outside Techs.
New Mexico Utilities 4700 Irving NW, Suite 201 Alb., NM 87114	Office phone: (505)898-2661 Office fax: (505)898-6379 bobgay@flash.net	Bob Gay Operations Superintendent
PNM-Electric 4201 Edith NE Alb., NM 87107	Office phone: (505)241-3490 Office fax: (505)241-3620 Cell phone: (505)934-8818 warthur@pnm.com	Warren Arthur Engineering Representative III
PNM-Gas 4625 Edith NE Alb., NM 87107	Office phone: (505)241-7752 Office fax: (505)241-7753 Pager: (505)790-5575 kbouska@pnm.com	Kelly Bouska District Engineer
Qwest 210 3rd Street NW, Suite 700 Alb., NM 87102	Office phone: (505)245-8706 Office fax: (505)245-6831 dmuller@uswest.com	David Muller Capacity Provisioning Specialist
Time-Warner Telecom 3830 Singer NE, Suite 1000 Alb., NM 87109	Office phone: (505)938-7339 Office fax: (505)938-7380 Royal.Harrison@twtwcom.com	Royal Harrison Plant Manager

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY CONSTRUCTION ENGINEER
Bordenave, Jean J. White P.E.
DATE: 8/21/2006

I, Jean J. Bordenave, of the firm of Bordenave designs, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to The best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direct supervision and survey information provided by _____, NMPS number 05110.



VICINITY MAP NO. H-13



GENERAL NOTES

- All work detailed on these plans to be performed under this contract shall, except as otherwise stated or provided for herein, be constructed in accordance with the details and specifications of "City of Albuquerque Standard Specifications for Public Works Construction, 1986 Edition" as amended through update No. 7.
- An Excavation/Construction Permit will be required before beginning any work within City Right-of-way.
- Two working days prior to any excavation, the Contractor shall contact the New Mexico One Call System, 260-1990, for location of existing lines.
- Five working days prior to beginning construction the Contractor shall submit to the Construction Coordination Division a detailed construction schedule. Two working days prior to construction the Contractor shall obtain a barricading permit from the Construction Coordination Division. The Contractor shall notify the Barricade Engineer, 924-3993, prior to occupying any intersection. Refer to Section 19 of the Standard Specifications for the Construction Traffic Control requirements.
- All street striping altered or destroyed shall be replaced with plastic reflectorized pavement markings by the Contractor. Striping shall be placed in the pre-construction location or as indicated by this plan set.
- Prior to construction, the Contractor shall excavate and verify the horizontal and vertical location of all obstructions. Should a conflict exist, the Contractor shall notify the Engineer or Surveyor so that the conflict can be resolved with a minimum amount of delay.
- Contractor shall coordinate with Water Systems Division (857-8200) seven (7) working days in advance of any work that may affect existing public water or sewer utilities. Existing valves to be operated by City personnel only. Contractor shall contact the Water Systems Division seven (7) days prior to needing valves turned on or off.
- Water line to C900 PVC and sewer line to be C 900 PVC.
- The Contractor will not be allowed to use Class IV or V soils for embedment of flexible pipe. The Contractor will not be allowed to deflect joints in flexible pipe. Any deflections required to meet horizontal or vertical alignment will be achieved between joints.
- Backfill compaction requirements shall be according to residential street use.
- The Contractor shall assume responsibility for any damage to existing pavement, pavement markings, curb and gutter, driveways, wheel chair ramps and sidewalk during construction, apart from those sections indicated for removal on the plans; and shall repair or replace damaged items per City of Albuquerque standards at the Contractor's own expense.
- Contractor shall record data on all utility lines and accessories as required by the City of Albuquerque for the preparation of "As Constructed" drawings. Contractor shall not cover utility lines and accessories until all data has been recorded.
- The Contractor shall notify the Engineer not less than seven days prior to starting work in order that the City Surveyor may take necessary measures to insure the preservation of survey monuments. Contractor shall not disturb permanent survey monuments without the consent of the City Surveyor and shall notify the City Surveyor and bear the expense of replacing any that may be disturbed.

DRB PROJECT NO.

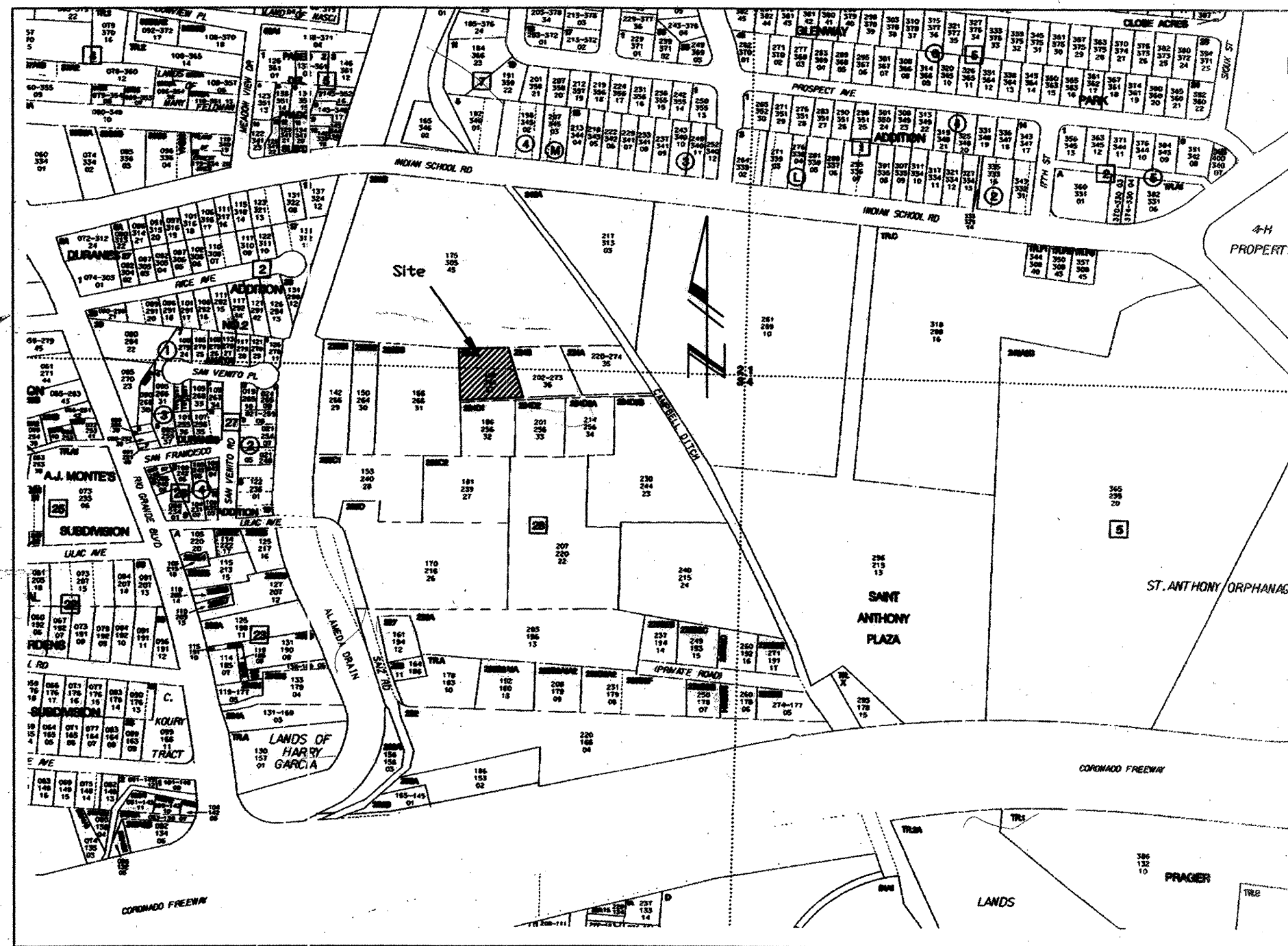
1002369



BORDENAVE DESIGNS

P.O. BOX 91194, ALBUQUERQUE, NM 87199
(505)823-1344, FAX (505)821-9105

REV.	SHEETS	CITY ENGR.	DATE	USER DEPT.	DATE	USER DEPT.	DATE
		APPROVAL	ENGINEER	DATE		APPROVED FOR CONSTRUCTION	
		DRC CHAIRMAN		11-19-01			
		TRANSPORTATION		9/29/04			
		WATER/WASTEWATER		7/29/04			
		HYDROLOGY		9/29/04			
		PARKS					
		CONSTR.		11-19-04			
		PROJECT NO.				SHEET	OF
						1	3



Vicinity Map (Not to scale)

Notes:

1. Zone Atlas H-13-Z
2. Basis of Bearings = Survey of Tract 224-C, M.R.G.C.D. Map No. 35, Filed for record in Bernalillo County, New Mexico, Office of the County Clerk in Bernalillo County in Survey Book 99S, Pg. 192 on October 19, 1999.
3. Approval and Filing of this plat with the County Clerk of Bernalillo County does not affect public or private easement whether recorded or unrecorded.
4. Unless otherwise shown, set a 1/2" rebar with plastic cap stamped LS 9801.
5. Plat shows all easements of record.
6. Bearing are Grid Bearings and distance are ground distances.
7. Bearings are based on Alb. Control Sta. "B-H13" State Plane Coord., Central Zone
X = 374,102.61
Y = 1,494,995.82
Ground to Grid = 0.9996809
Delta Alpha = -0°14'31"
NAD 1927
8. DRB No. 1002369
9. SP _____
10. Talos Log No. 2003012134
11. 20' Private Road Easement filed in the office of Bernalillo County in Doc. No. 09281589 on 8-14-1992
12. Access to Lots 1 & 2 from Campbell Ditch to Indian School Road NW.
13. 10' DITCH EASEMENT shown on Plat filed Bk. 2002C, Pg. 84 on 3-12-2002.
14. Grantors of 20' Private Road Easement as described in Note 11 shall benefit from additional 4' and Cul de Sac Rd. Emt. as granted by this Plat.

Disclosure Statement: Tract 224-C, M.R.G.C.D. Map No. 35 is to be subdivided into two (2) Lots.

LEGAL DESCRIPTION

A certain tract of land being designated as Tract 224-C of Plat of Middle Rio Grande Conservancy Property Map No. 35 situate in Section 7, T.10 N., R.3 E., N.M.P.M., Bernalillo County, New Mexico as the same is shown and designated on Survey Plat filed for record in the office of the County Clerk of Bernalillo County in Survey Book 99S, Page 192 on October 19, 1999 and being more particularly described by metes and bounds as follows:

Beginning at the southwest corner of the herein described Tract 224-C, whence Albuquerque Control Station "B-H13" bears S76°58'18"W., 920.44 feet distant; running thence N04°52'32"E., 143.15 feet to the northwest corner of the herein described Tract 224-C, thence N87°31'08"E., 140.80 feet to the northeast corner of the herein described Tract 224-C, thence S10°20'11"E., 141.65 feet to the southeast corner of the herein described Tract 224-C, thence S86°59'20"W., 178.50 feet to the southwest corner of the herein described Tract 224-C and the point of beginning, Containing 0.5173 Acres more or less.

FREE CONSENT:

We, The Undersigned Owners, do hereby certify that we are the owners of the property described hereon and that we have caused the said property to be surveyed and replatted as shown hereon and that this plat is with our free consent. We do also grant any and all easements as may be created by this plat.

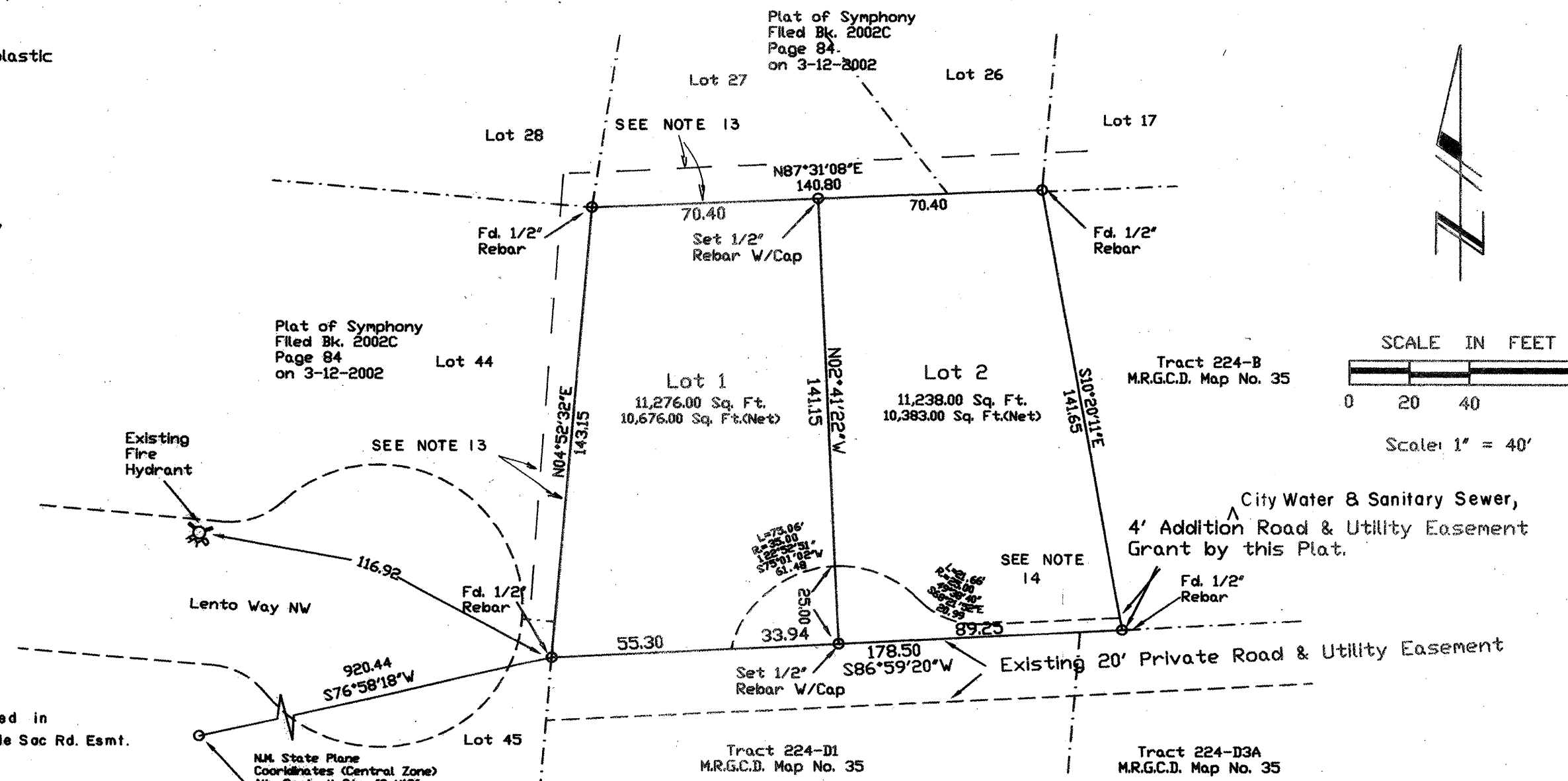
Ralph Corriz
Owner: Ralph Corriz
Monica A. Corriz
Owner: Monica A. Corriz
STATE OF NEW MEXICO
COUNTY OF BERNALILLO

The foregoing instrument was acknowledged before me on this

11th day of February, 2003.

By: *Ralph Corriz and Monica A. Corriz*
My Commission Expires Feb. 4, 2004
Notary Public

APPROVED FOR FILING
2-11-03
DATE



Plat of Lot 1 and 2 of
LANDS OF CORRIZ

Being a Replat of Tract 224-C of
M.R.G.C.D. Map No. 35
City of Albuquerque, New Mexico
In Section 7 T.10 N., R.3 E., N.M.P.M.
Bernalillo County, New Mexico
January, 2003

COUNTY TREASURER CERTIFICATE:

This is to certify that taxes are current and paid on

2002-Codes UPC: 1-013-059-18627-32827
Property Owner of Record:

James A. Garamillo
Bernalillo County Treasurer's office:

James A. Garamillo 08-20-03

CITY/COUNTY APPROVALS

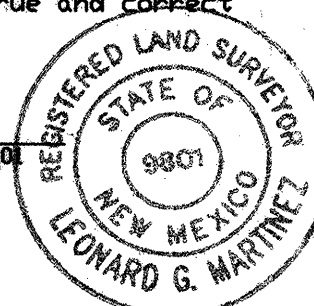
DRB Subdivision Case No. 1002369

Real Property Division	Date
<i>[Signature]</i>	2-11-03
City Surveyor	Date
<i>[Signature]</i>	8/20/03
Utility Division	Date
<i>[Signature]</i>	8/20/03
City Engineer	Date
<i>[Signature]</i>	8-20-03
AMAF, CA	Date
<i>[Signature]</i>	8-20-03
Traffic Engineer	Date
<i>[Signature]</i>	8/20/03
Christina Sandoval	Date
Parks Recreation	Date
<i>[Signature]</i>	8/20/03
City Planning Director, Alb. Planning Div.	Date
<i>[Signature]</i>	
PNM Gas & Electric Services	Date
<i>[Signature]</i>	
QWEST COMMUNICATION	Date
<i>[Signature]</i>	
COMCAST	Date
<i>[Signature]</i>	

SURVEYOR'S CERTIFICATION

I, Leonard G. Martinez, New Mexico Professional Land Surveyor No. 9801, hereby certify that this plat was prepared by me, that it meets the minimum requirements for nonumentation and surveys of the Albuquerque Subdivision Ordinance and standards for Surveying in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Land Surveyors; and that it is true and correct to the best of my knowledge and belief.

Leonard G. Martinez
Leonard G. Martinez, N.M.L.S. No. 9801



Plat of Symphony
Filed Bk. 2002C
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on 3-12-2002

