

CONSTRUCTION PLANS FOR

QUAIL RIDGE RETAIL CENTER

PAVING IMPROVEMENTS

CITY OF ALBUQUERQUE
NEW MEXICO
NOVEMBER 2003

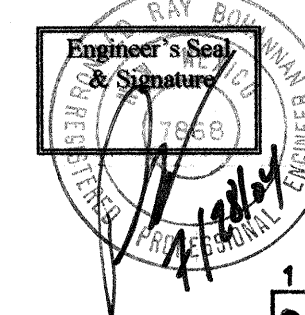
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INDEX TO DRAWINGS

1. TITLE SHEET
2. PLAT
3. APPROVED SITE PLAN
4. MASTER UTILITY PLAN
- 4A. SIDEWALKS & HC RAMPS
5. PAVING IMPROVEMENTS
57TH STREET RIGHT TURN LANE
6. PAVING IMPROVEMENTS
QUAIL ROAD MEDIAN IMPROVEMENTS

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Bohannon, of the firm of Terra West, LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Russ Hugg, of Surv-Tek, NMP# number 9750.



1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26 7 19 11 8 1 0 1 0 5

Elevations are in NGVD 29.

UTILITY CONTACT INFORMATION

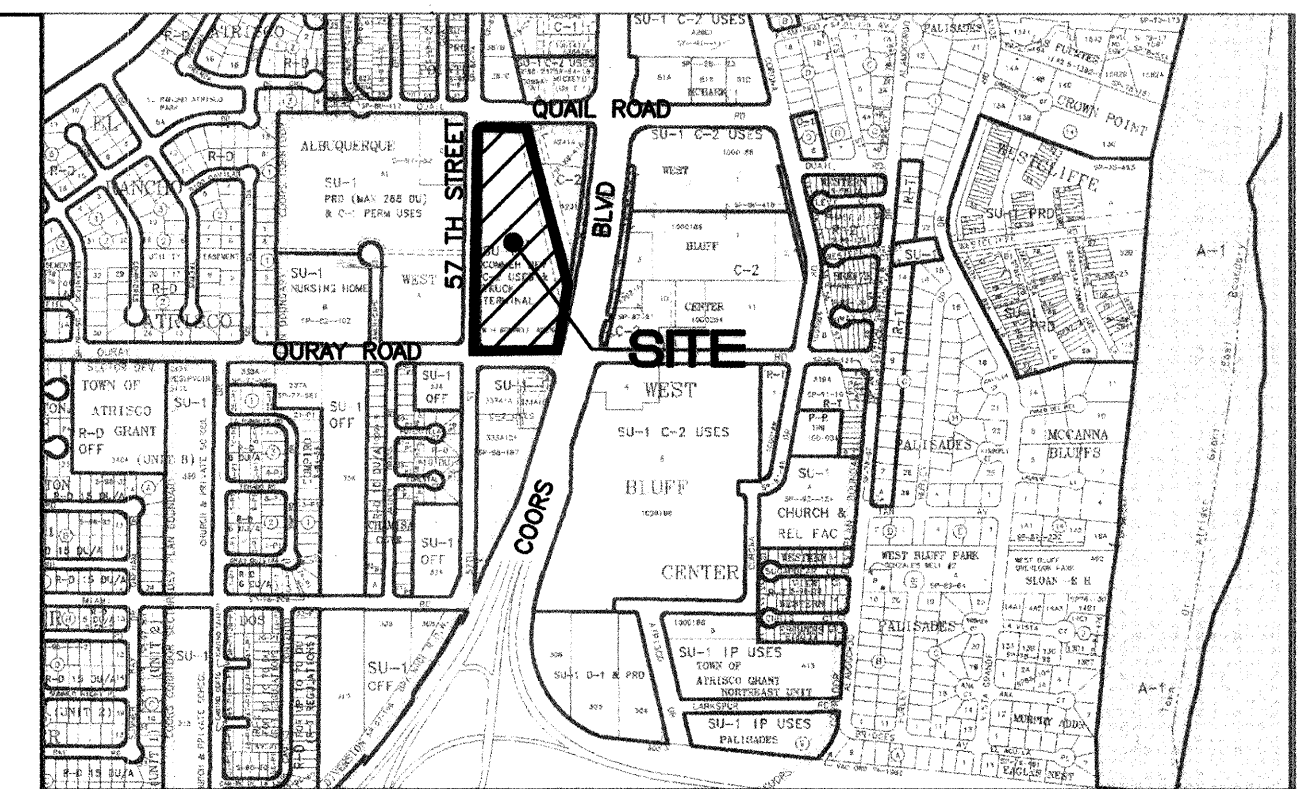
RITA ERICKSON-COMCAST
761-6235
RITA_ERICKSON@CABLE.COMCAST.COM

ELISABETH GABEL-PNM ELECTRIC
241-7745
EGABEL@PNM.COM

ROBERT GARCIA-PNM GAS
241-3334
RGARCIA@PNM.COM

DAVID MULLER-QWEST
245-8706
DMULLER@QWEST.COM

GREG OLSON-PRINCIPAL ENGINEER, UTILITY DEVELOPMENT-COA
768-2719
GOLSON@CABQ.GOV



VICINITY MAP ZONE ATLAS H-11-Z

NOTICE TO CONTRACTORS

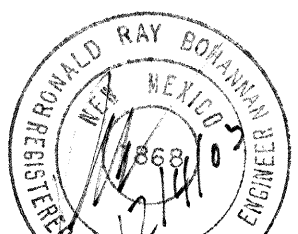
1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION (UPDATE #7)
2. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (280-1990) FOR LOCATION OF EXISTING UTILITIES.
3. ANY WORK AFFECTING AN ARTERIAL ROADWAY REQUIRES 24-HOUR CONSTRUCTION.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATIONS DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO(2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO STANDARD SPECIFICATIONS.
6. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY THE CONTRACTOR TO LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.
7. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS. ANY PERMANENT SURVEY MONUMENT LOCATED WITHIN 50' OF THIS PROJECT THAT IS NOT SHOWN ON THE PLAN AND IS DESTROYED DURING CONSTRUCTION WILL BE REPLACED AT THE DESIGNERS EXPENSE.
8. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
9. FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.
10. STRIPING ERADICATION SHALL BE ACCOMPLISHED BY WATER BLASTING ON SURFACE PLANING OF THE ROADWAY TO A MAXIMUM DEPTH OF 0.25 INCHES AND FOR A WIDTH OF 2 TIMES THE WIDTH OF THE STRIPE OR MARKING TO BE REMOVED.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☒ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE PROJECT ENGINEER.
- ☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☒ IF CURB IS DEEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

DRB # 1002459

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

REV	SHEETS	CITY ENGINEER	DATE	USER DEPT.	DATE	USER DEPT.	DATE
ENGINERS STAMP & SIGNATURE			APPROVALS	ENGINEER	DATE	*****	
			DRC Chairman	<i>[Signature]</i>	01-22-04	APPROVED FOR CONSTRUCTION	
			Transportation	<i>[Signature]</i>	12/16/03	NSP 01/104	
			Water/Wastewater	<i>[Signature]</i>	12/16/03	NSM 01/104	
			Hydrology	<i>[Signature]</i>	12/16/03		
			C.I.P				
			Constr. Mngmt.				
			Constr. Coord.	<i>[Signature]</i>	01-22-04		
						CITY PROJECT NO.	SHEET
			719181	1 OF 69			

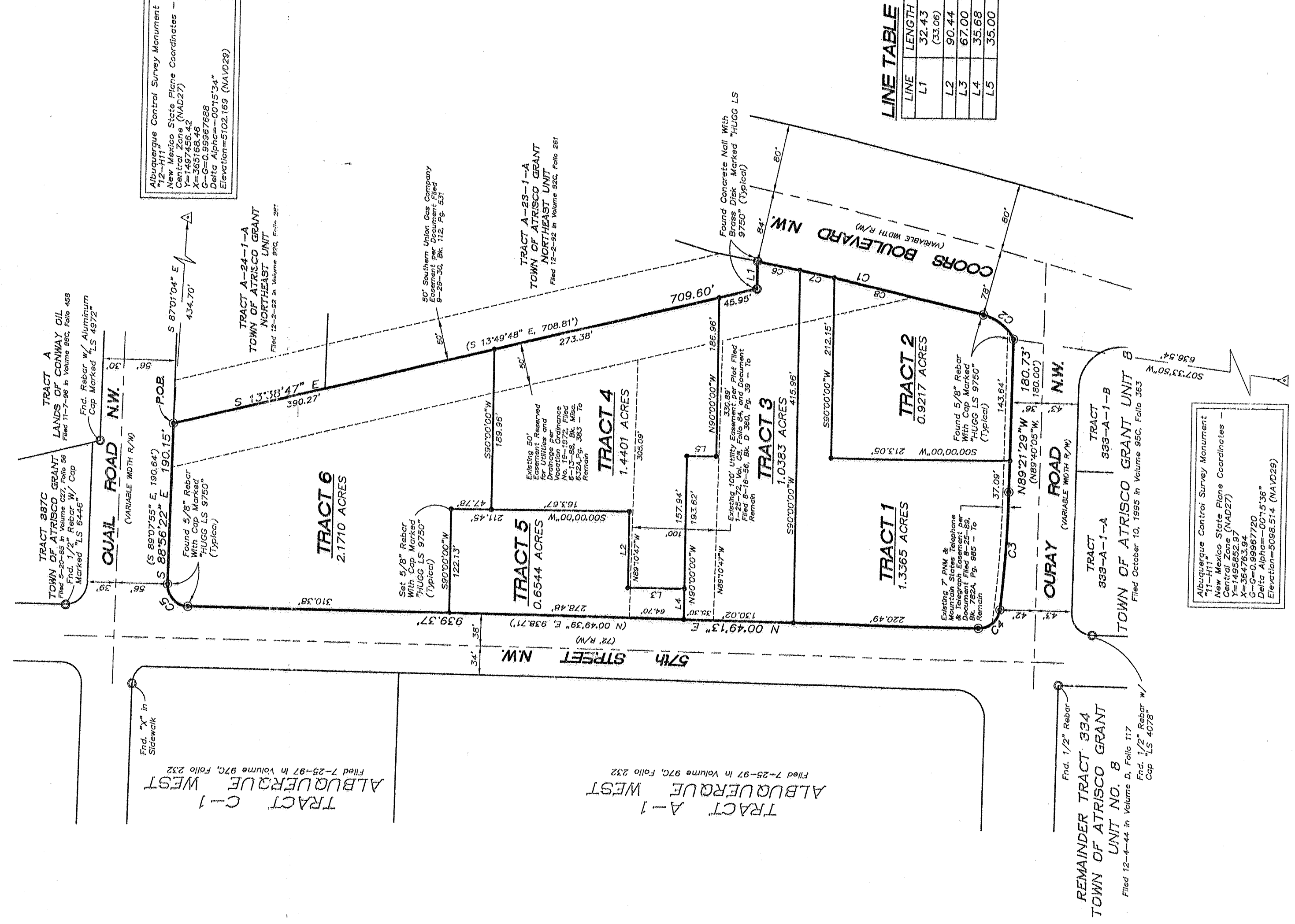
BOUNDARY INFORMATION AND EXISTING EASEMENTS

TRACTS 1 THRU 6
QUAIL RIDGE

(BEING A REPLAT OF THE W.H. BRUNELL ADDITION)

WITHIN
THE TOWN OF ATRISCO GRANT
SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2003

SEE SHEET 4 OF 4 FOR NEW EASEMENT INFORMATION



030116

SHEET 3 OF 4

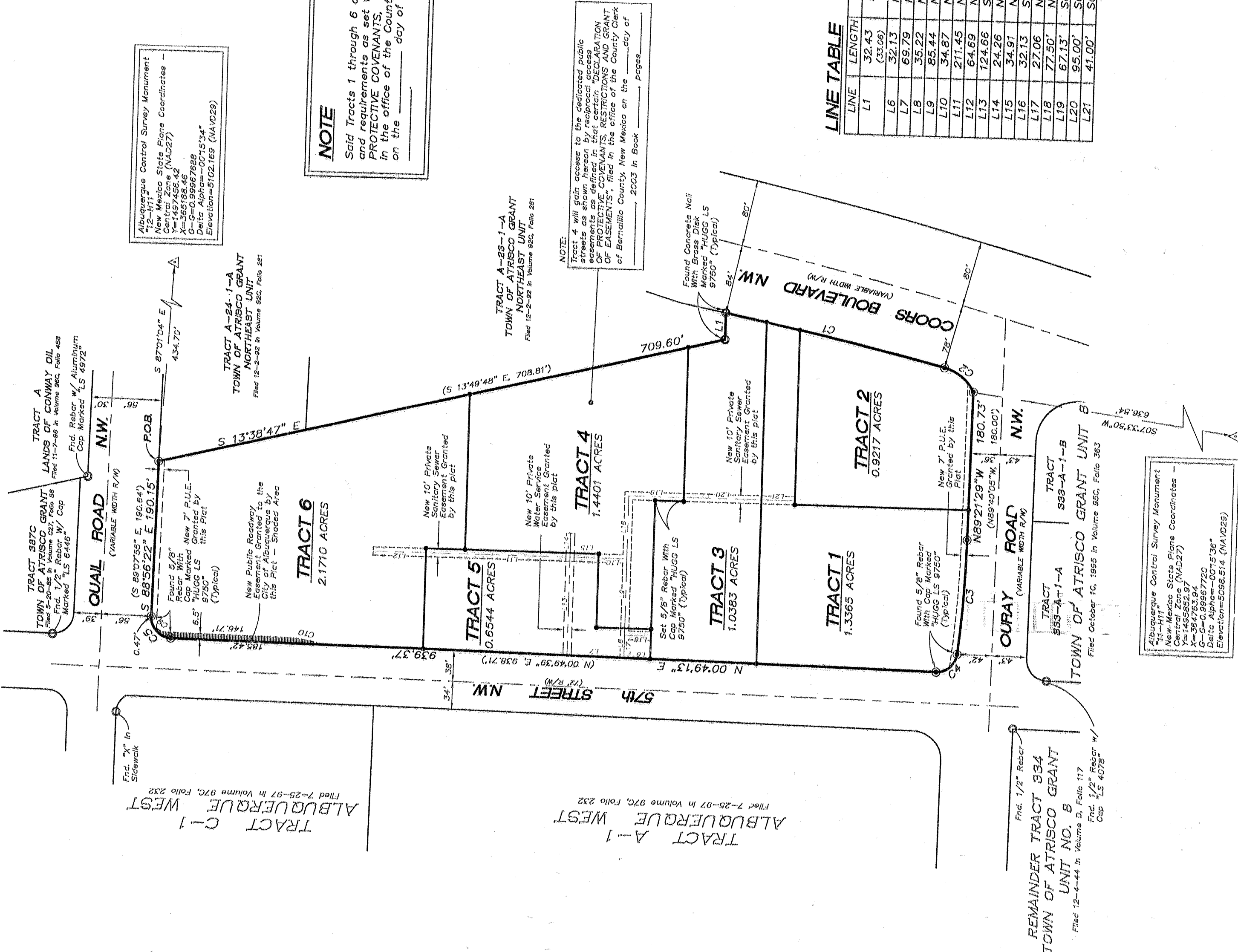
SURVOTEK, INC.
Consulting Surveyors
6600 Pecos Blvd. N.E. Albuquerque, New Mexico 87114
Phone: 505-897-5888
Fax: 505-897-5877

NEW EASEMENTS GRANTED BY THIS PLAT

TRACTS 1 THRU 6
QUAIL RIDGE

(BEING A REPLAT OF THE W.H. BRUNELL ADDITION)

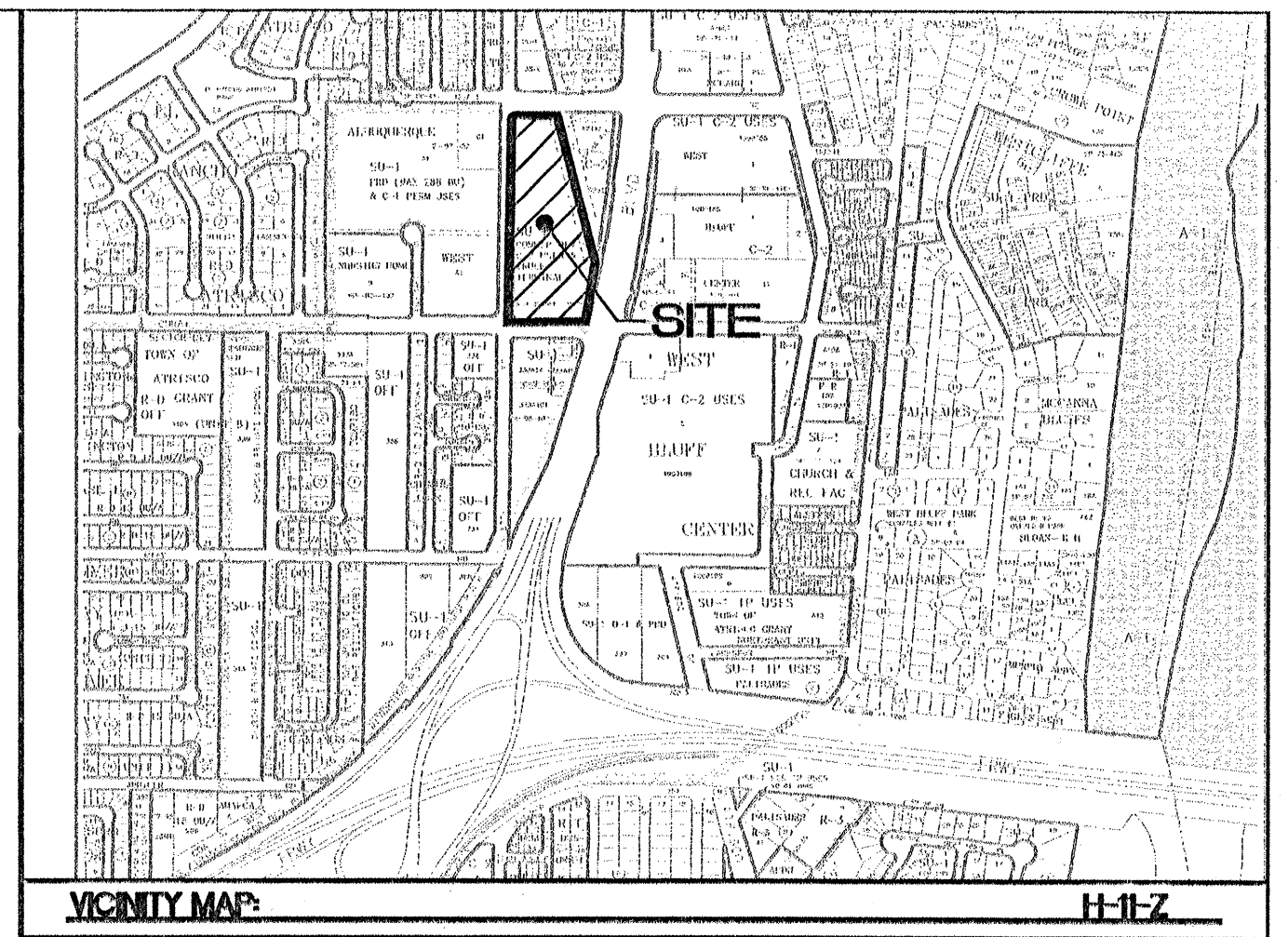
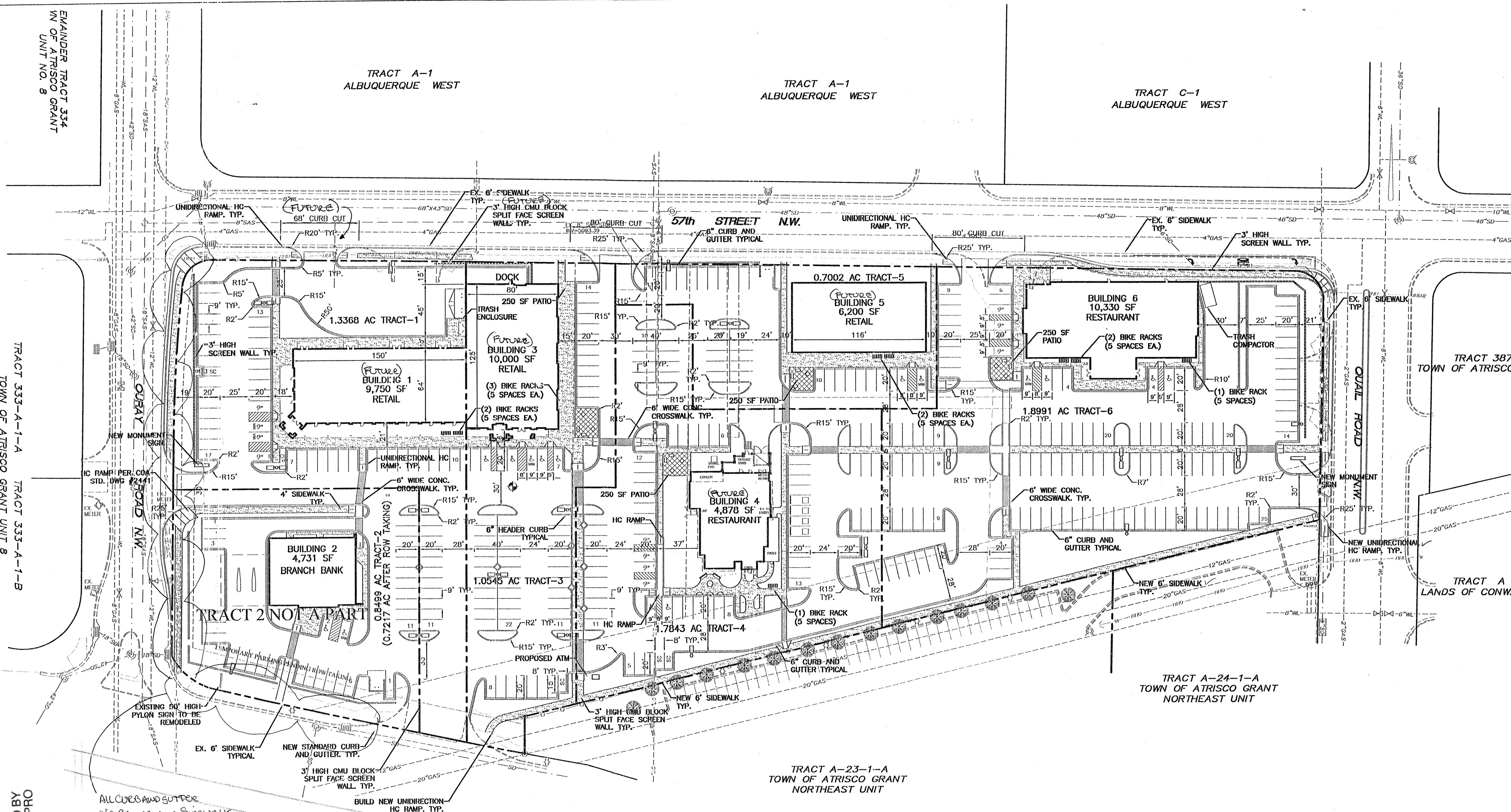
WITHIN
THE TOWN OF ATRISCO GRANT
SECTION 11, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2003



030116

SHEET 4 OF 4

SURVOTEK, INC.
Consulting Surveyors
6600 Pecos Blvd. N.E. Albuquerque, New Mexico 87114
Phone: 505-897-5888
Fax: 505-897-5877



LEGAL DESCRIPTION:
W H BRUNELL ADDITION REPLAT TRACTS 358 & 359 UNIT 8 ATRISCO GRANT & PORTION OF TR A21

- NOTES:**
1. COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 3. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 4. MONUMENT SIGN MATERIALS/COLORS/SIZE SHALL COMPLY WITH THE MONTANO PLAZA MASTER PLAN. MATCH BUILDING COLORS AND MATERIAL.
 5. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 6. LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
 7. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 8. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 9. THIS SITE PLAN FOR SUBDIVISION IS FOR RESTAURANTS WITH A BEER AND WINE LICENSE ONLY. FURTHER APPROVAL FOR A RESTAURANT WITH A LIQUOR LICENSE BEYOND A BEER AND WINE LICENSE WILL REQUIRE ADMINISTRATIVE APPROVAL TO DETERMINE IF THERE IS SUFFICIENT OFF-STREET PARKING.
 10. ALL PATIO AREAS ON THE SOUTHEAST OR WEST SIDES OF BUILDINGS SHALL HAVE A MINIMUM OF 100 SF OF SHADED AREA, EITHER WITH TREES OR SHADE STRUCTURES.
 11. ALL PATIO AREAS SHALL HAVE A MINIMUM OF 8 LINEAR FEET OF FIXED SEATING.
 12. THE TOTAL SQUARE FOOTAGE FOR THE PORTION OF THE FREESTANDING SIGN THAT IDENTIFIES THE SHOPPING CENTER NAME SHALL BE LIMITED TO 20 SF.
 13. FREESTANDING SIGNS WILL MEET THE REQUIREMENTS FOR THE COORS CORRIDOR PLAN BY HAVING A SIGN FACE NO LARGER THAN 75 SF IN SIZE. THE NUMBER OF ITEMS AS IDENTIFIED IN THE COORS CORRIDOR PLAN WILL BE LIMITED TO 10.
 14. SEE SHEET 6 FOR DETAILS.
 15. PARKING BARRIERS SHALL BE PROVIDED TO PREVENT VEHICLES FROM EXTENDING OVER ANY PUBLIC SIDEWALK, ADJUTING LOT, PEDESTRIAN WALKWAYS, LANDSCAPE AREA OR ANY WALL OR FENCE. THE BARRIERS NEED TO BE A MINIMUM OF TWO FEET FROM ANY PUBLIC SIDEWALK, ADJUTING LOT, PEDESTRIAN WALKWAYS, LANDSCAPE AREA OR ANY WALL OR FENCE IN ACCORDANCE WITH SECTION 14-16-3-1(E) (2) OF THE COMPREHENSIVE CITY ZONING CODE.
 16. PAVING SHALL BE ASPHALT CONCRETE UNLESS OTHERWISE NOTED.

LINE TABLE			CURVE TABLE			
LINE	LENGTH	BEARING	CURVE	LENGTH	RADIUS	CHORD BEARING
L1	37.09	N89°21'39"W	C1	36.91	25.00	S41°28'15"E
L2	35.68	N90°00'00"E	C2	47.59	55.00	N38°19'32"E
L3	35.00	N00°00'00"W	C3	182.90	5646.45	N12°36'32"E
L4	33.17	S00°00'00"E	C4	41.84	5646.45	N11°28'07"E
			C5	51.16	5646.45	N10°59'49"E
			C6	39.37	25.00	S45°56'45"W

TRACT	BUILDING No.	AREA (AC)	BUILDING AREA	USE	ZONING	MAX. BLDG.	SEAT. CAP.	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE RACKS REQ.	MIN. FAR	MAX. FAR
1	1	1.3368	9,750	RETAIL	C-2		49	58	4	4	1	1	1	2	0.15	0.35
2	2	0.8499	4,731	BRANCH BANK	C-2		24	33	2	2	1	1	1	1	0.15	0.35
3	3	1.0545	10,000	RETAIL	C-2		50	62	4	6	1	1	3	3	0.15	0.35
4	4	1.7843	4,878	RESTAURANT	C-2		192	64	77	4	6	2	2	3	0.15	0.35
5	5	0.7002	6,200	RETAIL	C-2		31	33	2	2	1	1	1	1	0.15	0.35
6	6	1.8991	10,330	RESTAURANT	C-2		382	127	130	8	8	1	1	2	0.15	0.35
TOTAL		7.625	47,080				345	393	24	28	7	7	12	12	0.15	0.35

PROJECT NUMBER: 1002459
APPLICATION NUMBER: 03 DRB 0759

This plan is consistent with the specific Site Development Plan approval by the Environmental Planning Commission (EPC) dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
<i>Roger A. Green</i>	10/29/03
Utilities Development	Date
<i>Christine Sandoval</i>	10/29/03
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

GRAPHIC SCALE

50 25 0 25 50

SCALE: 1"=50'

FOR REFERENCE ONLY

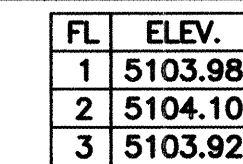
ENGINEER'S SEAL	QUAIL RIDGE SHOPPING CENTER	DRAWN BY BDG
	SITE PLAN FOR BUILDING PERMIT	DATE 10/23/03
		2296SPD-B-11-03X
		SHEET # 3
		JOB # 220096

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

SCANNED BY MESA REPRO

RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY
1 PER 3 SEATS

10+00



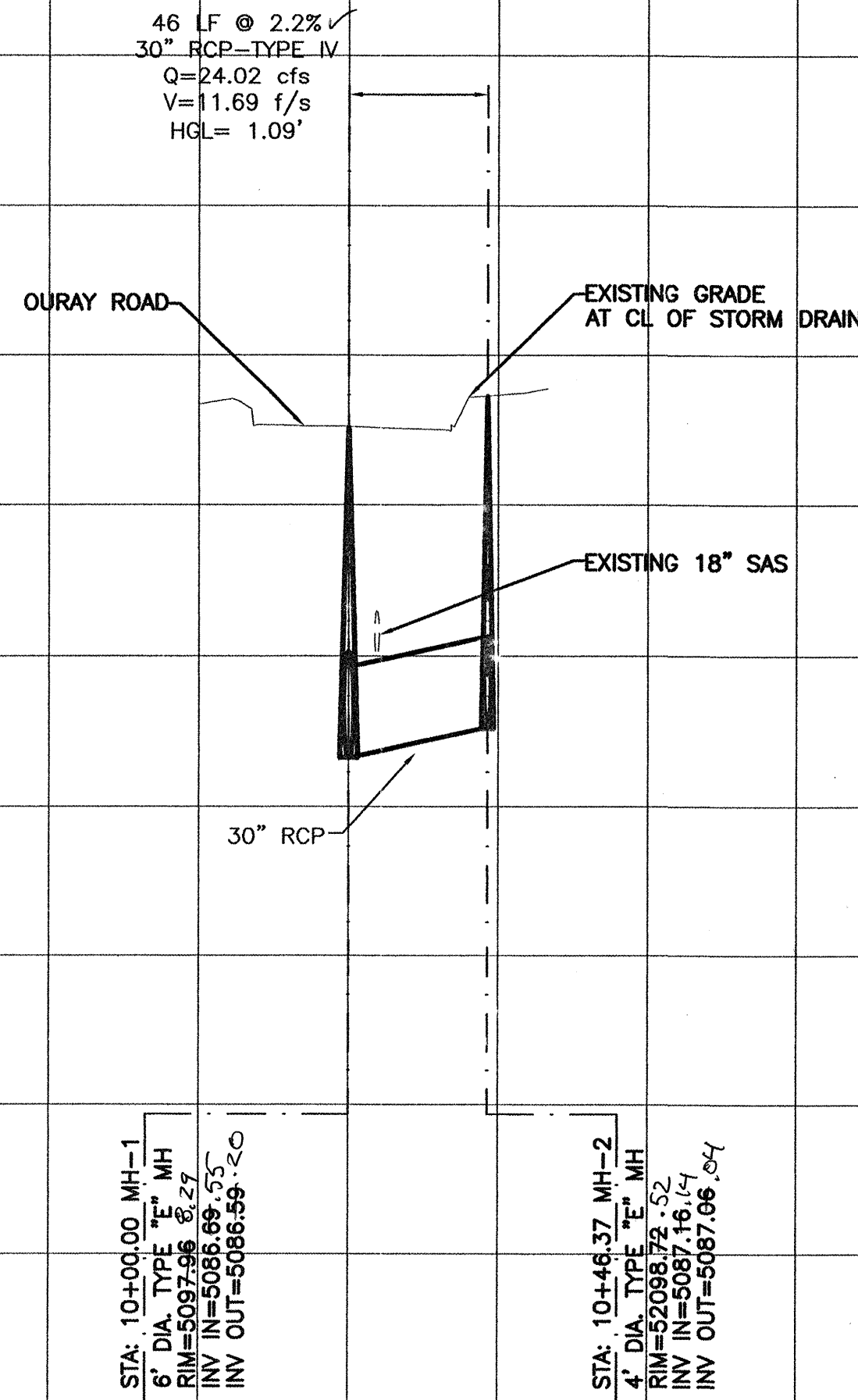
NTS SECTION FROM ASBUILTS CITY PROJECT #2695



CITY PROJECT NO.	719181	ZONE MAP NO.	H-11-7	SHEET	5	OF	69
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SURVEY INFORMATION			BENCH MARKS		AS BUILT INFORMATION	
NO.	DATE	BY	FIELD NOTES		CONTRACTOR	SUNDANCE
			A.C.S. MONUMENT "12-H11"	WORK	2004B	
			STANDARD A.C.S. ALUMINUM CAP	STAYED BY	ALDRICH	DATE 2004B
			NM STATE PLANE COORDINATES	ACCEPTANCE	CHATTERRA WEST	DATE 2004B
			(CENTRAL ZONE-N.A.D. 1927)	FIELD LOCATION	CHATTERRA WEST	DATE 2004B
			X=365,168.46	DRAWINGS	CHATTERRA WEST	DATE 2004B
			Y=1,497,456.42	CORRECTED BY	CHATTERRA WEST	DATE 2004B
			GROUND TO GRID FACTOR=0.99966699	MICRO-FILM INFORMATION		
			DELTA ALPHA ANGLE=-0°15'34"	RECORDED BY	DATE	
			EL=5102.17 NVD 1929	<i>Mr. CHA Tangster</i> <i>Henry Blair</i>		

[illegible]



I, Ronald K. Hohmann, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspection by me or personnel under my direction with survey information provided by Tim Aldrich, of Aldrich Land Surveying, INC., NMPS number 7719

Engineer's Seal
& Signature

SCALE: HORIZ. 1"=50'
VERT. 1"= 5'

ENGINEER'S SEAL

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
2	6		7	1	9	1	.	8	1	0	6	A	0	5

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **QUAIL RIDGE**
STORM SEWER IMPROVEMENTS
OURAY ROAD

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	M
APPROVED JUN 30 2004	APPROVED JUN 30 2004		
DESIGN REVIEW COMMITTEE	CITY ENGINEER		

CITY PROJECT NO.	719181	ZONE MAP NO.	H-11-Z
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[illegible]

AS BUILT INFORMATION			
CONTRACTOR	SUNDANCE	2004/05	
WORK	ALDRICH	2004/05	
STAKED BY	DATE	2004/05	
INSPECTOR'S	CON/TIERRA WEST	DATE	2004/05
ACCEPTANCE BY	CON/TIERRA WEST	DATE	2004/05
REVISION	DATE	2004/05	
DATE	DATE	2004/05	
DRAWINGS	DATE	2004/05	
CORRECTED BY	DATE	2004/05	
MICRO-FILM INFORMATION			
RECORDED BY	DATE		
<i>See PDA Inspector:</i> <i>Henry Blair</i>			

SCANNED BY
MESA REPRO

REMAINER TRACT 334
TOWN OF ATRISCO GRANT
UNIT NO. 8

TRACT 334-1-A
TOWN OF ATRISCO GRANT UNIT 8

TRACT 334-1-B
TOWN OF ATRISCO GRANT UNIT 8

GENERAL NOTES:

- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
- REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
- ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
- ALL FIRE HYDRANTS TO BE 4' MIN BURY AND BUILT PER COA STD DWG 2340 FULLY RESTRAINED.
- 3/4" TO 1" WATER SERVICES TO BE BUILT PER COA STD DWG #2361, 2362, AND 2368.
- 1-1/2" TO 2" WATER SERVICES ARE TO BUILT PER COA STD DWG #2361, 2363, AND 2367.

NOTICE TO CONTRACTORS

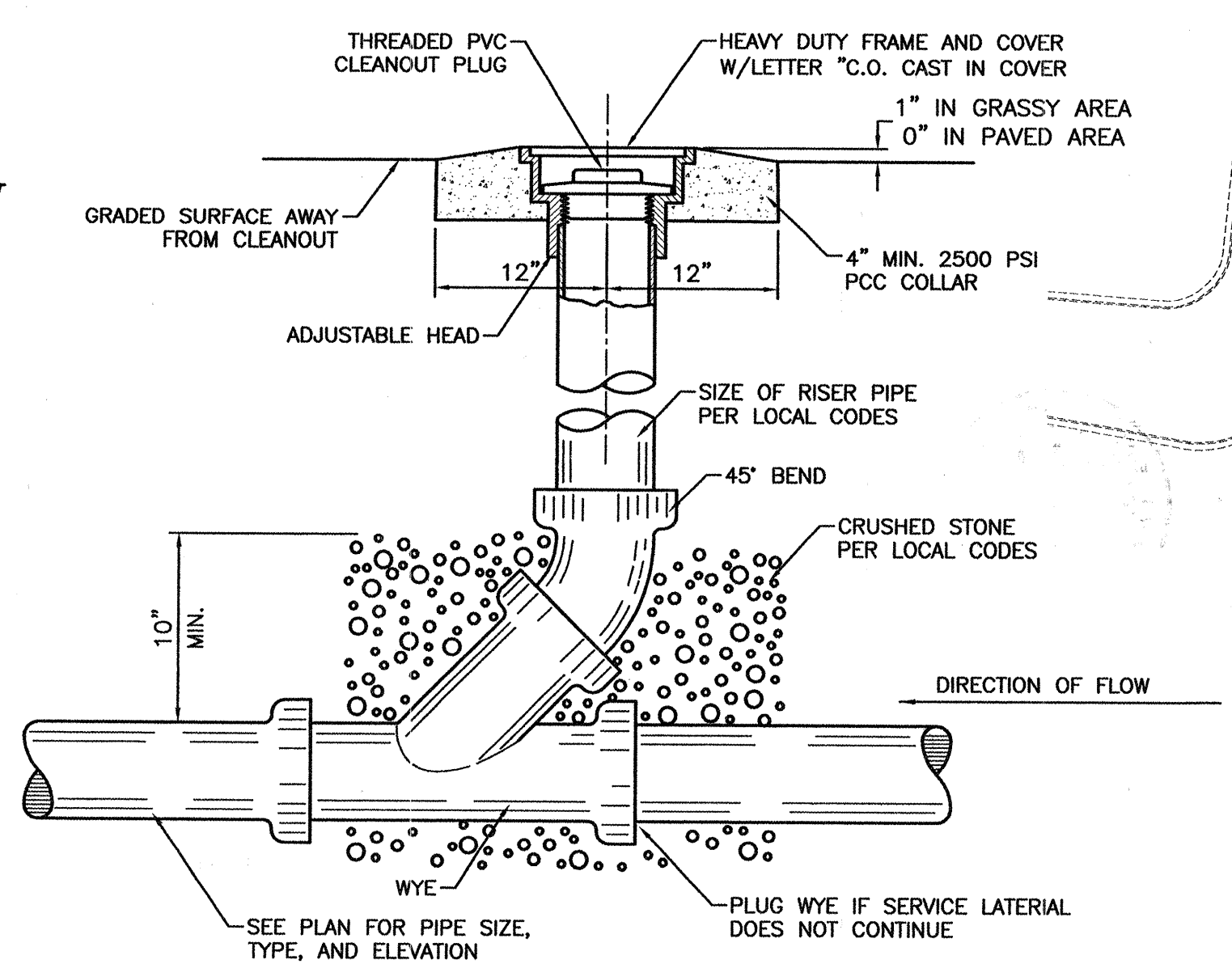
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (505)765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

NOTE:

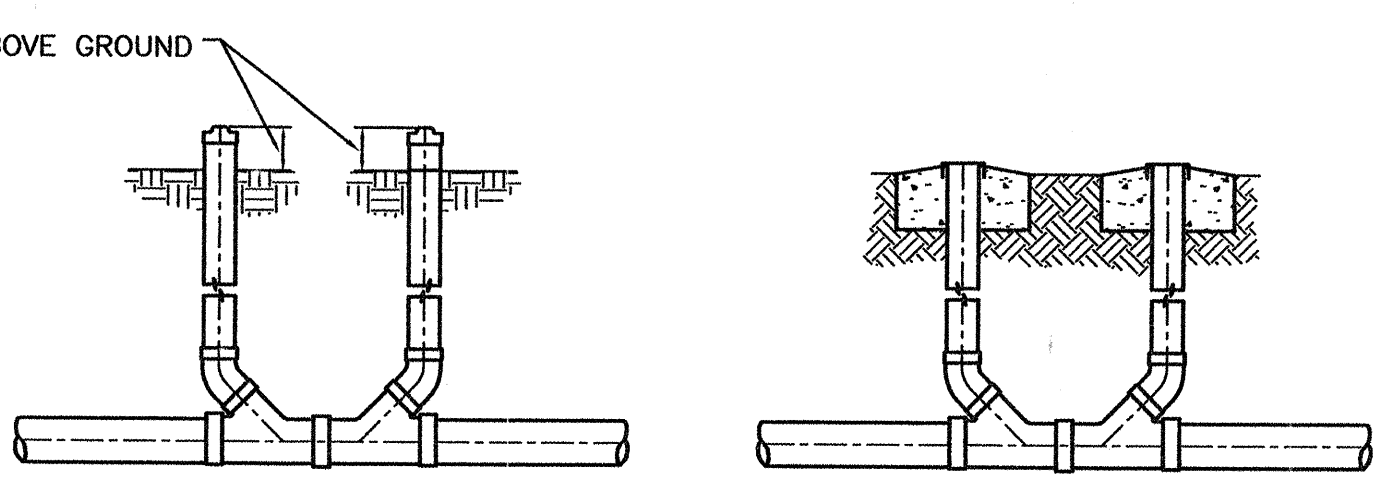
LIMITS OF CITY WORK ORDER 719181 IS WITHIN RIGHT OF WAY.

LEGEND

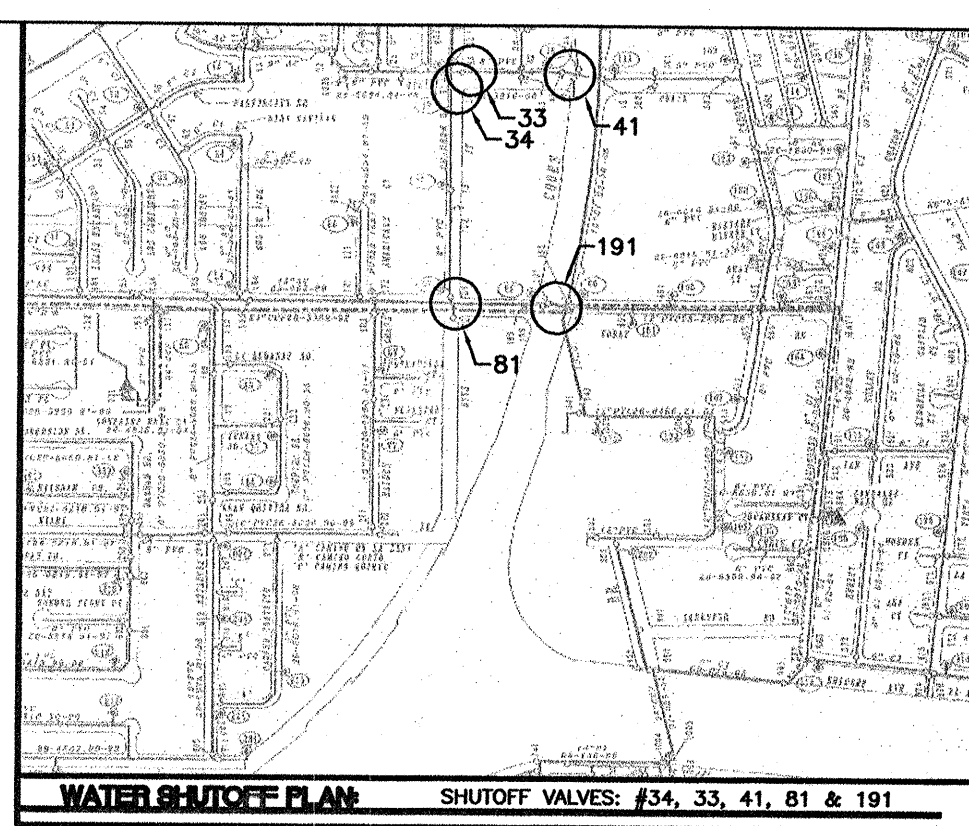
	EXISTING SD MANHOLE
	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	PROPOSED CLEAN OUT
	PROPOSED DOUBLE CLEAN OUT
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING CURB & GUTTER
	PROPOSED STORM SEWER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATERLINE
	BOUNDARY LINE
	EASEMENT



SANITARY SEWER CLEAN-OUT

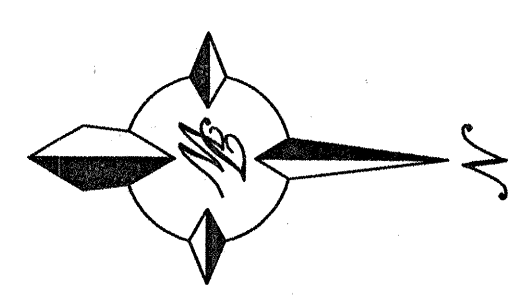


SANITARY SEWER DOUBLE CLEAN-OUTS

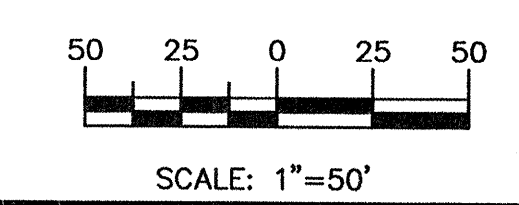


- ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
- NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN.
- APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
- SHUTOFF THE VALVES INDICATED IN THE PLAN ABOVE.

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS
I, Ronald R. Bohannon, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified professional engineer and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design and construction of the project has been maintained in accordance with the approved drawings. This Certification is based on site inspections by me or personnel under my direction with survey information provided by Russ Hugg, of Surveytek, NMPS number 9750.



GRAPHIC SCALE



TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP**
**QUAIL RIDGE
MASTER UTILITY PLAN**

DESIGN REVIEW COMMITTEE
APPROVED
DESIGN REVIEW COMMITTEE

CITY-ENGINEER APPROVAL
APPROVED
CITY ENGINEER

MO./DAY/YR.
LAST DESIGN UPDATE
MO./DAY/YR.

CITY PROJECT NO. **719181** ZONE MAP NO. **H-11-Z** SHEET **4** OF **69**

AS BUILT INFORMATION	
CONTRACTOR	SUNDANCE
WORK BY	ALDRICH
DATE 2004	DATE 2004
ACCEPTANCE BY	DATE 2004
REVISIONS	DATE 2004
DATE 2004	DATE 2004
DATE 2004	DATE 2004

MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

BENCH MARKS	
AC.S. MONUMENT "12-H11"	
STANDARD A.C.S. ALUMINUM CAP	
NM STATE PLANE COORDINATES	
(CENTRAL ZONE-NAD. 1977)	
X=365,168.46	
Y=1,497,456.42	
GROUND TO GRID FACTOR=0.99966699	
DELTA ALPHA ANGLE=-0°15'34"	
EL=5102.17 NGVD 1929	

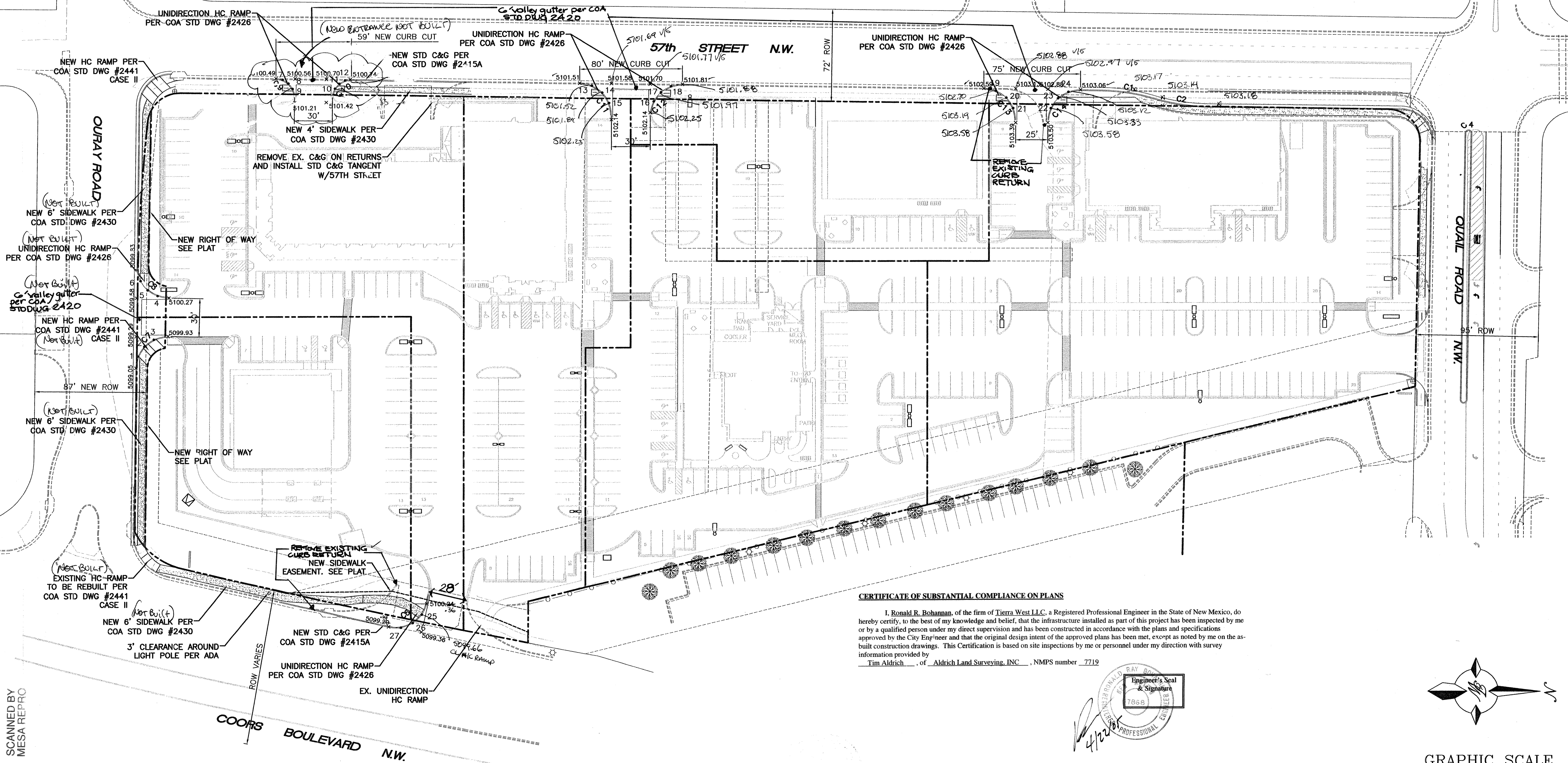
SURVEY INFORMATION	
FIELD NOTES	
NO.	
DATE	
BY	

ENGINEER'S SEAL	
NO.	
DATE	
BY	

REVISIONS	
NO.	DATE
1	10/03
2	05/19/04
3	10/03

DESIGNED BY	
RRB	DATE 10/03
CHECKED BY	
DS	DATE 10/03

SCANNED BY
MESA REPRO



QUARTER POINTS

C7	FL	ELEV.	C8	FL	ELEV.
	1	5099.17		4	5099.93
	2	5099.39		5	5099.82
	3	5099.61		6	5099.71
C9	FL	ELEV.	C10	FL	ELEV.
	7	5100.53		10	5101.06
	8	5100.71		11	5100.89
	9	5100.89		12	5100.72
C11	FL	ELEV.	C12	FL	ELEV.
	13	5101.55		16	5101.92
	14	5101.71		17	5101.84
	15	5101.86		18	5101.76
C13	FL	ELEV.	C14	FL	ELEV.
	19	5102.86		22	5103.19
	20	5103.23		23	5103.08
	21	5103.26		24	5102.97
C6	FL	ELEV.			
	25	5099.80			
	26	5099.54			
	27	5099.28			

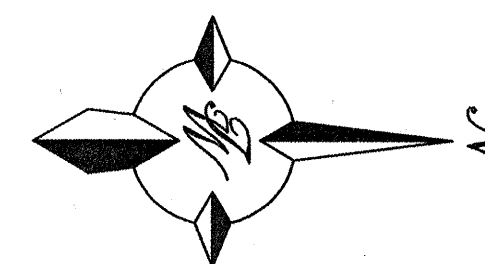
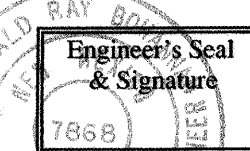
CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD
C6	39.38	25.00	N32°12'46"W	35.43
C7	38.95	24.90	S44°34'55"E	35.10
C8	35.77	25.00	N40°59'42"E	32.80
C9	21.11	15.00	S41°16'36"W	19.41
C10	20.34	15.00	S38°12'08"E	18.81
C11	38.89	25.00	S45°25'50"W	35.09
C12	36.43	25.00	S41°10'12"E	33.29
C13	38.76	25.00	S45°01'46"W	34.99
C14	38.23	25.00	S42°53'28"E	34.61

LEGEND

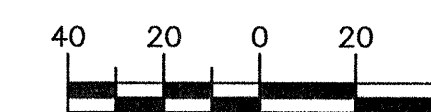
- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL
- PROPOSED SIDEWALK

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Bohannon, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction with survey information provided by
Tim Aldrich, of Aldrich Land Surveying, INC., NMPS number 7719



GRAPHIC SCALE

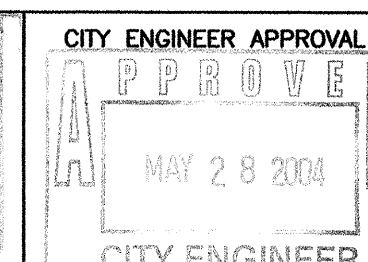
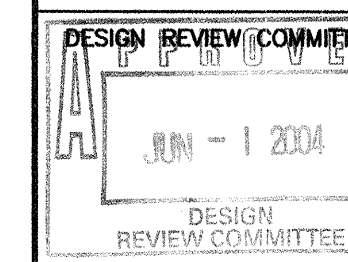


SCALE: 1"=40'

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

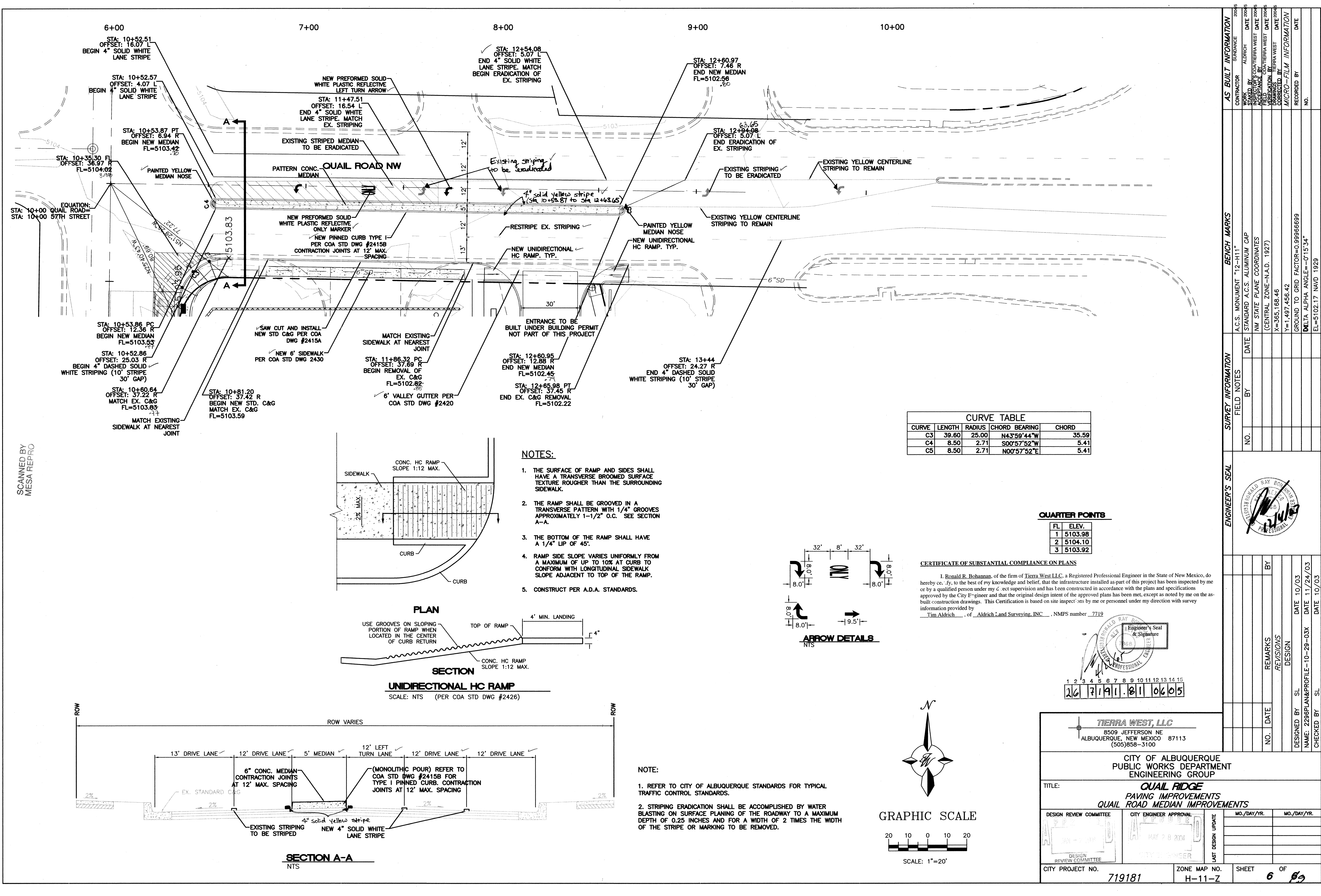
TITLE:
**QUAIL RIDGE
SIDEWALKS AND HC RAMPS**



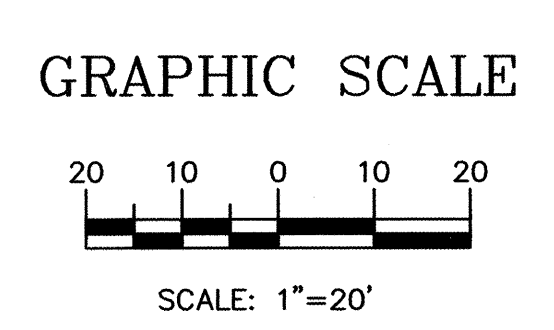
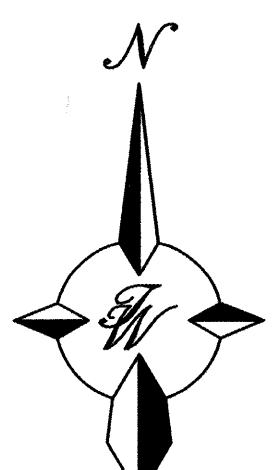
MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. 719181 ZONE MAP NO. H-11-Z SHEET 4A OF 49

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	A.C.S. MONUMENT	DATE	FIELD NOTES	BY	NO.	DATE
CONTRACTOR	DATE	STANDARD A.C.S. ALUMINUM CAP	DATE				
CONTRACTOR	DATE	NW STATE PLANE COORDINATES	DATE				
CONTRACTOR	DATE	(CENTRAL ZONE-N.A.D. 1927)	DATE				
CONTRACTOR	DATE	X=365,168.46	DATE				
CONTRACTOR	DATE	Y=1,497,456.42	DATE				
CONTRACTOR	DATE	GROUND TO GRID FACTOR=0.99966899	DATE				
CONTRACTOR	DATE	DELTA ALPHA ANGLE=-0°15'34"	DATE				
CONTRACTOR	DATE	EL=5102.17 NAVD 1929	DATE				



SCANNED BY
MESA REPRO



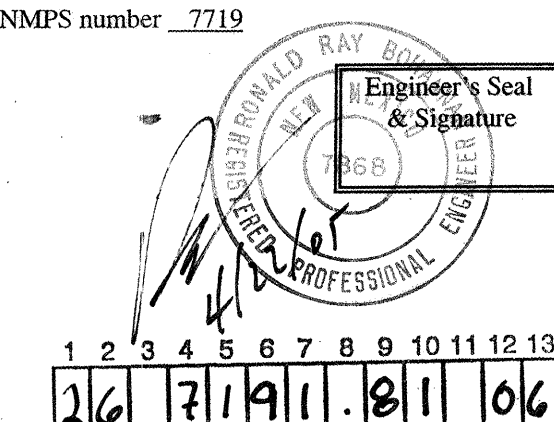
CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD	
C3	39.60	25.00	N43°59'44"W	35.59	
C4	8.50	2.71	S00°57'52"W	5.41	
C5	8.50	2.71	N00°57'52"E	5.41	

QUARTER POINTS		
FL	ELEV.	CHORD
1	5103.98	
2	5104.10	
3	5103.92	

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TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
TITLE: QUAIL RIDGE PAVING IMPROVEMENTS QUAIL ROAD MEDIAN IMPROVEMENTS	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
DESIGN REVIEW COMMITTEE	CITY ENGINEER
CITY PROJECT NO. 719181	ZONE MAP NO. H-11-Z
SHEET 6	OF 6