RECORD DRAWINGS

CONSTRUCTION PLANS FOR

LOS PASTORES SHOPPING CENTER

WYOMING BLVD & MONTGOMERY BLVD

ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST 2016

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTIONS
CITY CONSTRUCTION ENGINEER
DATE: 11/21/2018

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7 PAVING & UTILITY IMPROVEMENTS
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8 PAVING & UTILITY IMPROVEMENTS
ALLEY "B" (WEST), STA 20+00.00 TO 28+46.19

9 PAVING IMPROVEMENTS
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15 TEMPORARY EROSION CONTROL AND SEDIMENTATION DETAILS

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Bohannan, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Russ P. Hugg, of Surv-Tek, Inc , NMPS number 9550

Engineer's Seal & Signature

RONALD R. BOHANNAN NEW MEXICO 7868 REGISTERED PROFESSIONAL ENGINEER

11/21/18

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS (ABCWUA)

I, Ronald R. Bohannan, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction with survey information provided by Russ P. Hugg of Surv-tek, Inc. , NMPS number 9750.

Engineer's Seal & Signature

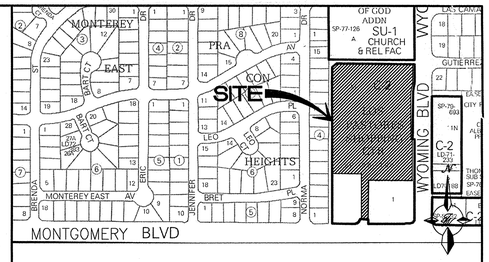
RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that the as-built information shown hereon is the result of an actual field survey performed by me or under my direct supervision and that the same is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPS No. 9750
06/06, 2017

PROFESSIONAL SURVEYOR STATE OF NEW MEXICO No. 9750 RUSS P. HUGG



VICINITY MAP F-19-Z

SCALE NONE

NOTICE TO CONTRACTORS

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION (UPDATE #9). CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING ROADWAY AND UTILITY FACILITIES RESULTING FROM ACTIVITIES PERFORMED UNDER THE CONTRACT FOR IMPROVEMENTS DETAILED ON THESE PLANS.

2. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.

3. ANY WORK AFFECTING AN ARTERIAL ROADWAY MAY REQUIRE 24-HOUR CONSTRUCTION.

4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

5. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO(2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO STANDARD SPECIFICATIONS.

6. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY THE CONTRACTOR TO THE SAME LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.

7. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS. ANY PERMANENT SURVEY MONUMENT LOCATED WITHIN 50' OF THIS PROJECT THAT IS NOT SHOWN ON THE PLAN AND IS DESTROYED DURING CONSTRUCTION WILL BE REPLACED AT THE DESIGNERS EXPENSE.

8. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.

9. FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.

10. ALL UTILITY WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH ABCWUA SPECIFICATIONS FOR WATER AND WASTEWATER FACILITIES (MOST RECENT REVISIONS).

11. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT http://abcwua.org/water_shut_off_and_turn_on_procedures

12. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

13. ELECTRONIC MARKER DEVICES (EMS) WILL BE PLACED ACCORDING TO SECTION 170 OF THE COA STANDARD SPECIFICATIONS.

14. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL PROJECT HAS BEEN ACCEPTED BY THE COA.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- [x] ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- [x] BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- [ ] TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE PROJECT ENGINEER.
- [x] SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- [ ] IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- [x] ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NEW MEXICO 87109
505-858-3100
www.tierrawestllc.com

REV	SHEETS	CITY ENGINEER	DATE	USER DEPT.	DATE	USER DEPT.	DATE

ENGINEERS STAMP & SIGNATURE

RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER

RONALD R. BOHANNAN
P.E. #7868

APPROVALS	ENGINEER	DATE
DRC Chairman		10/20/16
Transportation		9/22/16
Water/Wastewater		9-22-16
Hydrology		9.22.16
AMAFCA		
Constr. Mngmt.		
Constr. Coord.		

APPROVED FOR CONSTRUCTION

for CITY Engineer 3-29-17 Date

CITY PROJECT NO. 719880

SHEET 1 OF 15

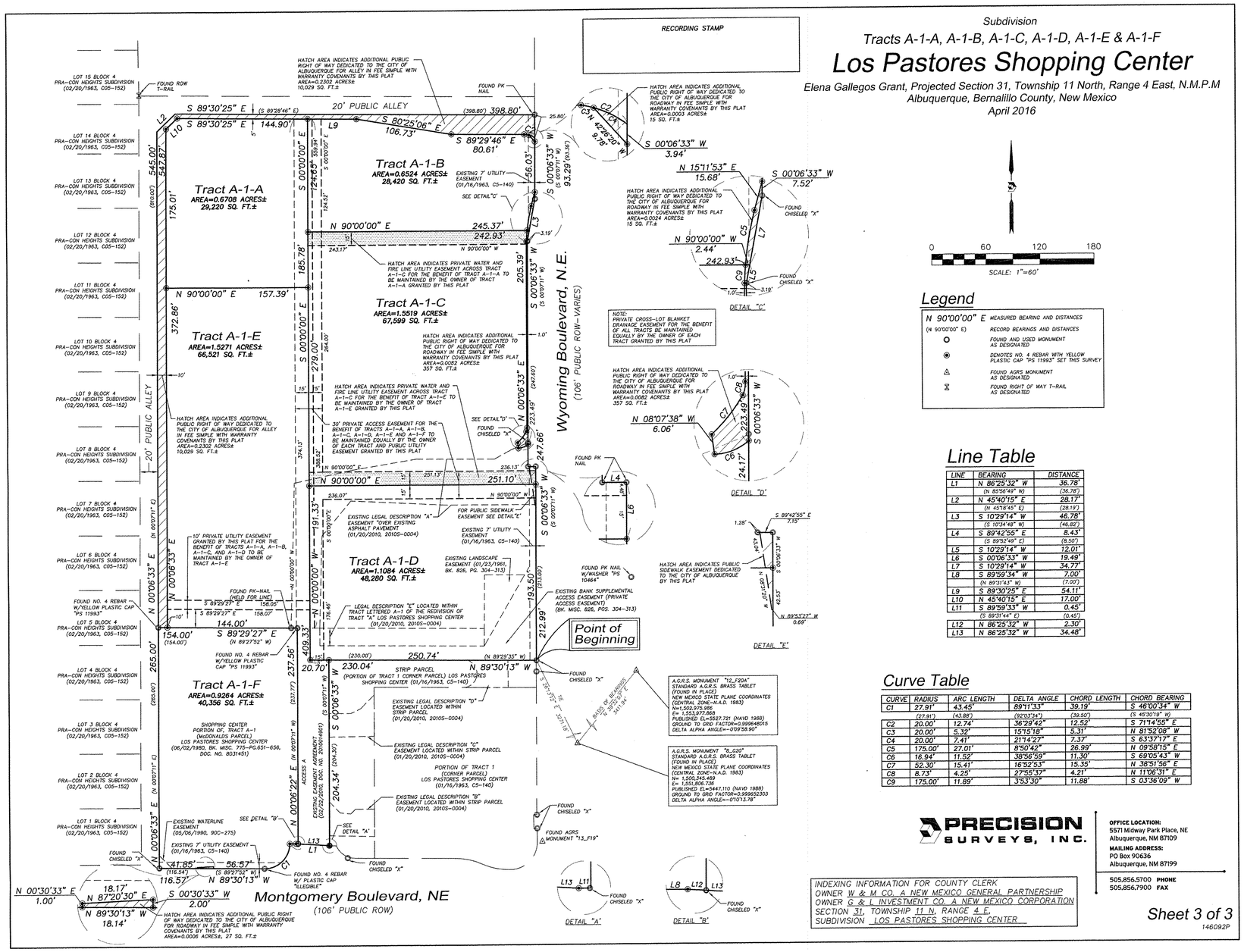
RECORDING STAMP

Subdivision

Tracts A-1-A, A-1-B, A-1-C, A-1-D, A-1-E & A-1-F

Los Pastores Shopping Center

Elena Gallegos Grant, Projected Section 31, Township 11 North, Range 4 East, N.M.P.M
Albuquerque, Bernalillo County, New Mexico
April 2016



NOTE:
PRIVATE CROSS-LOT BLANKET DRAINAGE EASEMENT FOR THE BENEFIT OF ALL TRACTS BE MAINTAINED EQUALLY BY THE OWNER OF EACH TRACT GRANTED BY THIS PLAT

SCALE: 1"=60'

Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
◉	DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
△	FOUND AGRS MONUMENT AS DESIGNATED
⧖	FOUND RIGHT OF WAY T-RAIL AS DESIGNATED

Line Table

LINE	BEARING	DISTANCE
L1	N 86°25'32" W	36.78'
	(N 85°56'49" W)	(36.78')
L2	N 45°40'15" E	28.17'
	(N 45°18'45" E)	(28.19')
L3	S 10°29'14" W	46.78'
	(S 10°34'48" W)	(46.83')
L4	S 89°42'55" E	8.43'
	(S 89°52'49" E)	(8.50')
L5	S 10°29'14" W	12.01'
L6	S 00°06'33" W	19.49'
L7	S 10°29'14" W	34.77'
L8	S 89°59'34" W	7.00'
	(N 89°31'43" W)	(7.00')
L9	S 89°30'25" E	54.11'
L10	N 45°40'15" E	17.00'
L11	S 89°59'33" W	0.45'
	(S 89°31'44" E)	(0.45')
L12	N 86°25'32" W	2.30'
L13	N 86°25'32" W	34.48'

Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD LENGTH	CHORD BEARING
C1	27.91'	43.45'	89°11'33"	39.19'	S 46°00'34" W
	(27.91')	(43.88')	(92°03'34")	(39.50')	(S 45°30'19" W)
C2	20.00'	12.74'	36°29'42"	12.52'	S 71°14'55" E
C3	20.00'	5.32'	15°15'18"	5.31'	N 81°52'08" W
C4	20.00'	7.41'	21°14'27"	7.37'	S 63°37'17" E
C5	175.00'	27.01'	8°50'42"	26.99'	N 09°58'15" E
C6	16.94'	11.52'	38°96'59"	11.30'	S 69°05'43" W
C7	52.30'	15.41'	16°52'53"	15.35'	N 38°51'56" E
C8	8.73'	4.25'	27°55'37"	4.21'	N 11°06'31" E
C9	175.00'	11.89'	3°53'30"	11.88'	S 03°36'09" W

PRECISION SURVEYS, INC.

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199
505.856.5700 PHONE
505.856.7900 FAX

INDEXING INFORMATION FOR COUNTY CLERK
OWNER W & M CO. A NEW MEXICO GENERAL PARTNERSHIP
OWNER G & L INVESTMENT CO. A NEW MEXICO CORPORATION
SECTION 31, TOWNSHIP 11 N, RANGE 4 E,
SUBDIVISION LOS PASTORES SHOPPING CENTER

Sheet 3 of 3
146092P

FOR REFERENCE ONLY

AS BUILT INFORMATION
CONTRACTOR SALES DETAILER DATE 2017-16
WORK STAKED BY SURV-TEK DATE
INSPECTOR'S ACCEPTANCE BY TEK DATE 2016
FIELD VERIFICATION BY MCCLOUD CORP DATE 2017-16
DRAWINGS CORRECTED BY DATE 2017-16
MICRO-FILM INFORMATION
RECORDED BY DATE
NO.

BENCH MARKS
STANDARD A.G.R.S. BRASS TABLET (FOUND IN PLACE) "8_C20"
A.G.R.S. MONUMENT
NM STATE PLANE COORDINATES
CENTRAL ZONE-N.A.D. 1983
X=1,551,806.736
Y=1,500,345.489
G-G=0.999652303
Da=-0°10'13.78"
Elev=5447.110 (NAVD 1988)

SURVEY INFORMATION
FIELD NOTES
NO. BY DATE

ENGINEER'S SEAL

NO.	REMARKS	BY	DATE
	REVISIONS		
	DESIGN		DATE: 8/19/2016
			DATE: 8/19/2016
			JOB NO.: 2014052
	DRAWING NAME: 2014052-SH02-PLAT		DATE: 8/19/2016

DESIGNED BY: JH
DRAWN BY: DY
CHECKED BY: JH

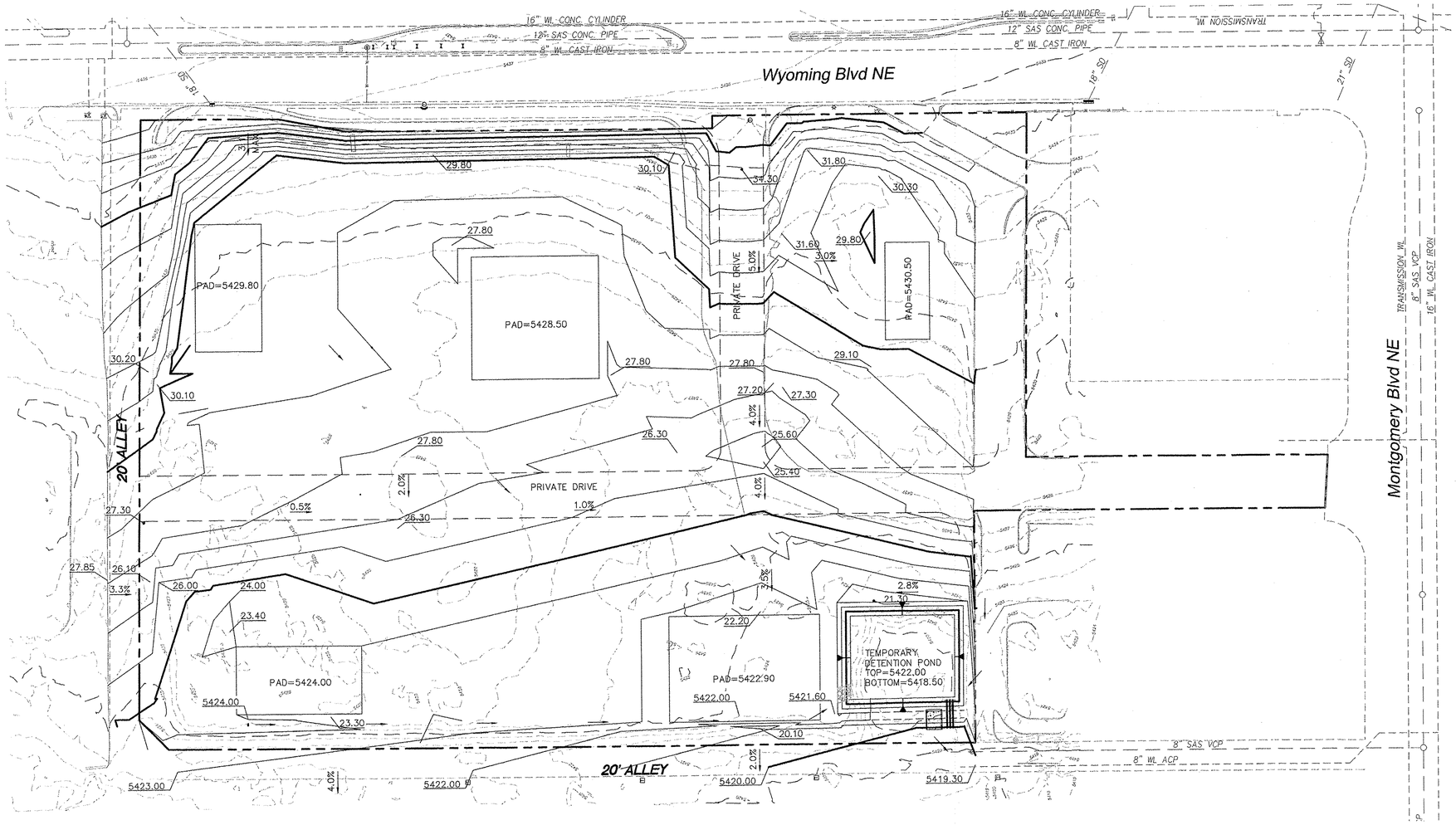
TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505)858-3100
www.tierrawestllc.com

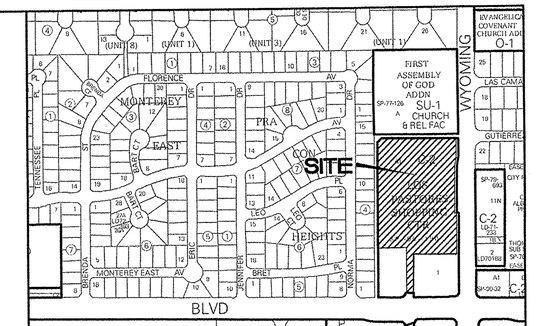
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: LOS PASTORES SHOPPING CENTER
PLAT

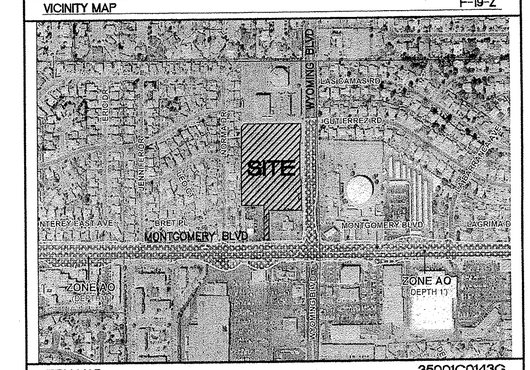
DESIGN REVIEW COMMITTEE | CITY ENGINEER APPROVAL | LAST DESIGN UPDATE | MO./DAY/YR. | MO./DAY/YR.

CITY PROJECT NO. 719880 | ZONE MAP NO. F-19-Z | SHEET 2 OF 15





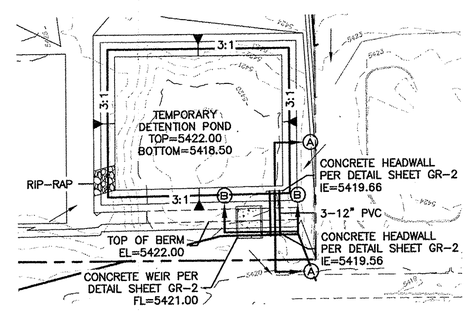
VICINITY MAP F-19-Z



FIRM MAP 35001C0143G

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- SIDEWALK
- EXISTING CURB & GUTTER
- SINGLE CLEAN OUT
- DOUBLE CLEAN OUT
- EXISTING SD MANHOLE
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GAS VALVE
- U — EXISTING OVERHEAD UTILITIES
- EXISTING GAS
- EX. 8" SAS — EXISTING SANITARY SEWER LINE
- EX. WL — EXISTING WATER LINE
- EX. RCP — EXISTING STORM SEWER LINE
- 4900 — EXISTING INDEX CONTOUR
- EXISTING CONTOUR



POND DETAIL
NTS

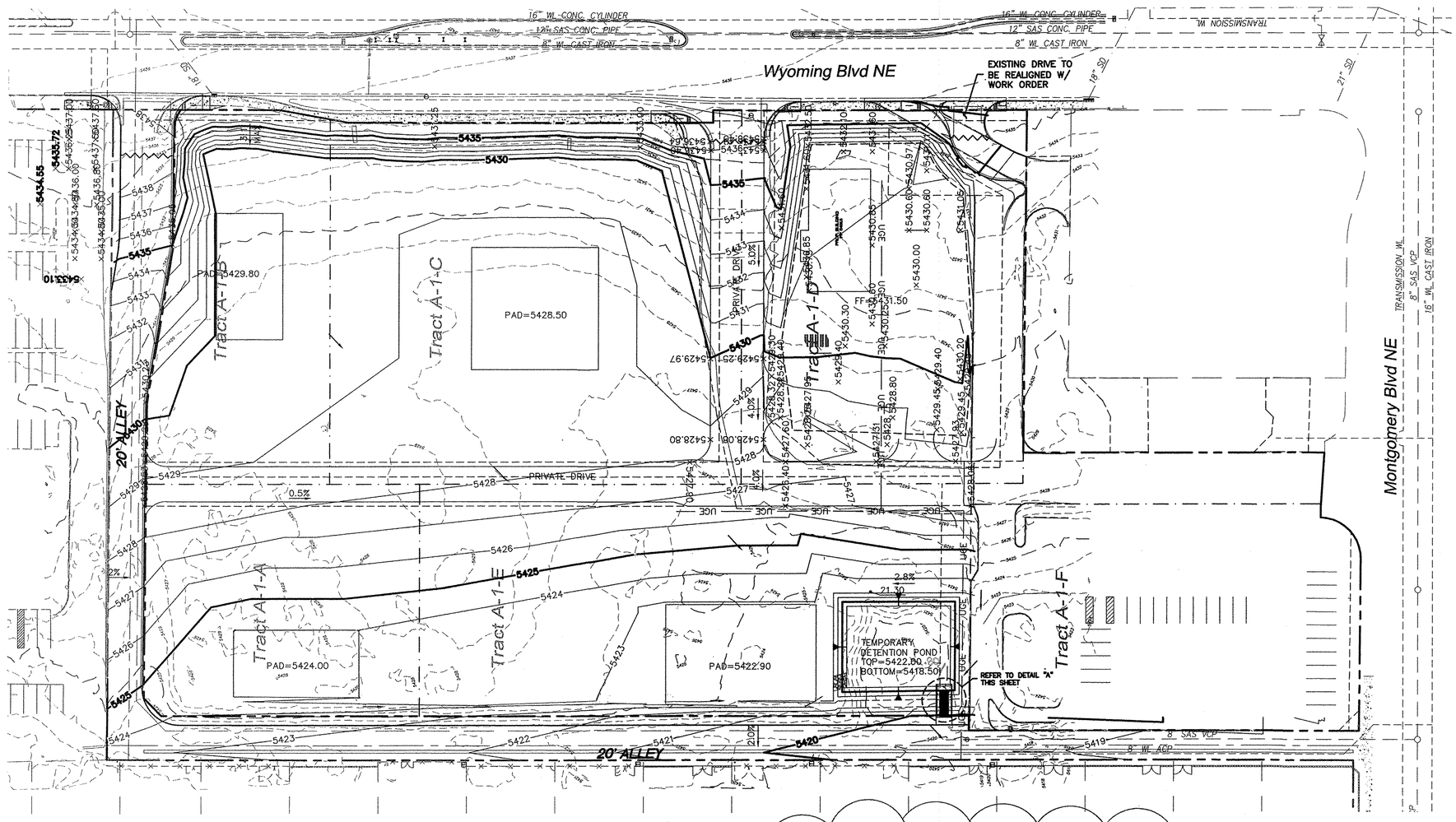
GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft.

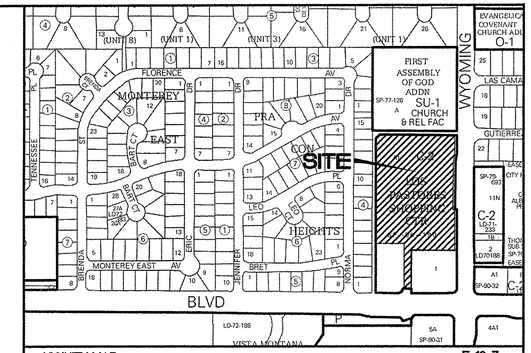
CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

FOR REFERENCE ONLY

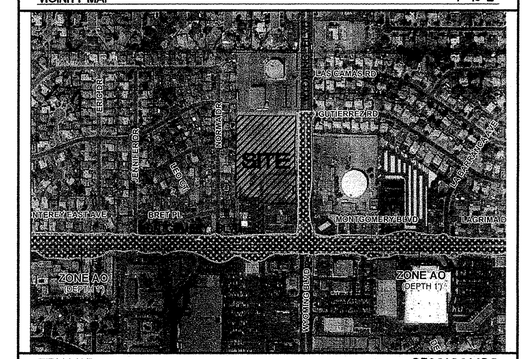
ENGINEER'S SEAL JOEL D. HERNANDEZ NEW MEXICO 17893 5/11/16 PROFESSIONAL ENGINEER JOEL D. HERNANDEZ P.E. #17893	LOS PASTORES SHOPPING CENTER GRADING PLAN TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	DRAWN BY DY DATE 5/02/16 2014052-GR-1 SHEET # GR-1 JOB # 2014052

(SEE REVISED SHEET GR-1)





VICINITY MAP F-19-Z



FIRM MAP 35001C0143G

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
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- EXISTING CURB & GUTTER
- SINGLE CLEAN OUT
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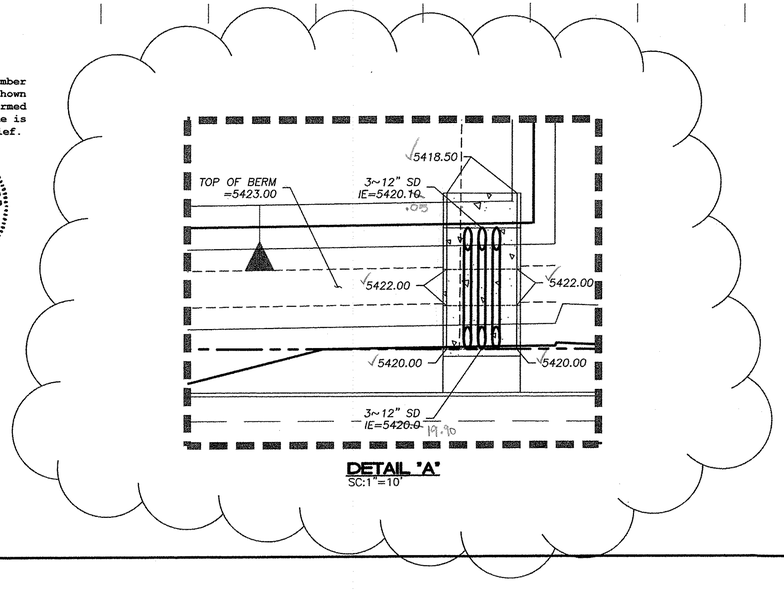
- EXISTING CONTOUR

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that the as-built information shown hereon is the result of an actual field survey performed by me or under my direct supervision and that the same is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPS No. 9750
1-5, 2012

PROFESSIONAL SURVEYOR STATE OF NEW MEXICO No. 9750 RUSS P. HUGG



DETAIL "A"
SC:1"=10'

GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft.

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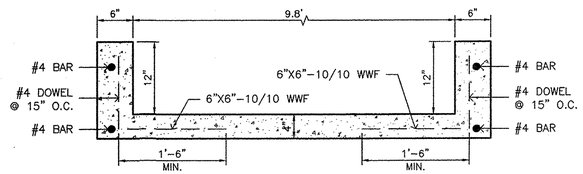
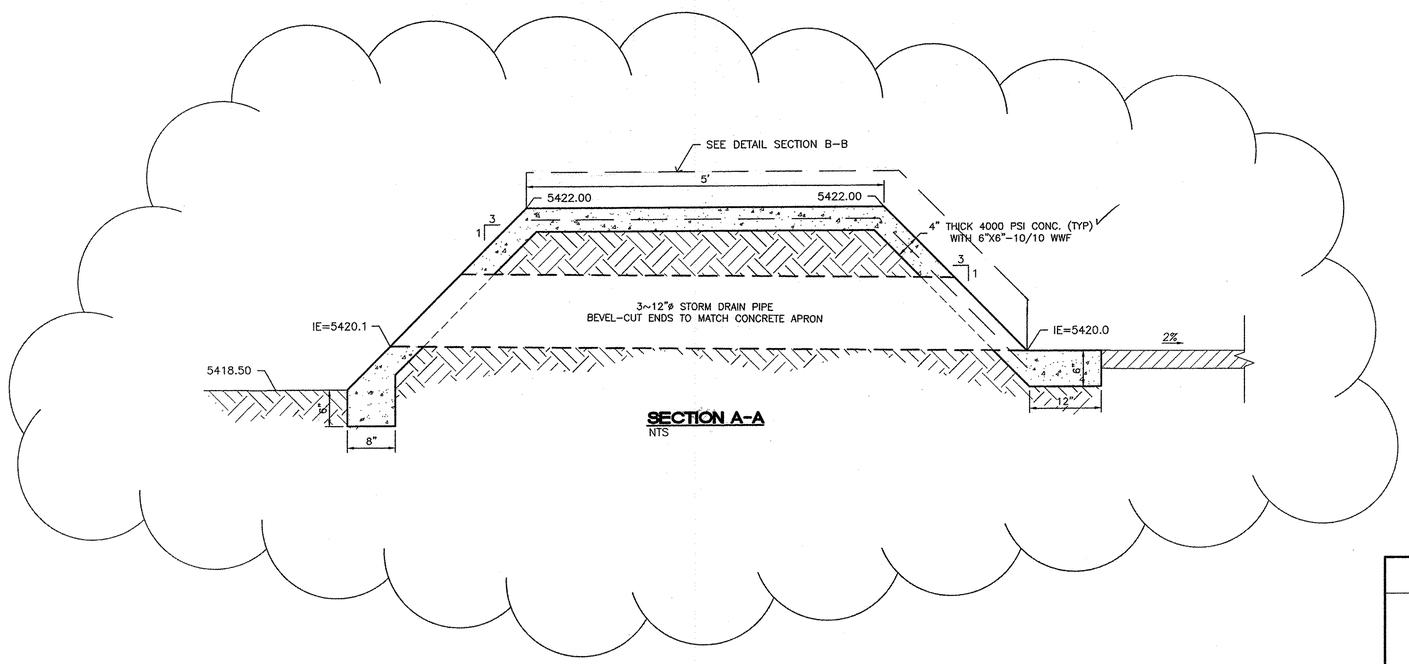
FOR REFERENCE ONLY

ENGINEER'S SEAL	LOS PASTORES SHOPPING CENTER	DRAWN BY DY
	GRADING PLAN	DATE 1/27/17
		2014052-GR-1
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-1
JOEL D. HERNANDEZ P.E. #17893		JOB # 2014052

REVISED SHEET GR-1



SECTION B-B
NTS



SECTION A-A
NTS

FOR REFERENCE ONLY

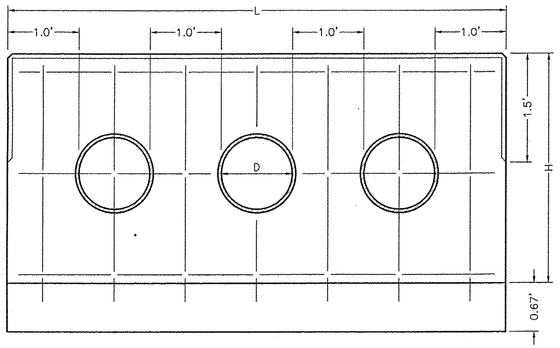
ENGINEER'S SEAL	LOS PASTORES SHOPPING CENTER	DRAWN BY DY
	GRADING DETAILS	DATE 4/29/16
		2014052-GR-2
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-2
JOEL D. HERNANDEZ P.E. #17893		JOB # 2014052

REVISED SHEET GR-2

NOTES:

1. CONCRETE SHALL BE 4000 PSI.
2. ALL REINFORCING STEEL #4 BARS. ALL VERTICAL AND HORIZONTAL TIE BARS 18" MAXIMUM SPACING.

D	H	L
12"	2'-8"	7'-0"



ELEVATION
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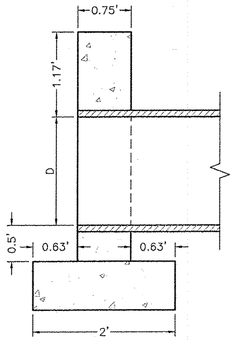
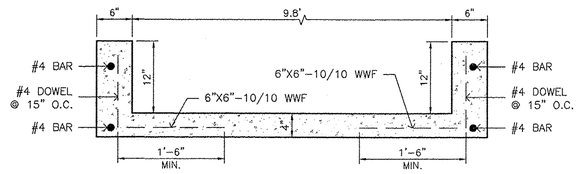
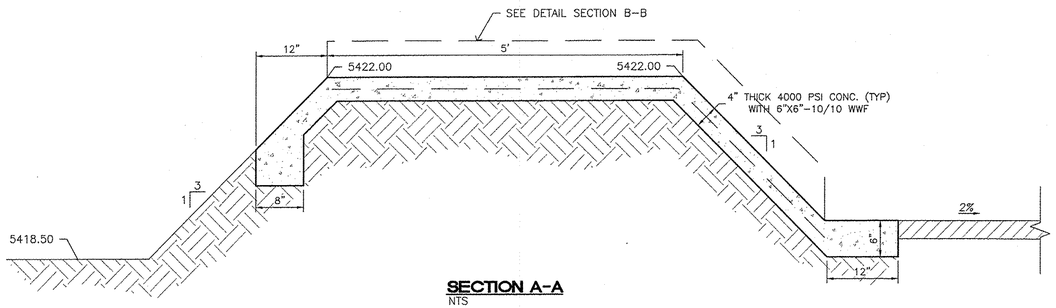


SECTION
NTS

CONCRETE HEADWALL
NTS



SECTION B-B
NTS



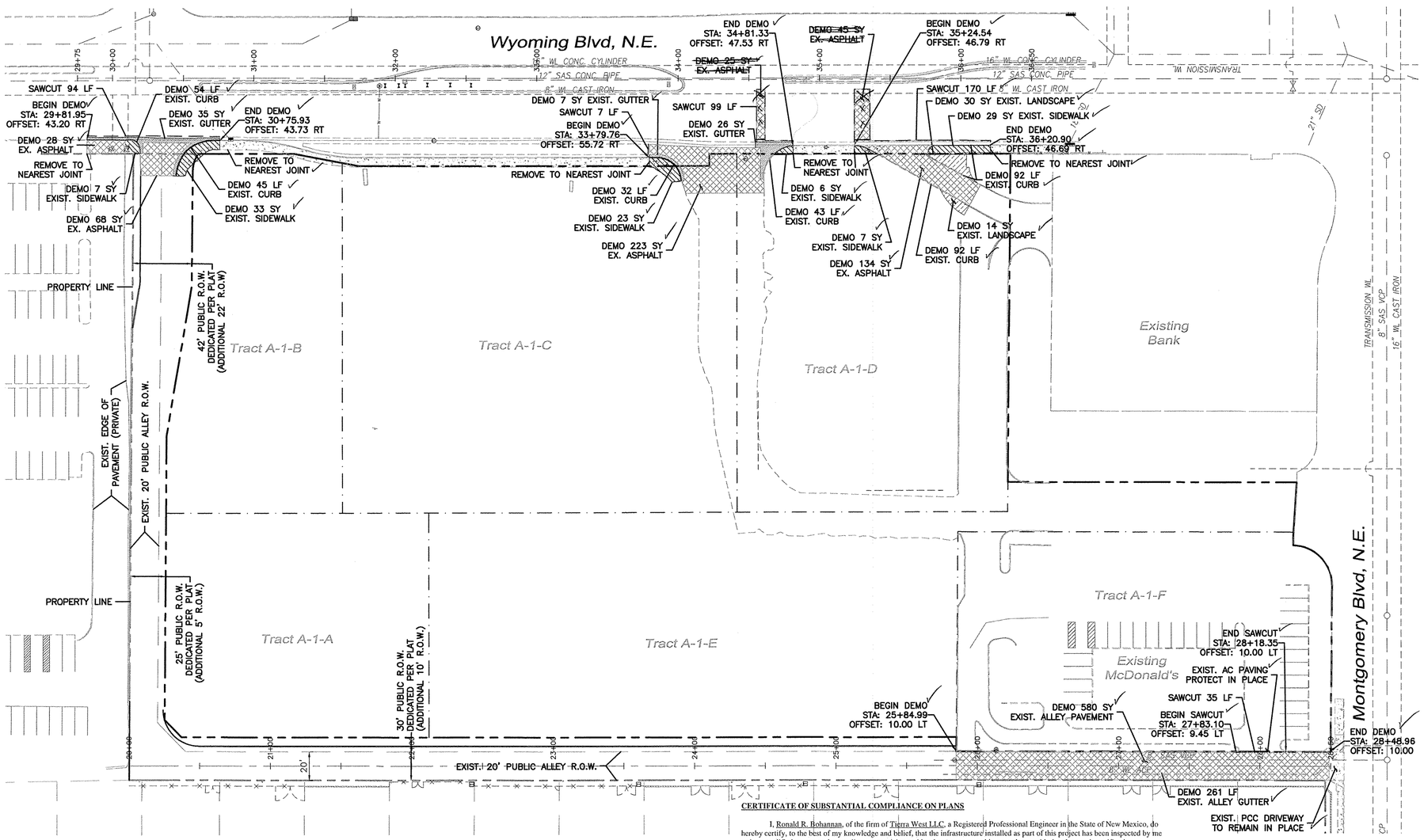
SECTION A-A
NTS

FOR REFERENCE ONLY

ENGINEER'S SEAL	LOS PASTORES SHOPPING CENTER	DRAWN BY DY
	GRADING DETAILS	DATE 4/29/16
		2014052-GR-2
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-2
JOEL D. HERNANDEZ P.E. #17893		JOB # 2014052

(SEE REVISED SHEET GR-2)

RECORD DRAWINGS



CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Bohannan, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Russ P. Hugg, of Surv-Tek, Inc , NMPS number 9550

NEW MEXICO REGISTERED PROFESSIONAL ENGINEER RONALD R. BOHANNAN 7868

N.M. Registered Professional Engineer Seal & Signature

7/22/16

CAUTION:
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NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 811, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

NOTES

1. REMOVAL OF EXISTING CURB & GUTTER SHALL BE TO THE NEAREST JOINT.
2. ANY DAMAGE TO THE EXISTING CURB & GUTTER, PAVEMENT, SIDEWALKS, STRIPING, AND SIGNAGE DURING CONSTRUCTION SHALL BE REPLACED.
3. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
4. CURB AND GUTTER, SIDEWALKS, AND DRIVE PADS SHALL MATCH THE ELEVATIONS OF ABUTTING EXISTING AREAS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE PROJECT ENGINEER.
5. THE SUBGRADE PREP SHALL EXTEND ONE FOOT BEYOND THE FREE EDGE OF NEW CURB AND GUTTER AND SIDEWALK.
6. CONTRACTOR TO TEST SUBGRADE R-VALUE PRIOR TO CONSTRUCTION. IN THE EVENT THE R-VALUE IS LESS THAN 50, REMOVE 2 FEET OF SUBGRADE MATERIAL AND IMPORT MATERIAL WITH R-VALUE GREATER THAN 50 OR CONTACT THE ENGINEER IMMEDIATELY SO THE PAVEMENT SECTION CAN BE MODIFIED.
7. CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL EXISTING SURFACE FEATURES AND UTILITIES, UNLESS OTHERWISE SHOWN.

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING ASPHALT TO BE REMOVED
- EXISTING GUTTER TO BE REMOVED
- EXISTING LANDSCAPE TO BE REMOVED
- EXISTING SIDEWALK TO BE REMOVED
- SAWCUT

GRAPHIC SCALE
40 0 20 40
(IN FEET)
1 inch = 40 ft.

AS BUILT INFORMATION
CONTRACTOR Sales Properties
STAKED BY Surv-Tek Inc. DATE 2017-16
INSPECTOR'S VERIFICATION BY Mason Cox DATE 2017-16
FIELD VERIFICATION BY Mason Cox DATE 2017-16
CORRECTED BY Surv-Tek Inc DATE 2017-16
MICRO-FILM INFORMATION
RECORDED BY DATE
NO.

BENCH MARKS
STANDARD A.C.R.S. BRASS TABLET (FOUND IN PLACE)
A.C.R.S. MONUMENT "8_C20"
NM STATE PLANE COORDINATES
CENTRAL ZONE-N.A.D. 1983
X=1,551,806.736
Y=1,500,345.489
G-G=0.999852303
Da=-0°10'13.78"
Elev=5447.110 (NAVD 1988)

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL
NEW MEXICO REGISTERED PROFESSIONAL ENGINEER RONALD R. BOHANNAN 7868

NO.	DATE	REMARKS	BY

REVISIONS

DESIGN
DESIGNED BY: JH DATE: 9/14/2016
DRAWN BY: DY DATE: 9/14/2016
DRAWING NAME: 20140052-SH05-DEMO JOB NO.: 20140052
CHECKED BY: JH DATE: 9/14/2016

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505)858-3100
www.tierrawestllc.com

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

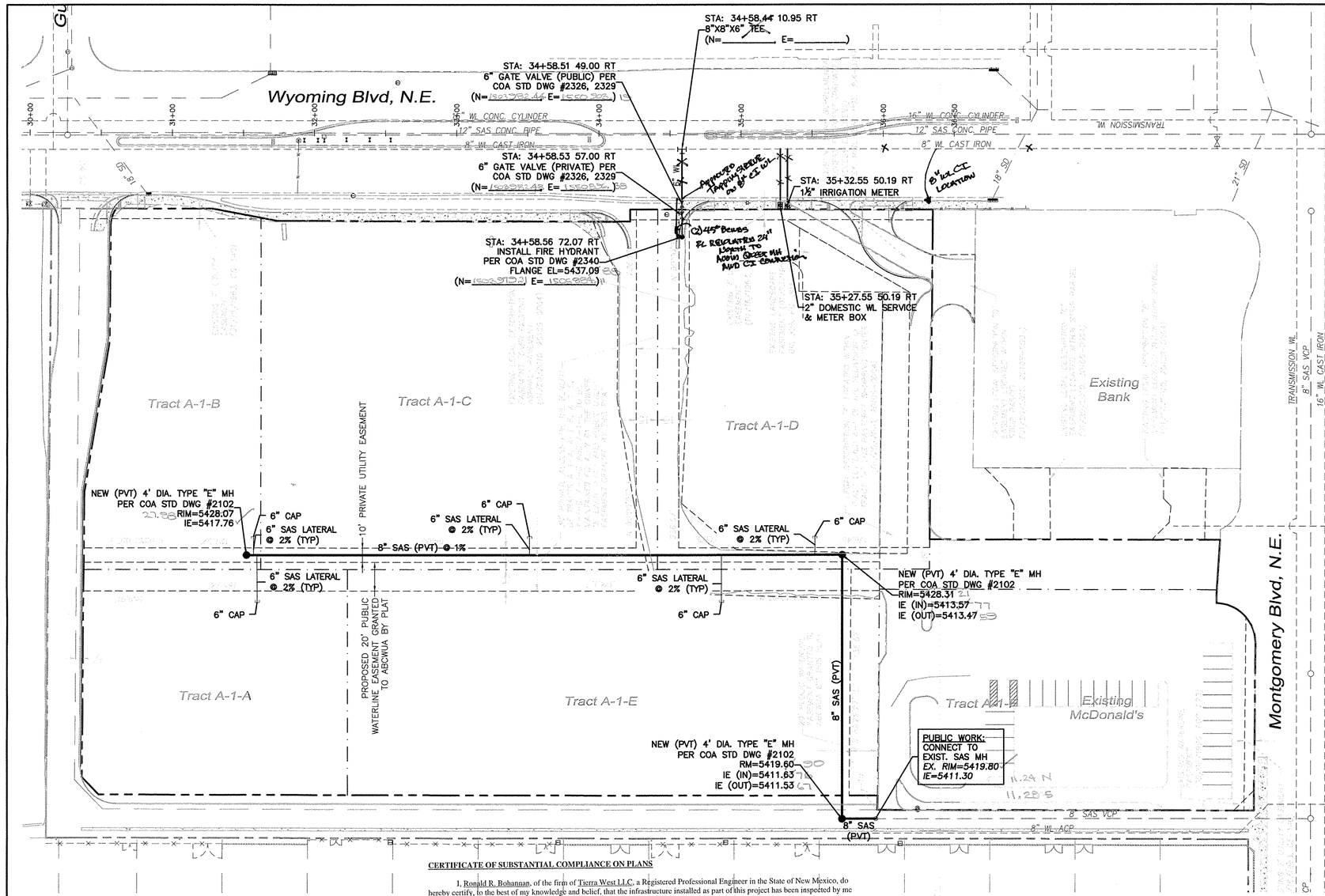
TITLE: LOS PASTORES SHOPPING CENTER
DEMOLITION PLAN

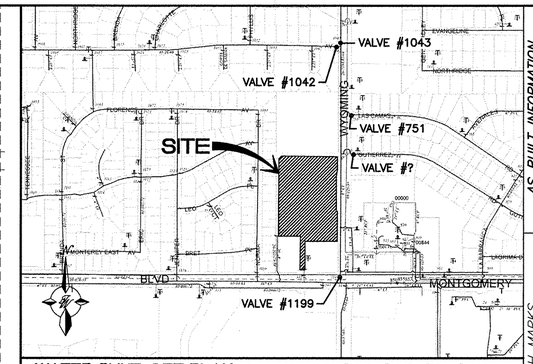
DESIGN REVIEW COMMITTEE: APPROVED OCT 20 2016 DESIGN REVIEW COMMITTEE
CITY ENGINEER APPROVAL: APPROVED MAR 24 2017 CITY ENGINEER

LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
719880	F-19-Z	5	15

RECORD DRAWINGS





WATER SHUT-OFF PLAN SHUT OFF VALVES #1042, #1043, #751, #1199

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- SIDEWALK
- RETAINING WALL
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 36" SD — STORM SEWER LINE
- 8" SAS — SANITARY SEWER LINE
- 8" WL — WATERLINE
- DOUBLE CLEAN OUT
- EXISTING SD MANHOLE
- EXISTING INLET
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GAS VALVE
- U — EXISTING OVERHEAD UTILITIES
- EX. UGE — EXISTING UNDERGROUND UTILITIES
- EX. 2" GAS — EXISTING GAS
- EX. 8" SAS — EXISTING SANITARY SEWER LINE
- EX. 10" WL — EXISTING WATER LINE
- EX. 18" RCP — EXISTING STORM SEWER LINE

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Bohannan, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Russ P. Hugg, of Surv-Tek, Inc , NMPS number 9550

Engineer's Seal & Signature

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS (ABCWUA)

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Engineer's Seal & Signature

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that the as-built information shown hereon is the result of an actual field survey performed by me or under my direct supervision and that the same is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPS No. 9750
06/06, 2017

GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 3' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
5. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
6. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
8. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
9. REFERENCE ARCHITECTURAL PLANS FOR LIGHTING POWER ROUTING.

NOTES:

1. ALL FIRE HYDRANTS ARE TO BE BUILT WITH MECH RESTRAINTS PER COA STANDARDS.
2. ALL EXISTING UTILITY CONNECTION LOCATIONS AND INVERTS MUST BE FIELD VERIFIED PRIOR TO AND CONSTRUCTION OF UTILITIES.
3. ALL WATERLINES ARE C900 PVC (DR18) UNLESS OTHERWISE NOTED ON PLAN ELEVATION.
4. ALL METER BOXES PER COA STD DWG 2361, 2363, 2366, AND 2367.
5. ALL PRIVATE HYDRANTS TO BE PAINTED ORANGE.

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GRAPHIC SCALE
40 0 20 40
(IN FEET)
1 inch = 40 ft.

AS BUILT INFORMATION
CONTRACTOR Sauble Bros.
WORK STAKED BY Surv-Tek DATE 3/2/17
INSPECTOR Bryan Haac DATE 6/26/17
FIELD VERIFICATION BY Surv-Tek DATE 6/26/17
DRAWINGS CORRECTED BY Tierra West DATE 6/26/17
MICRO-FILM INFORMATION
RECORDED BY DATE
NO.

BENCH MARKS
STANDARD A.G.R.S. BRASS TABLET (FOUND IN PLACE)
A.G.R.S. MONUMENT "8_G20"
NM STATE PLANE COORDINATES
CENTRAL ZONE-N.A.D. 1983
X=1,551,806.736
Y=1,500,345.489
G-G=0.999652303
Dg=-0°10'13.78"
Elev=5447.110 (NAVD 1988)

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL
RONALD R. BOHANNAN NEW MEXICO 7868 REGISTERED PROFESSIONAL ENGINEER

NO.	DATE	REMARKS	BY

REVISIONS

DESIGN
DESIGNED BY: JH DATE: 8/01/2016
DRAWN BY: DY DATE: 8/01/2016
DRAWING NAME: 20140052-SH06-MUP JOB NO.: 20140052
CHECKED BY: JH DATE: 8/18/2016

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505)858-3100
www.tierrawestllc.com

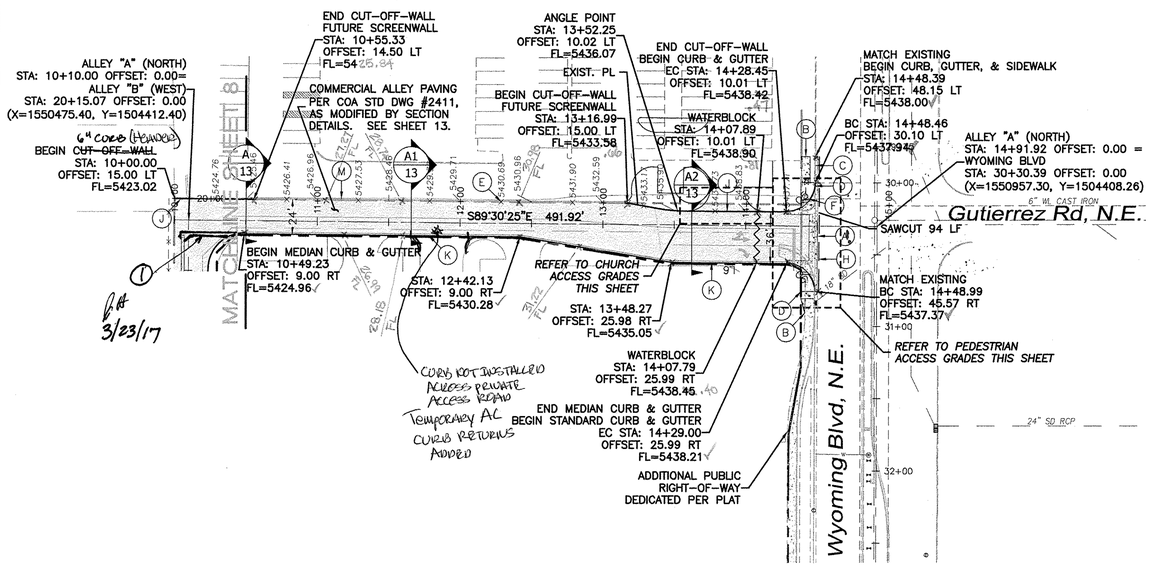
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

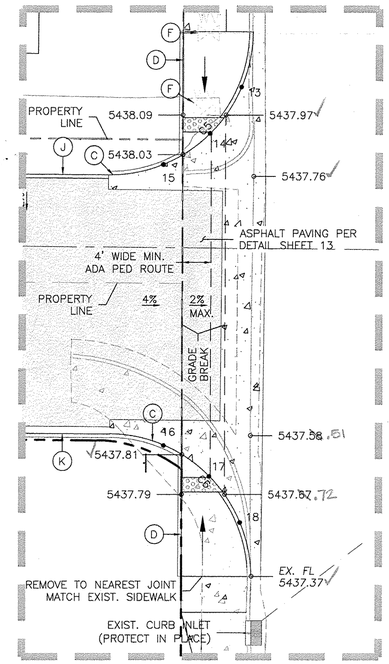
TITLE: LOS PASTORES SHOPPING CENTER
MASTER UTILITY PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
APPROVED OCT 20 2016 DESIGN REVIEW COMMITTEE	APPROVED MAR 24 2017 CITY ENGINEER			

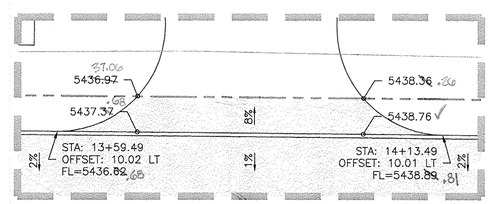
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
719880	F-19-Z	6	15

RECORD DRAWINGS





PEDESTRIAN ACCESS GRADES
SC: 1"=10'



CHURCH ACCESS GRADES
SC: 1"=10'

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LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- PROPOSED CONCRETE VALLEY GUTTER
- PROPOSED ASPHALT
- SAWCUT

KEYED NOTE:

- (A) 6' VALLEY GUTTER PER COA STD DWG #2420
- (B) 6' SIDEWALK PER COA STD DWG #2430 (2% MAX. CROSS SLOPE)
- (C) STANDARD CURB & GUTTER PER COA STD DWG #2415A
- (D) ACCESSIBLE RAMP W/ SLOPED CURB & CAST IN PLACE REPLACEABLE DOMES PER COA STD DWG #2441 & DETAIL SHEET 13 (8.3% MAX., 7.5% PREFERRED)
- (E) EDGE OF PAVEMENT
- (F) ADJUST EXIST. VALVE TO GRADE. INSTALL NEW COLLAR.
- (G) ADJUST EXIST. MANHOLE TO GRADE. SEE COA STD DWG #2461
- (H) REMOVE AND REPLACE EXISTING PAVEMENT 1-FOOT BEYOND PROPOSED VALLEY GUTTER PER COA STD DWG #2465 – ARTERIAL
- (I) 2' ALLEY GUTTER PER COA STD DWG #2415A
- (J) 6"X18" CUT-OFF-WALL PER COA STD DWG #2411
- (K) 6" MEDIAN CURB & GUTTER PER COA STD DWG #2415A
- (L) CONCRETE APRON EXTENSION
- (M) FUTURE SCREEN WALL PER ADMINISTRATIVE AMENDMENT

QUARTER POINTS

C5 FL	ELEV.	C6 FL	ELEV.
13	5437.95	16	5437.90
14	5438.03	17	5437.72
15	5438.15	18	5437.60

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that the as-built information shown hereon is the result of an actual field survey performed by me or under my direct supervision and that the same is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPS No. 9750
1-5, 2018

PROFESSIONAL SURVEYOR STATE OF NEW MEXICO No. 9750 RUSS P. HUGG

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

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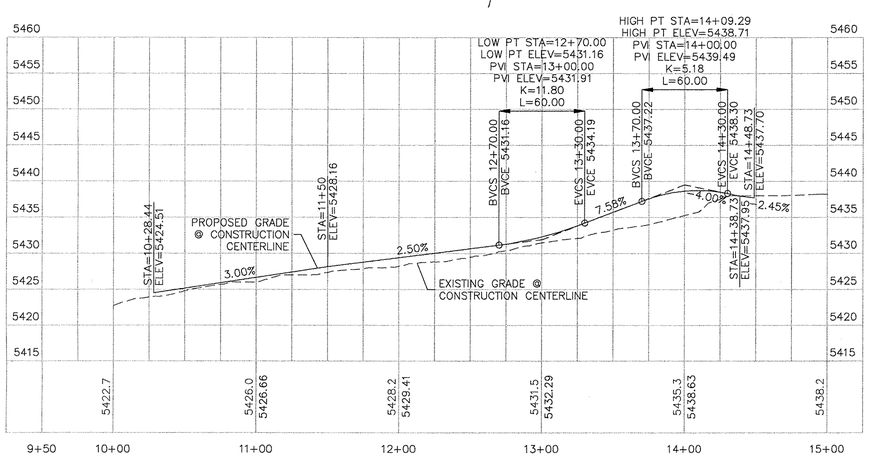
Engineer's Seal & Signature 7888
REGISTERED PROFESSIONAL ENGINEER
1/22/18



LINE TABLE		
LINE	BEARING	LENGTH
L6	N89°29'46"W	80.72

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C5	90°17'23"	20.00	31.52
C6	88°46'17"	20.00	30.99

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N

50 25 0 25 50
SCALE: HORIZ. 1"=50'
VERT. 1"=10'

AS BUILT INFORMATION
CONTRACTOR SAWCUT / TECH. DATE 3/21
WORK STAKED BY SURV-TEK DATE 3/21
ACCEPTANCE BY CONTRACTOR DATE 3/21-18
FIELD VERIFICATION BY SURV-TEK DATE 3/21
DRAWINGS CORRECTED BY SURV-TEK DATE 1/16
MICRO-FILM INFORMATION
RECORDED BY DATE
NO.

BENCH MARKS
STANDARD A.G.R.S. BRASS TABLET (FOUND IN PLACE)
A.G.R.S. MONUMENT "8_G20"
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SURVEY INFORMATION
FIELD NOTES
NO. BY DATE

ENGINEER'S SEAL
RONALD R. BOHANNAN NEW MEXICO 7888 PROFESSIONAL ENGINEER

NO.	DATE	REMARKS	BY
		REVISIONS	

DESIGN
DESIGNED BY: JH DATE: 9/14/2016
DRAWN BY: DY DATE: 9/14/2016
DRAWING NAME: 2014052-SH07-P&P-ALLEY NORTH JOB NO.: 2014052
CHECKED BY: JH DATE: 9/14/2016

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505)858-3100
www.tierrawestllc.com

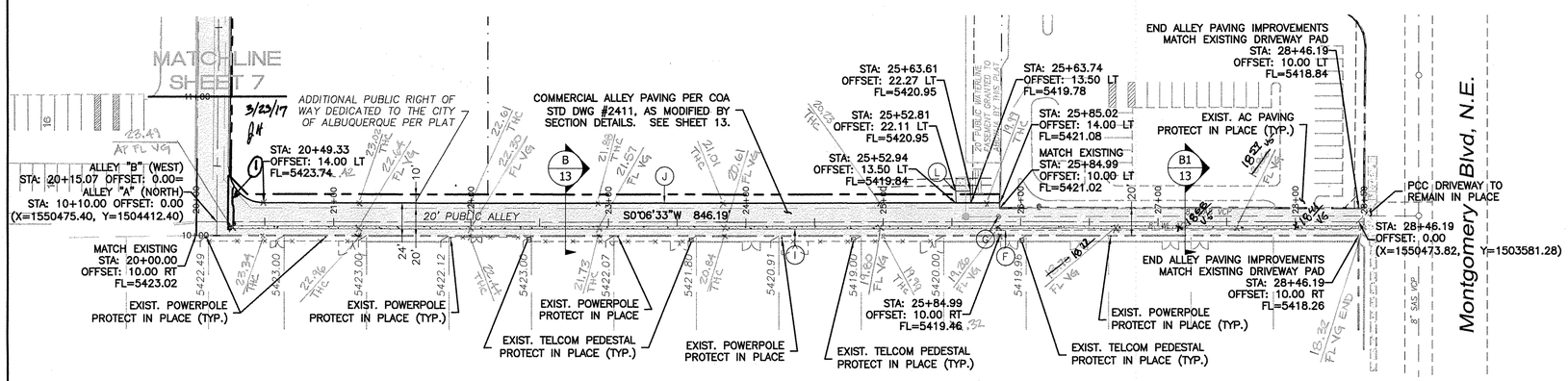
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: LOS PASTORES SHOPPING CENTER
PAVING IMPROVEMENTS
ALLEY "A" (NORTH): STA: 10+00.00 TO 14+48.99

DESIGN REVIEW COMMITTEE: APPROVED OCT 20 2016 DESIGN REVIEW COMMITTEE
CITY ENGINEER APPROVAL: APPROVED MAR 24 2017 CITY ENGINEER
LAST DESIGN UPDATE | MO./DAY/YR. | MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
719880	F-19-Z	7	15

RECORD DRAWINGS



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Russ P. Hugg
NMPS No. 9750
1-5, 2017

PROFESSIONAL SURVEYOR STATE OF NEW MEXICO No. 9750 RUSS P. HUGG

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- PROPOSED CONCRETE VALLEY GUTTER
- PROPOSED ASPHALT

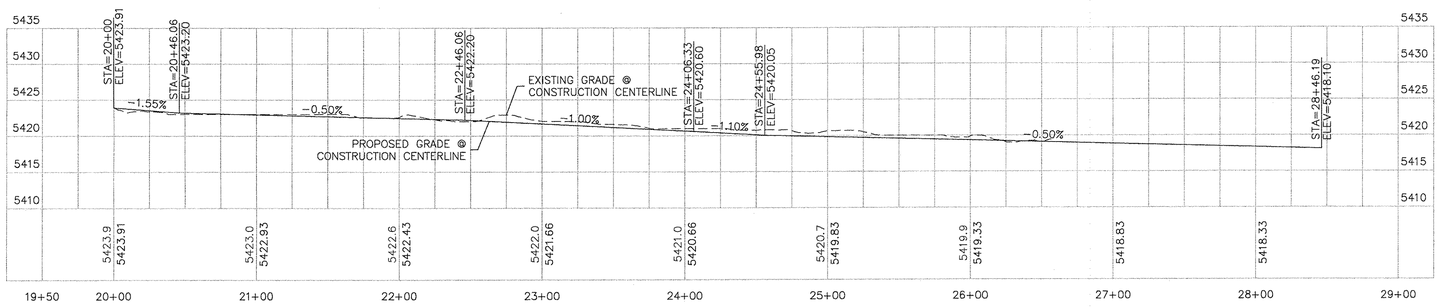
CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Bohannan, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Russ P. Hugg, of Surv-Tek, Inc , NMPS number 9550 .

Signature & Seal
11/22/16

KEYED NOTE:

(A) 6' VALLEY GUTTER PER COA STD DWG #2420
(B) 6' SIDEWALK PER COA STD DWG #2430 (2% MAX. CROSS SLOPE)
(C) STANDARD CURB & GUTTER PER COA STD DWG #2415A
(D) ACCESSIBLE RAMP W/ SLOPED CURB & CAST IN PLACE REPLACEABLE DOMES PER COA STD DWG #2441 & DETAIL SHEET 13 (8.3% MAX., 7.5% PREFERRED)
(E) EDGE OF PAVEMENT
(F) ADJUST EXIST. VALVE TO GRADE. SEE COA STD DWG #2426, #2461
(G) ADJUST EXIST. MANHOLE TO GRADE. SEE COA STD DWG #2461
(H) REMOVE AND REPLACE EXISTING PAVEMENT 1-FOOT BEYOND PROPOSED VALLEY GUTTER PER COA STD DWG #2465 - ARTERIAL
(I) 2' ALLEY GUTTER PER COA STD DWG #2415A
(J) 6"X18" CUT-OFF-WALL PER COA STD DWG #2411
(K) 6" MEDIAN CURB PER COA STD DWG #2415A
(L) CONCRETE APRON EXTENSION



50 25 0 25 50
SCALE: HORIZ. 1"=50'
VERT. 1"=10'

AS BUILT INFORMATION
CONTRACTOR SAUS BROS.
WORK STAKED BY SURV-TEK DATE 3/11
FIELD VERIFICATIONS BY SURV-TEK DATE 12/21
ACCEPTANCE BY CO/Hulle DATE 2017-10
FIELD VERIFICATION BY SURV-TEK DATE 12/11
DRAWINGS CORRECTED BY SURV-TEK DATE 1/16
MICRO-FILM INFORMATION
RECORDED BY DATE
NO. DATE

BENCH MARKS
STANDARD A.C.R.S. BRASS TABLET (FOUND IN PLACE)
A.C.R.S. MONUMENT "2_C20"
NM STATE PLANE COORDINATES
CENTRAL ZONE-N.A.D. 1983
X=1,551,806.736
Y=1,500,345.489
G-G=0.999652303
Da=-0°10'13.78"
Elev=5447.110 (NAVD 1988)

SURVEY INFORMATION
FIELD NOTES
NO. BY DATE

ENGINEER'S SEAL
RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER

NO.	BY	REMARKS	DATE
		REVISIONS	
		DESIGN	

DESIGNED BY: JH DATE: 9/14/2016
DRAWN BY: DY DATE: 9/14/2016
DRAWING NAME: 2014052-SH08-P&P-ALLEY WEST JOB NO.: 2014052
CHECKED BY: JH DATE: 9/14/2016

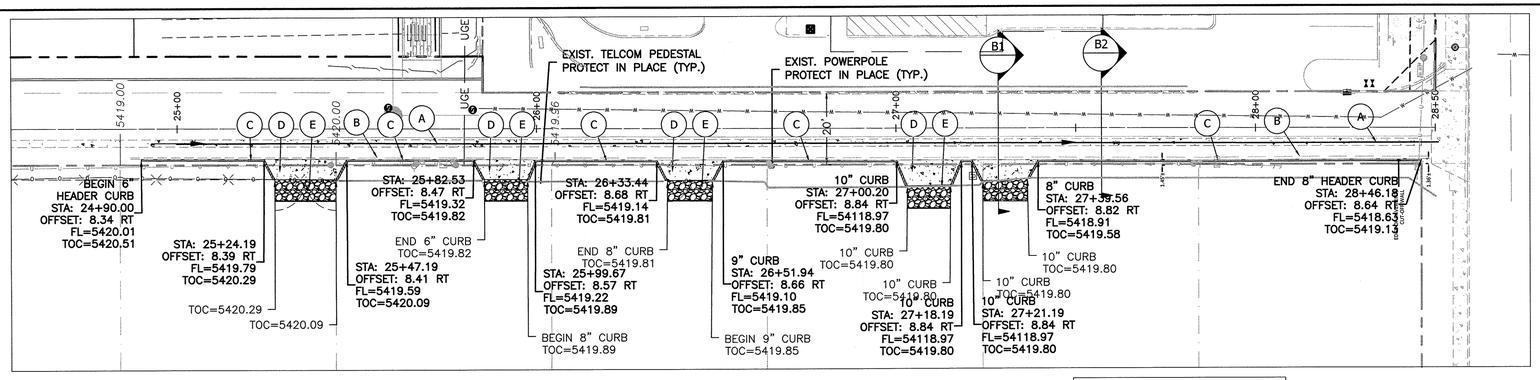
TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505)858-3100
www.tierrawestllc.com

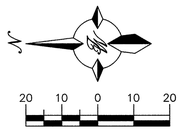
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: LOS PASTORES SHOPPING CENTER
PAVING IMPROVEMENTS
ALLEY "B" (WEST): STA: 20+00.00 TO 28+46.19

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
APPROVED OCT 20 2016 DESIGN REVIEW COMMITTEE	APPROVED MAR 24 2017 CITY ENGINEER			

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
719880	F-19-Z	8	15





SCALE: HORIZ. 1"=20'

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- PROPOSED CONCRETE VALLEY GUTTER
- PROPOSED ASPHALT

KEYED NOTE:

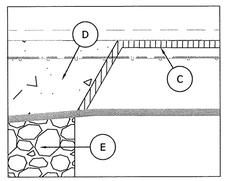
(A) EXISTING ALLEY 2' VALLEY GUTTER

(B) EXISTING CUTOFF WALL

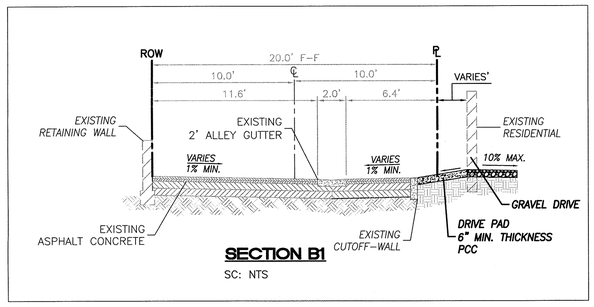
(C) 6" HEADER CURB (SEE DETAIL THIS SHEET)

(D) DRIVE PAD, PCC, 6" MIN. THICKNESS

(E) GRAVEL DRIVE

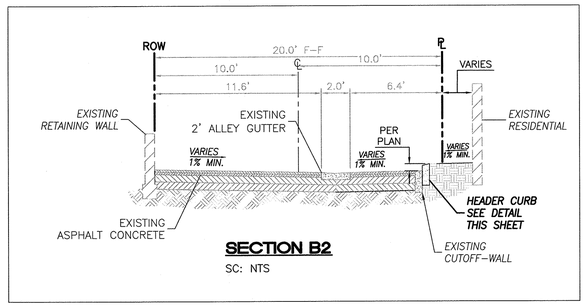


BLOWUP A



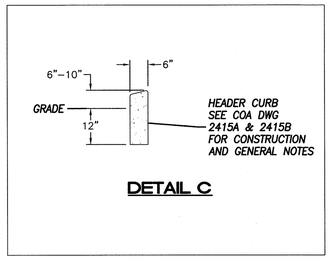
SECTION B1

SC: NTS



SECTION B2

SC: NTS



DETAIL C

CAUTION:
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NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

AS BUILT INFORMATION

		DATE
CONTRACTOR	WORK STAKED BY	DATE
	INSPECTOR'S ACCEPTANCE BY	DATE
	VERIFICATION OF CORRECTED BY	DATE

BENCH MARKS

STANDARD A.G.R.S. BRASS TABLET (FOUND IN PLACE)
A.G.R.S. MONUMENT "8_C20"
NM STATE PLANE COORDINATES
CENTRAL ZONE-N.A.D. 1983
X=1,551,806.736
Y=1,500,345.489
G-G=0.999652303
Dc=-0°10'13.78"
Elev=5447.110 (NAVD 1988)

MICRO-FILM INFORMATION

	DATE
RECORDED BY	
NO.	

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL

RONALD R. BOHANNAN NEW MEXICO PROFESSIONAL ENGINEER 9768 REGISTERED PROFESSIONAL ENGINEER

NO.	DATE	REMARKS	BY
		REVISIONS	

DESIGN

DESIGNED BY: JH DATE: 5/16/2018
DRAWN BY: BF DATE: 5/16/2018
DRAWING NAME: 2014052-SH08-P&P-ALLEY WEST 3 JOB NO.: 2014052
CHECKED BY: JH DATE: 10/24/2018

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505)858-3100
www.tierrawestllc.com

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **LOS PASTORES SHOPPING CENTER**
PAVING IMPROVEMENTS
ALLEY "B" (WEST): STA: 25+15.00 TO 28+46.19

DESIGN REVIEW COMMITTEE: APPROVED OCT 25 2018 DESIGN REVIEW COMMITTEE

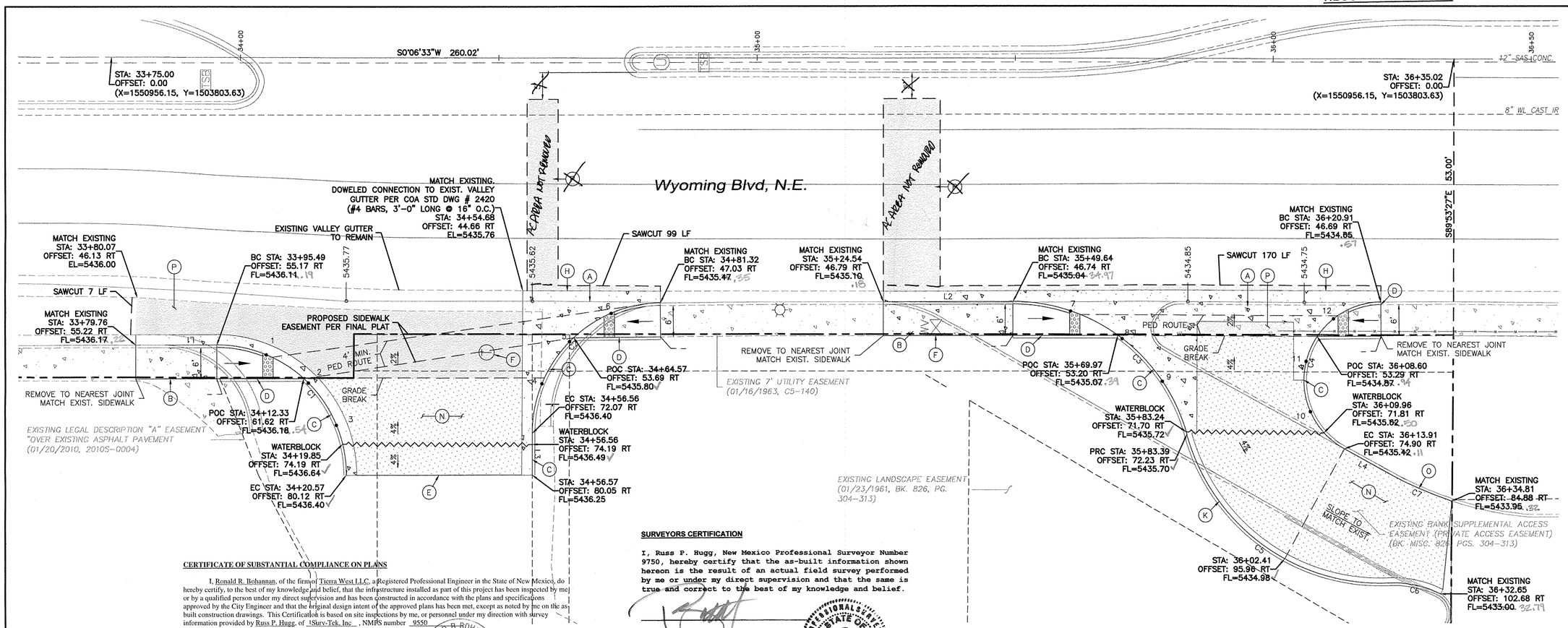
CITY ENGINEER APPROVAL: APPROVED OCT 25 2018 CITY ENGINEER

LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
719880	F-19-Z	8-1	15

Z:\2014\2014052 NWC Wyoming & Montgomery\dwg\Construction\2014052-SH08-P&P-Alley West 3.dwg Oct 24, 2018 - 12:04pm

RECORD DRAWINGS



CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Bohannan, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Russ P. Hugg, of 1Surv-Tek, Inc , NMPS number 9550

RONALD R. BOHANNAN — Engineer's Seal & Signature 7868 — REGISTERED PROFESSIONAL ENGINEER

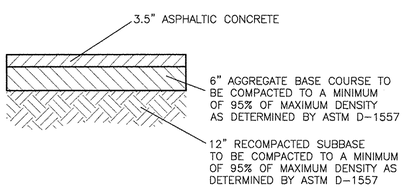
1/22/18

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that the as-built information shown hereon is the result of an actual field survey performed by me or under my direct supervision and that the same is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPS No. 9750
1-5, 2018

PROFESSIONAL SURVEYOR — STATE OF NEW MEXICO — No. 9750 — RUSS P. HUGG



PRIVATE DRIVE PAVING SECTION
NTS

NOTICE TO CONTRACTORS

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5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

LINE TABLE

LINE	BEARING	LENGTH
L1	N0°04'31"W	10.10
L2	S0°00'00"E	25.10
L3	N90°00'00"W	7.98
L4	S28°44'02"W	9.48

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH
C1	90°04'31"	25.00	39.30
C2	89°34'20"	25.00	39.08
C3	74°20'30"	35.00	45.41
C4	151°15'03"	15.00	39.60
C5	76°55'23"	39.00	52.36
C6	29°17'36"	20.00	10.23
C7	10°28'51"	75.00	13.72

QUARTER POINTS

C1

FL	ELEV.
1	5436.11
2	5436.20
3	5436.38

C2

FL	ELEV.
4	5436.01
5	5435.82
6	5435.66

C3

FL	ELEV.
7	5435.02
8	5435.10
9	5435.40

C4

FL	ELEV.
10	5435.38
11	5435.07
12	5434.78

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- PROPOSED CONCRETE VALLEY GUTTER
- PROPOSED ASPHALT (PUBLIC)
- PROPOSED ASPHALT (PRIVATE)
- PROPOSED ASPHALT OVERLAY
- SAWCUT

KEYED NOTE:

(A) 6' VALLEY GUTTER PER COA STD DWG #2420
(B) 6' SIDEWALK PER COA STD DWG #2430 (2% MAX. CROSS SLOPE)
(C) STANDARD CURB & GUTTER PER COA STD DWG #2415A
(D) ACCESSIBLE RAMP W/ SLOPED CURB & CAST IN PLACE REPLACEABLE DOMES PER COA STD DWG #2441 & DETAIL SHEET 13 (8.3% MAX., 7.5% PREFERRED)
(E) EDGE OF PAVEMENT
(F) ADJUST EXIST. VALVE TO GRADE. SEE COA STD DWG #2426, #2461
(G) ADJUST EXIST. MANHOLE TO GRADE. SEE COA STD DWG #2461
(H) REMOVE AND REPLACE EXISTING PAVEMENT 1-FOOT BEYOND PROPOSED VALLEY GUTTER PER COA STD DWG #2465 – ARTERIAL
(I) 2' ALLEY GUTTER PER COA STD DWG #2415A
(J) 6"X18" CUT-OFF-WALL PER COA STD DWG #2411
(K) 6" MEDIAN CURB PER COA STD DWG #2415A
(L) CONCRETE APRON EXTENSION
(M) FUTURE SCREEN WALL
(N) PRIVATE DRIVE SECTION
(O) 6" HEADER CURB PER COA STD DWG #2415B
(P) AC PAVEMENT PER COA STD DWG #2465 – ARTERIAL

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GRAPHIC SCALE
10 0 5 10
(IN FEET)
1 inch = 10 ft.

AS BUILT INFORMATION
CONTRACTOR BALLS BROS.
WORK STAKED BY SURV-TEK DATE 8/17
FIELD VERIFICATION BY SURV-TEK DATE 8/17
ACCEPTANCE BY CITY DATE 12/17/18
FIELD VERIFICATION BY SURV-TEK DATE 1/18
DRAWINGS CORRECTED BY SURV-TEK DATE 1/18
MICRO-FILM INFORMATION
RECORDED BY DATE
NO.

BENCH MARKS
STANDARD A.G.R.S. BRASS TABLET (FOUND IN PLACE)
A.G.R.S. MONUMENT "8_C20"
NM STATE PLANE COORDINATES
CENTRAL ZONE-N.A.D. 1983
X=1,551,806.736
Y=1,500,345.489
G-G=0.99962303
Da=-0°10'13.78"
Elev=5447.110 (NAVD 1988)

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL
RONALD R. BOHANNAN — NEW MEXICO — 7868 — REGISTERED PROFESSIONAL ENGINEER

REVISIONS

NO.	DATE	REMARKS	BY

DESIGN
DESIGNED BY: JH — DATE: 9/14/2016
DRAWN BY: DY — DATE: 9/14/2016
DRAWING NAME: 2014052-SH09-PAVING-WYOMING — JOB NO.: 2014052
CHECKED BY: JH — DATE: 9/14/2016

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505)858-3100
www.tierrawestllc.com

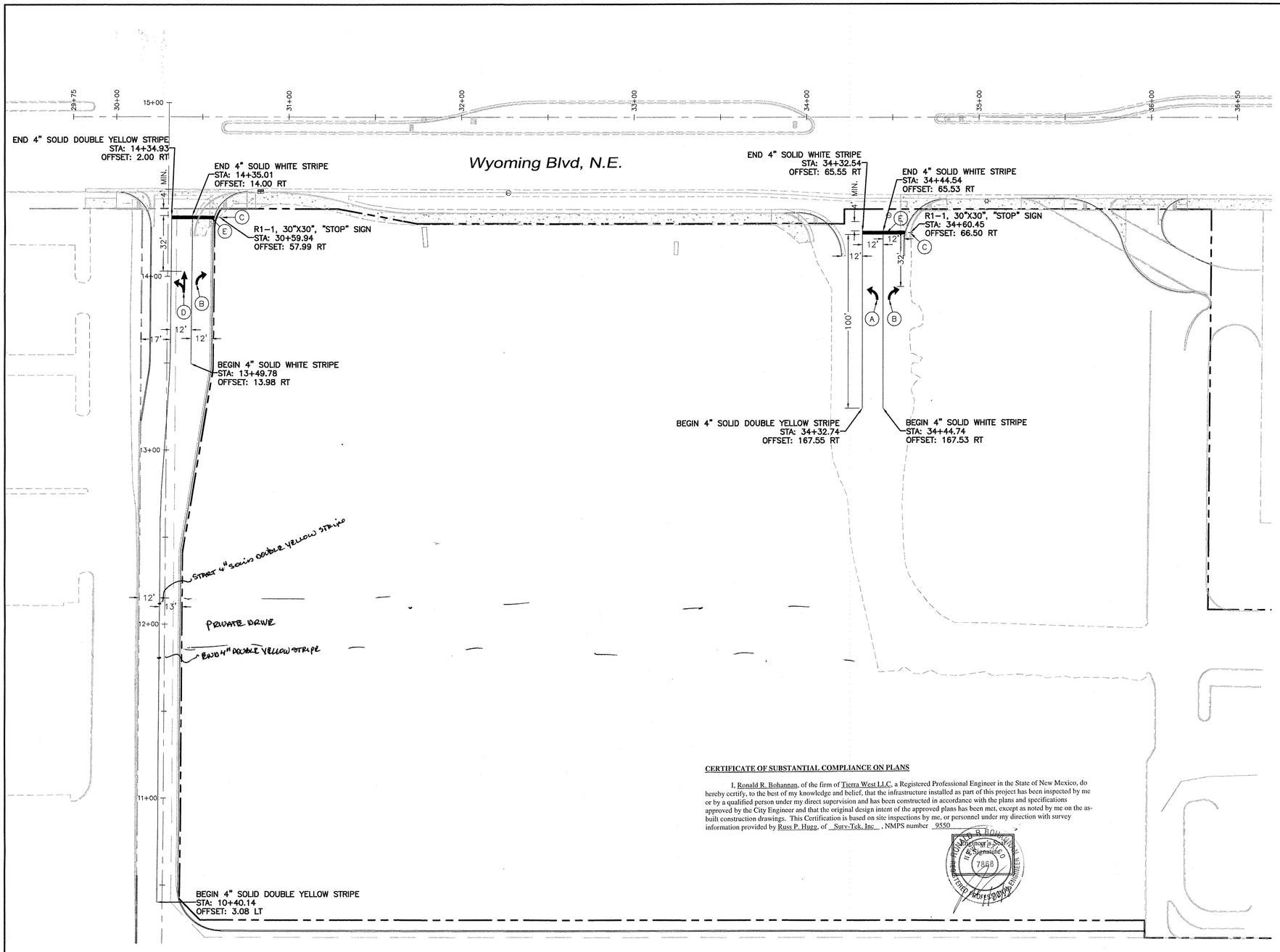
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **LOS PASTORES SHOPPING CENTER**
PAVING IMPROVEMENTS
WYOMING BLVD: STA: 33+85.39 TO 36+28.91

DESIGN REVIEW COMMITTEE — APPROVED — OCT 20 2016 — DESIGN REVIEW COMMITTEE
CITY ENGINEER APPROVAL — APPROVED — MAR 24 2017 — CITY ENGINEER
LAST DESIGN UPDATE — MO./DAY/YR. — MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
719880	F-19-Z	9	15

RECORD DRAWINGS



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING
- PROPOSED STRIPING

KEYED NOTE:

(A) LEFT TURN LANE ARROW, THERMOPLASTIC
(B) RIGHT TURN LANE ARROW, THERMOPLASTIC
(C) STOP SIGN (R1-1-30), 2 FT. FROM CURB
(D) TURN AND THROUGH LANE ARROWS, THERMOPLASTIC
(E) STOP BAR, 24-INCH SOLID WHITE, THERMOPLASTIC

*SEE SHEET 12 FOR SIGNING AND STRIPING DETAILS

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Bohannan, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Russ P. Hugg, of Surv-Tek, Inc , NMPS number 9550

Engineer's Seal/Signature
7868

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GRAPHIC SCALE
30 0 15 30
(IN FEET)
1 inch = 30 ft.

AS BUILT INFORMATION
CONTRACTOR: Pulis Brothers
WORK STAKED BY: NJM DATE
INSPECTOR'S ACCEPTANCE BY: Gon Trujillo DATE 2016
FIELD VERIFICATION BY: Gon Trujillo DATE 2016
DRAWINGS CORRECTED BY: Trujillo DATE 2016
MICRO-FILM INFORMATION
RECORDED BY DATE
NO.

BENCH MARKS
STANDARD A.G.R.S. BRASS TABLET (FOUND IN PLACE)
A.G.R.S. MONUMENT "8_G20"
NM STATE PLANE COORDINATES
CENTRAL ZONE-N.A.D. 1983
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G-G=0.999652303
Da=-0°10'13.78"
Elev=5447.110 (NAVD 1988)

SURVEY INFORMATION
FIELD NOTES
NO. BY DATE

ENGINEER'S SEAL
RONALD R. BOHANNAN
NEW MEXICO
7868
PROFESSIONAL ENGINEER

NO.	DATE	REMARKS	BY
		REVISIONS	

DESIGN
DESIGNED BY: JH DATE: 8/16/2016
DRAWN BY: DY DATE: 8/16/2016
DRAWING NAME: 2014052-SH10-SIGNING & STRIPING JOB NO.: 2014052
CHECKED BY: JH DATE: 8/16/2016

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505)858-3100
www.tierrawestllc.com

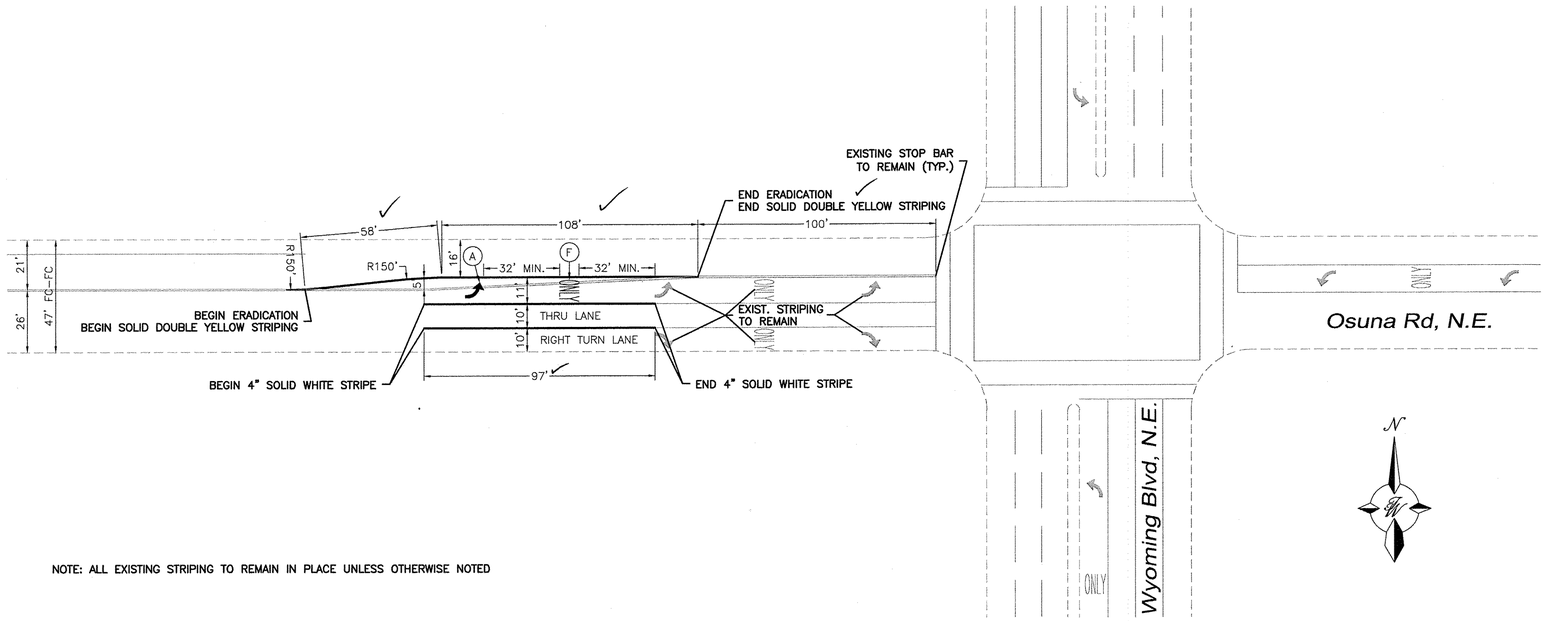
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **LOS PASTORES SHOPPING CENTER**
SIGNING & STRIPING PLAN – ONSITE

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
APPROVED OCT 20 2016 DESIGN REVIEW COMMITTEE	APPROVED MAR 24 2017 CITY ENGINEER			

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
719880	F-19-Z	10	15

RECORD DRAWINGS



NOTE: ALL EXISTING STRIPING TO REMAIN IN PLACE UNLESS OTHERWISE NOTED

CAUTION:
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LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING
- PROPOSED STRIPING

KEYED NOTE:

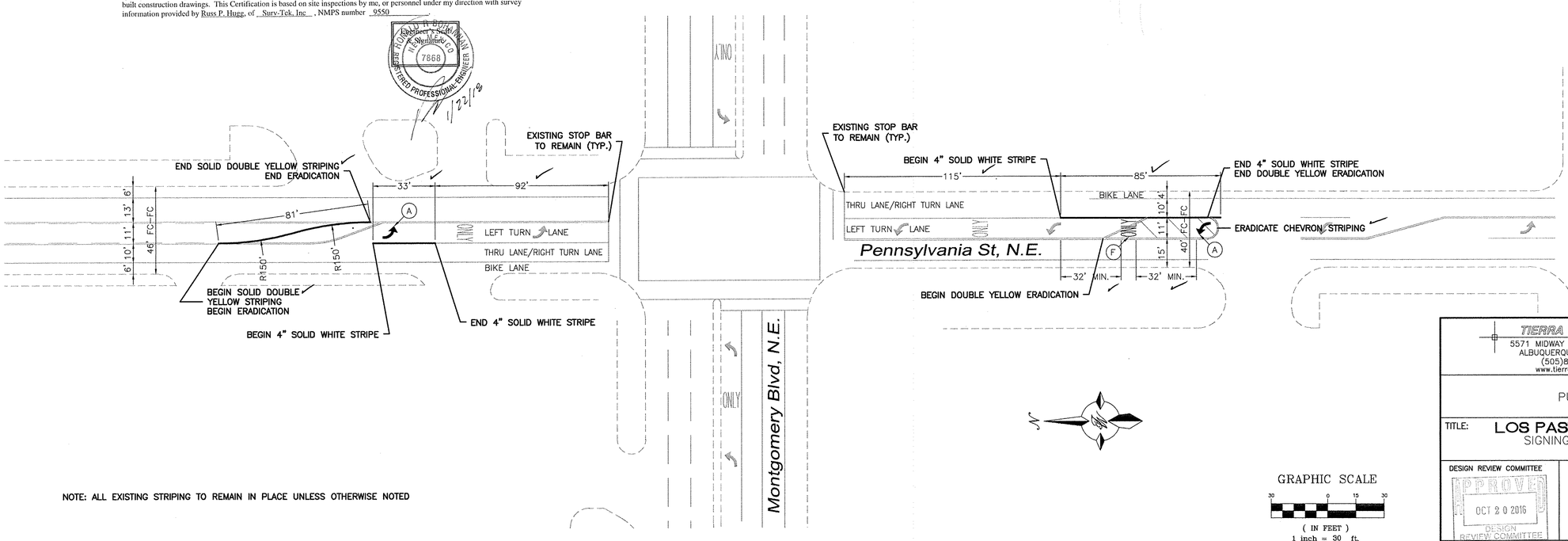
- (A) LEFT TURN LANE ARROW, THERMOPLASTIC
- (B) RIGHT TURN LANE ARROW, THERMOPLASTIC
- (C) LANE ARROW, THERMOPLASTIC
- (D) TURN AND THROUGH LANE ARROWS, THERMOPLASTIC
- (E) STOP BAR
- (F) WORD "ONLY"
- (G) THROUGH LANE ARROW, THERMOPLASTIC

*SEE SHEET 12 FOR SIGNING AND STRIPING DETAILS

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Bohannan, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Russ P. Hugg, of Surv-Tek, Inc , NMPS number 9550

Engineer's Seal & Signature
RONALD R. BOHANNAN NEW MEXICO 7868 REGISTERED PROFESSIONAL ENGINEER
1/22/18



NOTE: ALL EXISTING STRIPING TO REMAIN IN PLACE UNLESS OTHERWISE NOTED

GRAPHIC SCALE
30 0 15 30
(IN FEET)
1 inch = 30 ft.

AS BUILT INFORMATION

CONTRACTOR	
WORK STAKED BY	DATE
INSPECTOR'S ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
DRAWINGS CORRECTED BY	DATE
RECORDED BY	DATE
NO.	

BENCH MARKS

STANDARD A.G.R.S. BRASS TABLET (FOUND IN PLACE)
A.G.R.S. MONUMENT "8_C20"
NM STATE PLANE COORDINATES
CENTRAL ZONE-N.A.D. 1983
X=1,551,806.736
Y=1,500,345.489
G-G=0.999652303
Da=-0°10'13.78"
Elev=5447.110 (NAVD 1988)

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL

RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER

NO.	DATE	REMARKS	BY

REVISIONS

DESIGN

DESIGNED BY: JH DATE: 9/14/2016
DRAWN BY: DY DATE: 9/14/2016
DRAWING NAME: 2014052-SH10-SIGNING & STRIPING JOB NO.: 2014052
CHECKED BY: JH DATE: 9/14/2016

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505)858-3100
www.tierrawestllc.com

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **LOS PASTORES SHOPPING CENTER**
SIGNING & STRIPING PLAN - OFFSITE

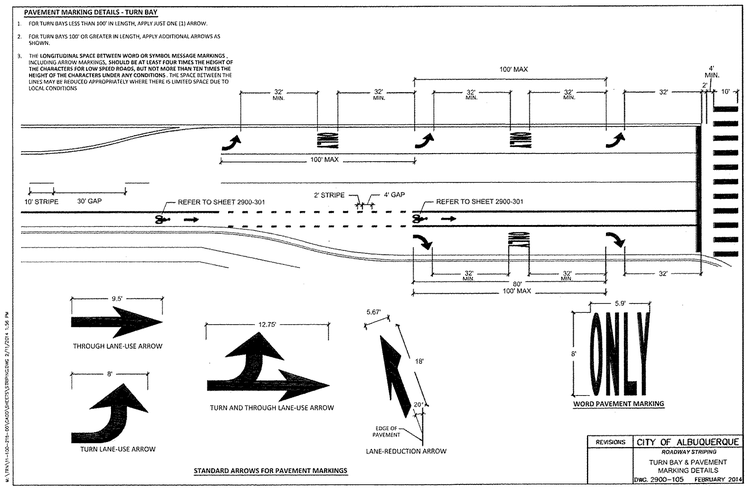
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
APPROVED OCT 20 2016 DESIGN REVIEW COMMITTEE	APPROVED MAR 24 2017 CITY ENGINEER			

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
719880	F-19-Z	11	15

RECORD DRAWINGS

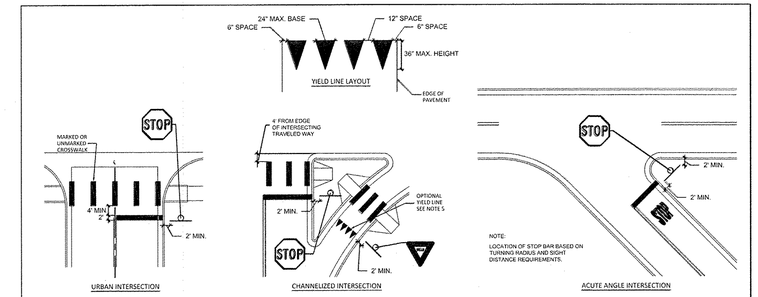
PAVEMENT MARKING DETAILS - TURN BAY

1. FOR TURN BAYS LESS THAN 100' IN LENGTH, APPLY JUST ONE (1) ARROW.
2. FOR TURN BAYS 100' OR GREATER IN LENGTH, APPLY ADDITIONAL ARROWS AS SHOWN.
3. THE **LONGITUDINAL SPACE BETWEEN WORD OR SYMBOL MESSAGE MARKINGS**, INCLUDING ARROW MARKINGS, **SHOULD BE AT LEAST FOUR TIMES THE HEIGHT OF THE CHARACTERS FOR LOW SPEED ROADS, BUT NOT MORE THAN TEN TIMES THE HEIGHT OF THE CHARACTERS UNDER ANY CONDITIONS**. THE SPACE BETWEEN THE LINES MAY BE REDUCED APPROPRIATELY WHERE THERE IS LIMITED SPACE DUE TO LOCAL CONDITIONS



STANDARD ARROWS FOR PAVEMENT MARKINGS

REVISIONS	CITY OF ALBUQUERQUE
	ROADWAY STRIPING TURN BAY & PAVEMENT MARKING DETAILS DWG. 2900-105 FEBRUARY 2014



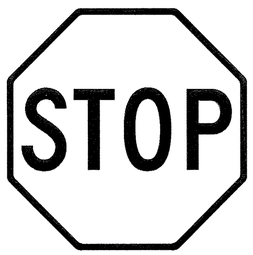
STOP AND YIELD LINES NOTES:

1. STOP LINES SHALL CONSIST OF SOLID WHITE LINES EXTENDING ACROSS APPROACH LANES TO INDICATE THE POINT AT WHICH THE STOP IS INTENDED OR REQUIRED TO BE MADE.
2. YIELD LINES SHALL CONSIST OF A ROW OF SOLID WHITE ISOSCELES TRIANGLES POINTING TOWARD APPROACHING VEHICLES EXTENDING ACROSS APPROACH LANES TO INDICATE THE POINT AT WHICH THE YIELD IS INTENDED OR REQUIRED TO BE MADE.
3. STOP LINES SHALL BE 24 INCHES WIDE.
4. THE INDIVIDUAL TRIANGLES COMPRISING THE YIELD LINE SHOULD HAVE A BASE OF 12 TO 24 INCHES WIDE AND A HEIGHT EQUAL TO 1.3 TIMES THE BASE. THE SPACE BETWEEN THE TRIANGLES SHOULD BE 3 TO 12 INCHES.
5. IF USED, STOP AND YIELD LINES SHOULD BE PLACED A MINIMUM OF 4 FEET IN ADVANCE OF THE NEAREST CROSSWALK LINE AT CONTROLLED INTERSECTIONS, EXCEPT FOR YIELD LINES AT ROUNDABOUTS. IN THE ABSENCE OF A MARKED CROSSWALK, THE STOP LINE OR YIELD LINE SHOULD BE PLACED AT THE DESIRED STOPPING OR YIELDING POINT, BUT SHOULD NOT BE PLACED MORE THAN 30 FT OR LESS THAN 4 FEET FROM THE NEAREST EDGE OF THE INTERSECTING TRAVELED WAY.

STOP SIGN/YIELD SIGN LOCATION NOTES:

6. MINIMUM STOP SIGN SIZE SHALL BE 30" X 30" FOR ALL SINGLE LANE ROADWAYS. 36" X 36" SHALL BE USED FOR ALL MULTI-LANE ROADWAYS. SEE STANDARD DRAWING 2900-601 FOR FURTHER GUIDANCE.
7. THE STOP OR YIELD SIGN SHALL BE INSTALLED ON THE NEAR SIDE OF THE INTERSECTION ON THE RIGHT-HAND SIDE OF THE APPROACH TO WHICH IT APPLIES. WHEN THE STOP OR YIELD SIGN IS INSTALLED AT THIS REQUIRED LOCATION AND THE SIGN VISIBILITY IS RESTRICTED, A STOP AHEAD SIGN SHALL BE INSTALLED IN ADVANCE OF THE STOP SIGN OR YIELD AHEAD SIGN SHALL BE INSTALLED IN ADVANCE OF THE YIELD SIGN.
8. STOP OR YIELD SIGNS SHOULD NOT BE PLACED FURTHER THAN 50 FT FROM THE EDGE OF THE PAVEMENT OF THE INTERSECTED ROADWAY AND SHALL MEET MINIMUM CLEAR SIGHT DISTANCE REQUIREMENTS.
9. A SIGN THAT IS MOUNTED BACK-TO-BACK WITH A STOP OR YIELD SIGN SHOULD STAY WITHIN THE EDGES OF THE STOP OR YIELD SIGN.
10. STOP SIGNS AND YIELD SIGNS SHALL NOT BE MOUNTED ON THE SAME POST.

REVISIONS	CITY OF ALBUQUERQUE
	SIGN PLACEMENT STOP/YIELD SIGN & LINE LOCATION DETAILS DWG. 2900-201 FEBRUARY 2014

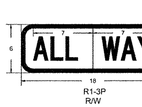


R1-1
R/W

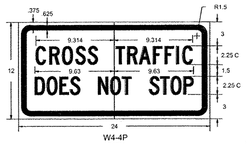
NOTES:

1. ALL DIMENSIONS SHOWN IN INCHES
2. 'STOP' SIGNS (R1-1) SHALL BE AN OCTAGON WITH A WHITE LEGEND AND BORDER ON A RED BACKGROUND.
3. WHEN IT IS DETERMINED THAT A FULL STOP IS REQUIRED ON AN APPROACH TO AN INTERSECTION, A 'STOP' SIGN (R1-1) SHALL BE USED.
4. WHERE SIDE ROADS INTERSECT A MULTI-LANE STREET OR HIGHWAY THAT HAS A SPEED LIMIT OF 45 MPH OR HIGHER, THE MINIMUM SIZE OF THE STOP SIGNS FACING THE SIDE ROAD APPROACHES, EVEN IF THE SIDE ROAD IS A ONE LANE APPROACH, SHALL BE 36 X 36 INCHES
5. WHERE SIDE ROADS INTERSECT A MULTI-LANE STREET OR HIGHWAY THAT HAS A SPEED LIMIT OF 40 MPH OR LOWER, THE MINIMUM SIZE OF THE STOP SIGN FACING THE SIDE ROAD APPROACHES SHALL BE AS SHOWN IN THE TABLE GIVEN, BASED ON THE NUMBER OF APPROACH LANES ON THE SIDE STREET APPROACH.
6. SECONDARY LEGENDS SHALL NOT BE USED ON 'STOP' SIGN FACES.
7. AT INTERSECTIONS WHERE ALL APPROACHES ARE CONTROLLED BY 'STOP' SIGNS, AN 'ALL WAY' SUPPLEMENTAL PLAQUE (R1-3P) SHALL BE MOUNTED BELOW EACH 'STOP' SIGN. THE 'ALL WAY' PLAQUE SHALL HAVE A WHITE LEGEND AND BORDER ON A RED BACKGROUND.
8. THE 'ALL WAY' (R1-3P) PLAQUE SHALL ONLY BE USED IF ALL INTERSECTION APPROACHES ARE CONTROLLED BY 'STOP' SIGNS.
9. SUPPLEMENTAL PLAQUES WITH LEGENDS SUCH AS '2-WAY', '3-WAY', '4-WAY', OR OTHER NUMBERS OF WAYS SHALL NOT BE USED WITH 'STOP' SIGNS.
10. THE 'CROSS TRAFFIC DOES NOT STOP' (W4-4P) PLAQUE MAY BE USED IN COMBINATION WITH A STOP SIGN WHEN ENGINEERING JUDGEMENT INDICATES THAT CONDITIONS ARE PRESENT THAT ARE CAUSING OR COULD CAUSE DRIVERS TO MISINTERPRET THE INTERSECTION AS AN ALL-WAY STOP.
11. IF A R1-3P OR W4-4P PLAQUE IS USED, IT SHALL BE MOUNTED BELOW THE STOP SIGN.
12. WHEN STREET NAME SIGNS ARE USED, THEY SHALL BE MOUNTED ON TOP OF THE STOP SIGN. MOUNT LARGER HEIGHT STREET NAME SIGN ABOVE SMALLER HEIGHT STREET NAME SIGN. SIGN READ BY THE VEHICLES TRAVELING ON THE ARTERIAL/COLLECTOR ROADWAY SHALL BE 12" IN HEIGHT PER STANDARD DRAWING 2900-606. SIGN READ BY THE VEHICLES TRAVELING ON THE NON-ARTERIAL ROADWAY SHALL BE 10" IN HEIGHT PER STANDARD DRAWING 2900-606. SEE EXAMPLE SHOWN BELOW.

Stop Sign Standards			
Street Type	Speed Limit	Letter Height	Sign Size
Single lane	40 MPH or less	30 in.	30 in.
Multi-lane	45 MPH or more	12 in.	36 in.



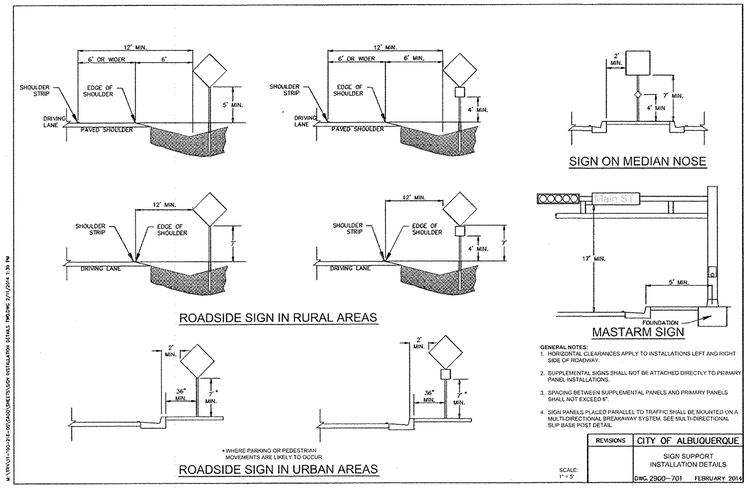
R1-3P
R/W



W4-4P
B/FY

SCALE: 1" = 0.5'

REVISIONS	CITY OF ALBUQUERQUE
	SIGN FACE DETAILS REGULATORY SIGN DETAILS DWG. 2900-601 FEBRUARY 2014

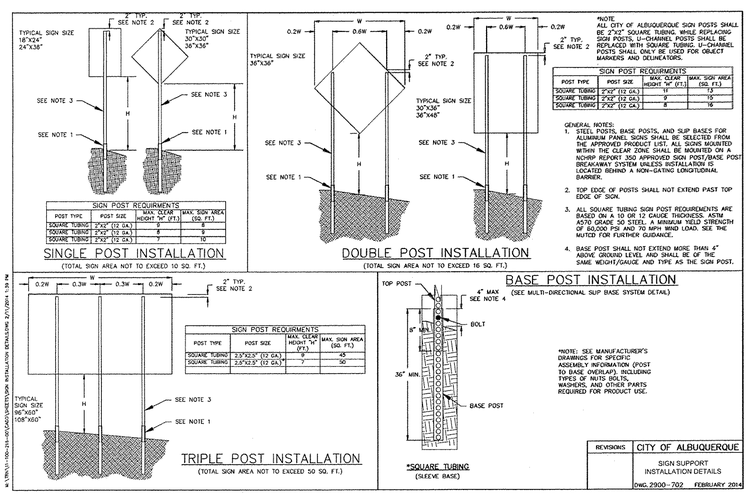


GENERAL NOTES:

1. HORIZONTAL CLEARANCES APPLY TO INSTALLATIONS LEFT AND RIGHT SIDE OF ROADWAY.
2. SUPPLEMENTAL SIGNS SHALL NOT BE ATTACHED DIRECTLY TO PRIMARY PANEL INSTALLATIONS.
3. SPACING BETWEEN SUPPLEMENTAL PANELS AND PRIMARY PANELS SHALL NOT EXCEED 6".
4. SIGN PANELS PLACED PARALLEL TO TRAFFIC SHALL BE MOUNTED ON A MULTI-DIRECTIONAL breakaway SYSTEM. SEE MULTI-DIRECTIONAL SLIP BASE POST DETAIL.

SCALE: 1" = 2'

REVISIONS	CITY OF ALBUQUERQUE
	SIGN SUPPORT INSTALLATION DETAILS DWG. 2900-701 FEBRUARY 2014



SIGN POST REQUIREMENTS			
POST TYPE	POST SIZE	MAX. CLEAR HEIGHT "H" (FT.)	MAX. SIGN AREA (SQ. FT.)
SQUARE TUBING	2"x2" (12 GA.)	6	6
SQUARE TUBING	2"x2" (12 GA.)	9	9
SQUARE TUBING	2"x2" (12 GA.)	7	10

SIGN POST REQUIREMENTS			
POST TYPE	POST SIZE	MAX. CLEAR HEIGHT "H" (FT.)	MAX. SIGN AREA (SQ. FT.)
SQUARE TUBING	2"x2" (12 GA.)	11	13
SQUARE TUBING	2"x2" (12 GA.)	9	15
SQUARE TUBING	2"x2" (12 GA.)	8	16

*NOTE:
ALL CITY OF ALBUQUERQUE SIGN POSTS SHALL BE 2"X2" SQUARE TUBING. WHILE REPLACING SIGN POSTS, U-CHANNEL POSTS SHALL BE REPLACED WITH SQUARE TUBING. U-CHANNEL POSTS SHALL ONLY BE USED FOR OBJECT MARKERS AND DELINEATORS.

GENERAL NOTES:

1. STEEL POSTS, BASE POSTS, AND SLIP BASES FOR ALUMINUM PANEL SIGNS SHALL BE SELECTED FROM THE APPROVED PRODUCT LIST. ALL SIGNS MOUNTED WITHIN THE CLEAR ZONE SHALL BE MOUNTED ON A NCHRP REPORT 350 APPROVED SIGN POST/BASE POST BREAKAWAY SYSTEM UNLESS INSTALLATION IS LOCATED BEHIND A NON-GATING LONGITUDINAL BARRIER.
2. TOP EDGE OF POSTS SHALL NOT EXTEND PAST TOP EDGE OF SIGN.
3. ALL SQUARE TUBING SIGN POST REQUIREMENTS ARE BASED ON A 10 OR 12 GAUGE THICKNESS. ASTM A570 GRADE 50 STEEL, A MINIMUM YIELD STRENGTH OF 50,000 PSI AND 70 MPH WIND LOAD. SEE THE MUTCD FOR FURTHER GUIDANCE.
4. BASE POST SHALL NOT EXTEND MORE THAN 4" ABOVE GROUND LEVEL AND SHALL BE OF THE SAME WEIGHT/GAUGE AND TYPE AS THE SIGN POST.

SIGN POST REQUIREMENTS			
POST TYPE	POST SIZE	MAX. CLEAR HEIGHT "H" (FT.)	MAX. SIGN AREA (SQ. FT.)
SQUARE TUBING	2.5"X2.5" (12 GA.)	9	45
SQUARE TUBING	2.5"X2.5" (12 GA.)	7	50

*NOTE: SEE MANUFACTURER'S DRAWINGS FOR SPECIFIC ASSEMBLY INFORMATION (POST TO BASE OVERLAP), INCLUDING TYPES OF NUTS, BOLTS, WASHERS, AND OTHER PARTS REQUIRED FOR PRODUCT USE.

*SQUARE TUBING (SLEEVE BASE)

REVISIONS	CITY OF ALBUQUERQUE
	SIGN SUPPORT INSTALLATION DETAILS DWG. 2900-702 FEBRUARY 2014

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Bohannan, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Russ P. Hugg, of Surv-Tek, Inc , NMPS number 9550

AS BUILT INFORMATION
CONTRACTOR Price Brothers
WORK STAKED BY Surv-Tek DATE 2017-16
INSPECTOR ACCEPTANCE BY Con-Test DATE 2017-16
FIELD VERIFICATION BY Tierra West DATE 2017-16
DRAWINGS CORRECTED BY Tierra West DATE 2017-16
MICRO-FILM INFORMATION
RECORDED BY DATE
NO.

BENCH MARKS
STANDARD A.G.R.S. BRASS TABLET (FOUND IN PLACE)
A.G.R.S. MONUMENT "2_C20"
NM STATE PLANE COORDINATES
CENTRAL ZONE-N.A.D. 1983
X=1,551,806.736
Y=1,500,345.489
G-G=0.999852303
Da=-0°10'13.78"
Elev=5447.110 (NAVD 1988)

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL
RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER
8/31/16

NO.	DATE	REMARKS	BY
		REVISIONS	

DESIGN
DESIGNED BY: JH DATE: 8/01/2016
DRAWN BY: DY DATE: 8/01/2016
DRAWING NAME: 20140052-SH12-COA DETAILS JOB NO.: 2014052
CHECKED BY: JH DATE: 8/01/2016

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505)858-3100
www.tierrawestllc.com

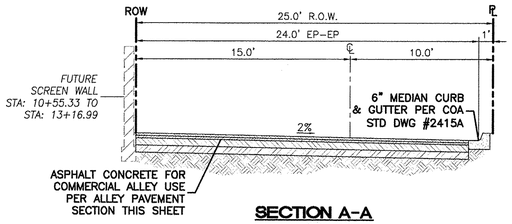
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **LOS PASTORES SHOPPING CENTER**
CITY OF ALBUQUERQUE STANDARD DETAILS
FOR SIGNING & STRIPING

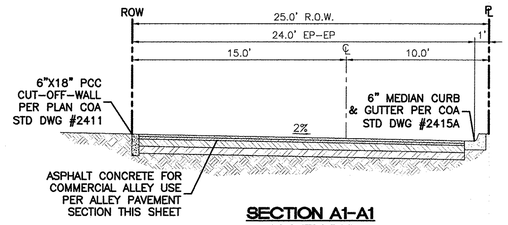
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
APPROVED OCT 20 2016 DESIGN REVIEW COMMITTEE	APPROVED MAR 24 2017 CITY ENGINEER			

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
719880	F-19-Z	12	15

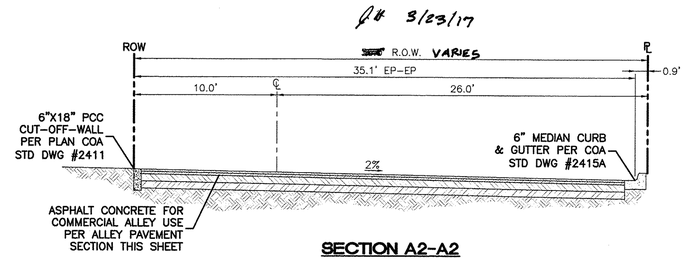
RECORD DRAWINGS



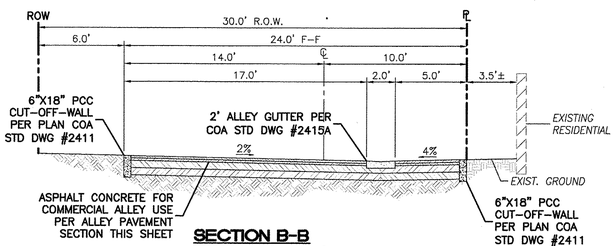
SECTION A-A
ALLEY "A"
STA: 10+00.00 TO 10+55.33
SC: NTS



SECTION A1-A1
ALLEY "A"
STA: 10+55.33 TO 13+16.99
SC: NTS

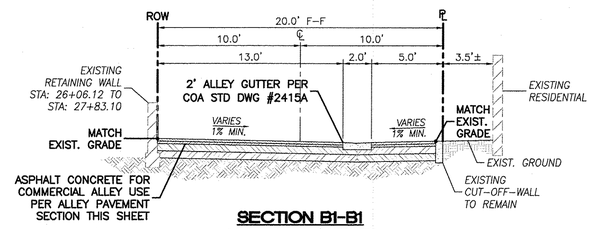


SECTION A2-A2
ALLEY "A"
STA: 13+16.99 TO 14+28.45
SC: NTS



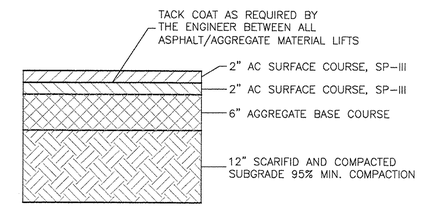
SECTION B-B
ALLEY "B" (WEST)
STA: 20+49.33 TO 25+84.99
SC: NTS

ALLEY SECTION PER COA STD DWG #2411 AND AS MODIFIED PER THIS SECTION



SECTION B1-B1
ALLEY "B" (WEST)
STA: 25+84.99 TO 28+46.19
SC: NTS

ALLEY SECTION PER COA STD DWG #2411 AND AS MODIFIED PER THIS SECTION

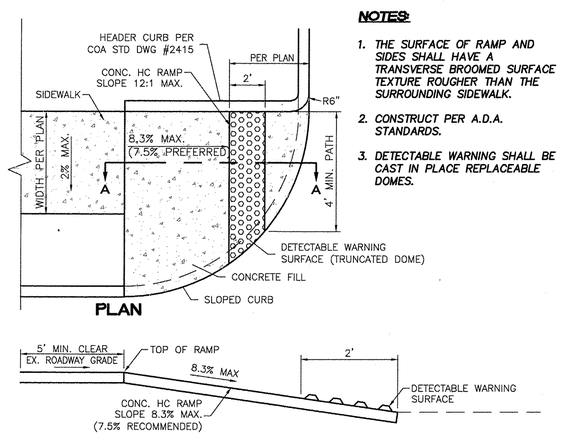


ALLEY PAVEMENT SECTION
PER COA STD DWG #2407
NTS

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Bohannan, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Russ P. Hugg, of Surv-Tek, Inc. , NMPS number 9550

1/22/18



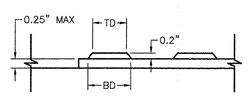
PLAN

SECTION A-A

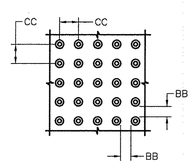
UNIDIRECTIONAL HC RAMP
NOT TO SCALE

NOTES:

1. *THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.*
2. *CONSTRUCT PER A.D.A. STANDARDS.*
3. *DETECTABLE WARNING SHALL BE CAST IN PLACE REPLACEABLE DOMES.*



DOME SECTION
BD – BASE DIAMETER 0.9" MIN
TD – TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



DOME SPACING
CC – CENTER TO CENTER SPACING 2.35"
BB – BASE TO BASE SPACING 1.48" MIN

AS BUILT INFORMATION
CONTRACTOR Jackie Bertness
WORK STAKED BY Surv-Tek DATE 2017-16
INSPECTOR'S ACCEPTANCE BY Carl Tolle DATE 2017-18
FIELD VERIFICATION BY Tolle DATE 2018
DRAWINGS CORRECTED BY Tolle DATE 2018
MICRO-FILM INFORMATION
RECORDED BY DATE
NO.

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G–G=0.999652303
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SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL
RONALD R. BOHANNAN NEW MEXICO PROFESSIONAL ENGINEER 7868

NO.	DATE	REMARKS	BY

REVISIONS

DESIGN
DESIGNED BY: JH DATE: 9/14/2016
DRAWN BY: DY DATE: 9/14/2016
DRAWING NAME: 2014052–SH13–DETAILS JOB NO.: 2014052
CHECKED BY: JH DATE: 9/14/2016

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5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
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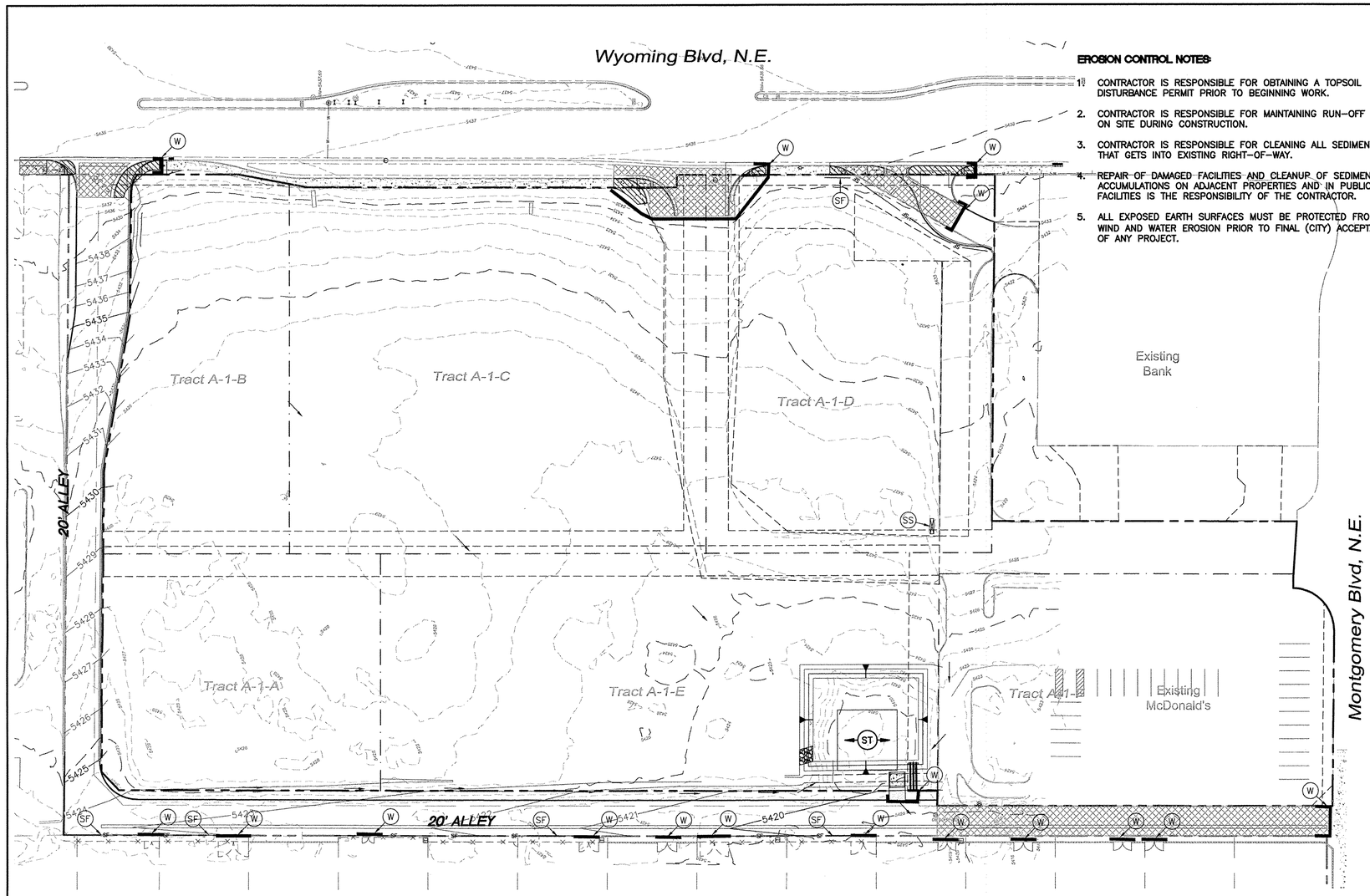
www.tierrawestllc.com

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **LOS PASTORES SHOPPING CENTER**
DETAILS

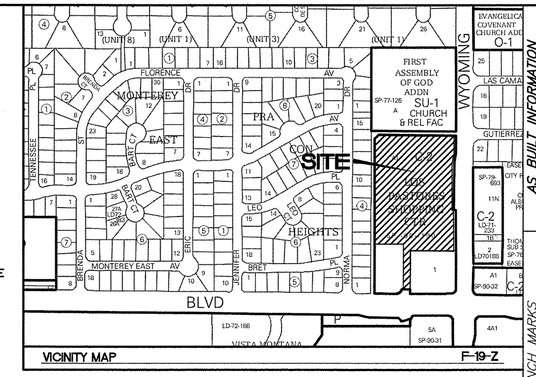
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
APPROVED OCT 20 2016 DESIGN REVIEW COMMITTEE	APPROVED MAR 24 2017 CITY ENGINEER			

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
719880	F–19–Z	13	15



EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



VICINITY MAP F-19-Z

GENERAL EROSION NOTES

A. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THIS DRAWING ("SITE MAP"), THE STANDARD DETAILS, THE PLAN NARRATIVE, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.

B. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF NEW MEXICO NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.

C. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.

D. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.

E. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.

F. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.

G. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.

H. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.

I. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.

J. DUST ON THE SITE SHALL BE CONTROLLED THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

K. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.

L. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.

M. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 21 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURING THESE AREAS. PROVIDE ADEQUATE TEMPORARY IRRIGATION FOR GERMINATION.

N. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.

O. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.

P. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

Q. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OFTHE SITE.

R. ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES, AS REQUIRED PER THE CONSTRUCTION GENERAL PERMIT. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.

S. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.

T. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) TO PREVENT EROSION.

U. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

FOR REFERENCE ONLY

ESC Plan Standard Notes

2-29-16, 3-11-16, 4-26-16

1. Please add a note that "When doing work in the City ROW (e.g. sidewalk, drive pads, utilities, etc…) prevent dirt from getting into the street. If dirt is present in the street, the street should be swept every few days or the same day if rain is imminent.
2. When cutting the street for utilities add a Keyed Note that the dirt should be placed on the uphill side of the street cut and the area swept after the work is complete.
3. On streets where the longitudinal slope is steeper than 2.5%, wattles or j-hook silt fence should be placed in the front yard swale.
4. When installing utilities behind the curb, the excavated dirt should not be placed in the street.
5. A sediment pond should be built at the downstream end of long streets with a large wattle or numerous smaller wattles placed at the pond spillway.

SEQUENCE OF CONSTRUCTION

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
2. CONSTRUCT THE SILT FENCES ON THE SITE.
3. PREPARE TEMPORARY PARKING AND STORAGE AREA.
4. CONSTRUCT THE SEDIMENTATION AND SEDIMENT TRAP BASINS.
5. PERFORM DEMOLITION ON THE SITE.
6. UNDERCUT GRADE AS REQUIRED.
7. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
8. FINISH GRADING THE SITE. RAISE GRADES TO INDUCE DRAINAGE TOWARD TEMPORARY SEDIMENT BASINS

MAINTENANCE

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.

2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.

3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.

4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.

5. ANY TEMPORARY PARKING AND STORAGE AREAS SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND. ONCE IDENTIFIED, NOTE ON THE SWPPP PLAN.

6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

EROSION NOTES

- TPS — TEMPORARY PARKING AND STORAGE
- LIMITS OF DISTURBANCE
- WATTLE

EROSION DETAILS

- CE — TEMPORARY STONE CONSTRUCTION EXIT
- SF — TEMPORARY SILT FENCE
- ST — TEMPORARY SEDIMENT TRAP
- SS — SWPPP SIGN
- W — WATTLE
- IP — INLET PROTECTION

GRAPHIC SCALE

40 20 0 20 40

SCALE: 1"=40'

AS BUILT INFORMATION

CONTRACTOR	
WORK STAKED BY	DATE
INSPECTOR'S ACCEPTANCE	DATE
FIELD VERIFICATION BY	DATE
DRAWINGS CORRECTED BY	DATE

MICRO-FILM INFORMATION

RECORDED BY	DATE
NO.	

BENCH MARKS

STANDARD A.G.R.S. BRASS TABLET (FOUND IN PLACE)	
A.G.R.S. MONUMENT "8_G20"	
NM STATE PLANE COORDINATES	
CENTRAL ZONE-N.A.D. 1983	
X=1,551,806.736	
Y=1,500,345.489	
G-G=0.999652303	
Da=-0°10'13.78"	
Elev=5447.110 (NAVD 1988)	

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL

RONALD R. BUCKMAN NEW MEXICO 8982 PROFESSIONAL ENGINEER

NO.	DATE	REMARKS	BY

REVISIONS

DESIGN

DESIGNED BY: JH	DATE: 3/22/17
DRAWN BY: DY	DATE: 3/22/17
DRAWING NAME: 20140052- SH14-15 ESC	JOB NO.: 20140052
CHECKED BY: JH	DATE: 3/22/17

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ALBUQUERQUE, NM 87109
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **LOS PASTORES SHOPPING CENTER**
TEMPORARY EROSION CONTROL AND SEDIMENTATION PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
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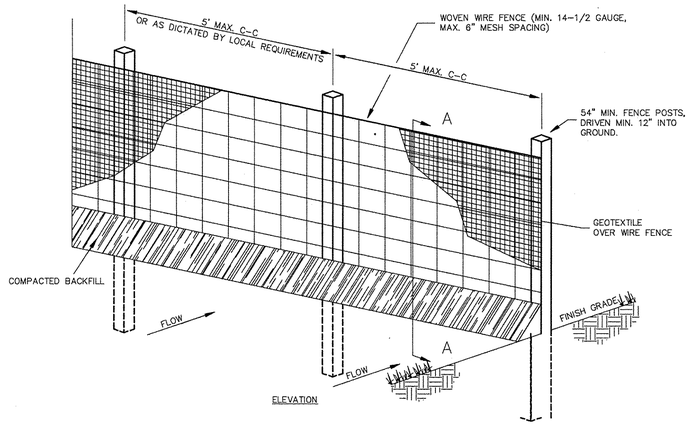
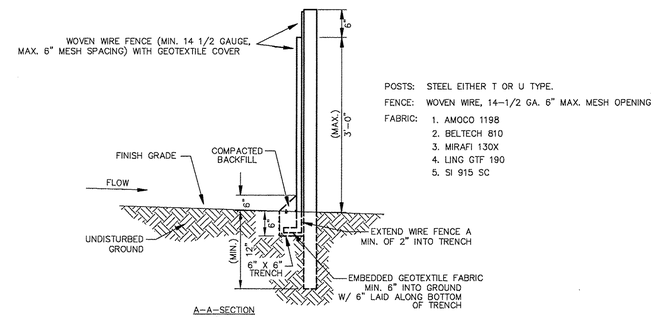
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
719880	F-19-Z	14	15



ELEVATION



A-A-SECTION

POSTS: STEEL EITHER T OR U TYPE.

FENCE: WOVEN WIRE, 14-1/2 GA. 6" MAX. MESH OPENING

FABRIC:
1. AMOCO 1198
2. BELTECH 810
3. MIRAFI 130X
4. LING GTF 190
5. SI 915 SC

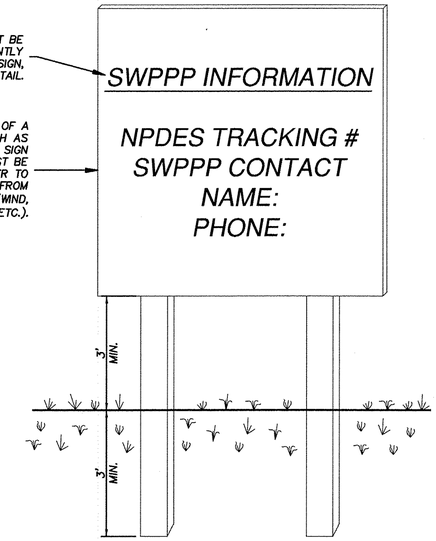
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES.
2. GEOTEXTILE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF GEOTEXTILE ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE EROSION CONTROL PLAN. COLLECTED MATERIAL SHALL BE REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
5. ALL SILT FENCE SHALL INCLUDE WIRE SUPPORT UNLESS INDICATED OTHERWISE

SEDIMENTATION/SILT FENCE WITH WIRE SUPPORT (SF)

N.T.S.

"SWPPP INFORMATION" MUST BE DISPLAYED PROMINENTLY ACROSS THE TOP OF THE SIGN, AS SHOWN IN THE DETAIL.

SIGN TO BE CONSTRUCTED OF A RIGID MATERIAL, SUCH AS PLYWOOD OR OUTDOOR SIGN BOARD. SIGN MUST BE CONSTRUCTED IN A MANNER TO PROTECT DOCUMENTS FROM DAMAGE DUE TO WEATHER (WIND, SUN, MOISTURE, ETC.).

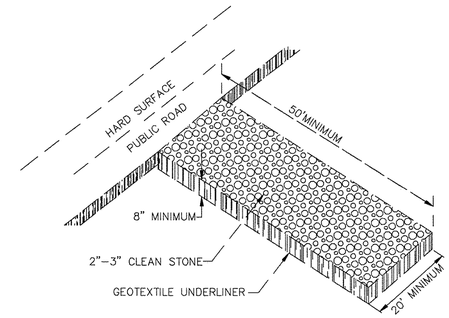


NOTES:

1) *SWPPP PUBLIC INFORMATION SIGN MUST BE POSTED CONSPICUOUSLY AT A SAFE, PUBLICLY ACCESSIBLE LOCATION AT THE PRIMARY ENTRANCE TO THE PROJECT SITE.*
2) *THE PUBLIC INFORMATION SIGN MUST INCLUDE THE TITLE "SWPPP INFORMATION", THE NMR TRACKING NUMBER, SITE CONTACT NAME AND PHONE NUMBER.*
3) *THE NOTICE MUST BE LOCATED SO THAT IT IS VISIBLE FROM THE PUBLIC ROAD AND LARGE ENOUGH TO BE READILY VIEWED FROM THE PUBLIC RIGHT-OF-WAY.*
4) *THE NOTICE MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION DURATION UNTIL A NOT IS FILED.*

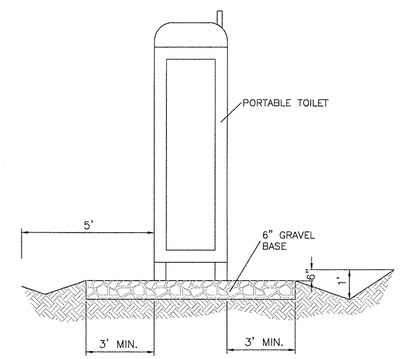
SWPPP INFORMATION SIGN (SS)

N.T.S.

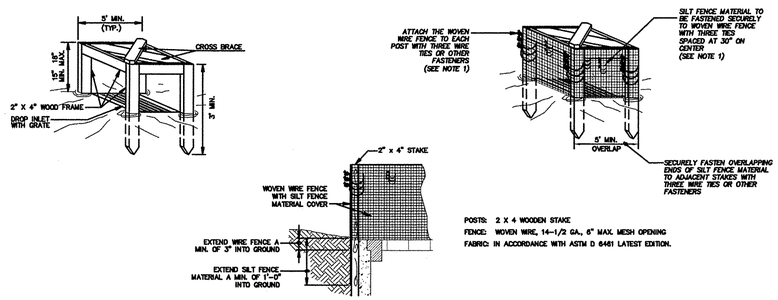


CONSTRUCTION EXIT (CE)

N.T.S.



PORTABLE TOILET CONTAINMENT DETAIL



POSTS: 2 X 4 WOODEN STAKE.

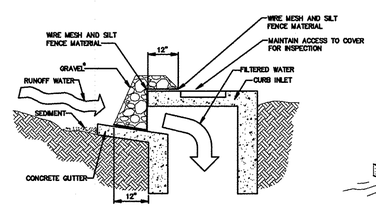
FENCE: WOVEN WIRE, 14-1/2 GA., 6" MAX. MESH OPENING

FABRIC: IN ACCORDANCE WITH ASTM D 6461 LATEST EXITION.

1. *ATTACH THE WOVEN WIRE FENCE TO EACH POST AND THE GEOTEXTILE TO THE WOVEN WIRE FENCE (SPACED EVERY 30") WITH THREE WIRE TIES OR OTHER FASTENERS. ALL SPACED WITHIN THE TOP 6" OF THE FABRIC. ATTACH EACH TIE DIAGONALLY 45 DEGREES THROUGH THE FABRIC, WITH EACH PUNCTURE AT LEAST 1" VERTICALLY APART.*
2. *WHEN TWO SECTIONS OF SILT FENCE MATERIAL ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED ACROSS TWO POSTS.*
3. *MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE SWPPP. DEPTH OF ACCUMULATED SEDIMENTS MAY NOT EXCEED ONE-HALF THE HEIGHT OF THE FABRIC. MAINTENANCE CLEANOUT MUST BE CONDUCTED REGULARLY TO PREVENT ACCUMULATED SEDIMENTS FROM REACHING ONE-HALF THE HEIGHT OF THE SILT FENCE MATERIAL ABOVE GRADE.*
4. *ALL SILT FENCE INLETS SHALL INCLUDE WIRE SUPPORT.*

SILT FENCE INLET PROTECTION (IP6)

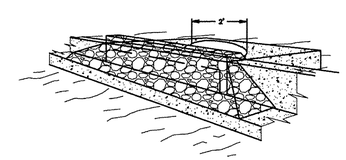
N.T.S.



SPECIFIC APPLICATION

THIS METHOD OF INLET PROTECTION IS APPLICABLE AT CURB INLETS WHERE PONDING IN FRONT OF THE STRUCTURE IS NOT LIKELY TO CAUSE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES AND UNPROTECTED AREAS.

* GRAVEL SHALL BE 3/4"-2" ANGULAR CLEAN STONE



GRAVEL CURB INLET SEDIMENT FILTER (IP5)

N.T.S.

FOR REFERENCE ONLY

AS BUILT INFORMATION
CONTRACTOR
WORK STAKED BY DATE
INSPECTOR'S ACCEPTANCE BY DATE
FIELD VERIFICATION BY DATE
DRAWINGS CORRECTED BY DATE
MICRO-FILM INFORMATION
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A.G.R.S. MONUMENT "B_G20"
NM STATE PLANE COORDINATES
CENTRAL ZONE-N.A.D. 1983
X=1,551,806.736
Y=1,500,345.489
G-G=0.999652303
Dg=-0°10'13.78"
Elev=5447.110 (NAVD 1988)

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL
RONALD R. BOHANNAN NEW MEXICO 9887 PROFESSIONAL ENGINEER

NO.	DATE	REMARKS	BY
		REVISIONS	

DESIGN
DESIGNED BY: JH DATE: 8/01/2016
DRAWN BY: DY DATE: 8/01/2016
DRAWING NAME: 20140052-SWPPP JOB NO.: 2014052
CHECKED BY: JH DATE: 8/01/2016

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
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TEMPORARY EROSION CONTROL AND SEDIMENTATION DETAILS

DESIGN REVIEW COMMITTEE: APPROVED OCT 20 2016 DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL: APPROVED MAR 24 2017 CITY ENGINEER

LAST DESIGN UPDATE | MO./DAY/YR. | MO./DAY/YR.

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